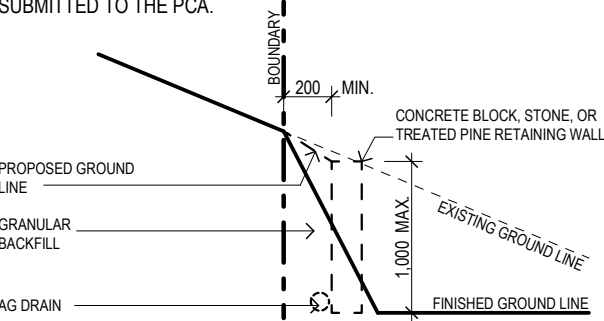
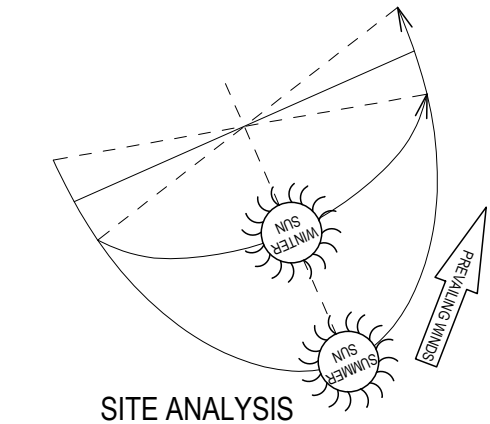


**RETAINING WALL - BY OWNER**  
**NOTE:** DESIGN AND CONSTRUCTION OF RETAINING WALLS BY OWNER PRIOR TO OCCUPATION CERTIFICATE.  
RETAINING WALLS OVER 1m H WILL BE REQUIRED TO BE DESIGNED BY A STRUCTURAL ENGINEER AND DETAILS WILL BE REQUIRED TO BE SUBMITTED TO THE PCA.



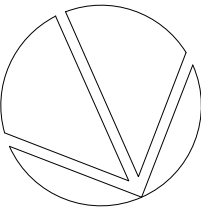
## RETAINING WALL DETAIL

SCALE 1:50



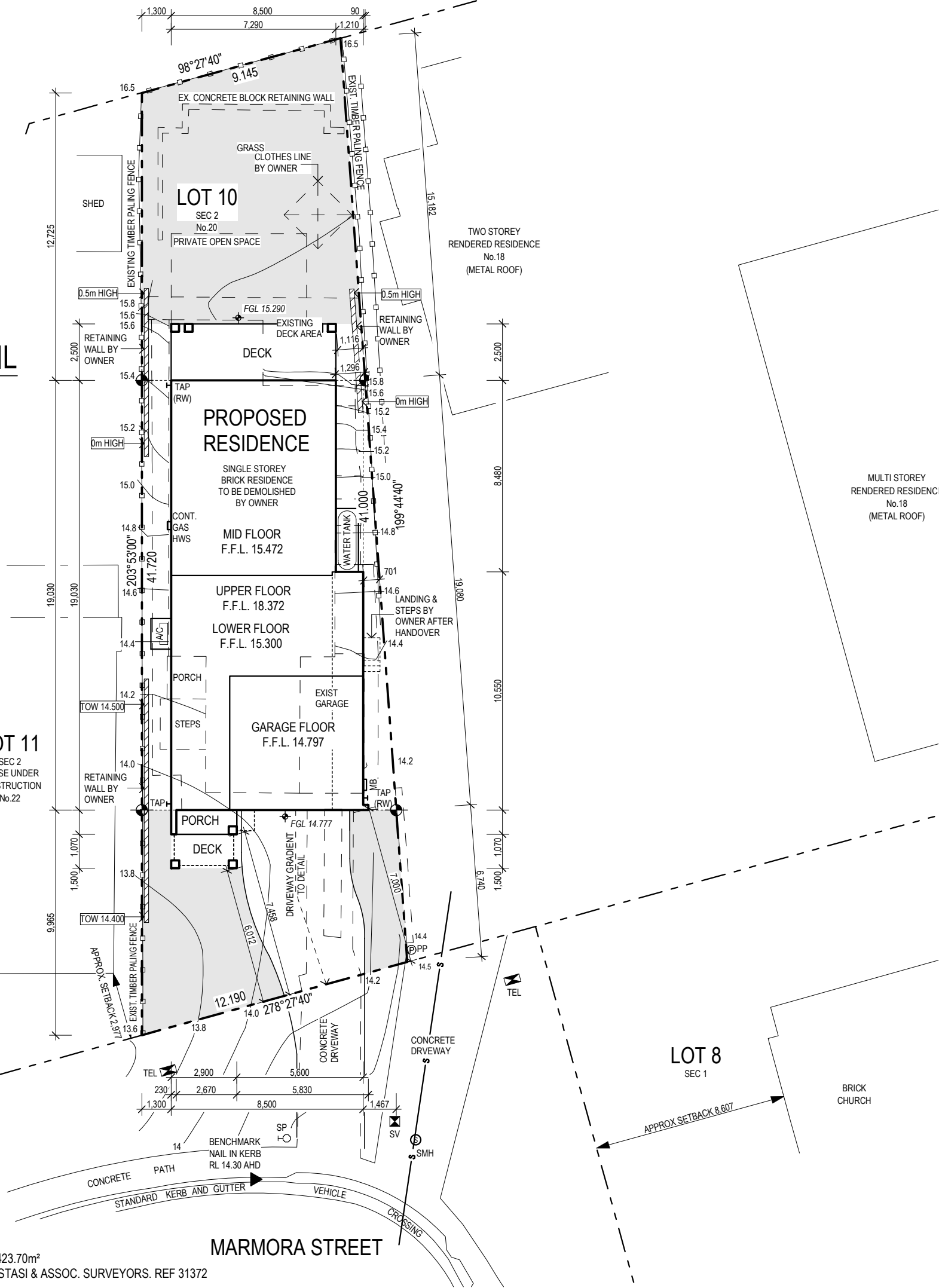
## SITE ANALYSIS

LOT 11  
SEC 2  
HOUSE UNDER CONSTRUCTION  
No.22



## SITE PLAN

SCALE 1:200 LOT 10 DP 10321 AREA 423.70m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 31372



**NOTE: DEMOLITION BY OWNER**  
THE OWNER IS RESPONSIBLE FOR DEMOLITION OF EXISTING HOUSE, INCLUDING REMOVAL OF ALL BUILDING DEBRIS & DISCONNECTION OF SERVICES (IE. POWER, WATER, SEWER, STORMWATER & GAS)

**NOTE: FINISHED GROUND & FLOOR LEVELS**  
FINISHED GROUND & FLOOR LEVELS INDICATIVE TO A TOLERANCE OF  $\pm 100\text{mm}$ , THEREFORE EXTENT OF CUT / FILL BATTERS IS TO BE DETERMINED ON SITE IN CONJUNCTION WITH VOLUME / DENSITY OF SOIL MATERIALS.

**NOTE: SURPLUS SOIL**  
ANY SURPLUS SOILS FROM FOOTING TRENCHES, PIER HOLES AND/OR SERVICE TRENCHES ARE TO BE **REMOVED FROM SITE** DUE TO SITE LIMITATIONS

<

**MONTGOMERY HOMES**  
BUILDING ON EVERY LEVEL

Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au

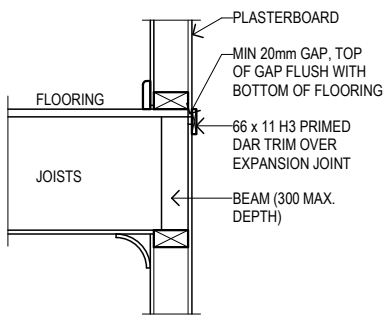
Client Name:  
**ALFONSO, P & K**

Job Address:  
**PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER**

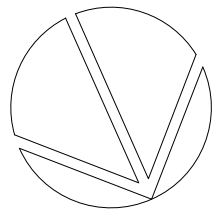
Design: the COOLUM - 266 - Executive 2022

Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023
Job No: 3392	Tender No: 22	Drg No: A1 of 9
		Revision: 2

