



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

26 September 2005

COPY

Ausflow Irrigation Pty Ltd
Attn: Lee Cooper
C2/1 Campbell Parade
MANLY VALE NSW 2093

Dear Sir/Madam

**Re: Construction Certificate CC0382/05
Property: Newport Bowling Club - Spurway Park, 6 Palm Road, Newport NSW 2106**

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development Compliance Group

Per: 



Pittwater Council

Construction Certificate No: CC0382/05

COPY

Site Details: **Newport Bowling Club - Spurway Park 6 Palm Road
Newport NSW 2106**

Legal Description: Lot 2 DP 1066239

Type of Development: Building Work /Subdivision

Description: Pump grey water onto bowling green (waste water disposal system)

Associated Development Consent No: N0710/04 Dated: 07/04/2005

Building Code of Australia Certification: Class 10b

Details of plans, documents or Certificates to which this Certificate relates:

- Deferred Commencement Operative Letter prepared by Council's Development Officer, Anna Williams, dated 26 September 2005
- Working Drawings prepared by JD Evans & Company Pty Ltd, Drawing No 705 -01, 705-02, 705-02A, dated June 2004
- Landscape Plan prepared by Impact Planners Pty Ltd, Drawing No 313-L1, dated 15 May 2005
- Sydney Water Approval Stamp, dated 12 May 2005
- Schedule of Coloured Finishes prepared by Aus Flow Irrigation Pty Ltd dated 6 July 2005
- Rainwater Tank & Stormwater Flow/Channel Statement prepared by Northern Beaches Consulting Engineers Pty Ltd, dated 25 June 2004 with associated Take Off System Plan (undated).

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: N0710/04

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


Carl Georgeson
Development Compliance Group

26 September 2005
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

Anna Williams, Development Officer
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1139

DA No N0710/04

In all correspondence please
quote this number

26th September 2005

NEWPORT BOWLING CLUB
CNR PALM & BARRENJOEY RDS
NEWPORT BEACH NSW 2106

Dear Sir/Madam,

**Re: Deferred Commencement Conditions – Development Application N0710/04
6 Palm Road, Newport**

I refer to the deferred commencement condition 1 contained within the aforementioned consent, and your submission of information on 16th September 2003.

Please be advised that pursuant to Regulation 95 (5) of the Environmental Planning and Assessment Regulation 2000, Council considers the details provided in accordance with deferred commencement Conditions 1 contained in Part 1 of the conditions of Development Consent are satisfactory. The following documentation therefore forms part of the consent documentation:

- Letter from Northern Beaches Consulting dated 25th August 2005; and
- Letter from Ausflow Irrigation dated 28th August 2005; and,
- Letter from Northern Beaches Consulting dated 13th September 2005, and accompanying Drawing no. D01 dated September 2005

In this regard, the Consent becomes operative from the date of this letter subject to the conditions listed in Part 2 of the Consent.

Yours faithfully

Anna Williams
DEVELOPMENT OFFICER

0382105
26 SEP 2005



Newport Bowling Club
6 Palm Road,
Newport NSW 2106

25 June 2004

**Re: 6 Palm Road, Newport
Job N° 050548**

In reference to the DA approved plans (as detailed by J.D Evans and Company Pty Ltd dated June 2004) to install rainwater tanks (to store water for irrigation) and extract stormwater flow from the adjacent open stormwater channel (public infrastructure).

It is proposed that flow from the channel is to be diverted to the existing pit immediately adjacent to the channel by means of a 150mm dia uPVC pipe (plus non return flap valve) core drilled through the existing channel wall (at its base) with a galvanised gross pollutant screen covering the inlet point flush to the channel wall.

The pit is to act as a pump out sump with mechanical pumps directing the stormwater to the proposed storage tanks in accordance with industry standards.

An over flow pipe (150mm dia uPVC pipe plus non return flap valve) is to direct excess stored flow back to the channel should the pump capacity be exceeded.

In reference to the DA Consent No. N0710/04 for Pittwater Council, in particular the deferred commencement consent Part 1:

- a) The grey water off-take system from the open stormwater channel will not obstruct stormwater flow within the channel, as all components of the proposed system will be flush to the channel wall and therefore outside the channel flow path.
- b) The channel wall is to be core drilled (to house the take off and overflow pipes) with any exposed steel reinforcement treated and protected with a corrosion inhibitor.
- c) The proposal will not have any adverse effects on any flood event as all components of the proposed system will be flush to the channel wall and therefore outside the channel flow path.

Please contact the undersigned with any questions relating to the contents of this letter.

