WESTFIELD WARRINGAH MALL

Stage 2 - Development Application - JULY 2019 / REV 2/3

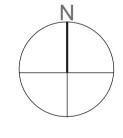
SHEET No.	SCALE	PG SIZE	REV.
01.5050 - EXISTING C			
01.5051	1:2000	A1	1
01.5060 - ANALYSIS: C	CONTEXT		
01.5060 - ANALYSIS. C	1:2000	A1	1
	1.2000	, (1	
01.5100 - GENERAL AI	RRANGEMENT: EXISTING		
01.5101	1:1000	A1	1
01.5102	1:1000	A1	1
01.5103	1:1000	A1	1
01.5104	1:1000	A1	1
01.5105	1:1000	A1	1
01.5106	1:1000	A1	1
01.5107	1:1000	A1	1
01.5150 - GENERAL AI	RRANGEMENT: DEMOLITI	ON	
01.5151	1:1000	A1	1
01.5152	1:1000	A1	1
01.5153	1:1000	A1	1
01.5154	1:1000	A1	1
01.5155	1:1000	A1	1
01.5156	1:1000	A1	1
01.5157	1:1000	A1	1
01.5200 - GENERAL AL	RRANGEMENT: PROPOSE	D	
01.5200 - GLINEKAL AI	1:1000	A1	3
01.5203	1:1000	A1	2
01.5204	1:1000	A1	2
01.5205	1:1000	A1	2
01.5207	1:1000	A1	2
01.5209	1:1000	A1	2
01 5200 - OFNERAL AL	DANGEMENT, CECTION		
01.5300 - GENERAL AI 01.5301	RRANGEMENT: SECTIONS	A1	2
	1:500,1:250		
01.5302	1:250	A1	2
01.5400 - GENERAL AI	RRANGEMENT: ELEVATIO	NS	
01.5401	1:500,1:250	A1	2
01.5402	1:500,1:250	A1	2
01.5403	1:500,1:250	A1	2
01.5404	NTS	A1	1
01.5404	NTS	A1	1
01.5500 SERIES - PERSI	PECTIVES		
01.5501	NTS	A1	2
01.5502	NTS	A1	1
01.5503	NTS	A1	1
01.5504		A1	
			TIET
	OOW & MOVEMENT DIAG		
01.5601	1:2000	A1	2
01.5602	1:2000	A1	2
01.5603	1:2000	A1	2
01.5662	1:750	A1 A1	1
01.5663	1:750		







SCOPE OF WORKS



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ACN 000 267 265

EXISTING CONDITION: SITE PLAN

WARRINGAH MALL STAGE 02

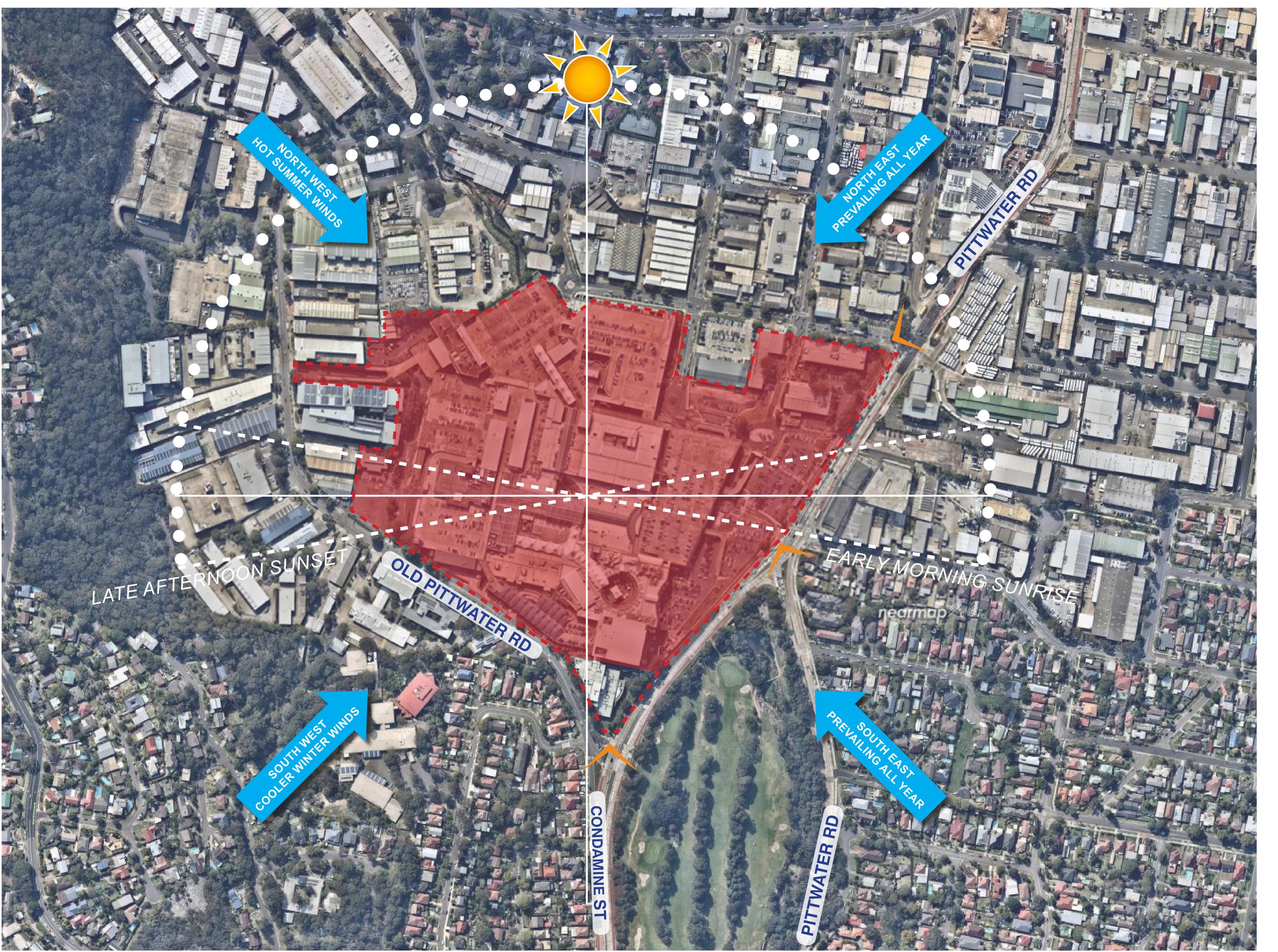
SCHEME 14F

DEVELOPMENT

APPLICATION

Number Drawing No.

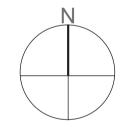
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Scale @ Sheet Slize
100% @ A1
Plot Date





