

- KEY
- PREVAILING WINDS (SUMMER)
  - PREVAILING WINDS (WINTER)
  - PRIVACY CONSIDERATIONS
  - NOISE CONSIDERATIONS
  - FALLS FOR DRAINAGE

- FALLS FOR DRAINAGE
- BOUNDARY
- CAR ENTRY POINT

SITE AREA: 136.5 sq.m.  
 EXISTING & PROPOSED LANDSCAPED AREA: 3.2 sq.m. (0.4%)  
 EXISTING OPEN SPACE: 51.6 sq.m. (38%)  
 EXISTING GROUND FLOOR: 88 sq.m.  
 EXISTING FIRST FLOOR: 26 sq.m.  
 NEW FIRST FLOOR: 15.8 sq.m.  
 FSR: 0.45:1 (based on 250 sq.m. of site area)

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 All new and altered works to relevant BCA and AS/NZ standards.  
 NOT FOR CONSTRUCTION

Project: ALTERATIONS AND ADDITIONS Job. No. 565/16

for: J. Tunbridge  
 at: 10 Smith St., Manly NSW 2095

Title: **SITE PLAN**  
**SITE ANALYSIS PLAN**  
 Scale: 1:200 @ A3  
 Date: AUG 2016  
 Drawn: D.R.  
 Revision:

DUFFY REGAN DESIGN  
 121 Soldiers Ave., Freshwater NSW 2096  
 Tel. & fax: (02) 9905 6009  
 Mobile: 0416 037 847  
 Email: duffyregandesign@iprimus.com.au

Drawing No. **DA-01**



These plans relate to Development  
Consent No. \_\_\_\_\_  
The plans are NOT for construction.

NORTHERN BEACHES  
COUNCIL

This plan is sheet 1 of 6 sheet/s referred to in Council's  
Notice of Determination letter dated 29/11/16 in respect  
Of Development Application No 279/16  
Signed: [Signature]

This plan is to be read in conjunction with conditions contained within the  
Notice of Determination that may change the form of the development or the  
manner in which the development proceeds.

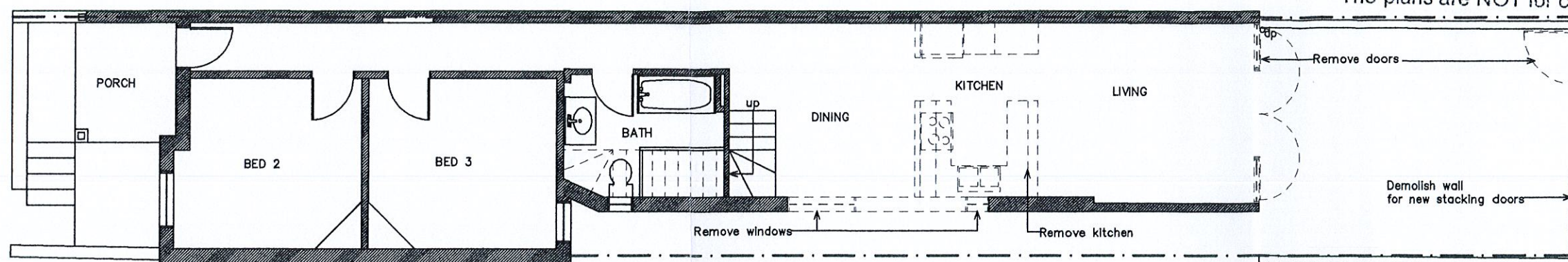
These plans are not for construction. Where demolition, site works or  
building works are proposed a Construction Certificate is to be obtained prior  
to commencement of work.

A copy of the approved Development Application Plans and Construction  
Certificate must be kept on site for the duration of the works.