DO NOT SCALE DRAWING

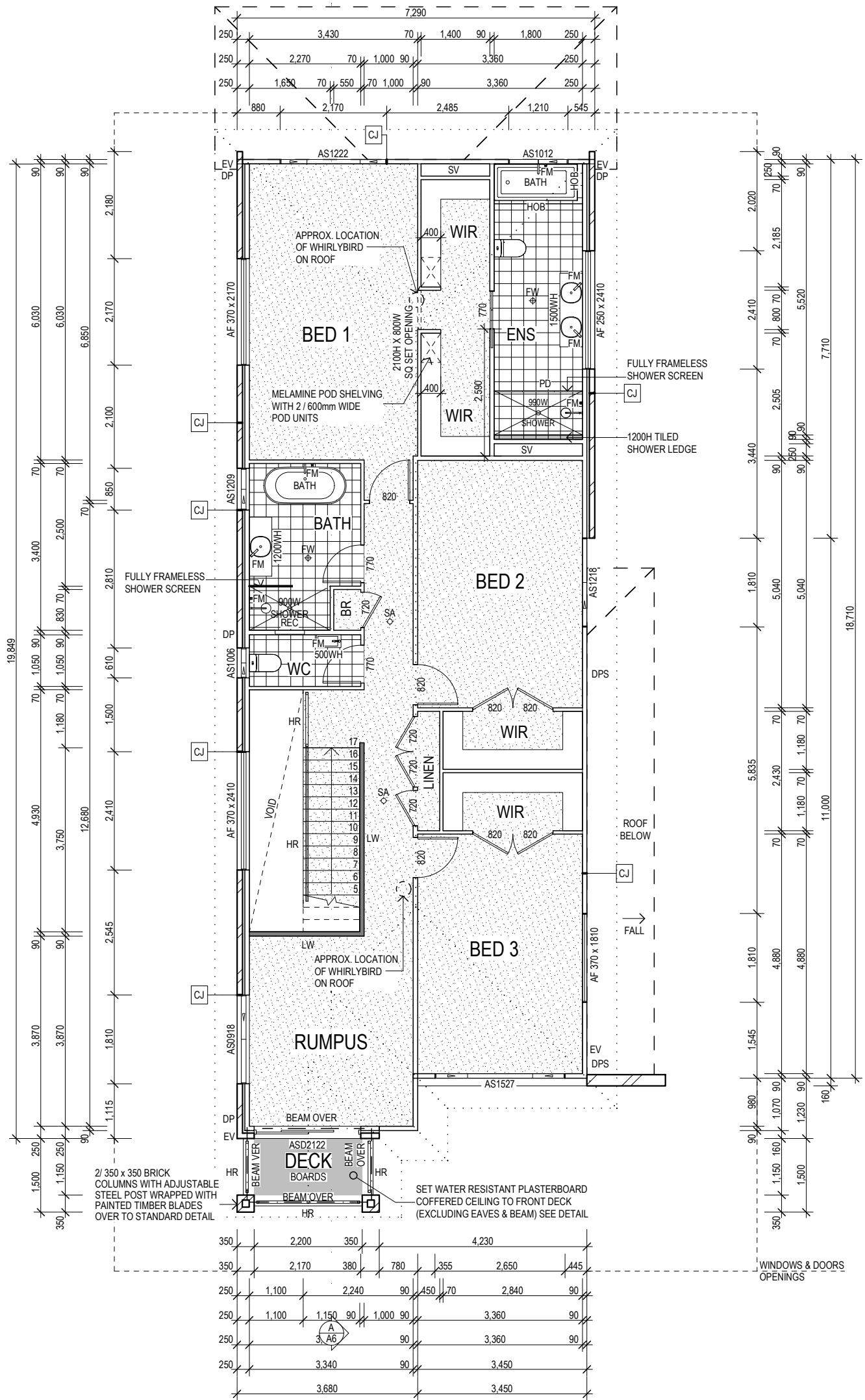


WALL EXPANSION  
JOINT DETAIL  
SCALE 1:20



## UPPER FLOOR PLAN

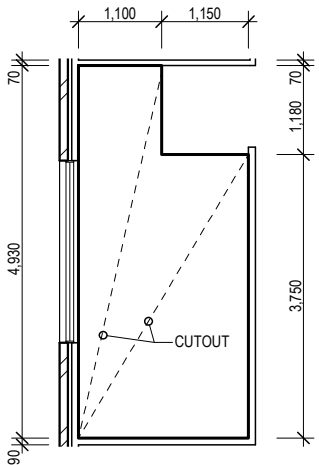
SCALE 1:100



**6.0**  
NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME  
**50.7**  
MJ/m<sup>2</sup>  
www.nathers.gov.au

**0008316119 16 Dec 2022**  
Assessor Gavin Chambers  
Accreditation No. DMN/13/1491  
Address  
20 Marmora Street  
Freshwater, NSW, 2096  
hstar.com.au

- NOTE:**  
- TERMITE RESISTANT T2 FRAMING AND TRUSSES.  
- H2 TERMITE TREATED SHEET FLOORING (IF APPLICABLE)
- NOTE:**  
SQUARE SET CEILING / WALL JUNCTION TO LOWER FLOOR, BATHROOM & ENSUITE ONLY.
- NOTE:**  
R2.0 ACOUSTIC INSULATION BATTS TO BED 4 INTERNAL WALLS ONLY & BETWEEN LOWER & UPPER FLOORS.
- NOTE:**  
MELAMINE SHELVING TO REMAINING BED ROBES, WIL / LINEN & BROOM CUPBOARDS.
- NOTE:**  
92mm FINISH SKIRTING BOARDS THROUGHOUT ENTIRE HOUSE.



UPPER FLOOR  
STAIR VOID CUTOUT

COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

### FLOOR / FOUNDATION PLAN LEGEND

MARK	DESCRIPTION	MARK	DESCRIPTION
<b>GENERAL</b>		<b>GENERAL</b>	
A/C	AIR-CONDITIONING UNIT	SV	SERVICE VOID
BB	BREAKFAST BAR	UBO	UNDER BENCH OVEN
CJ	CONTROL JOINT	VFS	VENTILATED FRIDGE SPACE
CU	CONTROL UNIT	WH	WALL-HUNG
C/O	CUTOUT	WM	WASHING MACHINE
DW	DISHWASHER	WO	WALL OVEN
DP	DOWNPIPE	<b>WINDOWS &amp; DOORS</b>	
DPS	DOWNPIPE WITH SPREADER	AA	AWNING WINDOW
D.E.B.	DROPPED EDGE BEAM	ABF	BI-FOLD DOORS
EV	EAVE VENT	AD	DOUBLE HUNG WINDOW
FM	FLICKMIXER	AF	FIXED WINDOW
FCO	FOOT-CUT OUTLET	AK	SERVERY SLIDING WINDOW
FSO	FREE STANDING OVEN	ALV	LOUVRE WINDOW
FW	FLOOR WASTE	AS	SLIDING WINDOW
HR	HANDRAIL	ASD	SLIDING DOOR
HWS	HOT WATER SYSTEM	ASSD	STACKING SLIDING DOOR
LP	LOAD POINT	OBS	OBSCURE GLASS
LW	LOW WALL	SAL	SASH LOCK
MB	METER BOX	VEL	VENT LOCK
MRD	MANUAL ROLLER DOOR	<b>ROOM NAMES</b>	
MW	MICROWAVE CUPBOARD	BR	BROOM CUPBOARD
OBS	OBSCURE GLASS	ENS	ENSUITE
PLD	PANEL LIFT DOOR	LDRY	LAUNDRY
PD	PIVOT DOOR (SHOWER)	PAN	PANTRY
RD	ROLLER DOOR	POW	POWDER ROOM
REC	SQUARE SET RECESS	WC	WATER CLOSET
REF	REFRIGERATOR	WIL	WALK IN LINEN
RLW	RAKING LOW WALL	WIP	WALK IN PANTRY
SA	SMOKE ALARM (LOCATIONS TO BE DETERMINED ON SITE)	WIR	WALK IN ROBE
SL	SLIDING DOOR (SHOWER)		
SS	SPACE SAVER (SHOWER)		

EX	EXCAVATION LINE
	DENOTES 250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL)
	SHOWS EXTENT OF WET AREA FLOOR TILES
	SHOWS EXTENT OF FLOOR TILES
	SHOWS EXTENT OF FLOATING FLOOR
	SHOWS EXTENT OF T & G FLOORING

2	ISSUE TO BASIX & ENGINEER	14/12/2022
1	ISSUE TO SALES	10/11/2022
Issue:	Description:	Date:

**MONTGOMERY HOMES**  
BUILDING ON EVERY LEVEL

Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au

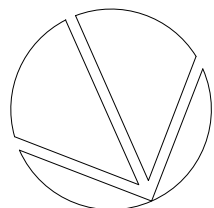
Client Name:  
**ALFONSO, P & K**

Job Address:  
**PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER**

Design: the COOLUM - 266 - Executive 2022

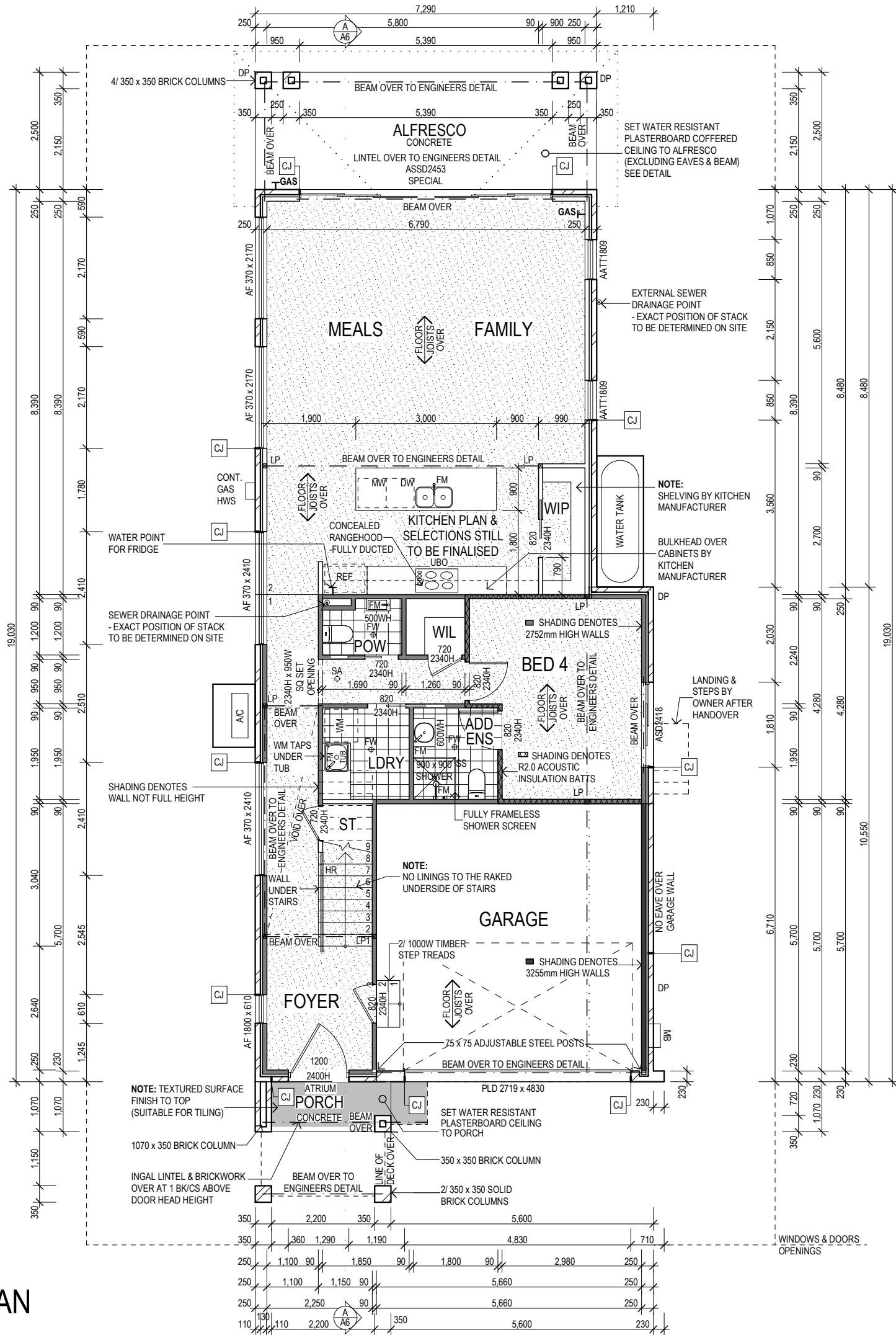
Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023	
Job No: 3392	Tender No: 22	Drp No: A2 of 9	Revision: 2