Yours Sincerely
NBC Consulting Engineers Pty Ltd,

Per Lucas Molloy
B.E. CPEng NPER MIEAust Director

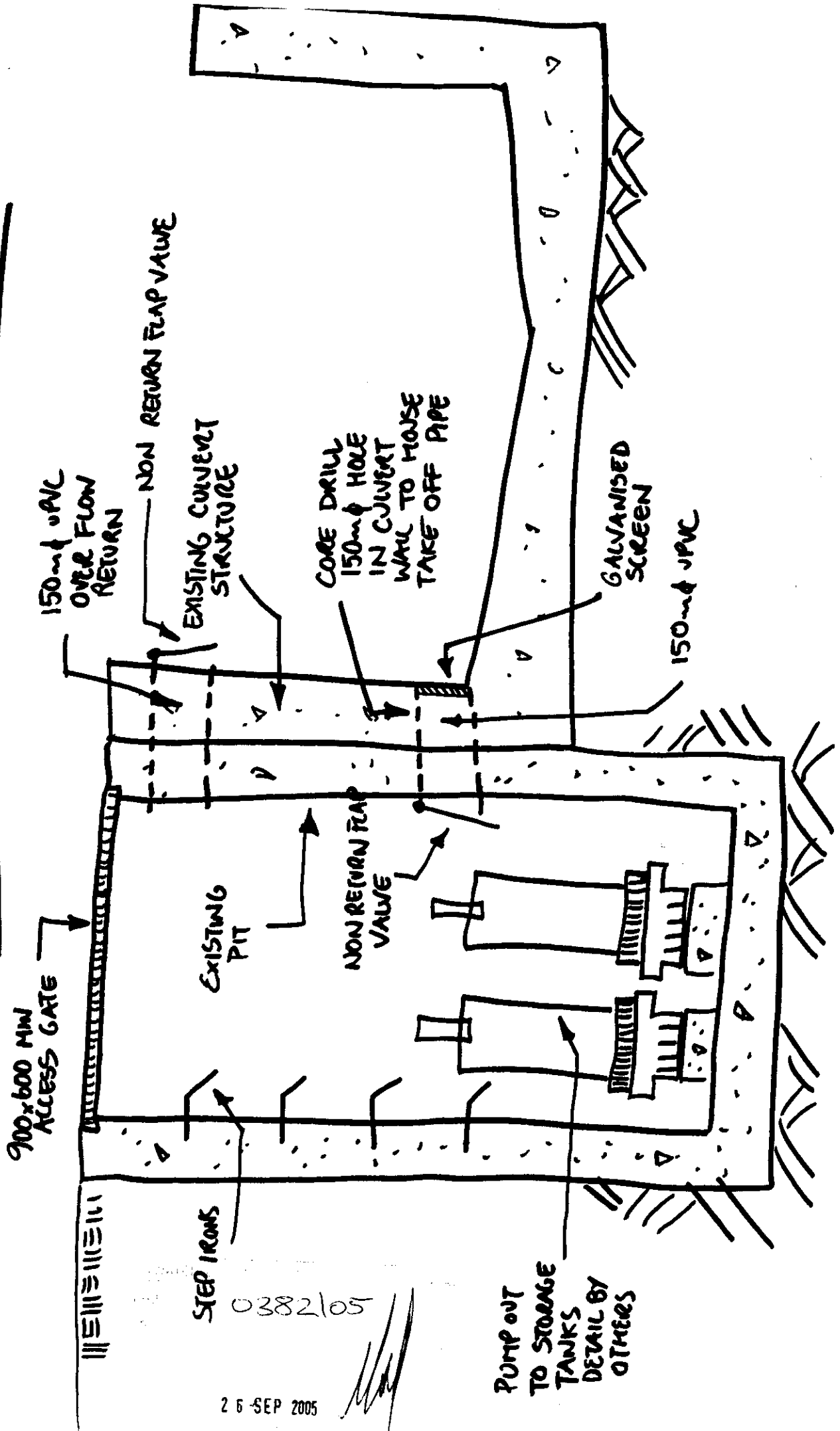
N:\ENG\NBC\2005\050548\Stormwater report.doc

0382/05

26 SEP 2005

TAKE OFF SYSTEM DETAIL

N.T.S





**AUSFLOW
IRRIGATION PTY. LTD.**

A.B.N. 78 003 228 359

C2/1 Campbell Parade
Manly Vale NSW 2093

Bus Phone: 9949 1511
Facsimile: 9949 1533

Email: ausflow@ihug.com.au

6 July 2005

Pittwater Council
PO Box 882
MONA VALE NSW 1660


Phone 9970.1111
Fax: 9970 7150

Attention - Darren Pearson

RE PROPOSED WATER HARVESTING AND STORAGE

As per request, letter dated 7 April 2005, Section B9, we submit the following

Pioneer Tank to be River Gum in colour.

 Rivergum

Please find attached


**Engineer Report
Landscape Plan
Site Plans
Sydney Water Search Stamp (Drawing No 705-01)**

Should you have any queries please do not hesitate to contact the writer on 0411 594 974.

Yours faithfully,

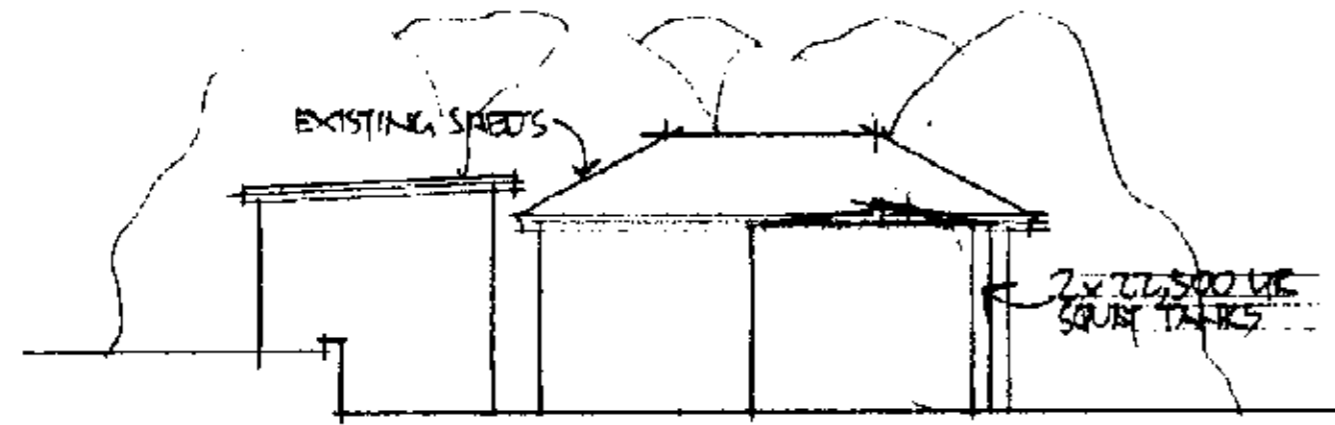


**LEE COOPER
Managing Director**

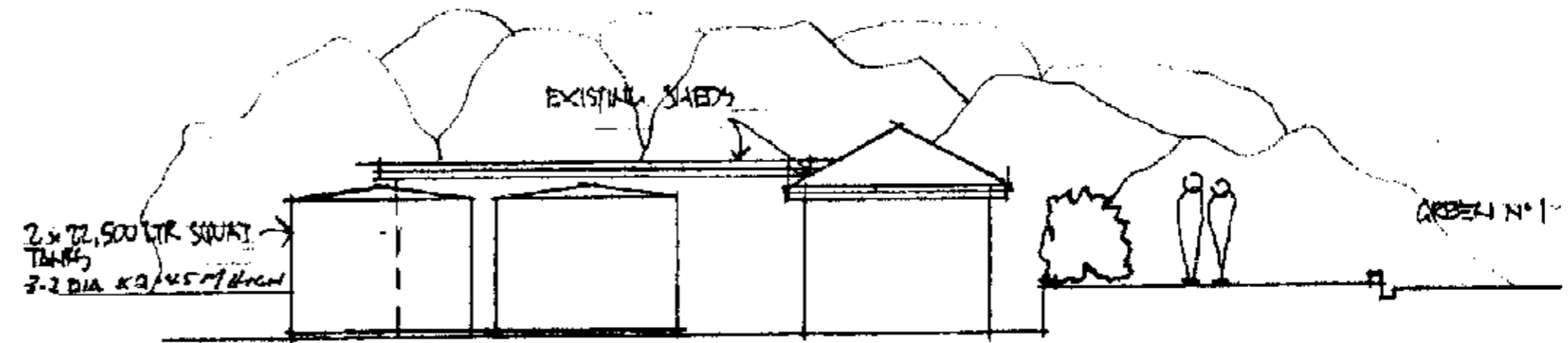
| | |
|---|---|
| PITTWATER COUNCIL CONSTRUCTION CERTIFICATE | |
| Number: | CC 0382105 |
| This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate. | |
| Endorsed by: |  |
| Date: | 26 SEP 2005 |