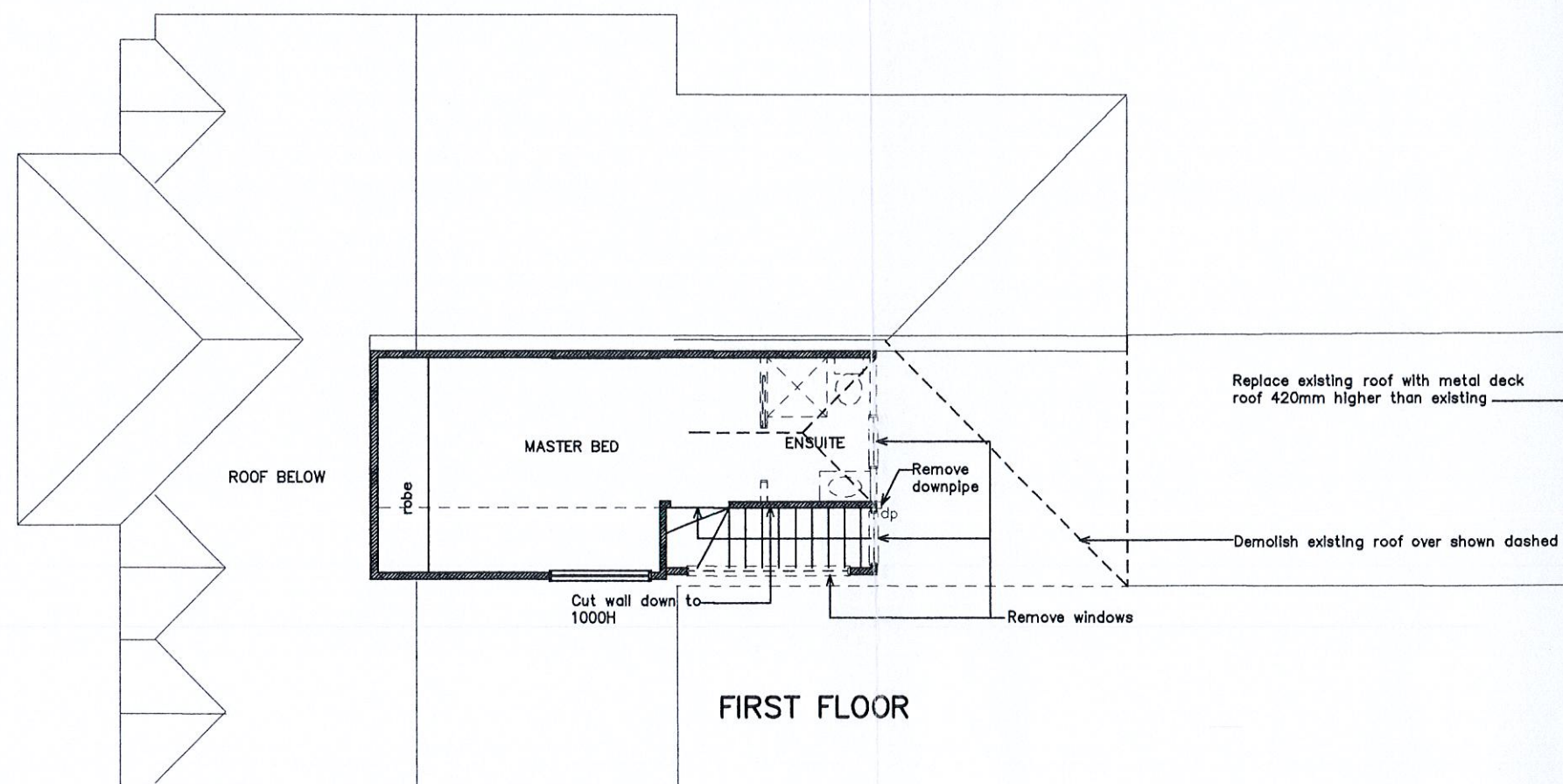
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Consent No. 279/16

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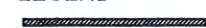






**GROUND FLOOR**



**FIRST FLOOR**

**LEGEND**

-  Existing timber frame wall
-  Existing single brick wall
-  Existing double brick wall
-  Demolish timber frame wall
-  Demolish double brick wall

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Project: ALTERATIONS AND ADDITIONS

Job. No. 565/16

for: J. Tunbridge  
at: 10 Smith St., Manly NSW 2095

Title:

Scale: 1:100 @ A3

Revision:

**DEMOLITION PLANS**

Date: AUG 2016

Drawn: D.R.