SITE
WINDS

ADDRESS
POINT



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SITE ANALYSIS

WARRINGAH MALL STAGE 02

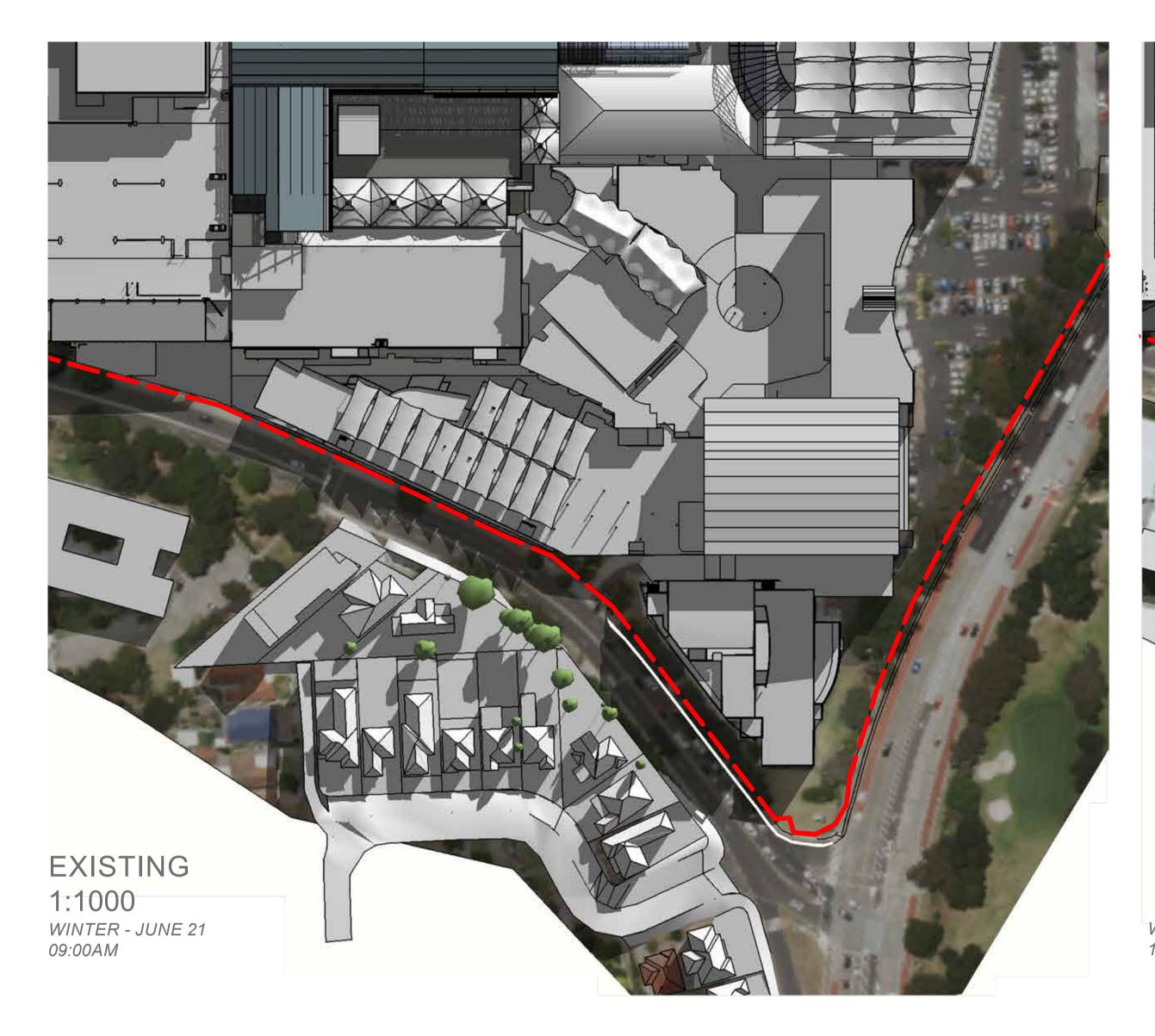
SCHEME 14F

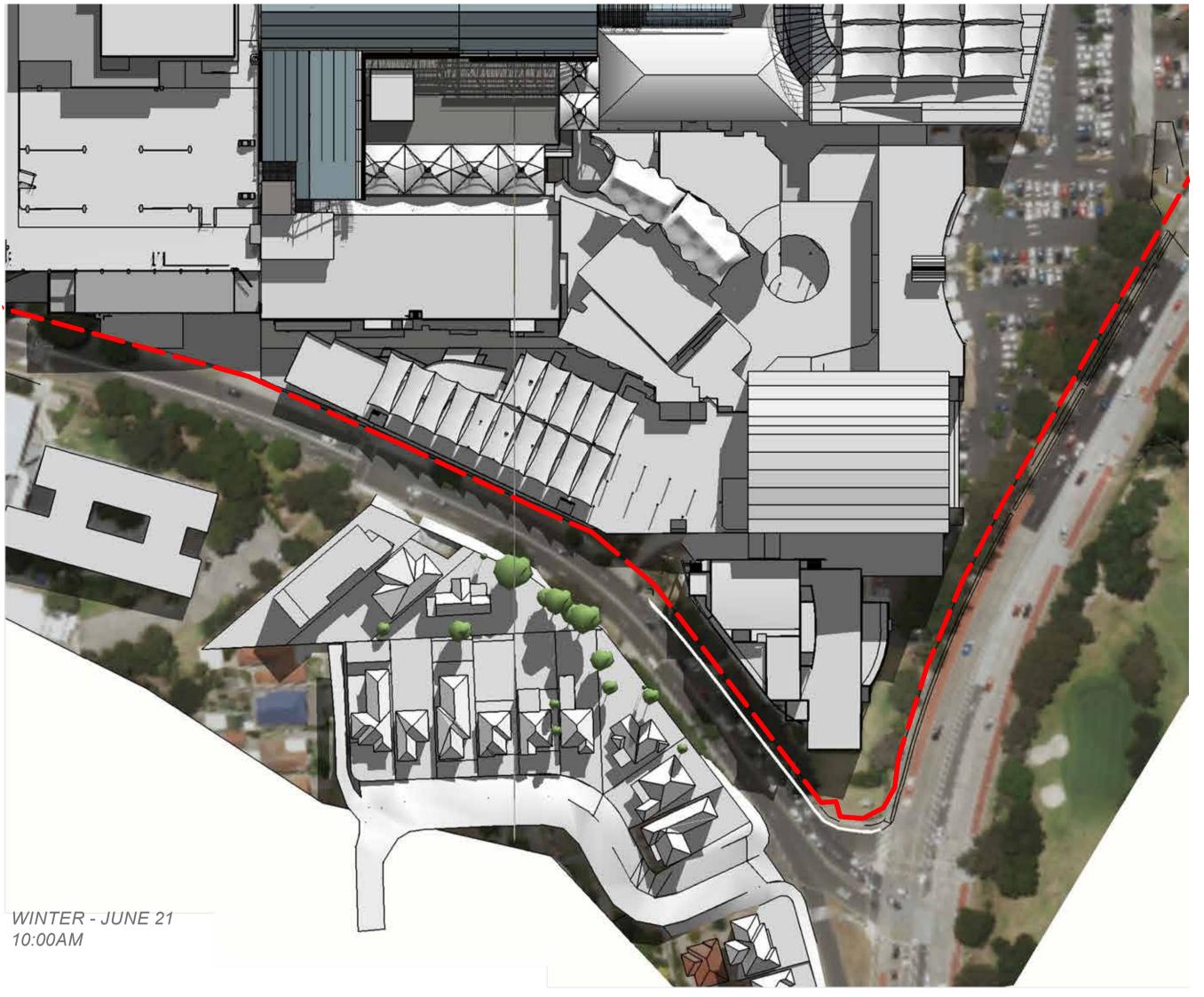
DEVELOPMENT

APPLICATION

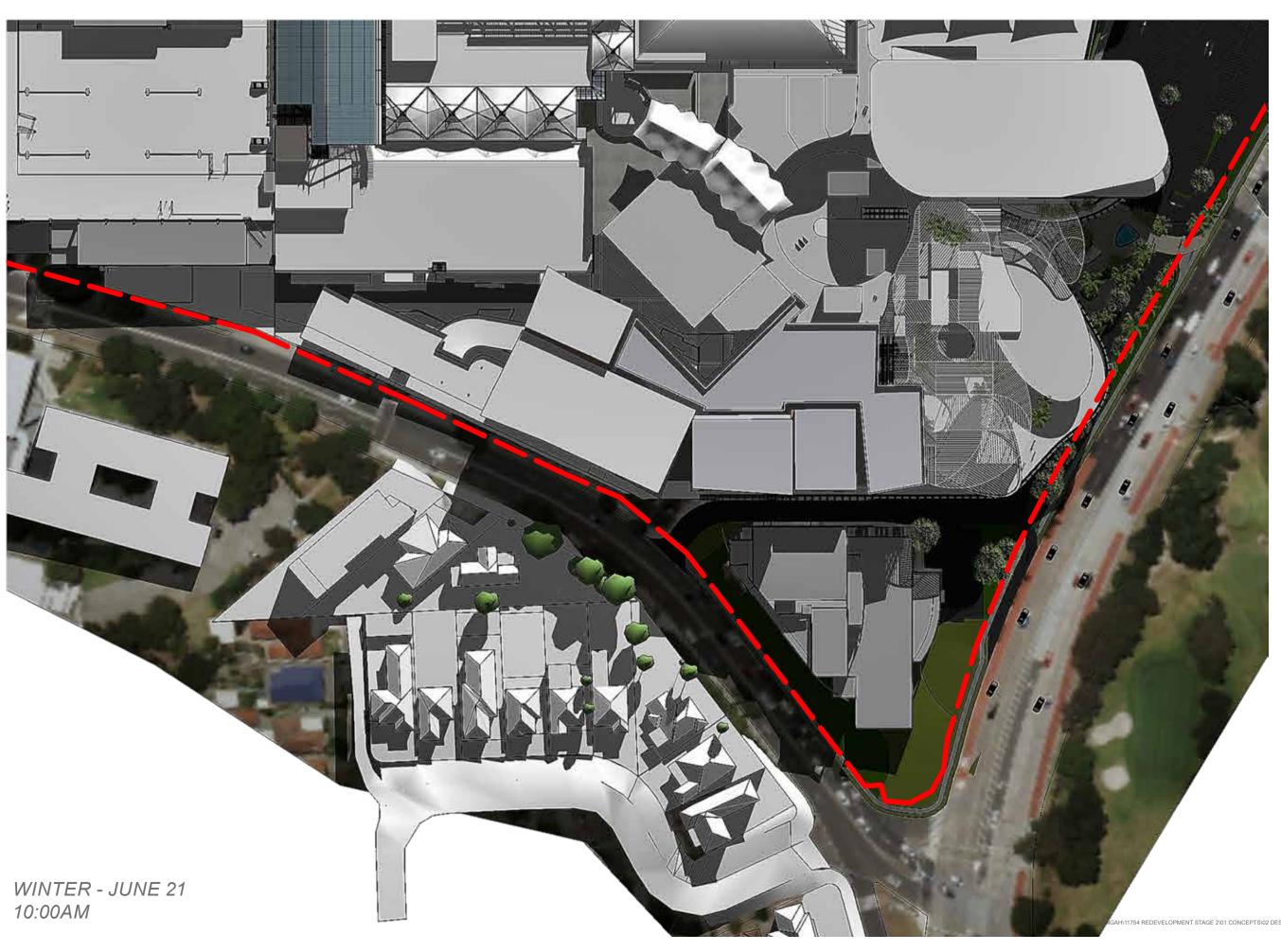
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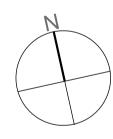
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SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