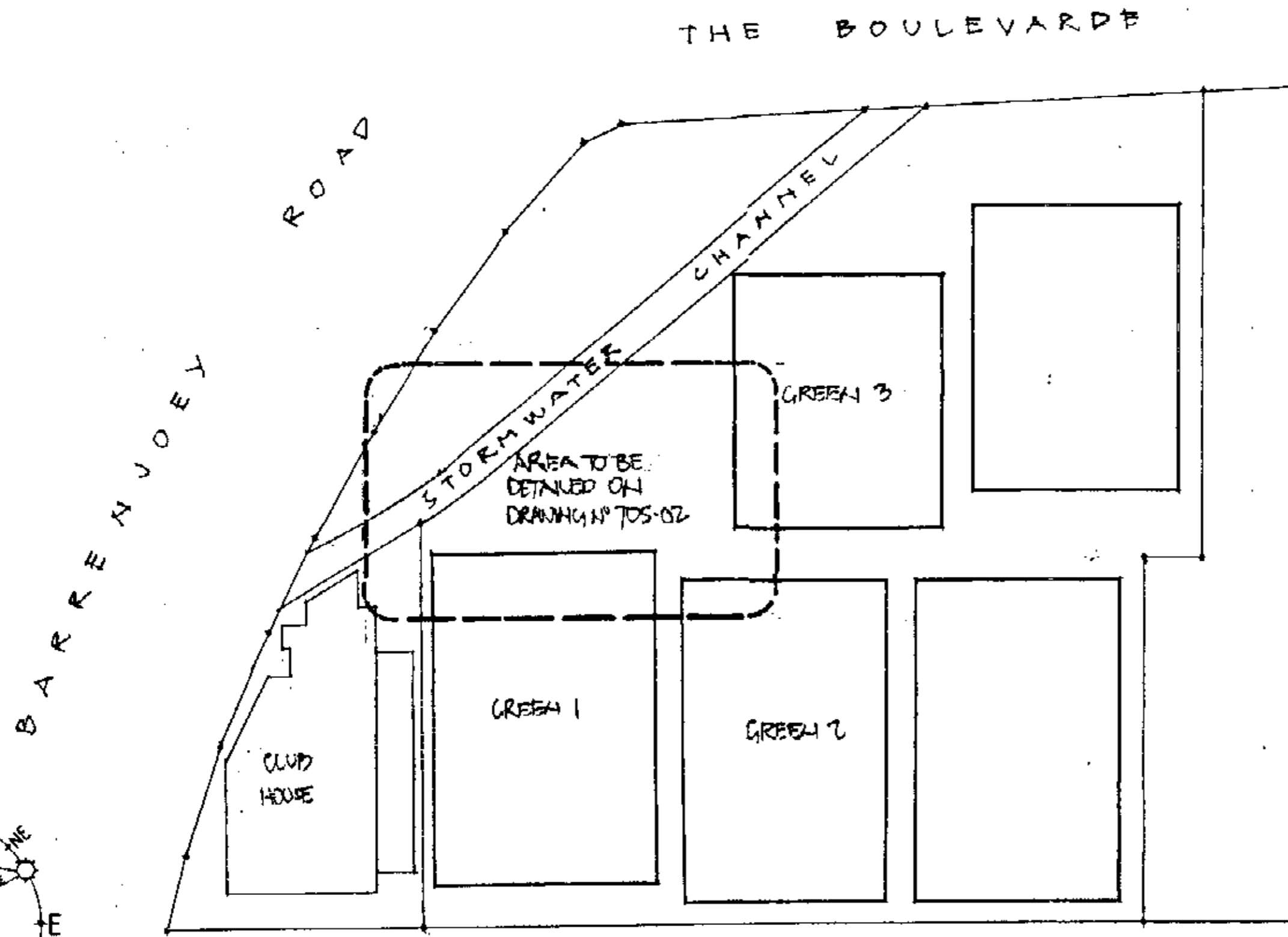
Member Irrigation Association of Australia



NORTH ELEVATION



WEST ELEVATION



PALM ROAD
SITE PLAN
SCALE 1:500

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 5209687

Reece, Brookvale,
Quick Check Agent on behalf of
SYDNEY WATER

For: ADDRESS 12/5/05

0382105

28 SEP 2005

PROPOSED GREY WATER RECYCLING
NEWPORT BOWLING CLUB
BARRENJOEY ROAD, NEWPORT 2108

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All Building Construction to be in accordance with the "Builder's Handbook" code.
5. Any detailing in addition to what is specified shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Remove existing materials where possible.