DO NOT SCALE DRAWING



# LOWER FLOOR PLAN

SCALE 1:100



0008316119 16 Dec 2022

Assessor Gavin Chambers  
Accreditation No. DMN/13/1491  
Address  
20 Marmora Street  
Freshwater, NSW, 2096

hstar.com.au

COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

### FLOOR / FOUNDATION PLAN LEGEND

MARK	DESCRIPTION	MARK	DESCRIPTION
<b>GENERAL</b>		<b>GENERAL</b>	
A/C	AIR-CONDITIONING UNIT	SV	SERVICE VOID
BB	BREAKFAST BAR	UBO	UNDER BENCH OVEN
CJ	CONTROL JOINT	VFS	VENTILATED FRIDGE SPACE
CU	CONTROL UNIT	WH	WALL-HUNG
C/O	CUTOUT	WM	WASHING MACHINE
DW	DISHWASHER	WO	WALL OVEN
DP	DOWNPIPE	<b>WINDOWS &amp; DOORS</b>	
DPS	DOWNPIPE WITH SPREADER	AA	AWNING WINDOW
D.E.B.	DROPPED EDGE BEAM	ABF	BI-FOLD DOORS
EV	EAVE VENT	AD	DOUBLE HUNG WINDOW
FM	FLICKMIXER	AF	FIXED WINDOW
FCO	FOOT-CUT OUTLET	AK	SERVERY SLIDING WINDOW
FSO	FREE STANDING OVEN	ALV	LOUVRE WINDOW
FW	FLOOR WASTE	AS	SLIDING WINDOW
HR	HANDRAIL	ASD	SLIDING DOOR
HWS	HOT WATER SYSTEM	ASSD	STACKING SLIDING DOOR
LP	LOAD POINT	OBS	OBSCURE GLASS
LW	LOW WALL	SAL	SASH LOCK
MB	METER BOX	VEL	VENT LOCK
MRD	MANUAL ROLLER DOOR	<b>ROOM NAMES</b>	
MW	MICROWAVE CUPBOARD	BR	BROOM CUPBOARD
OBS	OBSCURE GLASS	ENS	ENSUITE
PLD	PANEL LIFT DOOR	LDRY	LAUNDRY
PD	PIVOT DOOR (SHOWER)	PAN	PANTRY
RD	ROLLER DOOR	POW	POWDER ROOM
REC	SQUARE SET RECESS	WC	WATER CLOSET
REF	REFRIGERATOR	WIL	WALK IN LINEN
RLW	RAKING LOW WALL	WIP	WALK IN PANTRY
SA	SMOKE ALARM (LOCATIONS TO BE DETERMINED ON SITE)	WIR	WALK IN ROBE
SL	SLIDING DOOR (SHOWER)		
SS	SPACE SAVER (SHOWER)		

EX	EXCAVATION LINE	
	DENOTES 250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL)	
	SHOWS EXTENT OF WET AREA FLOOR TILES	
	SHOWS EXTENT OF FLOOR TILES	
	SHOWS EXTENT OF FLOATING FLOOR	
	SHOWS EXTENT OF T & G FLOORING	

2	ISSUE TO BASIX & ENGINEER	14/12/2022
1	ISSUE TO SALES	10/11/2022
Issue:	Description:	Date:

**MONTGOMERY HOMES**  
BUILDING ON EVERY LEVEL

Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au

Client Name:  
**ALFONSO, P & K**

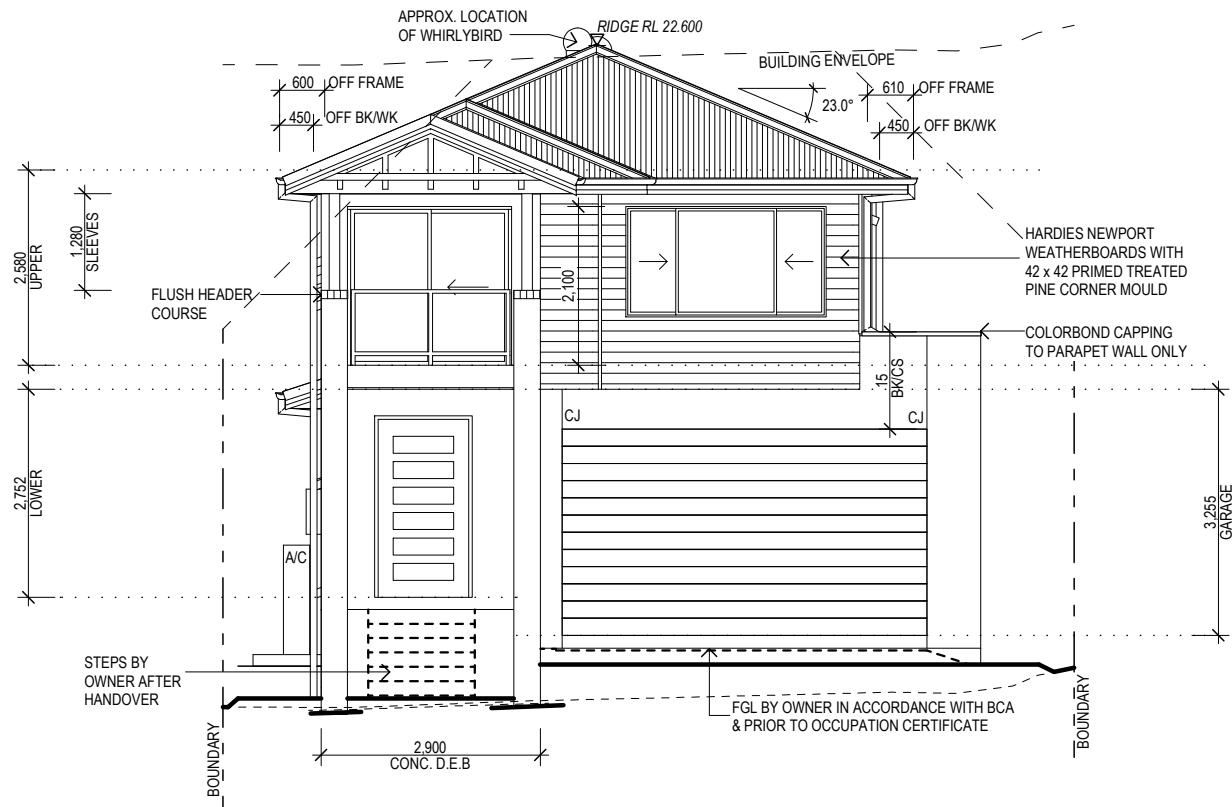
Job Address:  
**PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER**

Design: the COOLUM - 266 - Executive 2022

Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023	
Job No: 3392	Tender No: 22	Drp No: A3 of 9	Revision: 2

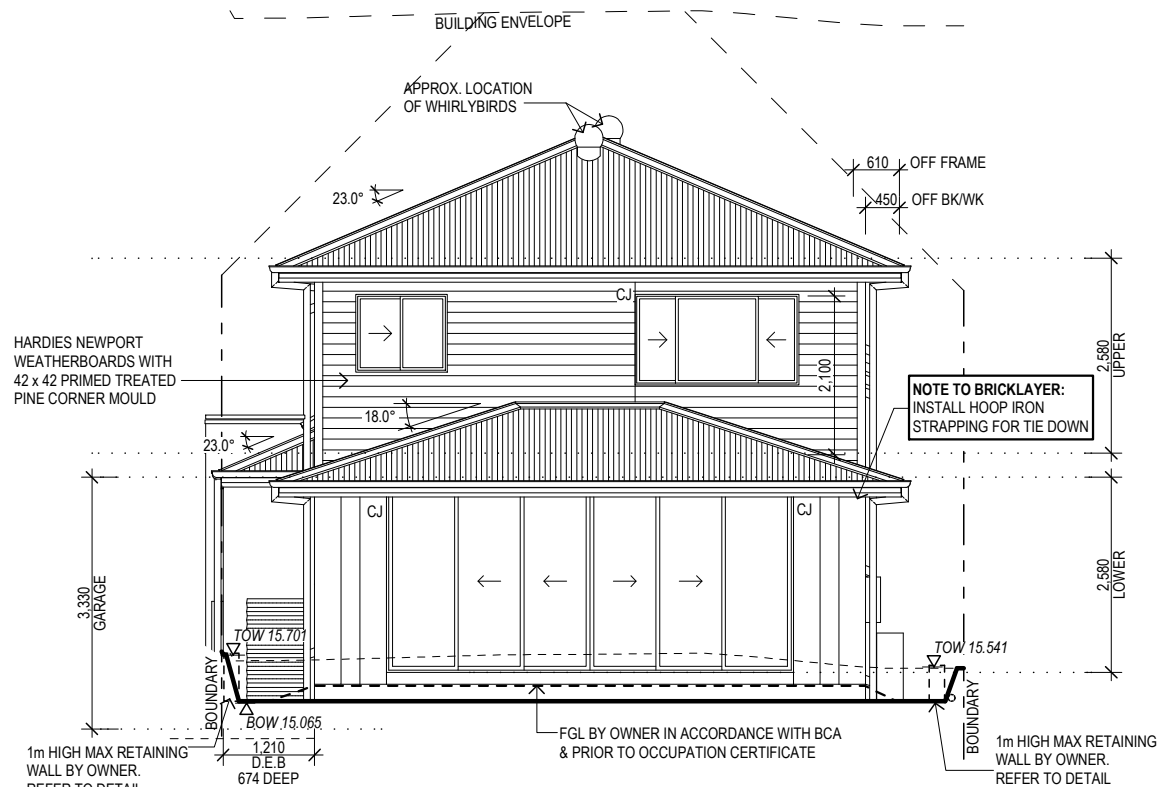
DO NOT SCALE DRAWING





## NORTH-WEST ELEVATION

SCALE 1:100



## SOUTH-EAST ELEVATION

SCALE 1:100



COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

### ELEVATION / SECTION LEGEND

MARK	DESCRIPTION
<b>GENERAL</b>	
A/C	AIR-CONDITIONING UNIT
C	COMMUNICATIONS BOX
CJ	CONTROL JOINT
CU	CONTROL UNIT
D.E.B.	DROPPED EDGE BEAM
E	EARTHSTAKE
FC	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

### LEVEL OF EXTERNAL FINISH

#### EXTERNAL WALLS

(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

- FACE BRICKWORK
- MOROKA BAG & PAINT
- RENDER

#### PLEASE NOTE:

SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

#### ROOF CLADDING

- TILES
- COLORBOND

December 2022	BSA Reference: 19229
Building Sustainability Assessments	Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au	www.buildingsustainability.net.au

**Important Note**  
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.  
In NSW both BASIX & the BCA variations must be complied with, in particular the following:  
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1  
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)  
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)  
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

Thermal Performance Specifications (does not apply to garage)				
<b>External Wall Construction</b>		Added Insulation		
Brick Veneer & Lightweight		R2.0		
<b>Internal Wall Construction</b>		Added Insulation		
Plasterboard on studs		R2.0 to walls adjacent to garage & as noted on plans		
<b>Ceiling Construction</b>		Added Insulation		
Plasterboard		R3.5 to ceilings adjacent to roof space		
<b>Roof Construction</b>		Colour (Solar Absorptance)	Added Insulation	
Metal		Medium SA 0.50	Foil	
<b>Floor Construction</b>		Covering (if not noted default values used)	Added Insulation	
Concrete (175mm waffle pod)		As drawn	None	
Timber		As drawn	As noted on plans	
<b>Windows</b>		Glass and frame type	U value	SHGC Range
ALM-001-01 A		Aluminium Type A Single clear	6.70	0.51 - 0.63
ALM-002-01 A		Aluminium Type B Single clear	6.70	0.63 - 0.77

Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors  
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres

Skylights	Glass and frame type	U	SHGC	Area sq m	Detail
-----------	----------------------	---	------	-----------	--------

U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified

#### Shade elements

(eaves, verandahs, awnings etc)

All shade elements modelled as drawn

#### Ceiling Penetrations

(downlights, exhaust fans, flues etc)

Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA

Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.