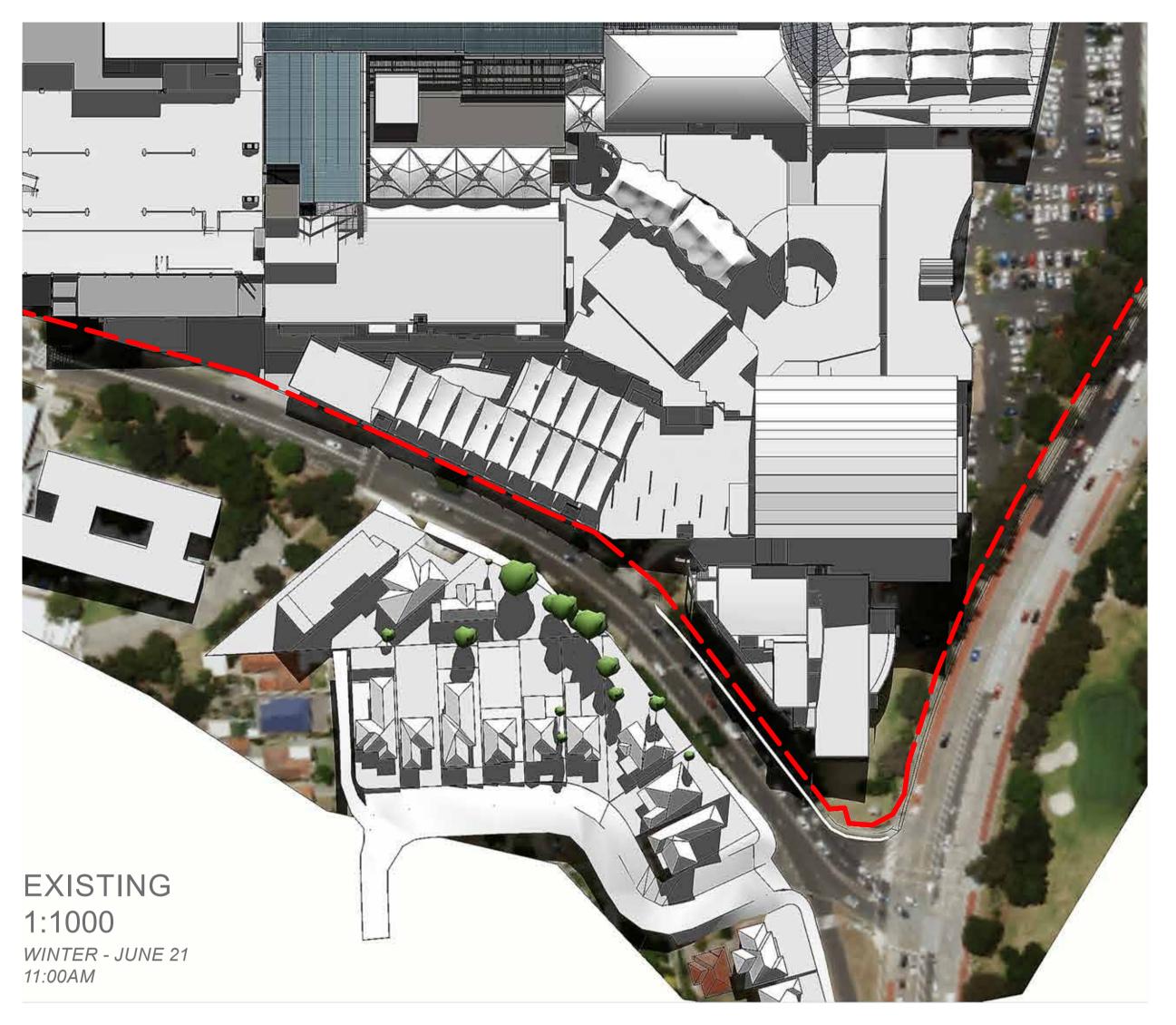
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DEVELOPMENT