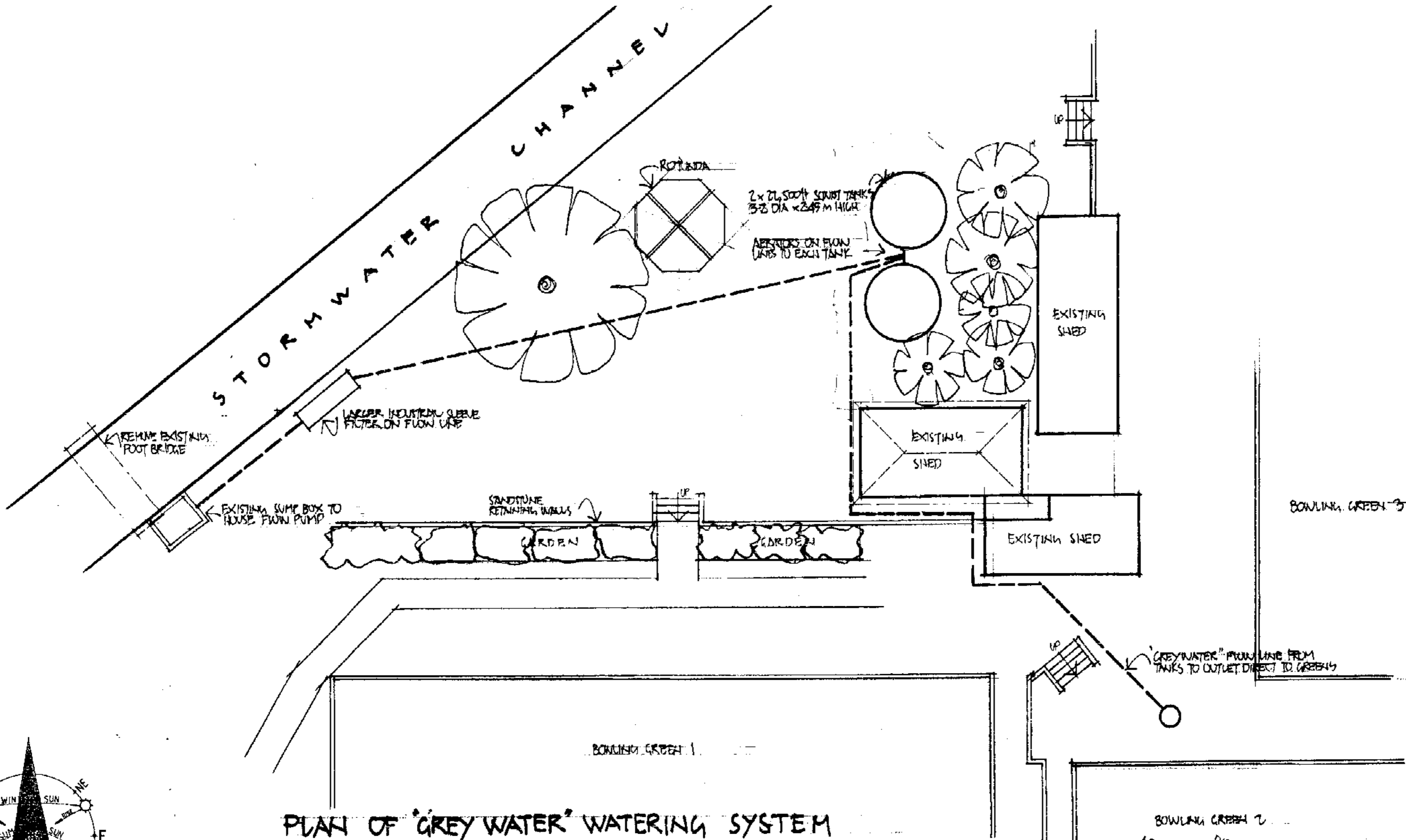
| No. | AMENDMENT | DATE |
|-----|-----------|------|
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J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 0206 Fax (02) 9973 2454
Mobile 045 976 596

PROJECT
**PROPOSED GREY WATER RECYCLING
NEWPORT BOWLING CLUB
BARRENJOEY ROAD, NEWPORT 2108**

CLIENT
NEWPORT BOWLING CLUB

| | | | |
|-------------|-----------------|---------|-------|
| DATE | JUNE 2004 | SCALE | 1:100 |
| DRAWN | JOE | CHECKED | |
| DRAWING No. | 705 - 01 | | |
| ISSUE | | | |



PLAN OF 'GREY WATER' WATERING SYSTEM

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details of design which is to be supplied by a Structural Engineer.
6. Liquid water & electrical drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be governed by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

| No. | AMENDMENT | DATE |
|-----|-----------|------|
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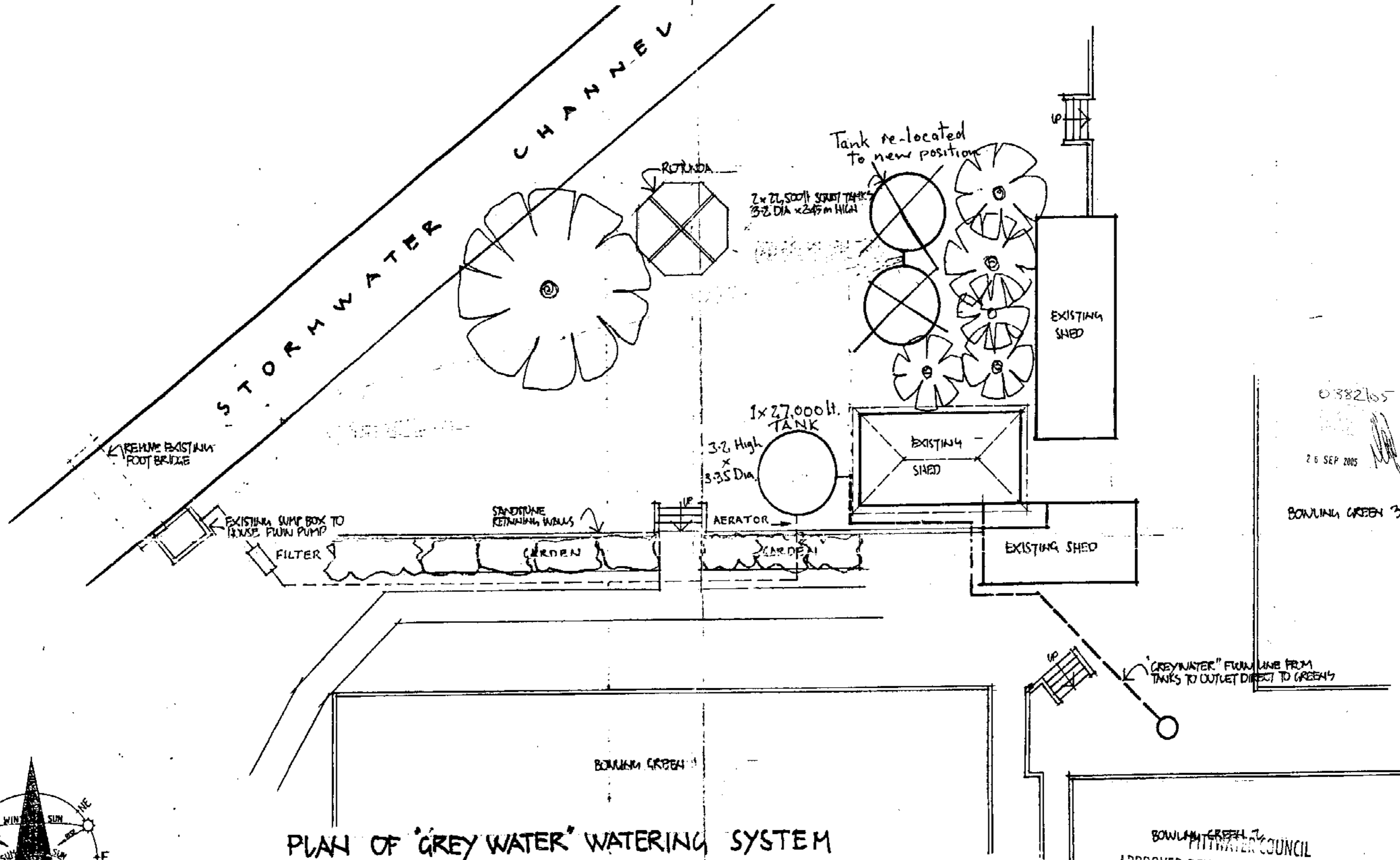
J.D EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE, AVALON BEACH, 2107
 Phone (02) 9918 9206 Fax (02) 9973 2454
 Mobile 0418 976 596