#### Additional Notes

Nil

Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au

Client Name:

ALFONSO, P & K

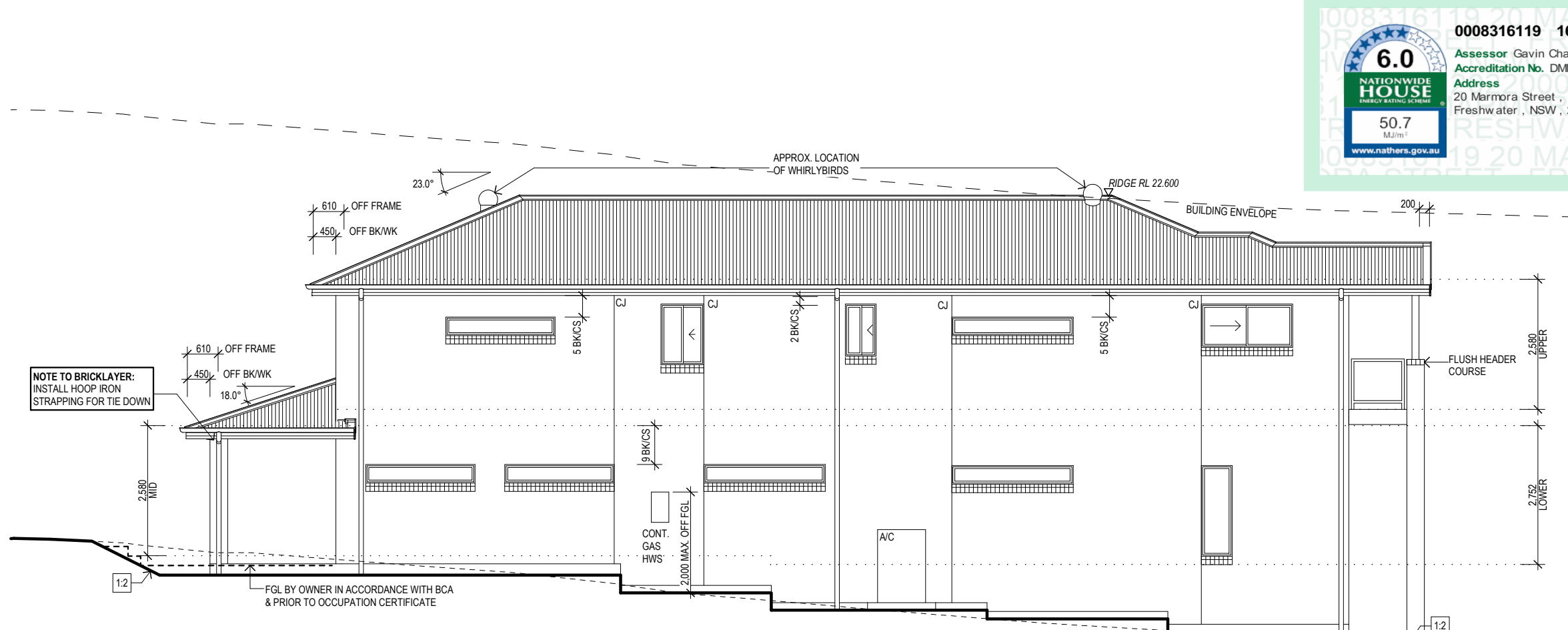
Job Address:

PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER

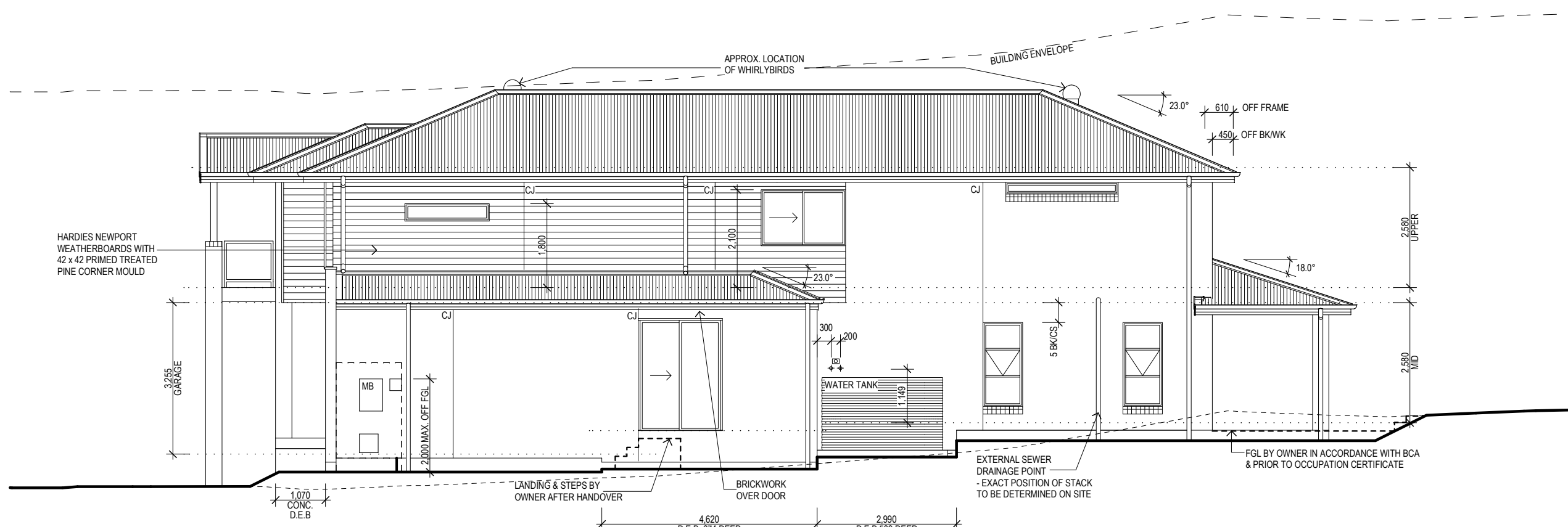
Design: the COOLUM - 266 - Executive 2022

Drawn:	Sale:	Plot Date:
B.M.	AR	14/02/2023
Job No:	Tender No:	Drp No:
3392	22	A4 of 9
		Revision:
		2