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Drawing No. **DA-02**

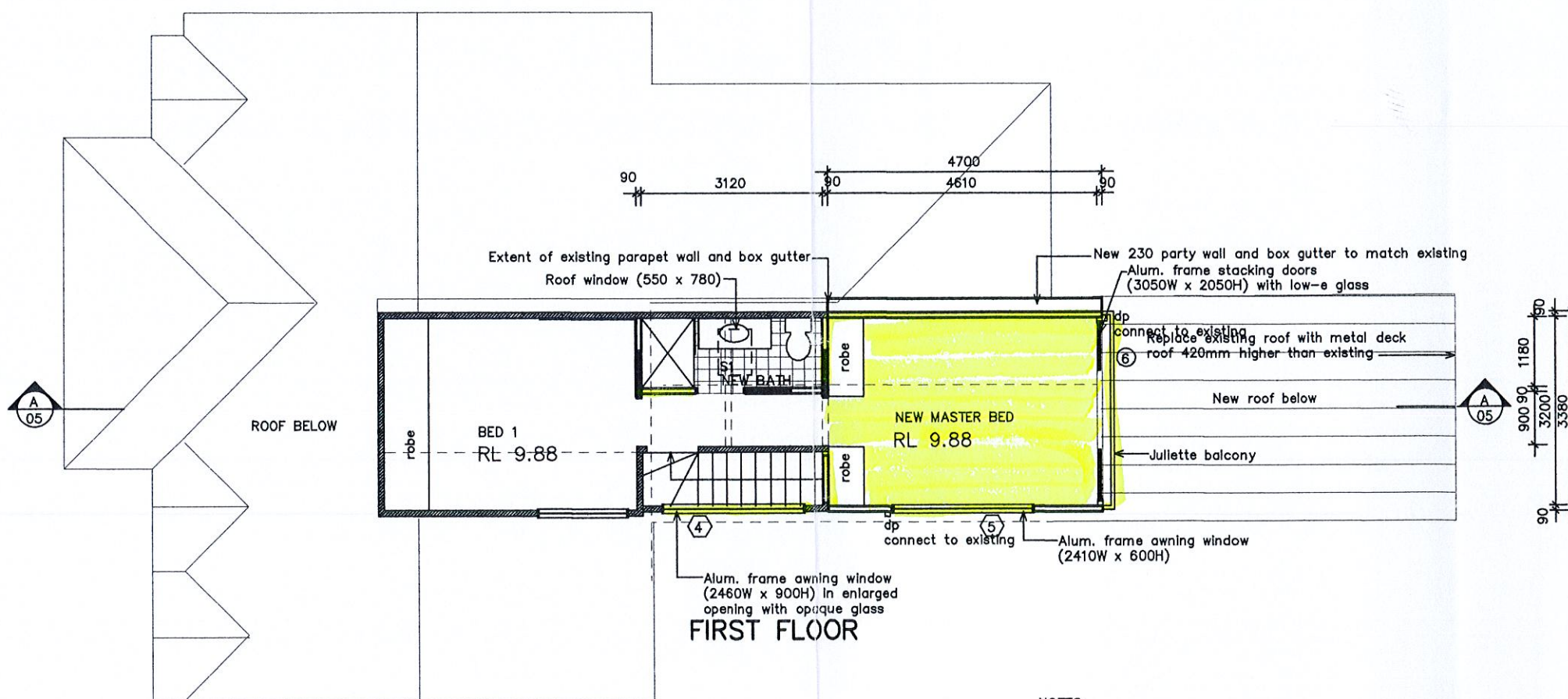
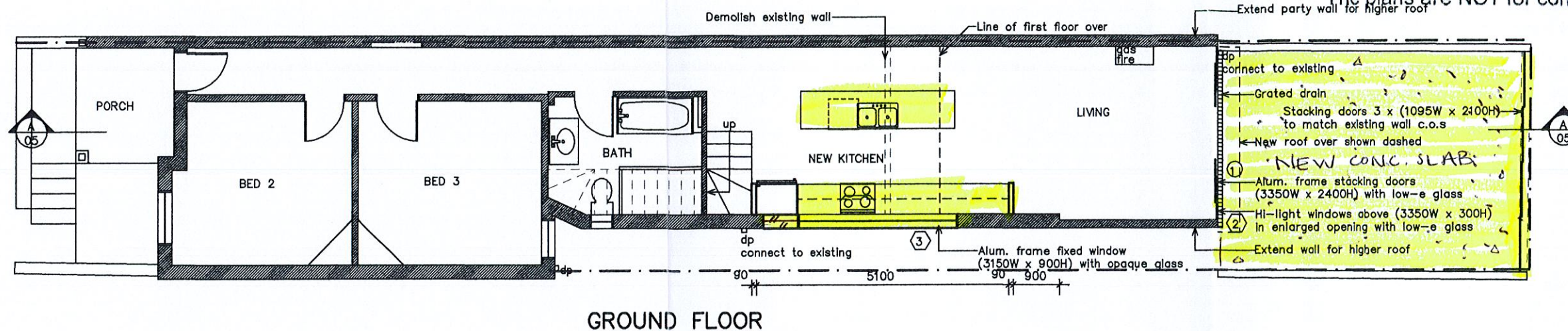