APPLICATION

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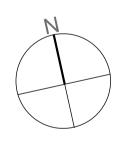
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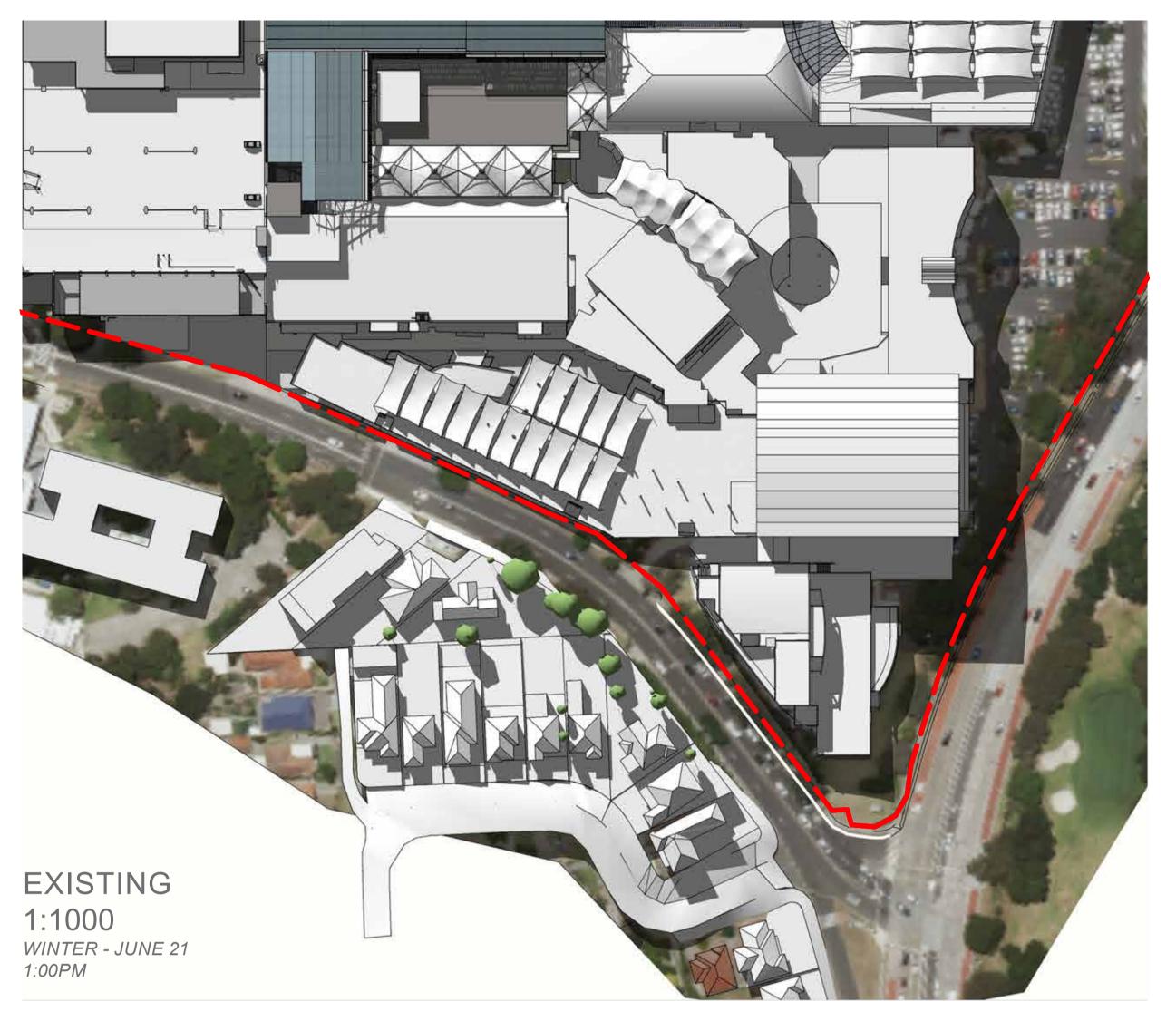
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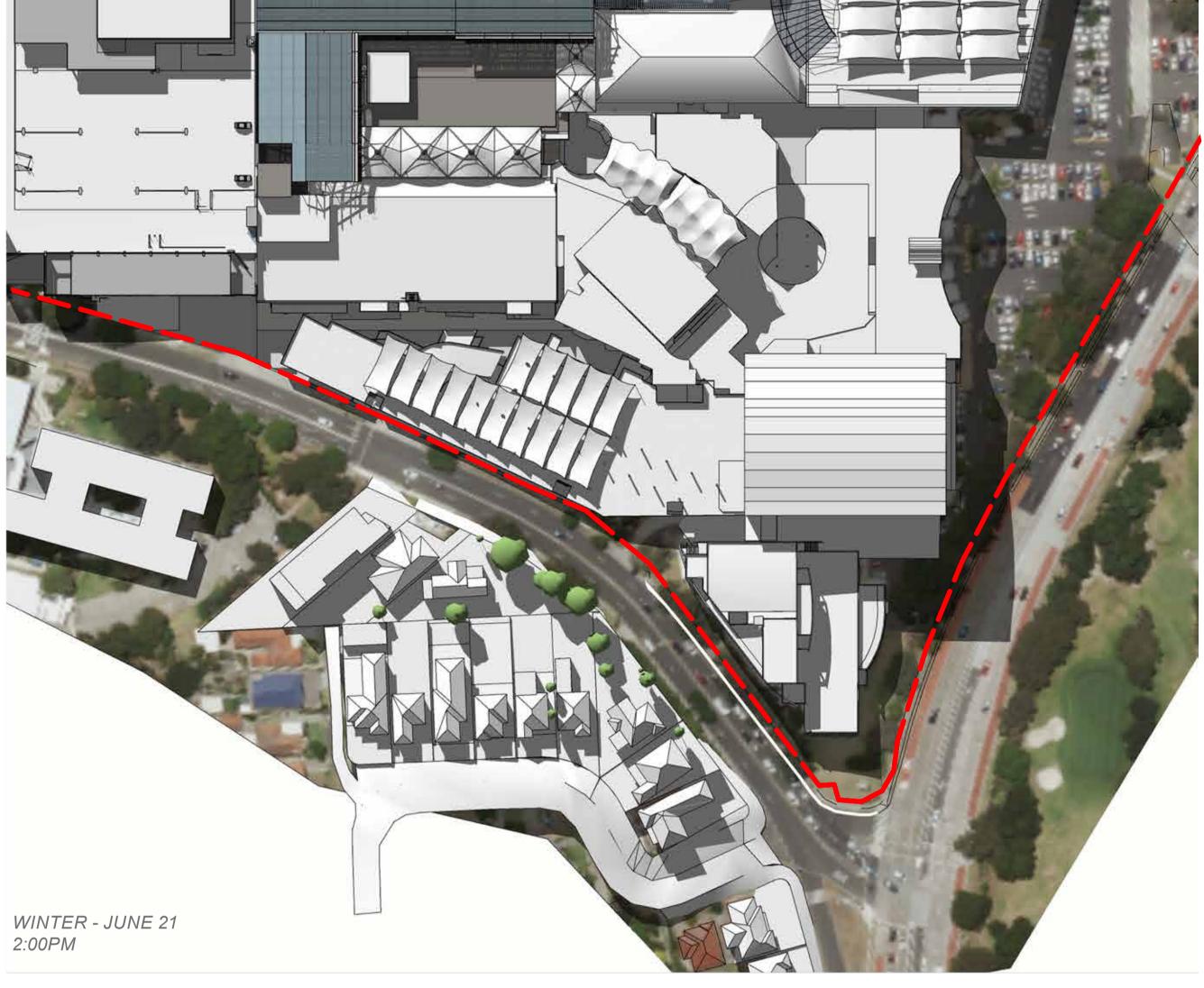
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SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

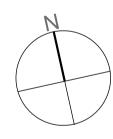
SCHEME 14F DEVELOPMENT APPLICATION











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SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

SCHEME 14F

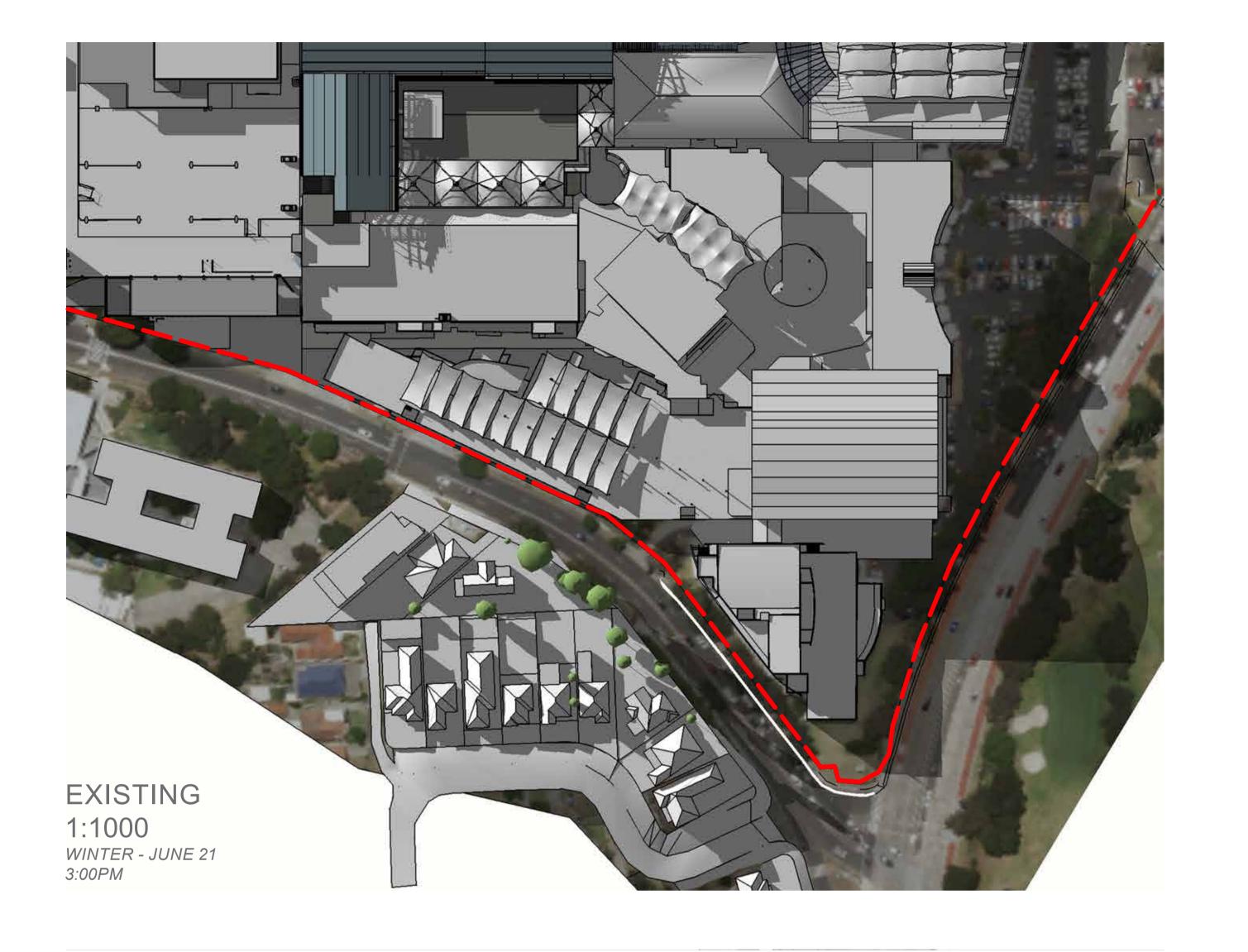
DEVELOPMENT

APPLICATION

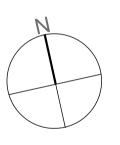
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SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