DO NOT SCALE DRAWING

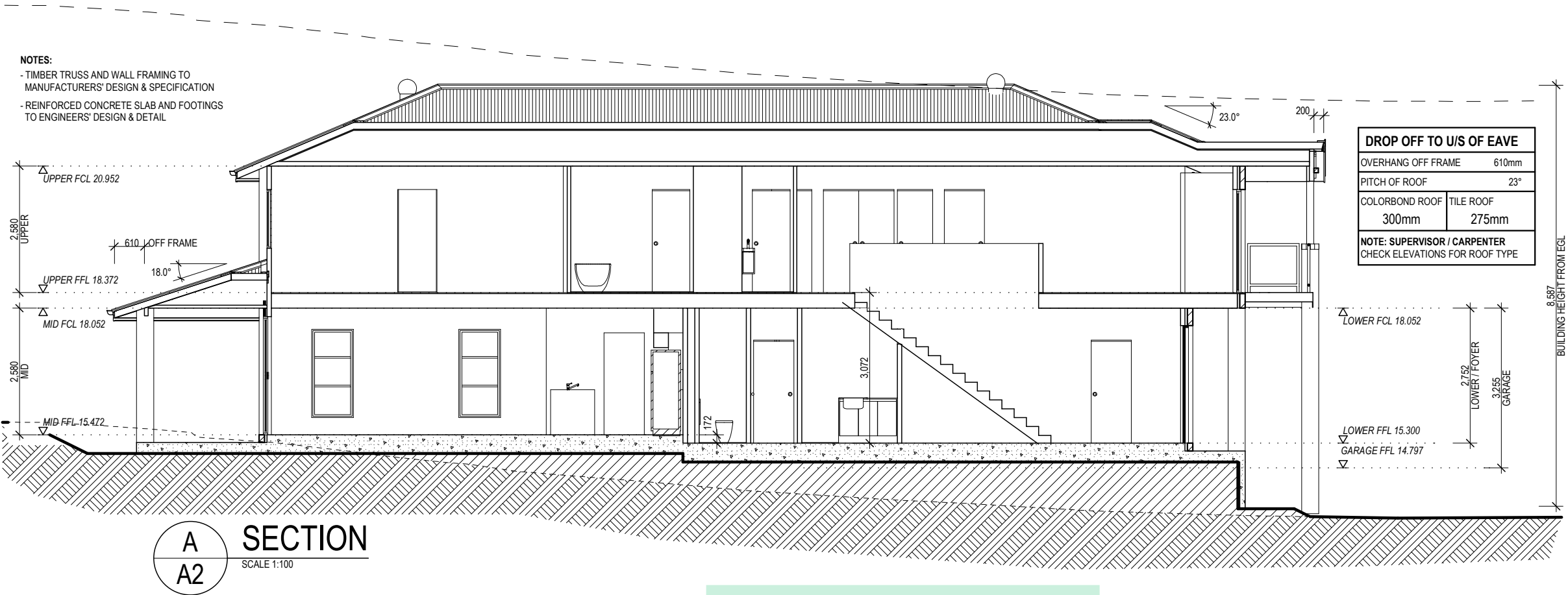


SCALE 1:100

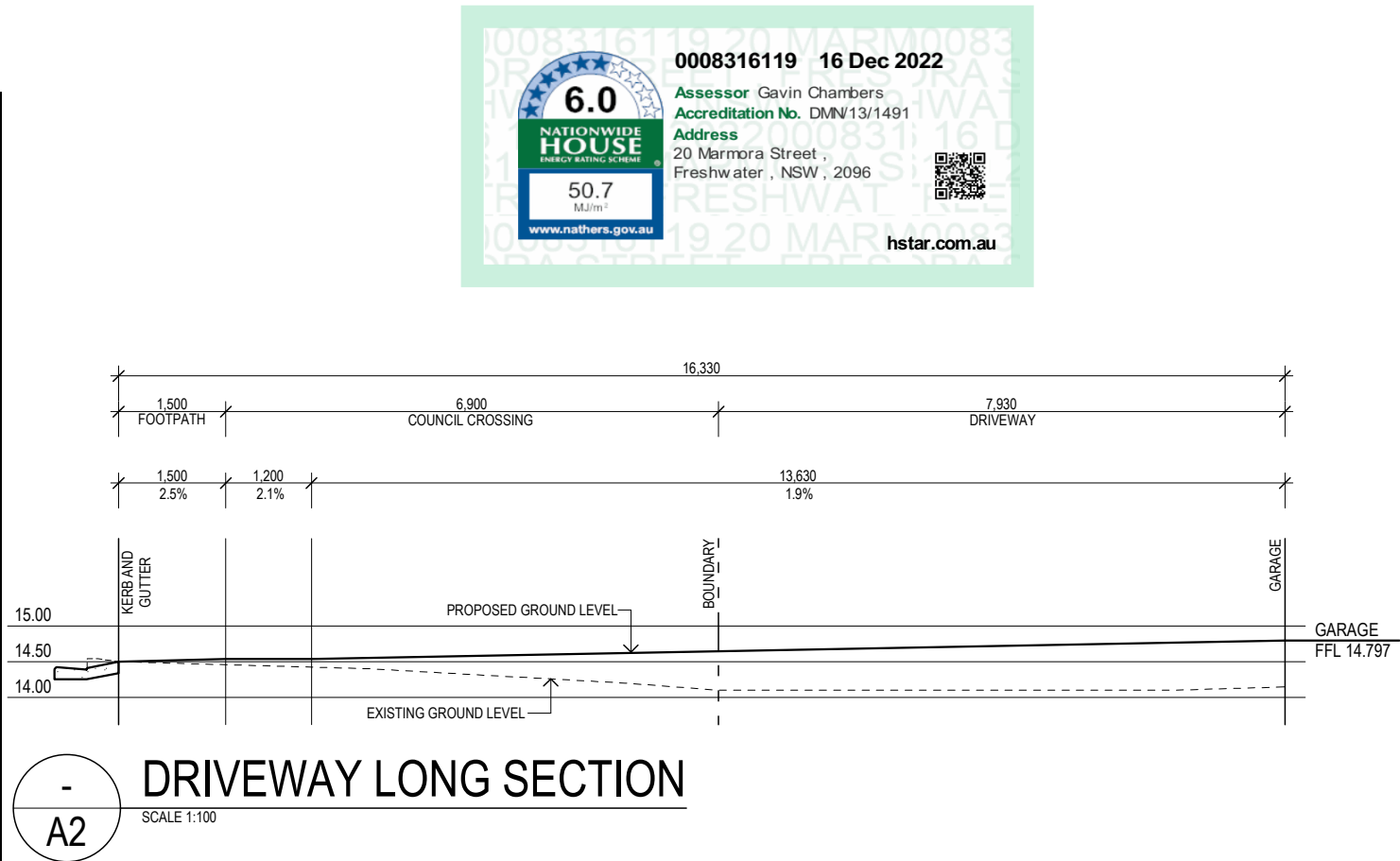


SCALE 1:100

Client Name: _____			
ALFONSO, P & K			
Job Address: _____			
PROPOSED RESIDENCE			
Lot 10, No.20 Marmora Street			
FRESHWATER			
Design: the COOLUM - 266 - Executive 2022			
Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023	
Job No: 3392	Tender No: 22	Drg No: A5 of 9	Revision: 2
DO NOT SCALE DRAWING			



Lot 10 20 Marmora Street Freshwater				
SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the current BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au				
WATER COMMITMENTS				
Fixtures				
3 star ( > 7.5 but <= 9 L/min) Shower Heads			Yes	
3 Star Kitchen & Basin taps		Yes	3 Star Toilet	
Alternative Water				
Minimum Tank Size (L)		3000	Collected from Roof Area (m <sup>2</sup> )	
			90	
Tank Connected to:				
All Toilets		Yes	Laundry W/M Cold Tap	
One outdoor tap		Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water		Gas instantaneous		
Cooling System	Living	1 Phase A/C Zoned		EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned		EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Zoned		EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned		EER 3.0 - 3.5
Ventilation	1 x Bathroom	Individual fan, ducted to façade or roof		Manual switch on/off
	Kitchen	Individual fan, ducted to façade or roof		Manual switch on/off
	Laundry	Individual fan, ducted to façade or roof		Manual switch on/off
Natural Lighting	Window/Skylight in Kitchen			No
	Window/Skylight in Bathrooms/Toilets		Yes to	3
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms		4	Dedicated
	Number of Living/Dining rooms		3	Dedicated
	Kitchen		Yes	Dedicated
	All Bathrooms/toilets		Yes	Dedicated
	Laundry		Yes	Dedicated
	All Hallways		Yes	Dedicated
OTHER COMMITMENTS				
Outdoor clothes line		Yes	Ventilated refrigerator space	
Stove/Oven		Gas cooktop & electric oven		



COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

## ELEVATION / SECTION LEGEND

MARK	DESCRIPTION
<b>GENERAL</b>	
A/C	AIR-CONDITIONING UNIT
C	COMMUNICATIONS BOX
CJ	CONTROL JOINT
CU	CONTROL UNIT
D.E.B.	DROPPED EDGE BEAM
E	EARTHSTAKE
FC	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

## LEVEL OF EXTERNAL FINISH

**EXTERNAL WALLS**  
(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

- FACE BRICKWORK
- MOROKA BAG & PAINT
- RENDER

**PLEASE NOTE:**  
SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

## ROOF CLADDING

- TILES
- COLORBOND

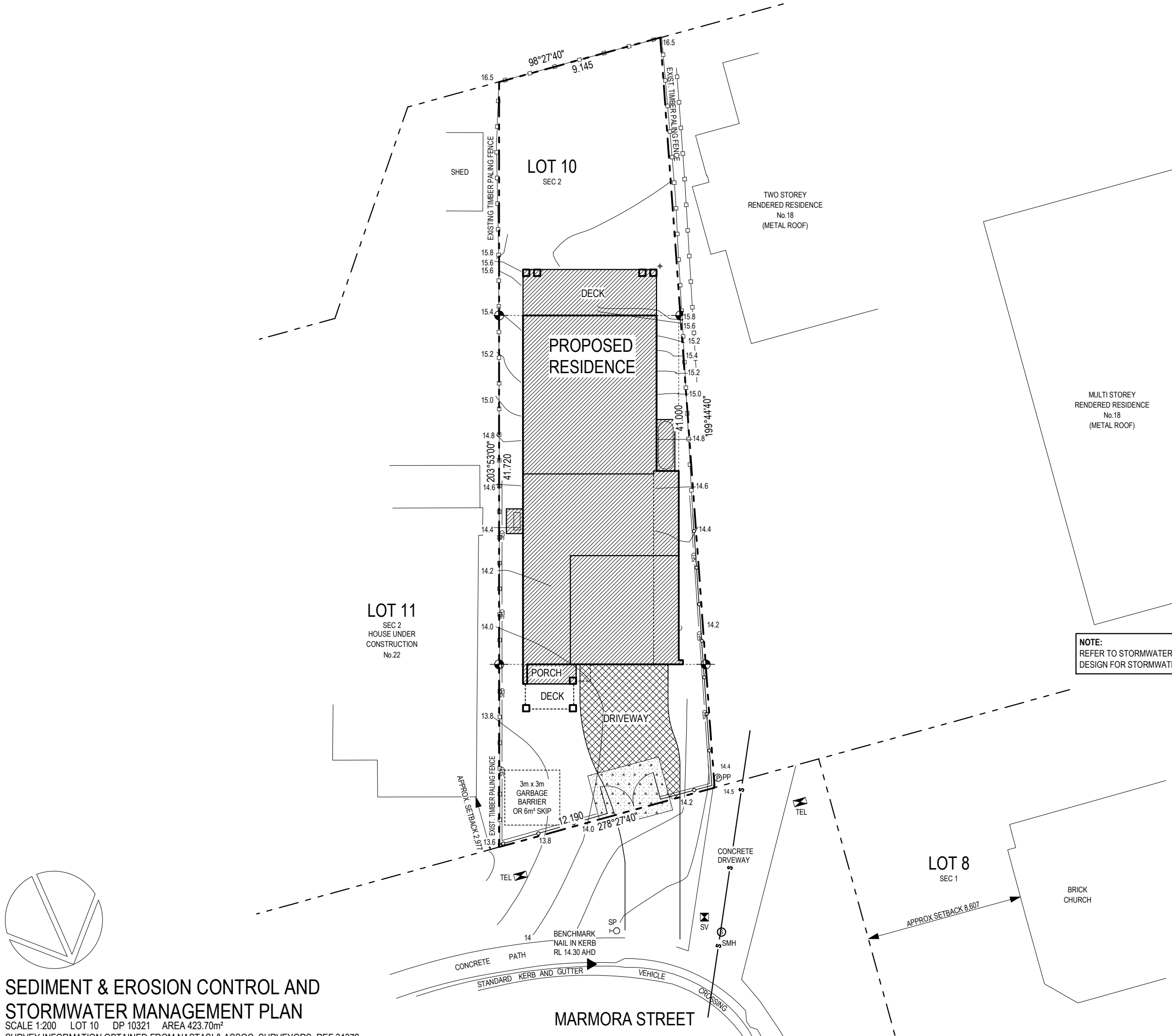
2	ISSUE TO BASIX & ENGINEER	14/12/2022
1	ISSUE TO SALES	10/11/2022
Issue:	Description:	Date:

**MONTGOMERY HOMES**  
BUILDING ON EVERY LEVEL

Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au



Client Name:			
ALFONSO, P & K			
Job Address:			
PROPOSED RESIDENCE Lot 10, No.20 Marmora Street FRESHWATER			
Design: the COOLUM - 266 - Executive 2022			
Drawn:	Sale:	Plot Date:	
B.M.	AR	14/02/2023	
Job No:	Tender No:	Drg No:	Revision:
3392	22	A6 of 9	2
DO NOT SCALE DRAWING			



COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

SEDIMENT & EROSION CONTROL LEGEND

	FOOTPRINT OF PROPOSED RESIDENCE
	DRIVEWAY
	SEDIMENT CONTROL FENCE
	STABILISED SITE ACCESS
	SECURITY FENCE & GATES
	SEWER
	EXISTING FENCE

NOTE: PROPOSED DRIVEWAY BY OWNER

SEDIMENT CONTROL NOTES

- ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PREVENTION OF DISCHARGE OF ANY POLLUTANTS FROM THE SITE.
- ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.
- ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEANED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITH DISTURBED AREAS ON SITE.
- IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING (BY OWNER) OR MULCHING. SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

2	ISSUE TO BASIX & ENGINEER	14/12/2022
1	ISSUE TO SALES	10/11/2022
Issue:	Description:	Date:



Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au



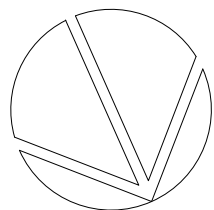
Client Name:  
**ALFONSO, P & K**

Job Address:  
**PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER**

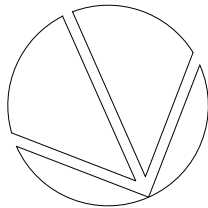
Design: the COOLUM - 266 - Executive 2022

Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023	
Job No: 3392	Tender No: 22	Drg No: A7 of 9	Revision: 2