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**BASIX REQUIREMENTS:**  
 All new window and door frames to be improved aluminium frames.  
 Window 1 & 6 to have low-e glass and a 450D pergola over.  
 Windows 3 & 4 to have single toned glass.  
 Window 5 to have single clear glass.  
 Skylight S1: timber double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

**LEGEND**

	Existing timber frame wall
	Existing single brick wall
	Existing double brick wall
	New timber frame wall
	New double brick wall

Project: ALTERATIONS AND ADDITIONS Job. No. 565/16

for: J. Tunbridge  
 at: 10 Smith St., Manly NSW 2095

Title: FLOOR PLANS Scale: 1:100 @ A3 Revision:  
 Date: AUG 2016  
 Drawn: D.R.

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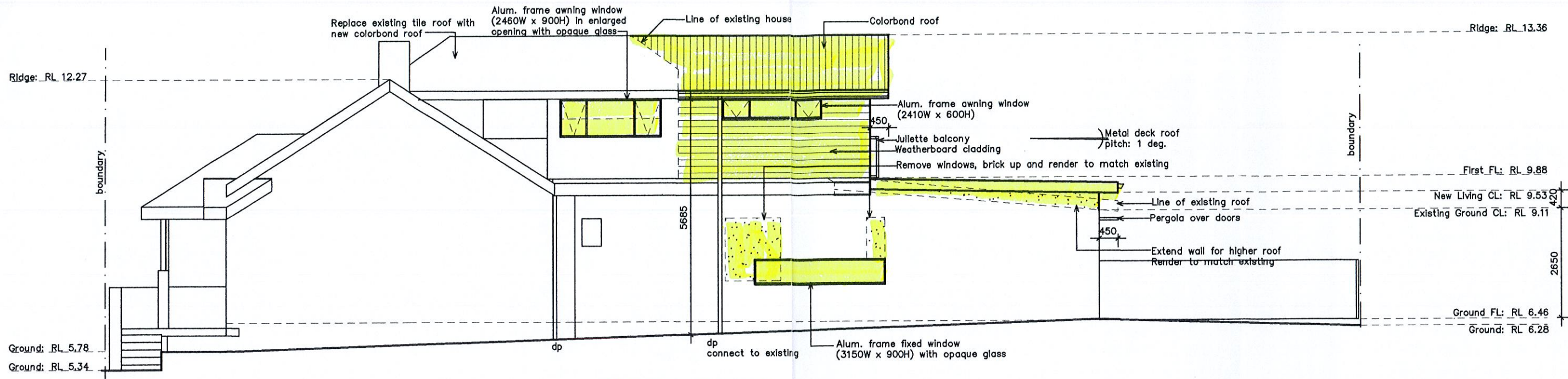
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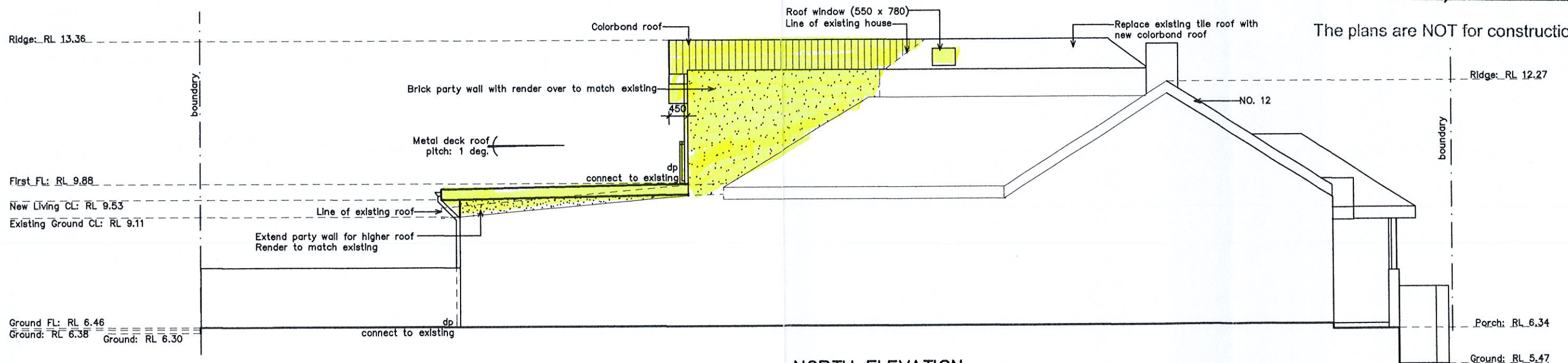