SCHEME 14F

DEVELOPMENT

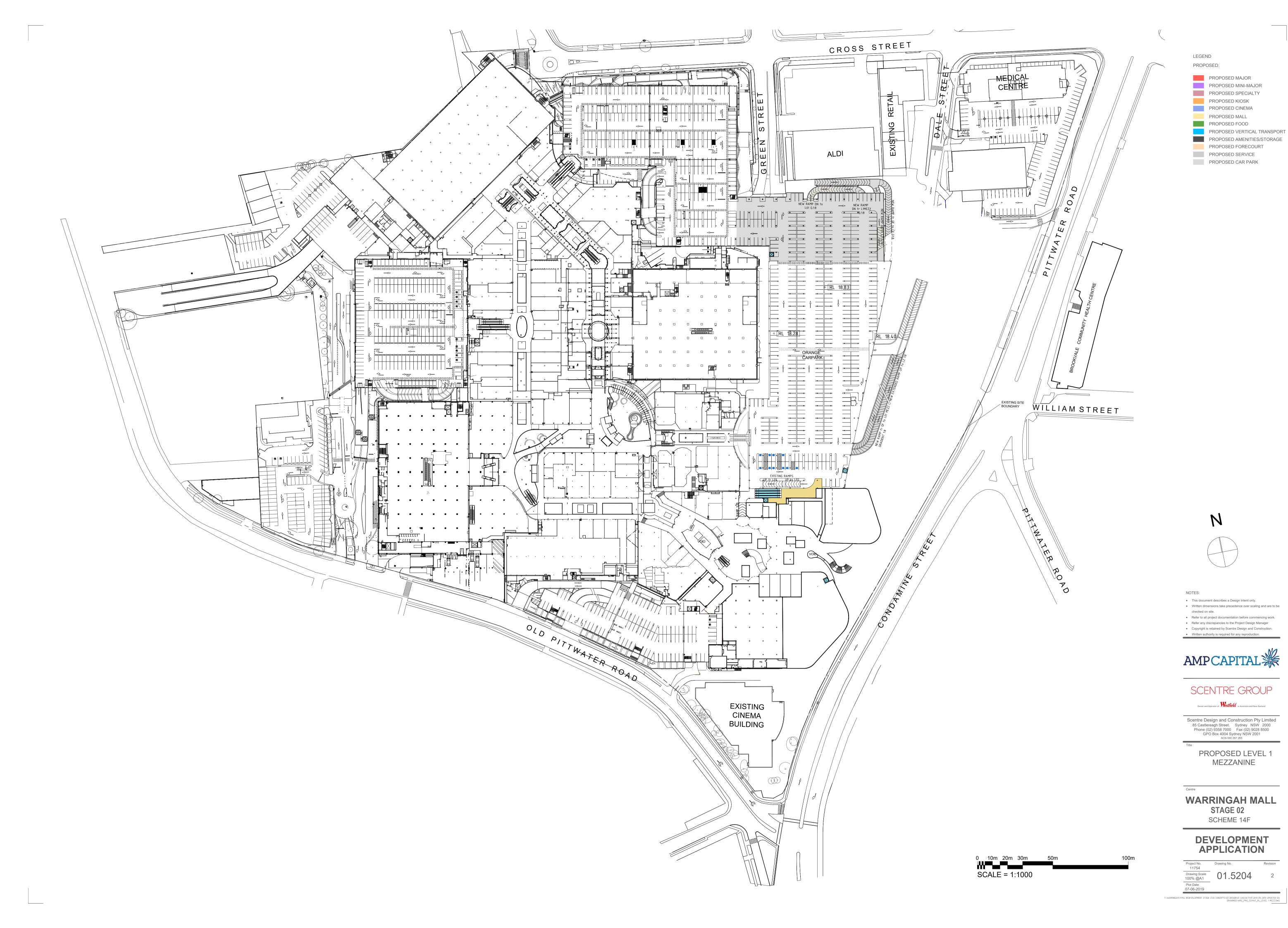
APPLICATION

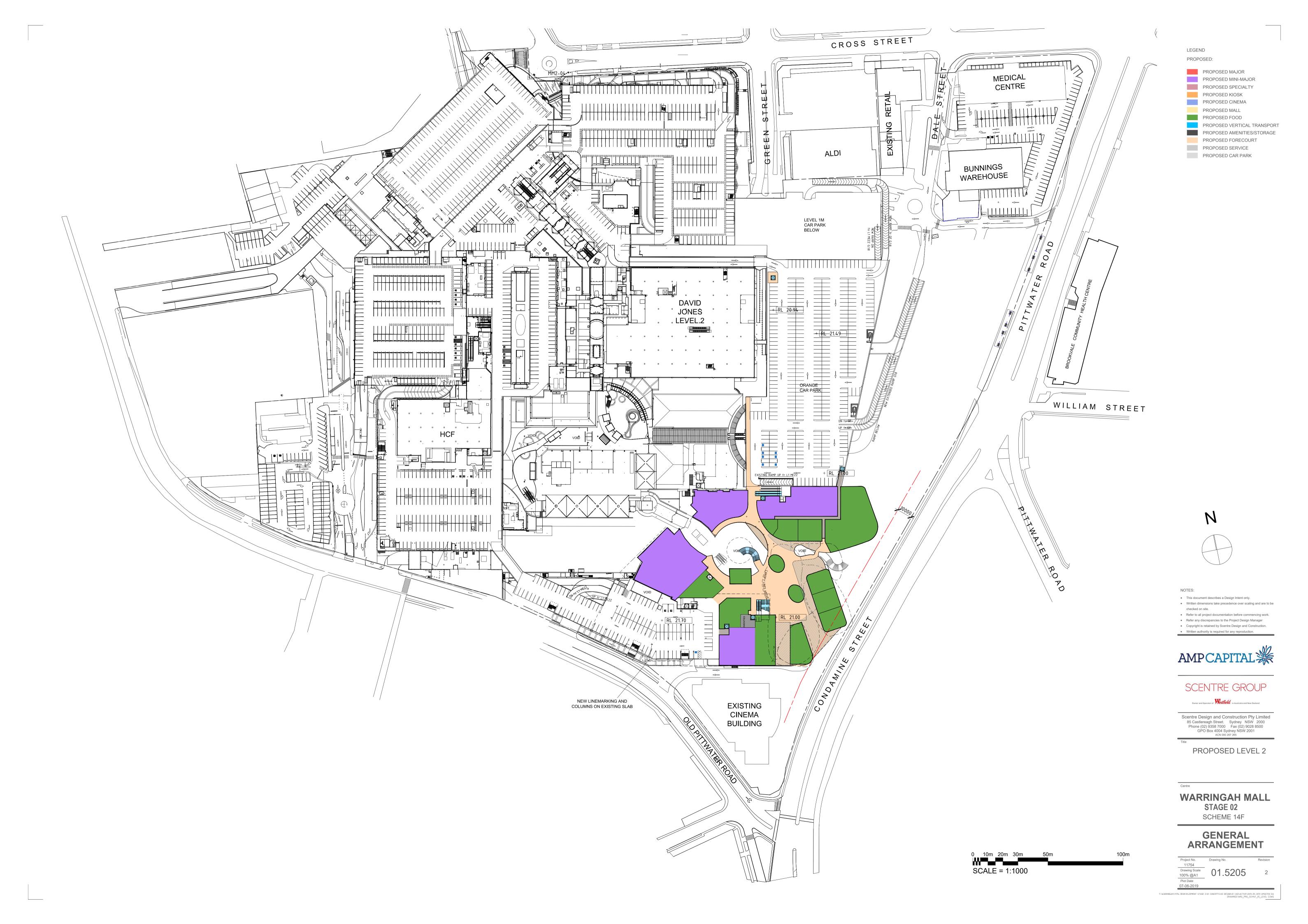
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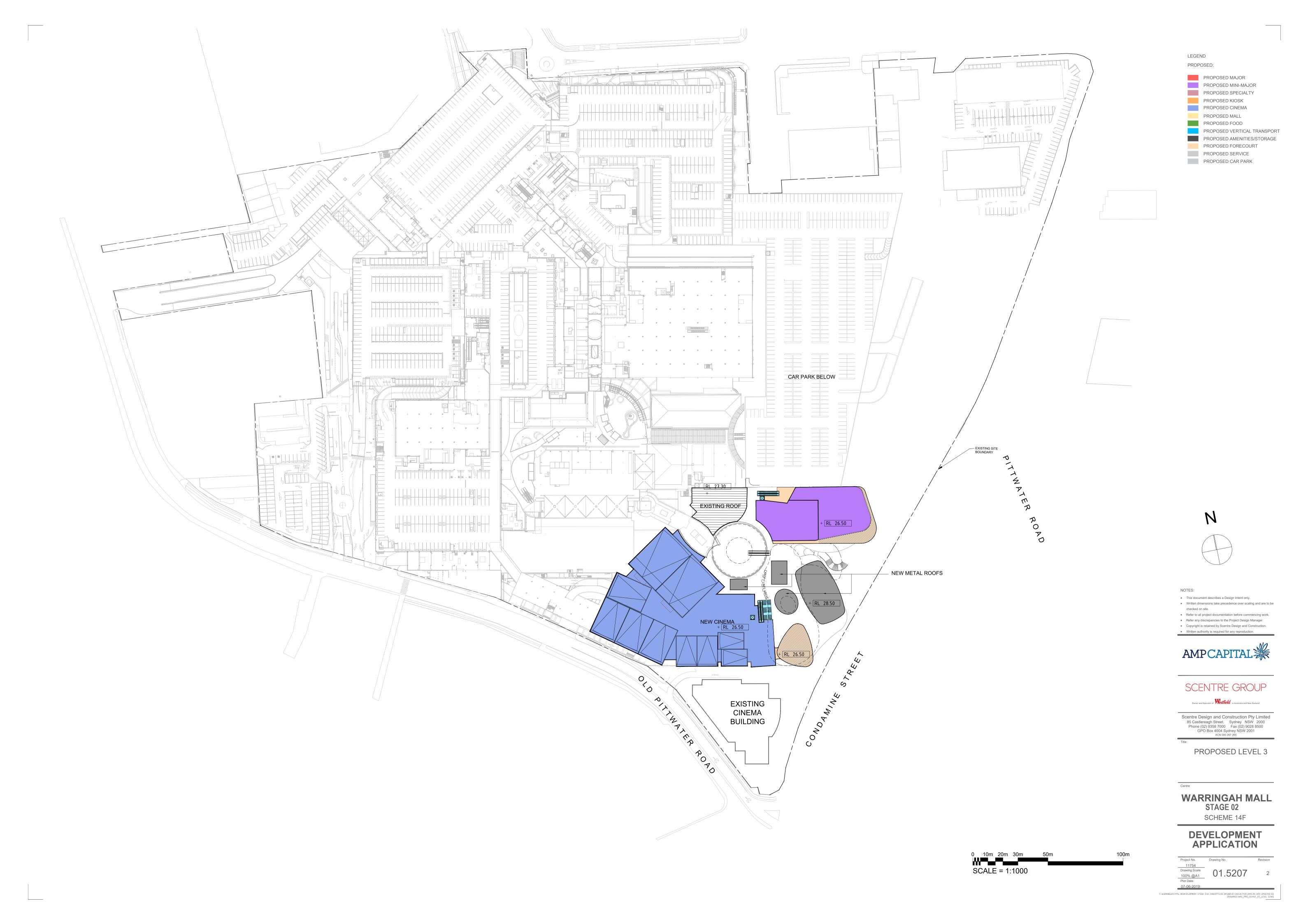
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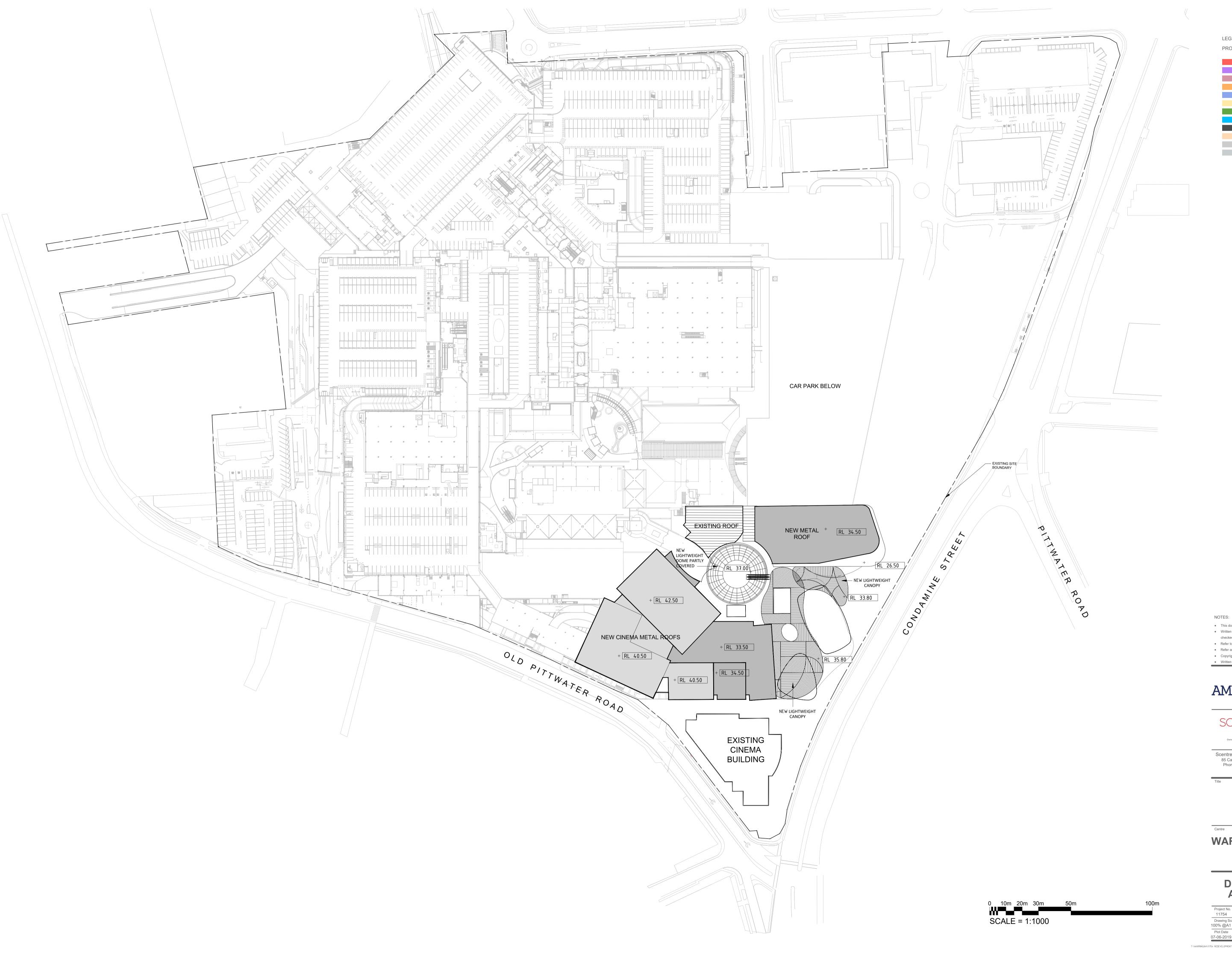
09-07-2019











LEGEND PROPOSED:

PROPOSED MAJOR PROPOSED MINI-MAJOR PROPOSED SPECIALTY PROPOSED KIOSK PROPOSED CINEMA