PROJECT
PROPOSED GREY WATER RECYCLING
NEWPORT BOWLING CLUB
BARRENJOEY ROAD, NEWPORT 2106
 CLIENT **NEWPORT BOWLING CLUB**

DATE: JUNE 2004
 DRAWN: JDE
 SCALE: 1:100
 CHECKED:
 DRAWING No: **705 - 02**
 ISSUE:

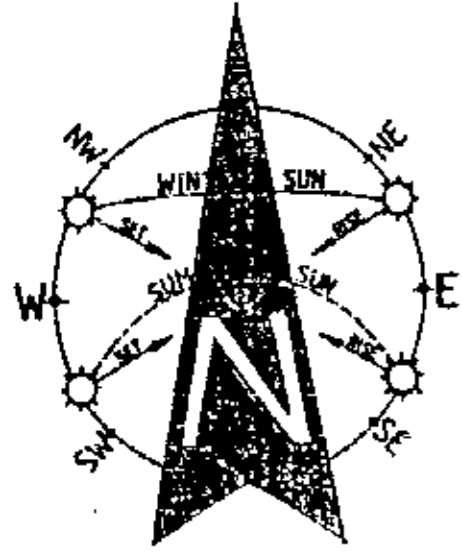
NOTE: THESE PLANS MUST BE RE-APPROVED IN CONJUNCTION WITH DEVELOPER'S APPROVED DEVELOPMENT CONSENT PLANS

0382105
 26 SEP 2005



PLAN OF 'GREY WATER' WATERING SYSTEM

0382105
 26 SEP 2005
 BOWLING GREEN 3



THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

BOWLING GREEN 2
 PITWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS
 DREUMMARY COPY
 FOR CUTS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS of 1/5.
 DEVELOPMENT CONSENT

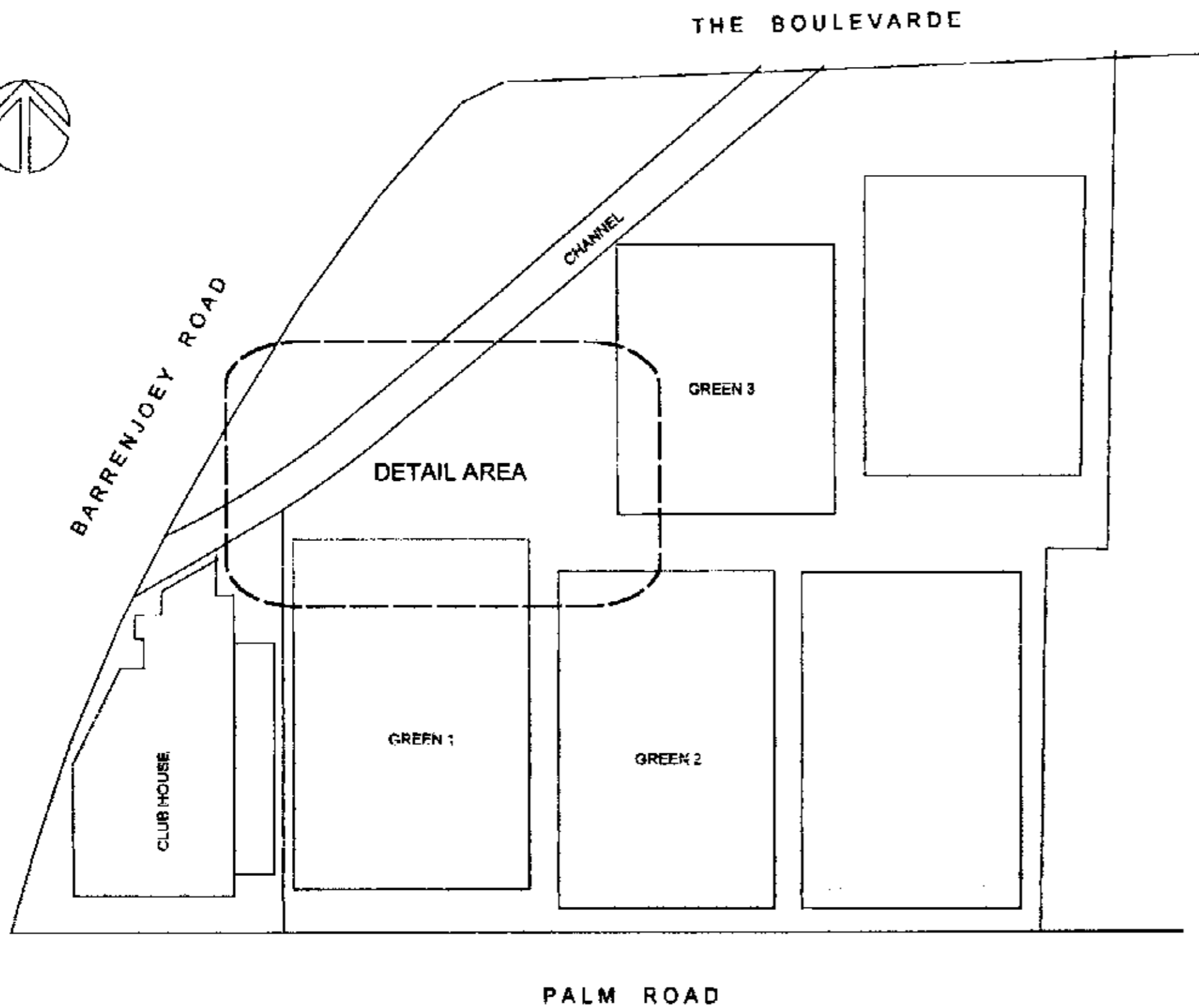
1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the foundation and groundwork are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAME" code.
5. Any detailing in addition to what is specified shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be specified by a Structural Engineer.
6. Roof water & soil-water drainage to be discussed at the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