SOUTH ELEVATION

NORTHERN BEACHES COUNCIL

These plans relate to Development Consent No. 279/16

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NORTH ELEVATION

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Project: ALTERATIONS AND ADDITIONS Job. No. 565/16

for: J. Tunbridge  
 at: 10 Smith St., Manly NSW 2095

Title: ELEVATIONS Scale: 1:100 @ A3 Revision:  
 Date: AUG 2016  
 Drawn: D.R.

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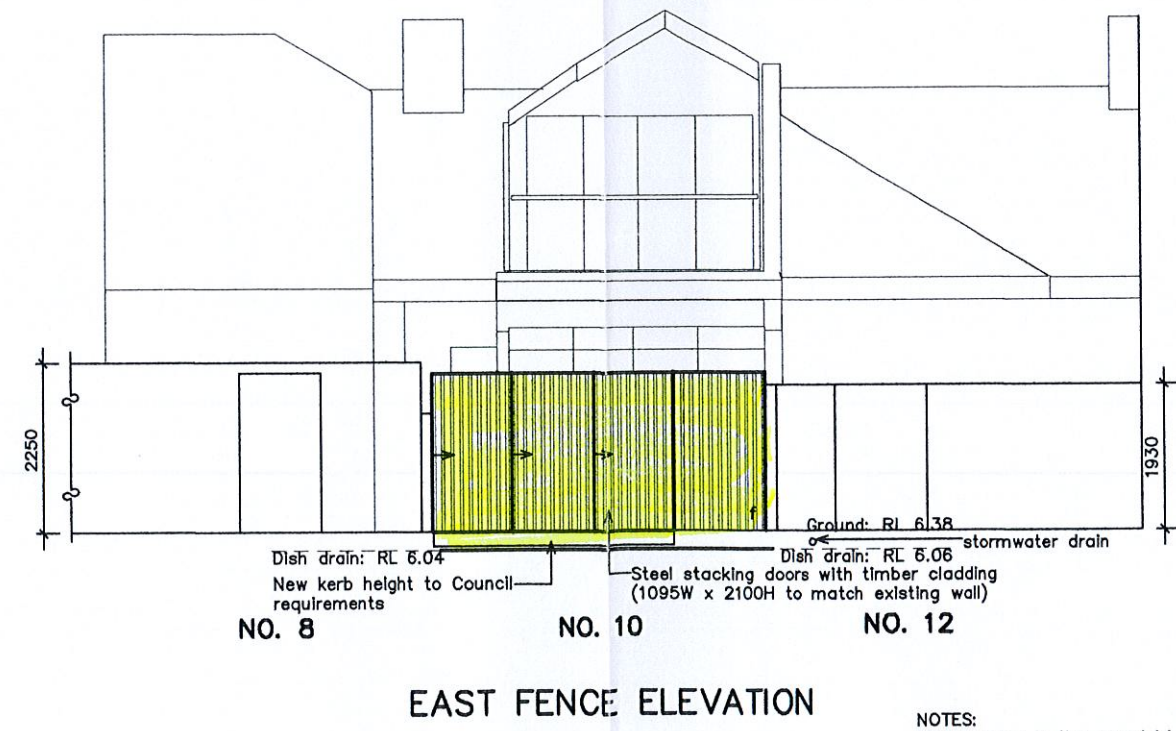