PROPOSED MALL PROPOSED FOOD PROPOSED VERTICAL TRANSPORT PROPOSED AMENITIES/STORAGE

PROPOSED FORECOURT PROPOSED SERVICE

PROPOSED CAR PARK

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PROPOSED **ROOF PLAN**

WARRINGAH MALL STAGE 02

SCHEME 14F

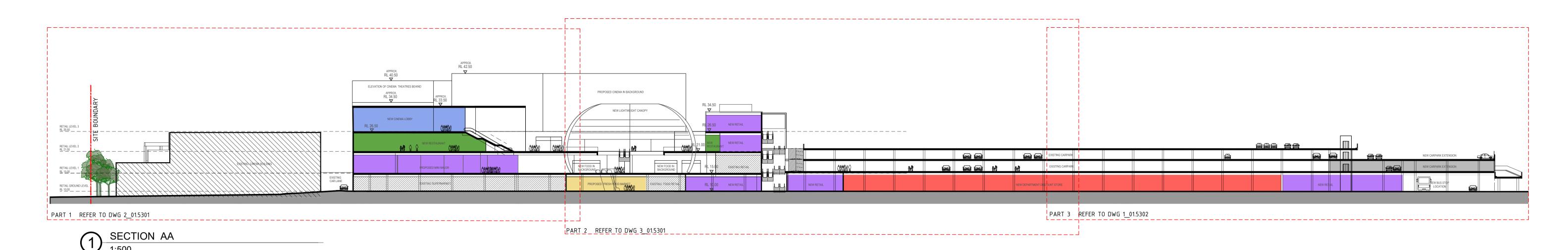
DEVELOPMENT APPLICATION

Project No.
11754

Drawing Scale
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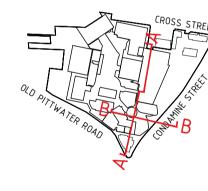
Plot Date