| No. | AMENDMENT | DATE |
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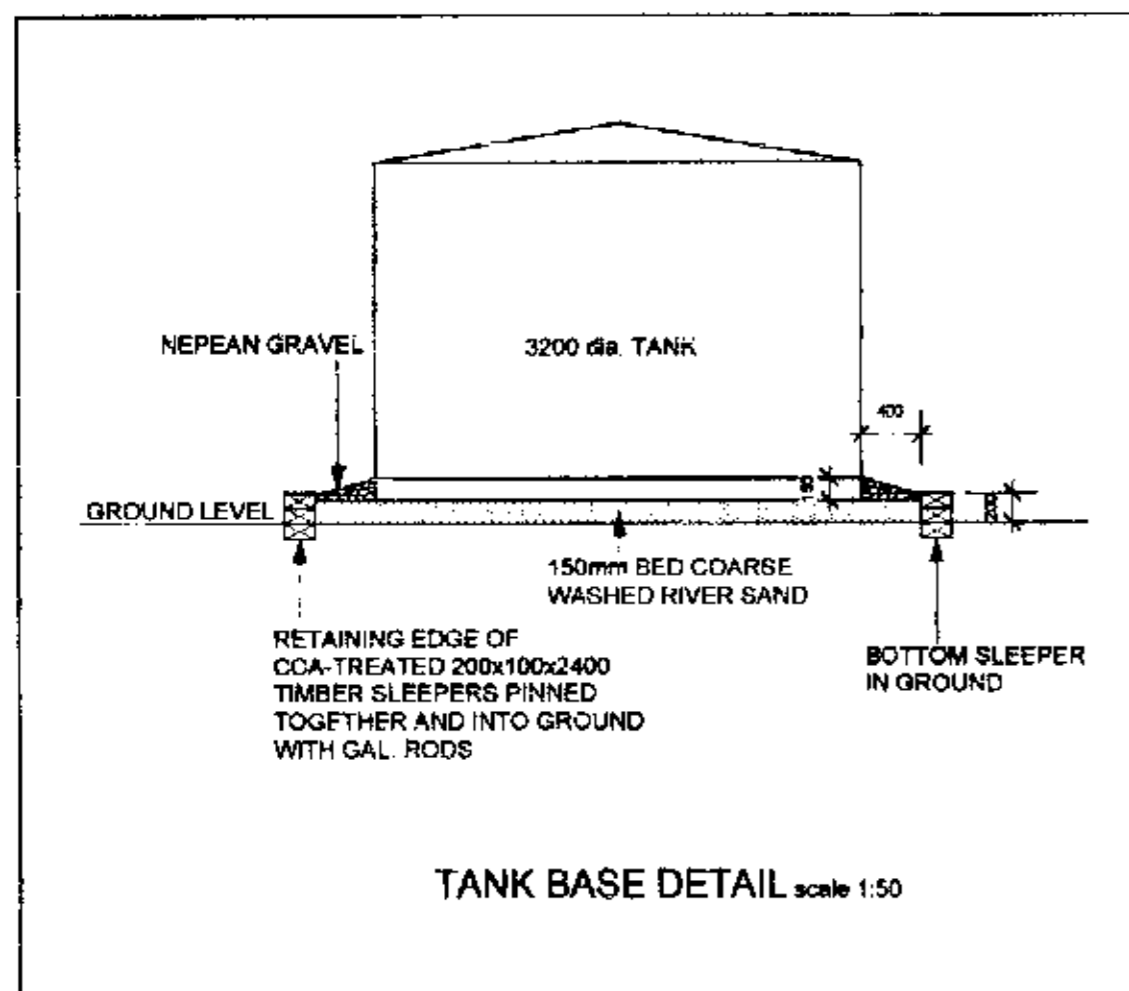
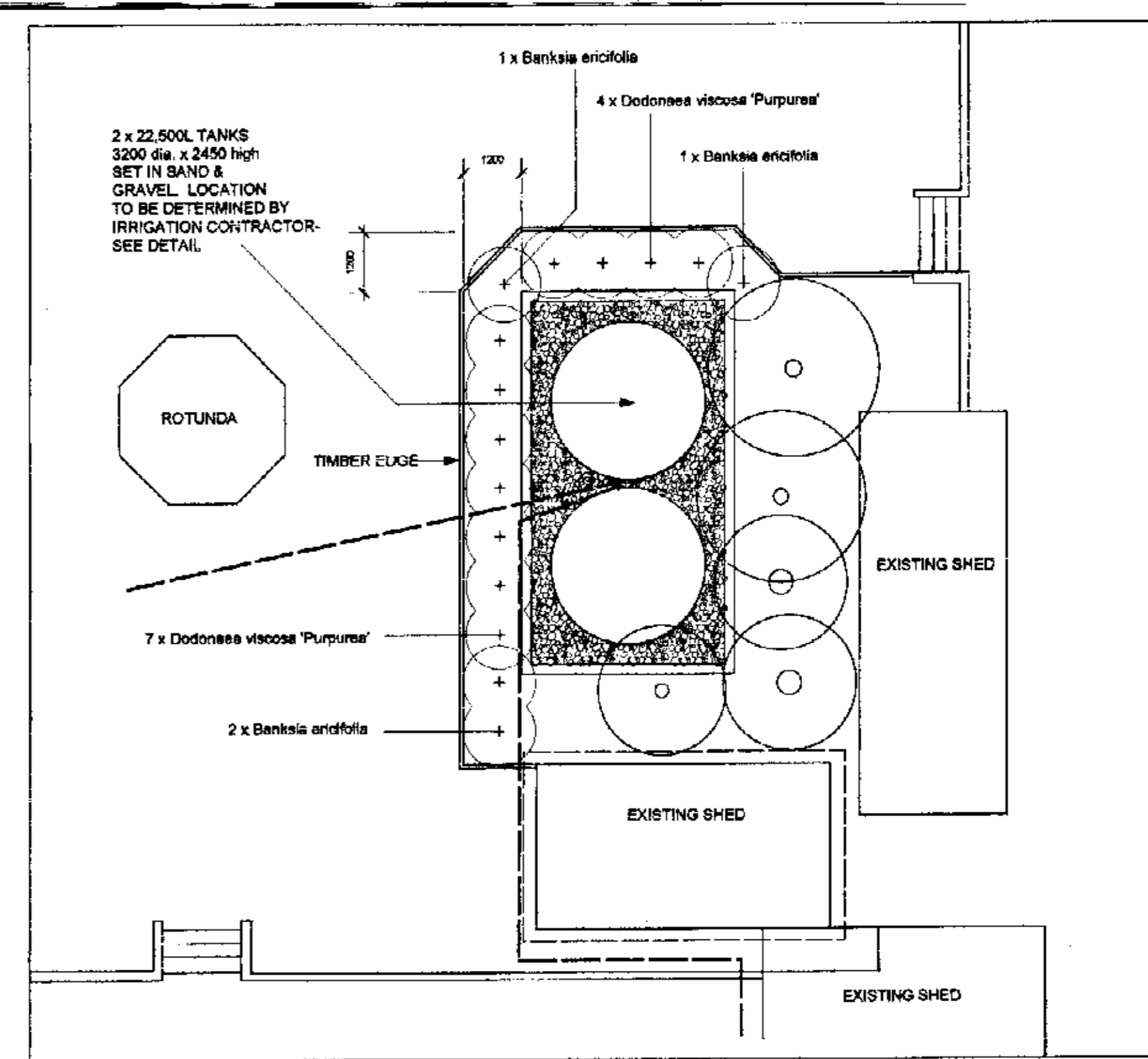
J.D EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 REVERIA AVE. AVALON BEACH 2107
 Phone (02) 9918 9206 Fax (02) 9973 2454
 Mobile 046 976 596