DO NOT SCALE DRAWING

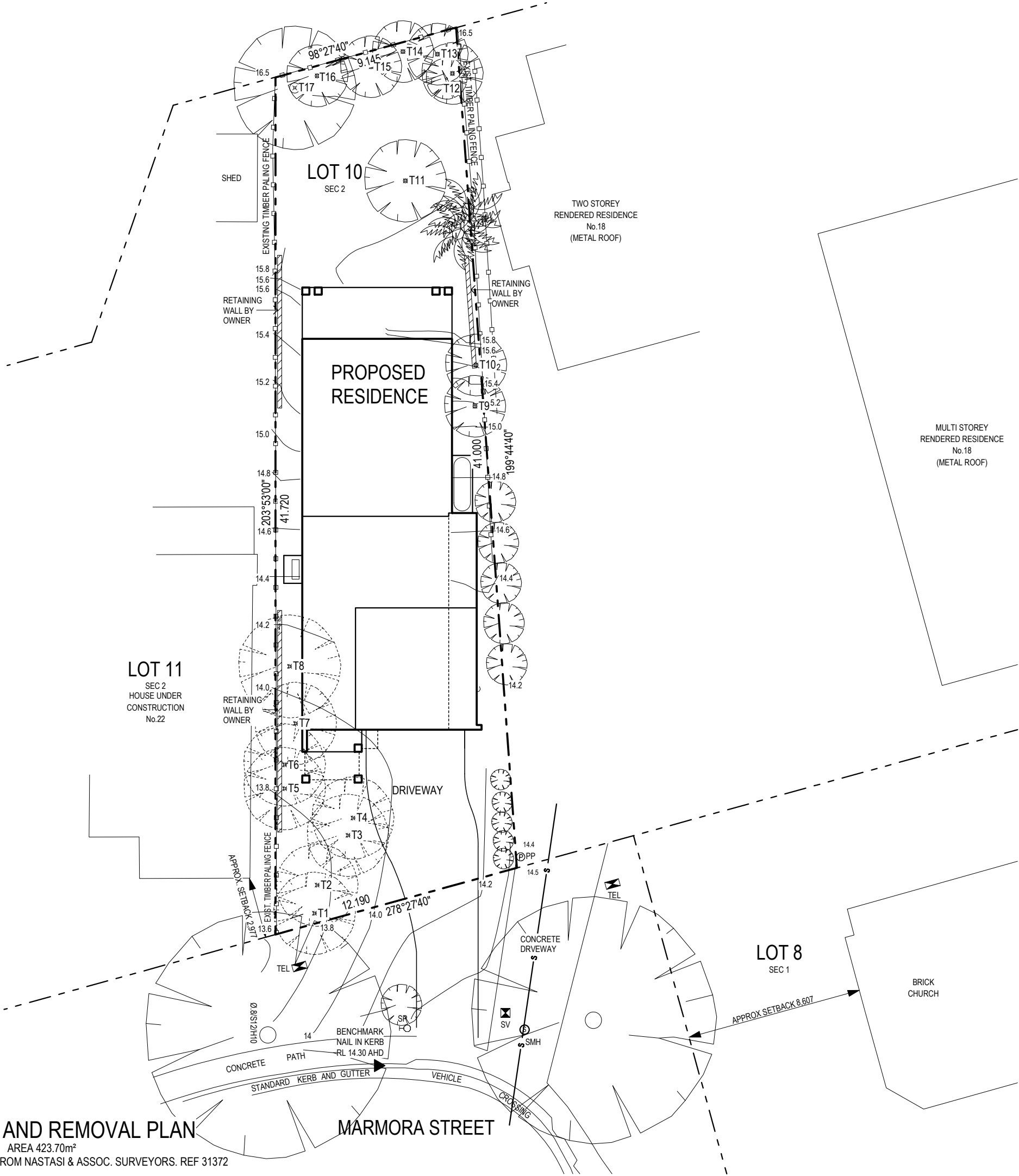


SEDIMENT & EROSION CONTROL AND  
STORMWATER MANAGEMENT PLAN  
SCALE 1:200 LOT 10 DP 10321 AREA 423.70m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 31372



TREE RETENTION AND REMOVAL PLAN

SCALE 1:200 LOT 10 DP 10321 AREA 423.70m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 31372



COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

TREE LEGEND

#	RET.	REM.	SPECIES	HEIGHT	DIAMETER
T1		X		6m	0.2m
T2		X		6m	0.2m
T3		X		6m	0.2m
T4		X		6m	0.2m
T5		X		6m	0.2m
T6		X		6m	0.2m
T7		X		6m	0.2m
T8		X		6m	0.2m
T9	X			6m	0.2m
T10	X			4m	0.2m
T11	X			8m	0.2m
T12	X			4m	0.2m
T13	X			4m	0.2m
T14	X			4m	0.2m
T15	X			4m	0.2m
T16	X			4m	0.2m
T17	X			10m	0.5m

←	OVERFLOW PIPE / STORMWATER LINE
	TREES TO BE REMOVED (BY SEPARATE APPLICATION)
	TREES TO REMAIN

2	ISSUE TO BASIX & ENGINEER	14/12/2022
1	ISSUE TO SALES	10/11/2022
Issue:	Description:	Date:



**MONTGOMERY  
HOMES**  
BUILDING ON EVERY LEVEL

Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441

 [montgomeryhomes.com.au](https://www.montgomeryhomes.com.au)

Client Name:  
**ALFONSO, P & K**

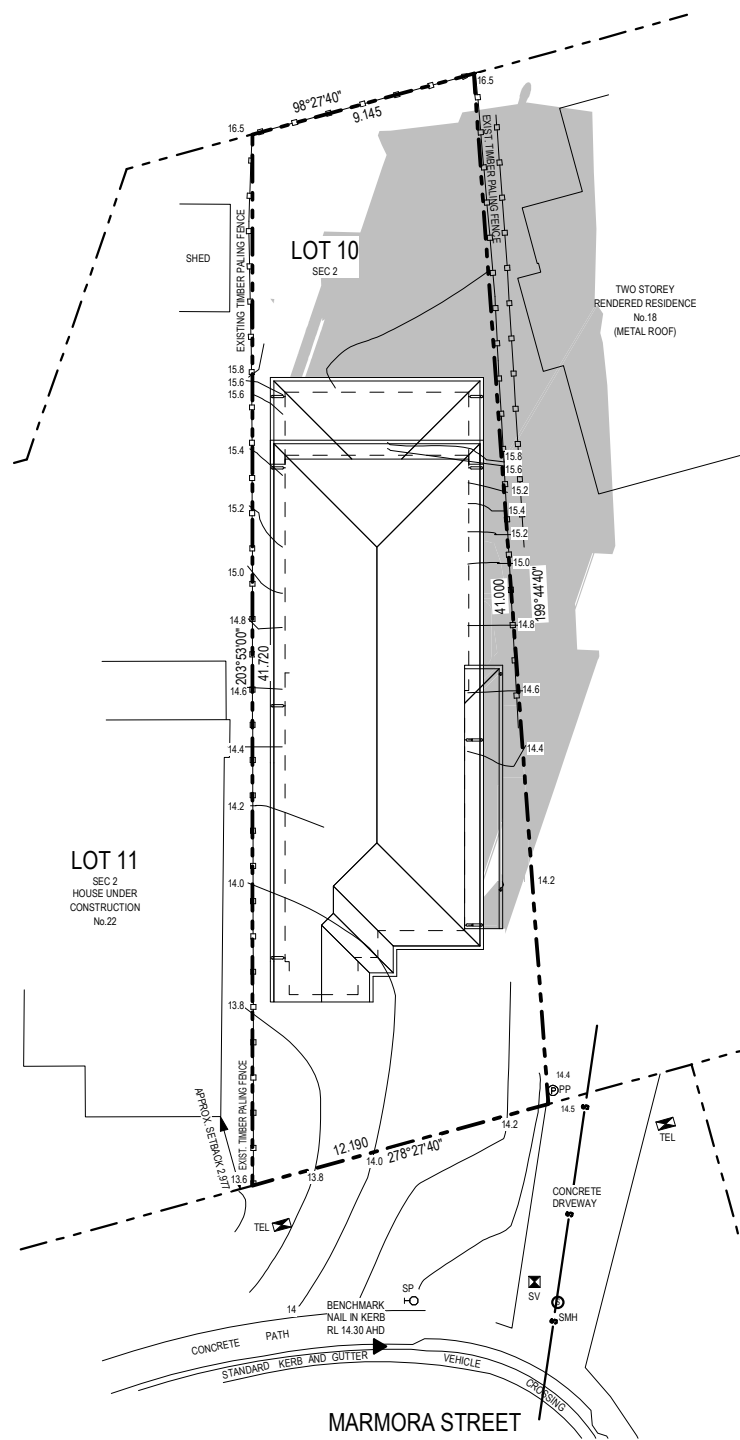
Job Address:  
**PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER**

Design: the COOLUM - 266 - Executive 2022

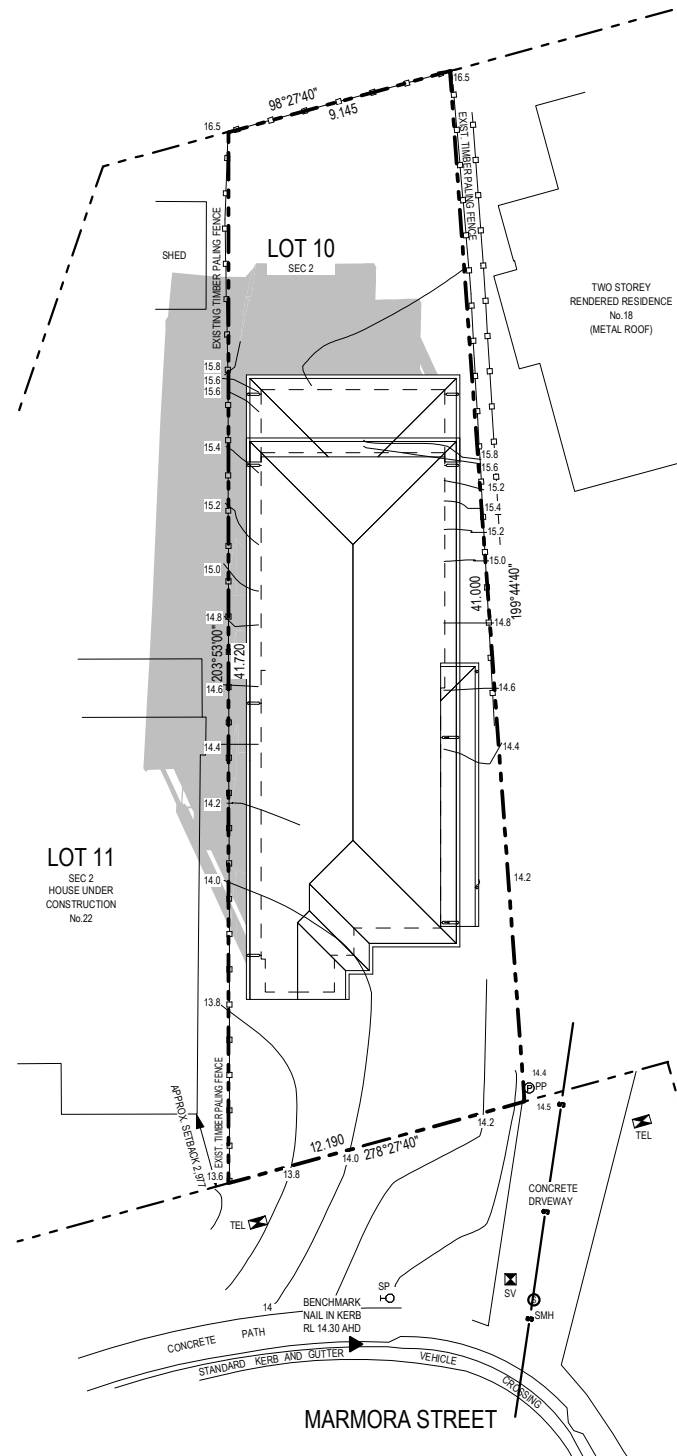
Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023	
Job No: 3392	Tender No: 22	Drp No: A8 of 9	Revision: 2