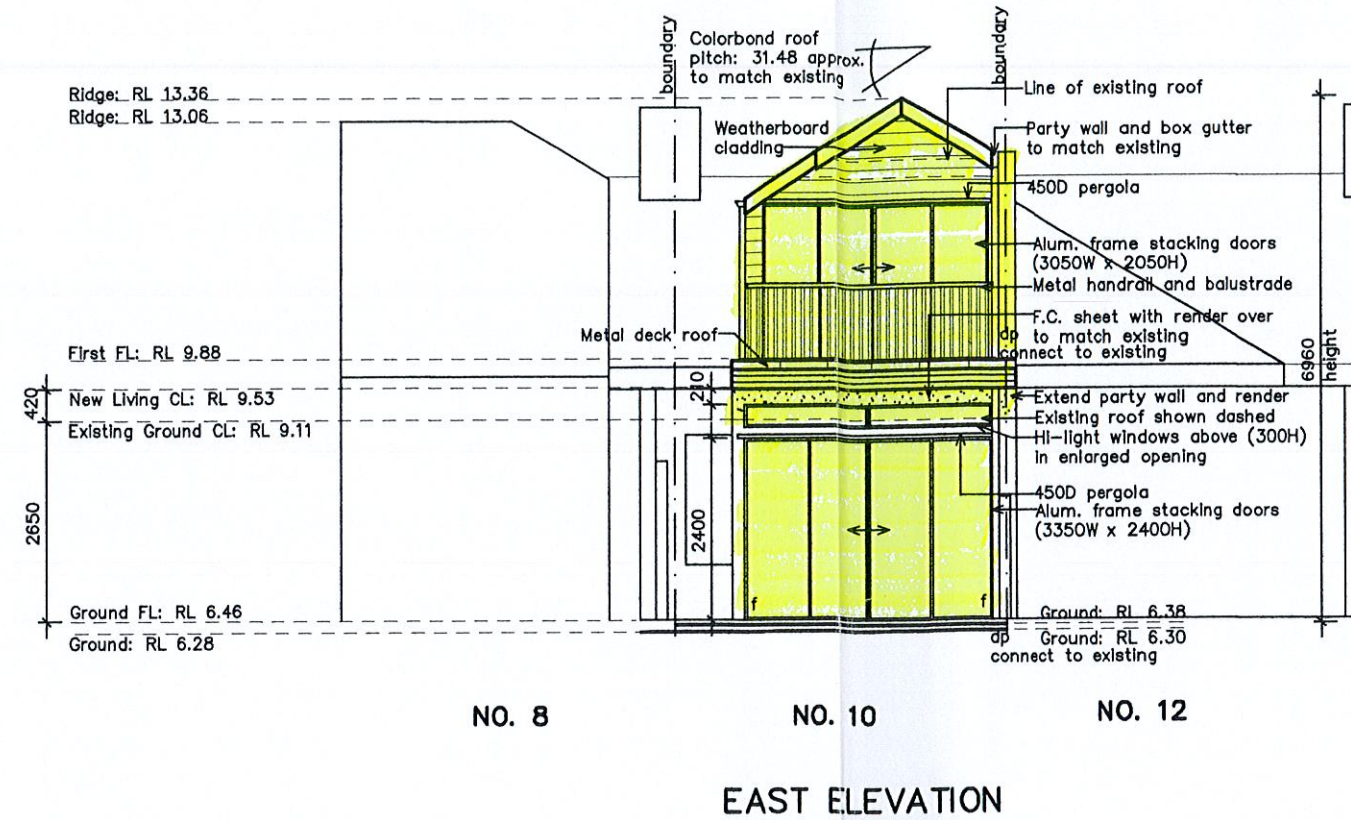
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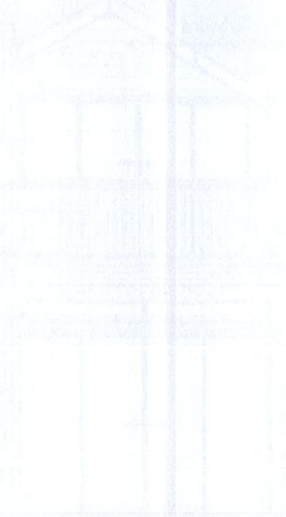
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Project: ALTERATIONS AND ADDITIONS	Job. No. 565/16
for: J. Tunbridge	
at: 10 Smith St., Manly NSW 2095	
Title:	Scale: 1:100 @ A3
<b>ELEVATIONS</b>	Date: AUG 2016
	Drawn: D.R.
DUFFY REGAN DESIGN 121 Soldiers Ave., Freshwater NSW 2096	Tel. & fax: (02) 9905 6009 Mobile: 0416 037 847 Email: duffyregandesign@primus.com.au
	Drawing No. <b>DA-05</b>