PROJECT
PROPOSED GREY WATER RECYCLING
NEWPORT BOWLING CLUB
BARRENJOEY ROAD, NEWPORT 2106
 CLIENT
NEWPORT BOWLING CLUB

| | | | |
|-----------|------------------|---------|-------|
| DATE | JUNE 2004 | SCALE | 1:100 |
| DRAWN | JOE | CHECKED | |
| ISSUE NO. | 705 - 02A | | |



SITE PLAN scale 1:500



TANK BASE DETAIL scale 1:50

PLAN OR DOCUMENT CERTIFICATION
 I am a qualified Landscape Designer.
 I hold the following qualifications:
 Diploma of Horticulture or Environmental Planning
 Horticulture Certificate, Landscape Design Pract Certificate
 I am a member of the Australian Institute of Landscape Designers and Managers and the Australian Institute of Horticulture.
 Further I am separately qualified to certify the completion of the project.
 I hereby state that these plans comply with the conditions of development consent, the provisions of the Planning Code of Australia and all relevant Australian and State legislation.
 Chris Miller
 Name Date Signature

103825
 26 SEP 2006

SPECIFICATION

- SITE WORKS**
 Planted areas are to be treated by environmentally acceptable methods such as using a non-residual glyphosate herbicide in any of its registered formulations, at the recommended maximum rate before installation of soils or commencement of any planting operations. Mass planted areas is to be cultivated to 150mm depth to loosen compacted ground. Remove building rubble and stones greater than 25mm diameter, clods of earth exceeding 50 mm, and any weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation.
- SOIL**
 Incorporate composted manure as supplied by Australian Native Landscapes Pty Ltd or equivalent into site soil in the ratio of 1:4 and spread soil mix to a depth of 75mm over mass planted areas where garden bed widths and existing plants permit. Soil shall be installed so as to finish 50mm below garden edges. Avoid differential subsidence and produce a finished topsoil surface which is smooth and free from stones or lumps of soil.
- MULCH**
 Mulch to all gardens shall be leaf litter equivalent to that supplied by Australian Native Landscapes Pty Ltd. Mulches to evenly applied to garden beds to a depth of 75mm. Mulch shall not be composted and shall be free from foreign bodies and propagules of exotic weed species. Mulch shall be installed to finish 25mm below level of edges.
- PLANT MATERIAL**
 Supply and install nominated plants in 300mm pot size. Shall all be well grown for pot size, disease free and true to type supplied by an approved grower. No substitutions shall be made without the approval of the landscape designer. Excavate a hole to twice the diameter of the root ball and at least 100 mm deeper than the root ball. Break up the base of the hole to a further depth of 100 mm, and loosen compacted sides of the hole to prevent confinement of root growth. Backfill with soil mix as before specified and ensure that top of root ball is level with soil level.
- GARDEN EDGE**
 Supply and install 100 x 75 CCA-treated timber edges and secure with 50x50x450 hardwood pegs to form garden retaining edges. Supply and install retaining edge around tanks as detailed.

| | | |
|---|-----------------|--|
| Author | Date | Assessment |
| Impact planners pty ltd 20 HAWTHORNE PARADE HAWTHORNE QLD NSW 2045 phone: (0418) 265 953 facsimile: (02) 9579 4936 email: ian@impactplanners.com.au | | |
| Drawn | CM | The Contractor is to check all dimensions from the actual work. |
| Date | 10/06/06 | Authority is required for any reproduction. |
| Checked | | This Drawing is subject to copyright. |
| Printed | | This drawing is based on architecture drawings by 3D Evans & Co. Pty Ltd. (p. 004 705-01 & 705-02) |
| Date | | |
| File Name | 313 | |
| Project | | |
| Proposed Grey Water Recycling- Newport Bowling Club | | |
| for Newport Bowling Club Barrenjoey Road, Newport | | |
| Sheet Name | | |
| Landscape plan | | |
| Scale | 1:100/ as shown | Sheet A2 |
| Drawing Number | 313-L1 | Revision Number |



Pittwater Council
 PO Box 882
 Mona Vale NSW 1660
 Tel: (612) 9970 1111
 Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document
- Complete pages 1, 2 & 3
- Sign on page 8
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate.