DO NOT SCALE DRAWING

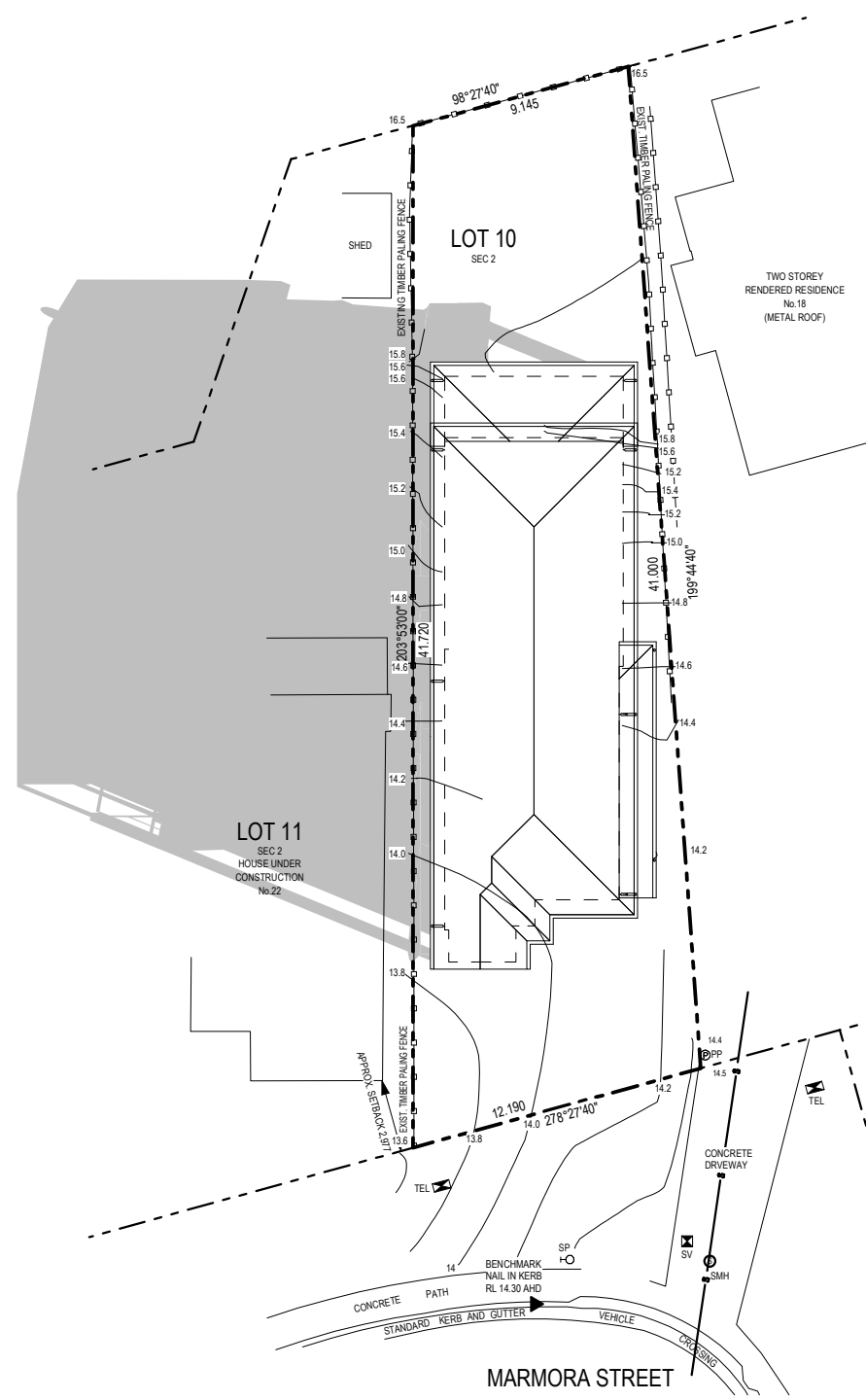




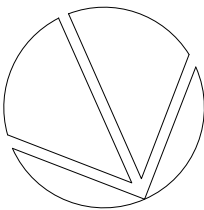
JUNE 21 - 9:00am



JUNE 21 - 12:00pm



JUNE 21 - 3:00pm



## SUN STUDY

SCALE 1:300 LOT 10 DP 10321 AREA 423.70m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 31372



Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441

montgomeryhomes.com.au

Client Name:  
**ALFONSO, P & K**

Job Address:  
**PROPOSED RESIDENCE  
Lot 10, No.20 Marmora Street  
FRESHWATER**

Design: the COOLUM - 266 - Executive 2022

Drawn: B.M.	Sale: AR	Plot Date: 14/02/2023	
Job No: 3392	Tender No: 22	Drp No: A9 of 9	Revision: 2

DO NOT SCALE DRAWING

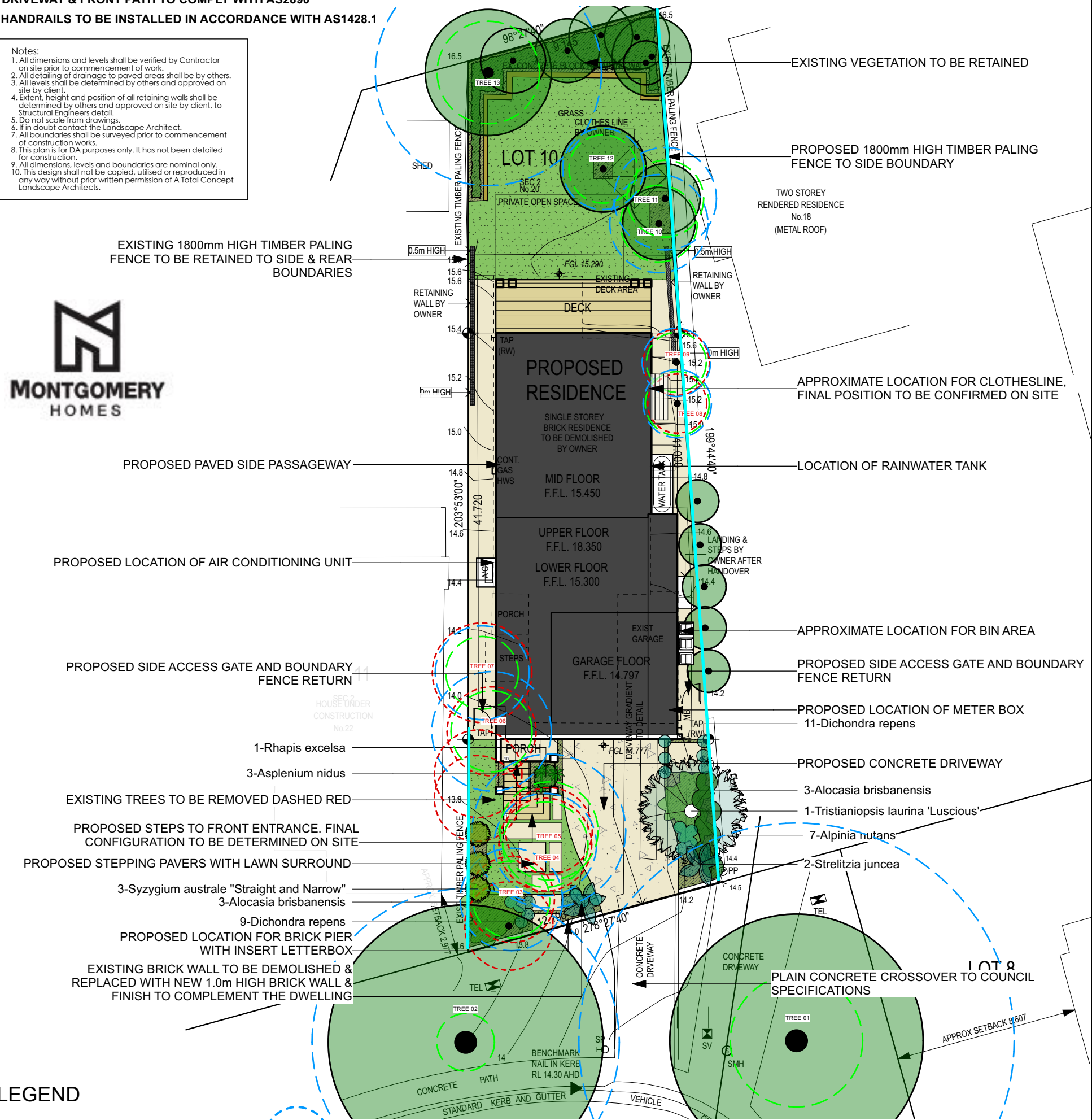
PLANTING SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Alocasia brisbanensis	Elephant Ears	6	200mm	2000	2000
Alpinia nutans	Dwarf Cardamom	7	150mm	1000	1200
Asplenium nidus	Birds Nest Fern	3	200mm	800	800
Dichondra repens	Kidney Weed	20	Tube	600	600
Rhapis excelsa	Lady Palm	1	250mm	1200	2000
Strelitzia juncea	Bird of Paradise	2	200mm	2000	1500
Syzygium australe "Straight and Narrow"	Lillypilly "Straight and Narrow"	3	45lt	1200	1600
Tristaniopsis laurina 'Luscious'	Water Gum	1	75lt	5000	8000

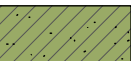








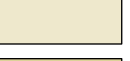
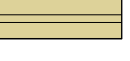

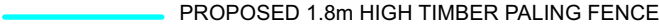


DRIVEWAY & FRONT PATH TO COMPLY WITH AS2890  
HANDRAILS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1

- Notes:
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
  2. All detailing of drainage to paved areas shall be by others.
  3. All levels shall be determined by others and approved on site by client.
  4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
  5. Do not scale from drawings.
  6. If in doubt contact the Landscape Architect.
  7. All boundaries shall be surveyed prior to commencement of construction works.
  8. This plan is for DA purposes only. It has not been detailed for construction.
  9. All dimensions, levels and boundaries are nominal only.
  10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