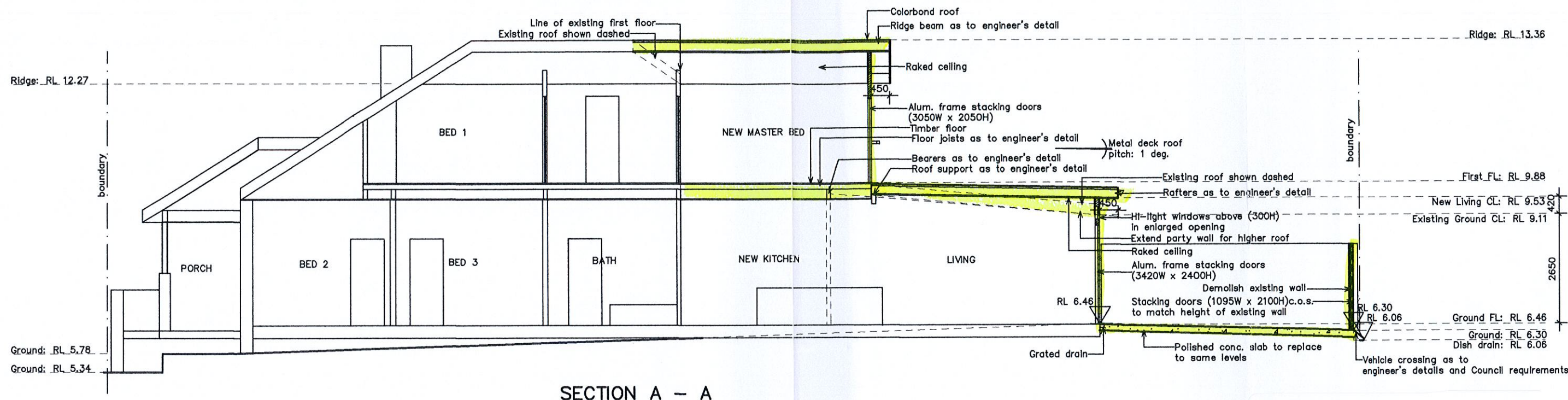
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**BASIX REQUIREMENTS:**

Floor above existing building: nil  
 Roof colour: light (solar absorptance < 0.475)  
 External wall insulation: framed (weatherboard clad) - R1.30 (or R1.70 including construction)  
 Raked ceiling, pitched/skillion roof: framed - R1.00 (up)  
 Roof insulation: 55mm foil backed blanket

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Project: ALTERATIONS AND ADDITIONS Job. No. 565/16

for: J. Tunbridge  
 at: 10 Smith St., Manly NSW 2095

Title: SECTION Scale: 1:100 @ A3 Revision:  
 Date: AUG 2016  
 Drawn: D.R.

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Drawing No. **DA-06**

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## STATEMENT OF ENVIRONMENTAL EFFECTS

This statement refers to the proposed alterations and additions at 10 Smith Street, Manly, lot B, D.P. 437840 with a site area of 136.5 square meters. The site is zoned R1 general residential. It is in a conservation area and is located in group of semi-detached cottages with undersized lot areas.

The proposal will not affect the front streetscape because all the new work is proposed for the rear of the house. The new work will not be visible from the street.

It is proposed to extend the first floor to make a master bedroom with a Juliette balcony. The existing bathroom will be demolished and a new bathroom built. The window over the stairs is to be enlarged. On the ground floor, it is proposed to raise the roof of the living area and install new stacking doors with hi-light windows above. One wall is to be demolished and a new kitchen installed with a new window to replace the existing ones on the south side. It is proposed to demolish the east boundary wall onto Smith Lane, remove the existing paving and replace with a new polished concrete slab. A vehicle crossing will be installed and new automated stacking doors at the same height as the existing wall to make a parking area on the existing paved area.

### OPENSOURCE AND LANDSCAPE DESIGN

The minimum open space requirement for this site is 55% (75 square meters) of the site area. The existing open space is 38% (51.6 square meters). The new parking area is 14 square meters which will bring the total down to 27% (37.6 square meters).

The minimum percent of total open space as land is 35% (26.25 square meters) for this site. There is .04% (3.2 square meters) existing which will remain unchanged by the proposal.