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2006.

| Value of Development | Total Fee (including GST) | |
|-------------------------|---|----------------------------|
| | Domestic (class 1 & 10) (Code: HIND) | Commercial (Code: HINC) |
| \$0 - \$5,000 | \$92.00 | \$161.00 |
| \$5,001 - \$100,000 | \$235.00 | \$305.00 |
| \$100,001 - \$250,000 | \$376.00 | \$430.00 |
| \$250,001 and over | \$484.00 | |
| \$250,001 - \$500,000 | | \$590.00 |
| \$500,001 - \$1,000,000 | | \$740.00 |
| \$1,000,001 and over | | Fee on application |

- Critical Stage Inspection fees (refer to Part 6e of this form) maybe paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

OFFICE USE ONLY

| | | | |
|------------------|-------------|--------------|--------------|
| Date of receipt: | Receipt No: | Amount Paid: | Accepted by: |
|------------------|-------------|--------------|--------------|

1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

| | |
|--|--|
| Development Application No: NO710/04 | Determination Date: 7 APRIL 2005 |
|--|--|

1b) CONSTRUCTION CERTIFICATE

| | |
|--|--|
| Construction Certificate No: CC0382/05 | Date of Issue: 26 SEPTEMBER 2005 |
|--|--|

1c) DEVELOPMENT DETAILS

| | |
|--|-----------------------------------|
| Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision | Brief description of development: |
|--|-----------------------------------|

1d) SITE DETAILS

| | | |
|---------------------------|------------------------|-----------------------------|
| Unit/Suite: | Street No: 6 | Street: PALM ROAD |
| Suburb: NEWPORT | Lot No: | Deposit /Strata Plan: |

1e) VALUE OF PROPOSED DEVELOPMENT

| |
|---|
| Estimated value of proposed works: \$ |
|---|

1f) DATE WORK IS TO COMMENCE

| |
|--|
| Minimum notice of two (2) days is required to be given prior to commencement of works. |
| Date of commencement: |

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

| | |
|--|---|
| Name (owner): | |
| Postal Address: | Phone (H/B): Mobile: Email: Fax: |

3. **PRINCIPAL CERTIFYING AUTHORITY**

| | |
|----------------------------------|---------------------------------|
| PITTWATER COUNCIL | |
| PO Box 882 Mona Vale NSW 1660 | Ph: 9970 1111 Fax: 9970 7150 |

4. **COMPLIANCE WITH DEVELOPMENT CONSENT**

Have all conditions to be addressed prior to the commencement of works been satisfied?

YES NO (see Note below)

Note: If NO work must not commence.
Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.
If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. **WHO WILL BE DOING THE BUILDING WORKS?**

| |
|---|
| <input type="checkbox"/> Owner Builder Owner Builders Permit No: |
| Copy of Owner Builders permit attached: <input type="checkbox"/> YES |
| <i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i> |

OR

| | |
|---|--|
| <input type="checkbox"/> Licensed Builder Builder's License Number | |
| Name of Builder: | Phone: |
| Contact person: | Mobile: |
| Address: | Fax: |
| Insurance Company: | Insurance Certificate attached: <input type="checkbox"/> Yes <input type="checkbox"/> No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000. |
| <i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.</i> | |

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

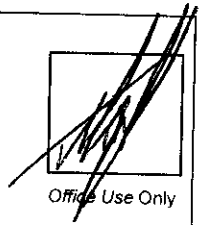
6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- Footing Inspection (prior to placement of concrete)
- Slab and other Steel Inspection (prior to placement of concrete)
- Frame Inspection (prior to fixing floor, wall & ceiling linings)
- Wet Area Waterproofing Inspection (prior to covering)
- Stormwater Inspection (prior to backfilling of trenches)
- Swimming Pool Safety Fence Inspection (prior to placement of water)
- Final Inspection (all works completed and prior to occupation of the building)



Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2006

(Code: HINR)

| Value of Development | Fee per Inspection |
|----------------------|--------------------|
| \$0 - \$100,000 | \$150 |
| \$100,001 and over | \$250 |

Final Inspection Fee Scale current to 30 June 2006

(Code:FOCC)

| Type of Development | Interim Occupation Certificate | Final Occupation Certificate |
|--|--------------------------------|------------------------------|
| Domestic (Class 1 and 10 buildings) | \$270 | \$270 |
| Commercial (Class 2 – 9 buildings) | \$325 | \$325 |

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

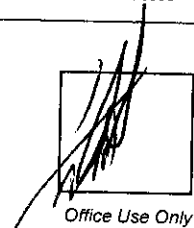
7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- Timber framing details including bracing and tie-downs
- Roof construction or roof truss details
- Termite control measures
- Glazing details
- Mechanical ventilation details
- Wet area construction details
- Details of fire resisting construction
- Details of essential fire and other safety measures
- Sound transmission and insulation details
- Details of compliance with development consent conditions


Office Use Only

7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

- Office Use Only*
- Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
 - Shoring and support for adjoining premises and structures by a structural engineer
 - Contiguous piers or piling by a structural engineer
 - Underpinning works by a structural engineer
 - Structural engineering works by a structural engineer
 - Retaining walls by a structural engineer
 - Stormwater drainage works by a hydraulic engineer and surveyor
 - Landscaping works by the landscaper
 - Condition of trees by an Arborist
 - Mechanical ventilation by a mechanical engineer
 - Termite control and protection by a licensed pest controller
 - Waterproofing of wet areas by a licensed waterproofer or licensed builder
 - Installation of glazing by a licensed builder
 - Installation of smoke alarm systems by a licensed electrician
 - Completion of construction requirements in a bush fire prone area by a competent person
 - Completion of requirements listed in the BASIX Certificate by a competent person
 - Fire resisting construction systems by a competent person
 - Smoke hazard management systems by a competent person
 - Essential fire safety and other safety measures by a competent person (Form 15a)
 - Completion of Bushland Management requirements by a suitably qualified person.
 - Installation of Waste Water Management System by a suitably qualified person
 - Installation of the inclined lift by a suitably qualified person
 - Installation of sound attenuation measures by an acoustic engineer
- Office Use Only*

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Office Use Only

7g) Occupation Certificate:

A *Final Occupation Certificate* must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim Occupation Certificate*, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim or Final Occupation Certificate* must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. **COUNCIL'S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

| | |
|---|---|
| Purpose of collection: | To enable Council to act as the Principal Certifying Authority for the development. |
| Intended recipients: | Pittwater Council staff |
| Supply: | The information is required by legislation |
| Consequence of Non-provision: | Your application may not be accepted, not processed or rejected for lack of information |
| Storage: | Pittwater Council will store details of this form in a register that can be viewed by the public. |
| Retention period: | Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely. |
| Please contact Council if this information you have provided is incorrect or changes. | |