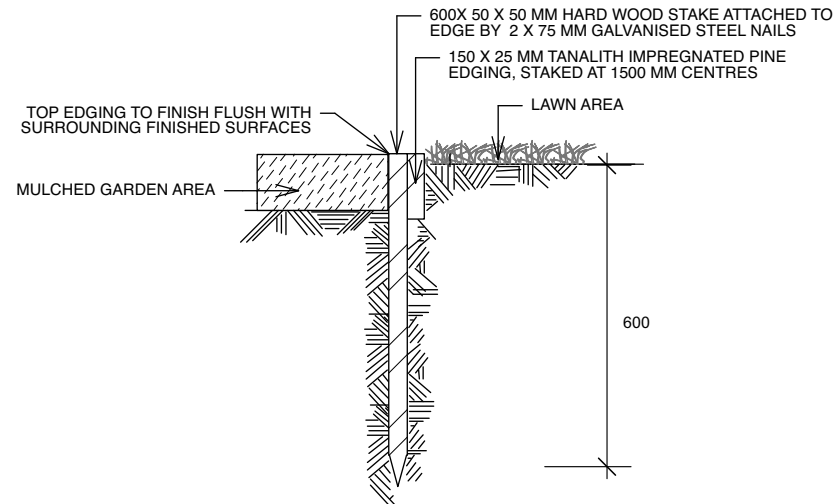


LEGEND

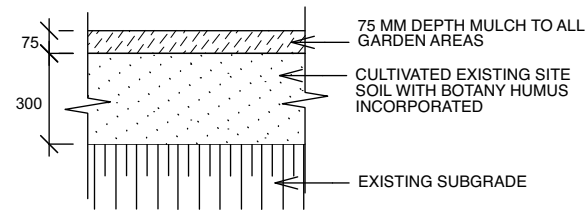
-  PROPOSED GARDEN AREA
-  PROPOSED COLOURED CONCRETE DRIVEWAY
-  PROPOSED PAVED AREA
-  LAWN AREA
-  PROPOSED RETAINING WALL
-  EXISTING RETAINING WALL
-  EXISTING TREE TO BE RETAINED
-  TREE PROTECTION ZONE
-  STRUCTURAL ROOT ZONE
-  PROPOSED PAVED AREA
-  PROPOSED TIMBER DECK AREA
-  EXISTING TREE TO BE RETAINED
-  PROPOSED 1.8m HIGH TIMBER PALING FENCE

NOTE: LANDSCAPE DOCUMENTS SHALL BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY ARBORLOGIX DATED JANUARY 2023

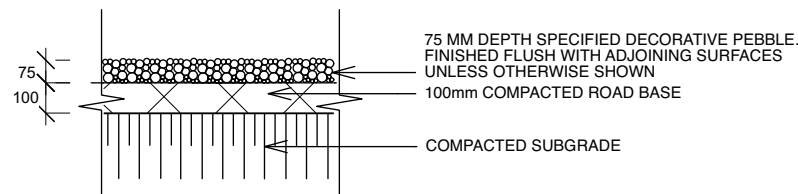
DATE	REVISION
DRAWING	
<b>PROPOSED LANDSCAPE PLAN</b>	
ADDRESS	LOT 10, NO.20 MARMORA STREET, FRESHWATER NSW 2096
CLIENT	PETER & KARIN ALFONSO
DATE #	04.12.20
SCALE @ A3	1:200
DRAWN	JC
CHKD	JC
REVISION	
PROJECT #	MONTGOMERY HOMES
DWG #	L/01
<b>A Total Concept Landscape Architects &amp; Swimming Pool Designers</b> 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922	
 a total concept landscape architects & swimming pool designers	



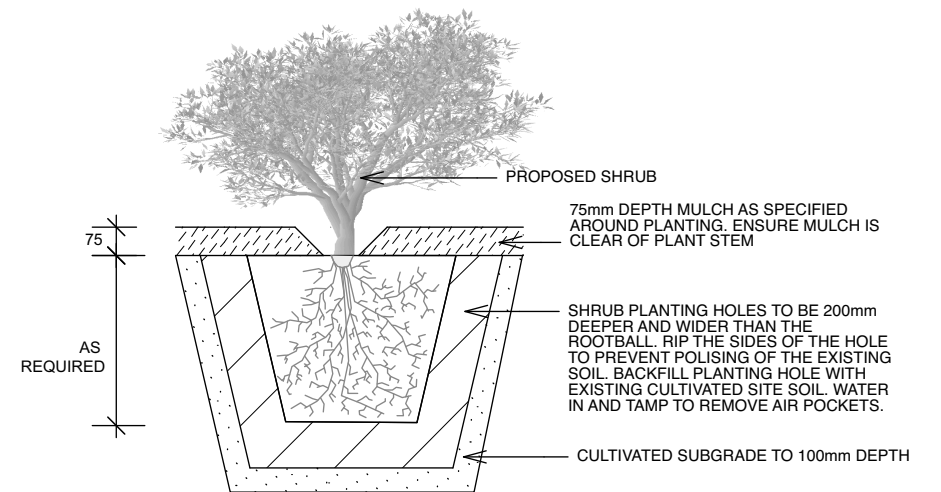
**TYPICAL TIMBER EDGE DETAIL**  
SCALE 1:10  
DO NOT SCALE



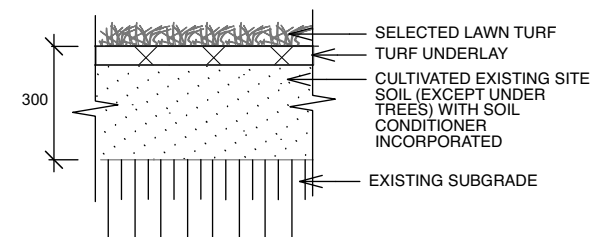
**SOIL TO GARDEN AREAS**  
SCALE 1:20



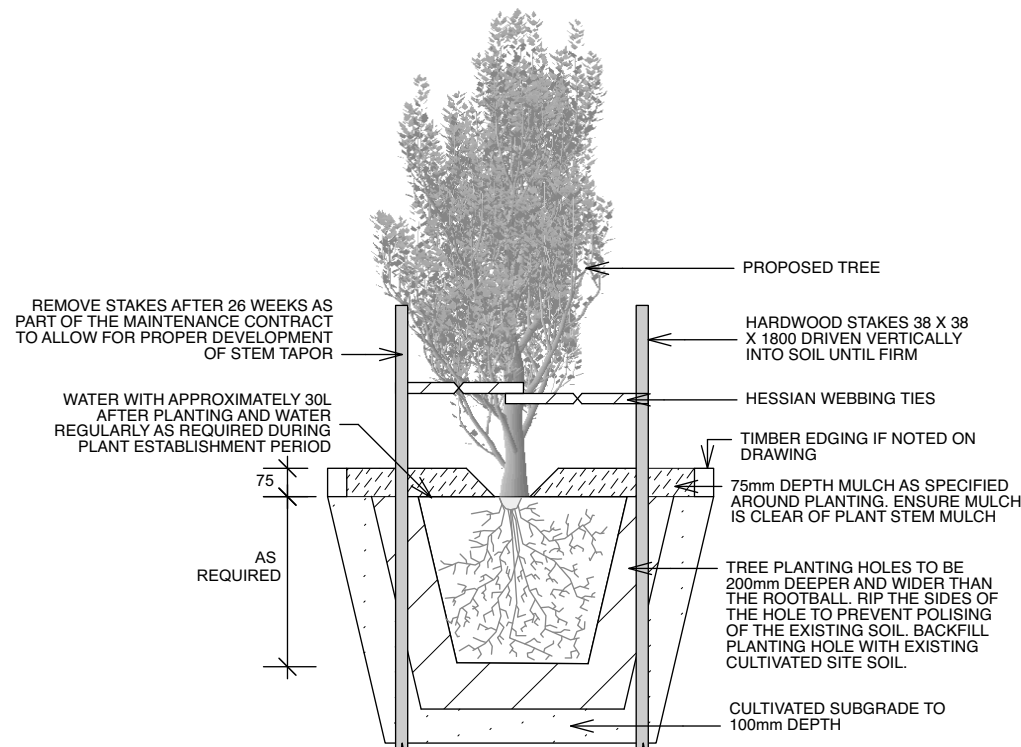
**PEBBLE PATHWAY**  
SCALE 1:10



**PLANTING DETAIL**  
SCALE 1:20



**TYPICAL TURF DETAIL**  
SCALE 1:20



**TREE PLANTING  
& STAKING DETAIL**  
SCALE 1:20

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
  2. All detailing of drainage to paved areas shall be by others.
  3. All levels shall be determined by others and approved on site by client.
  4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
  5. Do not scale from drawings.
  6. If in doubt contact the Landscape Architect.
  7. All boundaries shall be surveyed prior to commencement of construction works.
  8. This plan is for DA purposes only. It has not been detailed for construction.
  9. All dimensions, levels and boundaries are nominal only.
  10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE		REVISION	
DRAWING			
LANDSCAPE DETAILS			
ADDRESS		LOT 10, NO.20 MARMORA STREET, FRESHWATER NSW 2096	
CLIENT		PROJECT # MONTGOMERY HOMES	
PETER & KARIN ALFONSO		DATE #	04.12.20
		SCALE @ A3	1:200
		DRAWN	JC
		CHKD	JC
		DWG #  L/02	
		REVISION	
A Total Concept Landscape Architects & Swimming Pool Designers			
65 West Street, North Sydney NSW 2060			
Tel: (02) 9957 5122 Fx: (02) 9957 5922			



OUTLINE LANDSCAPE SPECIFICATION

**Preparation by Builder:** Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

**Initial Preparation:** Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii)Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Retaining Walls:** Positions, detail and heights of retaining walls shall be by others.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

**Turfing:** Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

**Fencing:** Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

**Paving:** Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

**Irrigation:** Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

**Clotheslines:** Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

**Completion:** Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

**Maintenance Period:** A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

**(a) Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

**(b) Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

**(c) Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

**(d) Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

**(e) Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

**(f) Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

**(g) Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

**(h) Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

**(i) Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

**(j) Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Notes:

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.

2. All detailing of drainage to paved areas shall be by others.

3. All levels shall be determined by others and approved on site by client.

4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.

5. Do not scale from drawings.

6. If in doubt contact the Landscape Architect.

7. All boundaries shall be surveyed prior to commencement of construction works.

8. This plan is for DA purposes only. It has not been detailed for construction.

9. All dimensions, levels and boundaries are nominal only.

10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE		REVISION	
DRAWING			
LANDSCAPE SPECIFICATION			
ADDRESS		PROJECT #	
LOT 10, NO.20 MARMORA STREET, FRESHWATER		MONTGOMERY HOMES	
NSW 2096		DWG #	
CLIENT		DATE #	
PETER & KARIN ALFONSO		04.12.20	
		SCALE @ A3	
		1:200	
		DRAWN	
		JC	
		CHKD	
		JC	
		REVISION	
<div><div><div>A Total Concept Landscape Architects &amp; Swimming Pool Designers</div><div>65 West Street, North Sydney NSW 2060</div><div>Tel: (02) 9957 5122 Fx: (02) 9957 5922</div></div><div><div>atc</div><div>a total concept</div><div>landscape architects &amp; swimming pool designers</div></div></div>			