07-06-2019



APPROX. RL 42.50 RL 40.50 ELEVATION OF CINEMA THEATRES BEHIND PROPOSED C RL 33.50 NEW CINEMA LOBBY RL 26.50 **RETAIL LEVEL 3** RL 26.50 **RETAIL LEVEL 2** EXISTING CINEMA BUILDING NEW FOOD IN PROPOSED MINI MAJOR RETAIL LEVEL 1 BACKGROUND EXISTING CAR LANE RETAIL GROUND LEVEL RL 10.00

KEY PLAN



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SECTION AA

SECTION AA - PART 1 1:250

PROPOSED CINEMA IN BACKGROUND RL 34.50 NEW LIGHTWEIGHT CANOPY RL 26.50 NEW RETAIL RETAIL LEVEL 3 RL 26.50 ______ NEW RETAIL RETAIL LEVEL 2 RL 21.00 EXISTING CARPARK NEW FOOD IN BACKGROUND NEW FOOD IN BACKGROUND EXISTING CARPARK EXISTING RETAIL RETAIL LEVEL 1 RL 15.00 PROPOSED FRESH ROOD MARKET EXISTING FOOD RETAIL RL 10.00 RETAIL GROUND LEVEI NEW DEPARTMENT DISCOUNT STORE NEW RETAIL NEW RETAIL RL 10.00

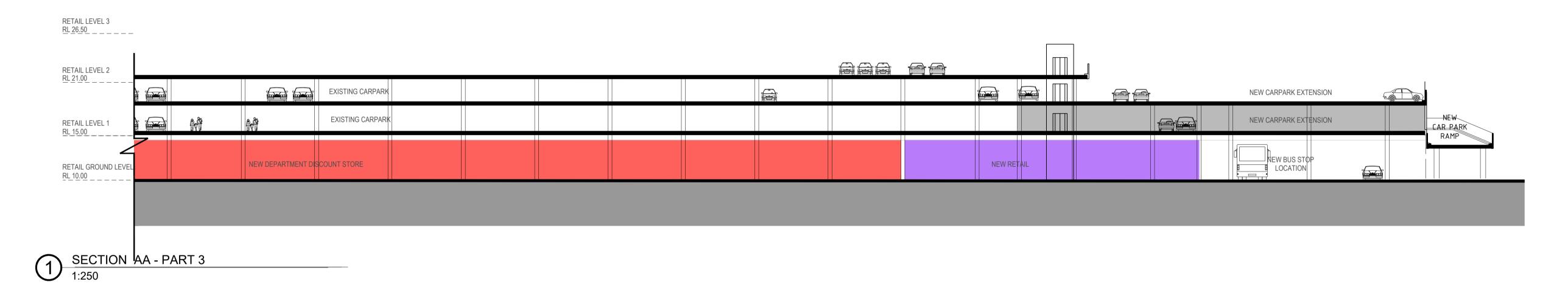
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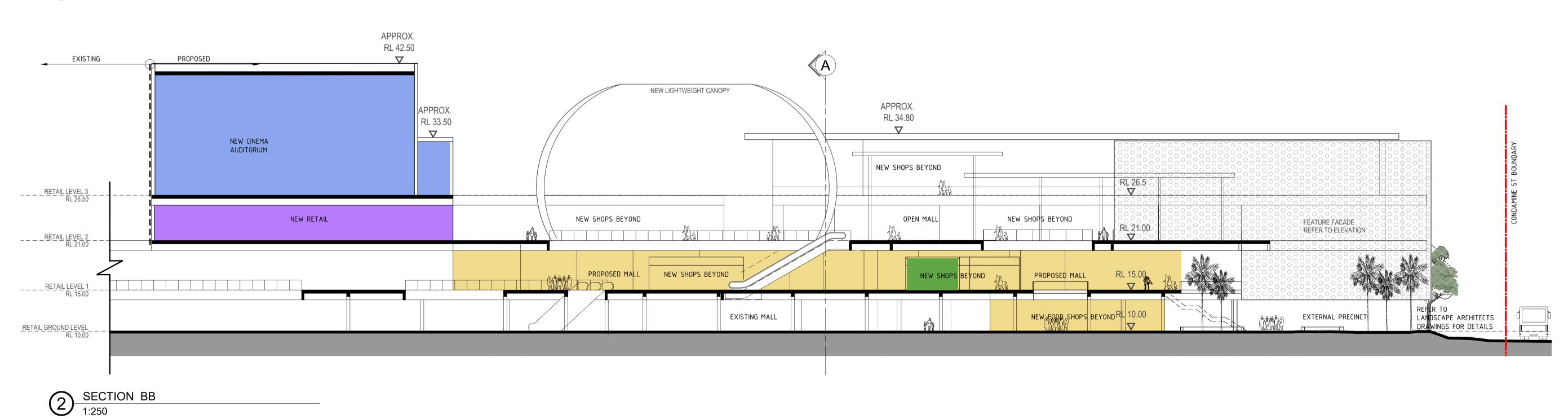
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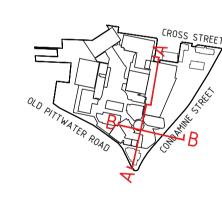
WARRINGAH MALL STAGE 02 SCHEME 14F

DEVELOPMENT **APPLICATION**

SECTION AA - PART 2 1:250







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SECTION AA +

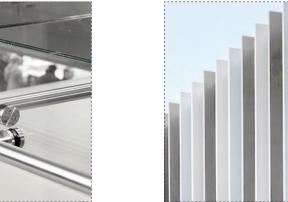
SECTION BB

WARRINGAH MALL STAGE 02

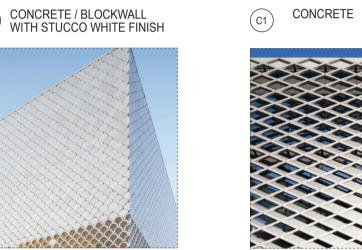
SCHEME 14F

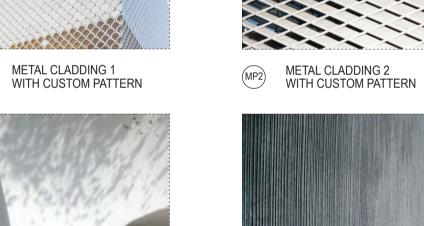
DEVELOPMENT **APPLICATION**

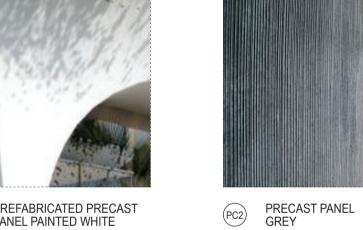


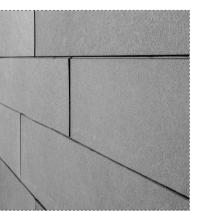


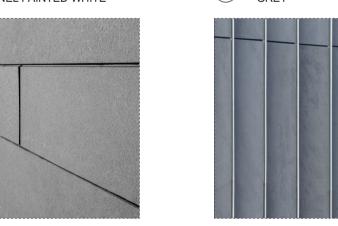














PERFORATED METAL MESH WHITE



PROPOSED EAST ELEVATION

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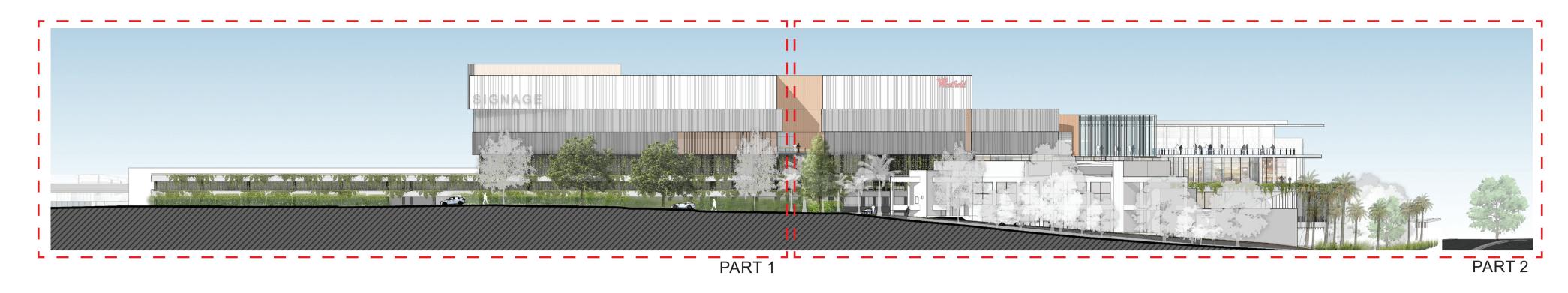
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Written dimensions take precedence over scaling