The lot doesn't comply with the open space requirement now because it is an undersized lot. The car parking is the only aspect of this proposal that affects the open space. The objectives of the control will still be met. There is no impact on landscaping or amenity of the site or surrounding area.

### FLOOR SPACE RATIO

The floor space ratio is 0.45:1. It is based on the maximum variation to FSR for undersized lots. The proposal complies with the requirement of 0:60:1.

Note: On existing sites in Residential LEP Zones (including E3 & E4) with a site area less than the minimum lot size required on the LEP Lot Size (LSZ) Map, Council may consider exceptions to the maximum FSR under LEP clause 4.6 when both the relevant LEP objectives and the provisions of this DCP are satisfied. See LEP clause 4.6(4)(a).

In particular, the undersized nature of a lot is a matter that Council may consider in determining whether 'compliance with the standard is

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Reference document related to Development  
Consent No 279/16

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is now. The new stacking doors for parking access will be the same height as the existing wall.

#### PRIVACY & NOISE

Privacy and noise considerations will be as they are now. The proposal is for a new bedroom with high windows facing south. The ground floor living area roof is being raised. There is already parking in the lane. Privacy and noise will be as it is now.

#### STORMWATER DISPOSAL

Stormwater disposal will remain as existing. New downpipes and grated drain will be connected to the existing stormwater line.

#### CAR PARKING

There is no car parking at present. A car park is proposed off Smith lane on a new polished concrete slab to replace the existing paving with new stacking doors opening on to it. There will be no effect on soft open space since the area is currently paved. There is a shortage of car parking on the street and the lane in this area. The amenity of the surrounding area will be improved with the addition of another car parking space. Smith Lane has a lot of garages and car parking spaces as seen in the photos. There is a garage and parking area directly across from No. 10 ensuring access for No. 10 as seen on the site plan. On the same side of the street, No. 14 has a garage on the boundary and No. 4 has sliding gates which appear to open to a parking area. There is a precedence in the street. The works do not have an impact on kerbside parking in this Lane because of existing access required to the parking area and garage across from No. 10.

#### HERITAGE

The proposal will not affect the front of the house because all the new work is proposed for the rear of the house. The new work will not be visible from the street. The front of the house will remain as existing including the existing traditional roof at the front. The heritage character of the area is being retained. The proposal will not alter the heritage significance of this group of semi-detached cottages.

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# BASIX<sup>®</sup> Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A255614

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Director-General

Date of issue: Thursday, 04, August 2016

To be valid, this certificate must be lodged within 3 months of the date of issue.



## Description of project

<b>Project address</b>	
Project name	Tunbridge
Street address	10 Smith Street Manly 2095
Local Government Area	Manly Council
Plan type and number	Deposited Plan 437840
Lot number	B
Section number	0
<b>Project type</b>	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

**NORTHERN BEACHES COUNCIL**

Reference document related to Development Consent No 279/16

*Not for Construction.  
To be read in conjunction with Council's Notice of Determination*

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Duffy Regan Design
ABN (if applicable): 93 723 012 005

AR

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<p><b>Lighting</b></p> <p>The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.</p>		✓	✓
<p><b>Fixtures</b></p> <p>The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.</p> <p>The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.</p> <p>The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.</p>		<p>✓</p> <p>✓</p> <p>✓</p>	<p>✓</p> <p>✓</p>



Construction			Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
<b>Insulation requirements</b>					
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.</p>					
Construction	Additional insulation required (R-value)	Other specifications			
floor above existing dwelling or building.	nil		✓	✓	✓
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R1.00 (up), roof: foil backed blanket (55 mm)	light (solar absorptance < 0.475)			

Glazing requirements

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or polylytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no	Orientation	Area of glass inc frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	E	8.04	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single polylytic low-e, (U-value: 4.48, SHGC: 0.46)	✓	✓	✓
W2	E	1	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single polylytic low-e, (U-value: 4.48, SHGC: 0.46)	✓	✓	✓
W3	S	2.83	0	0	none	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	✓	✓	✓

**Glazing requirements**

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
			Height (m)	Distance (m)					
W4	S	2.21	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			✓
W5	S	1.44	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			✓
W6	E	6.25	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			✓

**Skylights**

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type	✓	✓	✓
S1	0.429	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)			

**Skylights glazing requirements**

### Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.