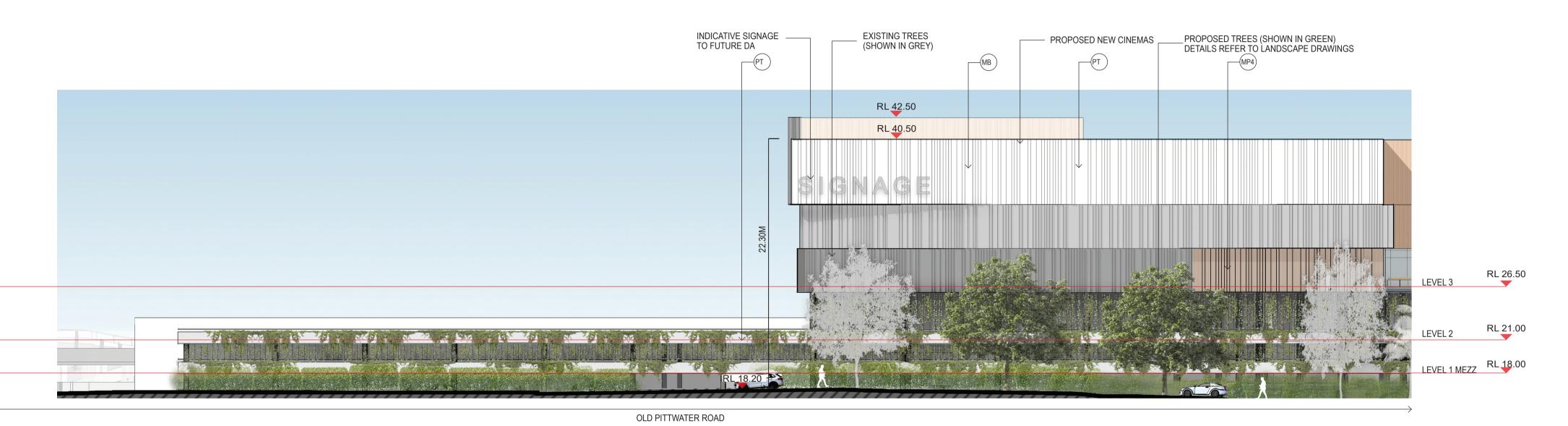
KEY PLAN

WARRINGAH MALL STAGE 02

SCHEME 14F DEVELOPMENT **APPLICATION**

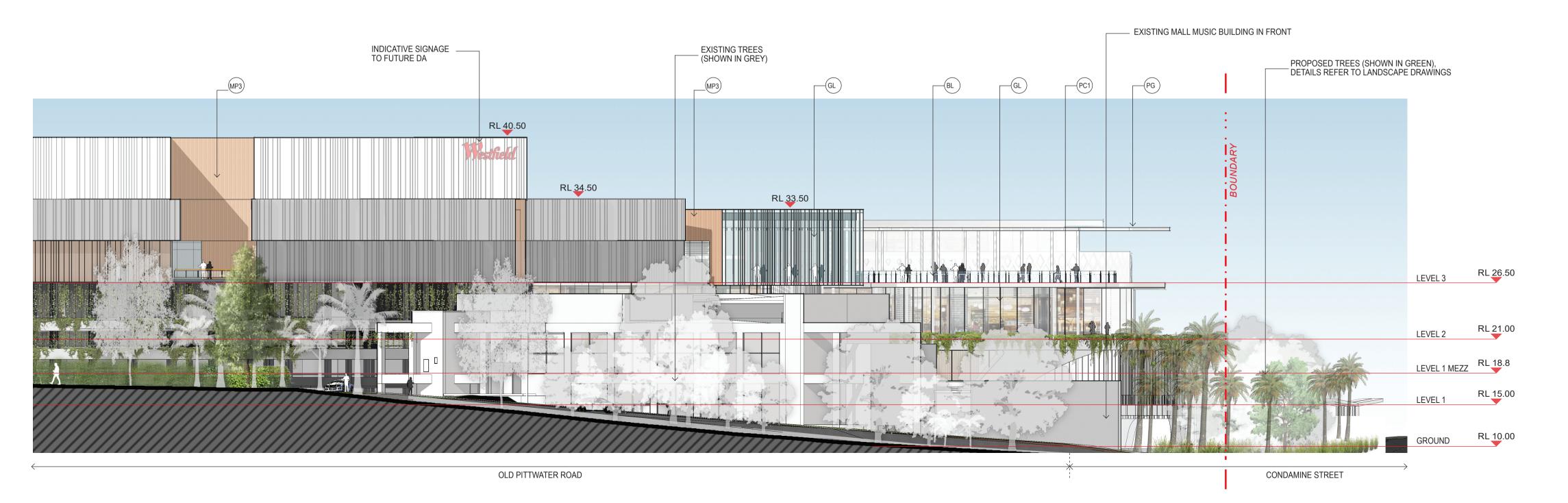


KEY DRAWING PROPOSED SOUTH ELEVATION



PROPOSED SOUTH ELEVATION - PART 1

1:250



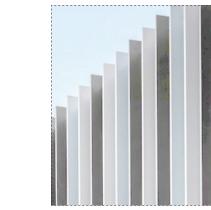
PROPOSED SOUTH ELEVATION - PART 2

1:250

MATERIAL FINISHES







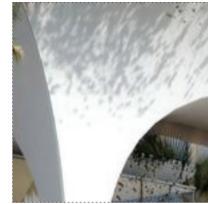
(MB) METAL BATTENS



METAL CLADDING 3
WITH CUSTOM PATTERN



MP4 METAL SCREEN



PC1 PREFABRICATED PRECAST PANEL PAINTED WHITE



BALUSTRADE

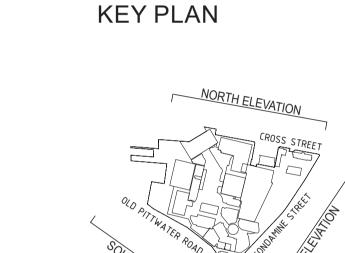


PG METAL PERGOLA



GL SHOPFRONT GLAZING

PROPOSED SOUTH ELEVATION - PERSPECTIVE



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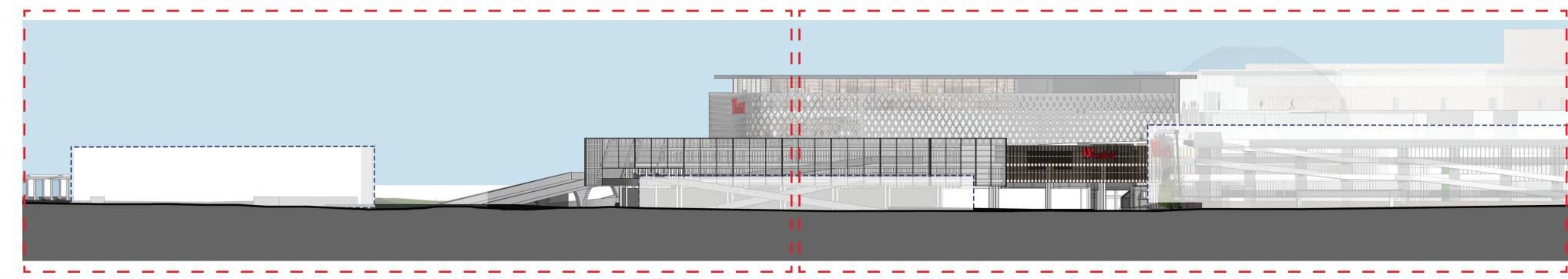
PROPOSED SOUTH ELEVATION

WARRINGAH MALL STAGE 02

DEVELOPMENT APPLICATION

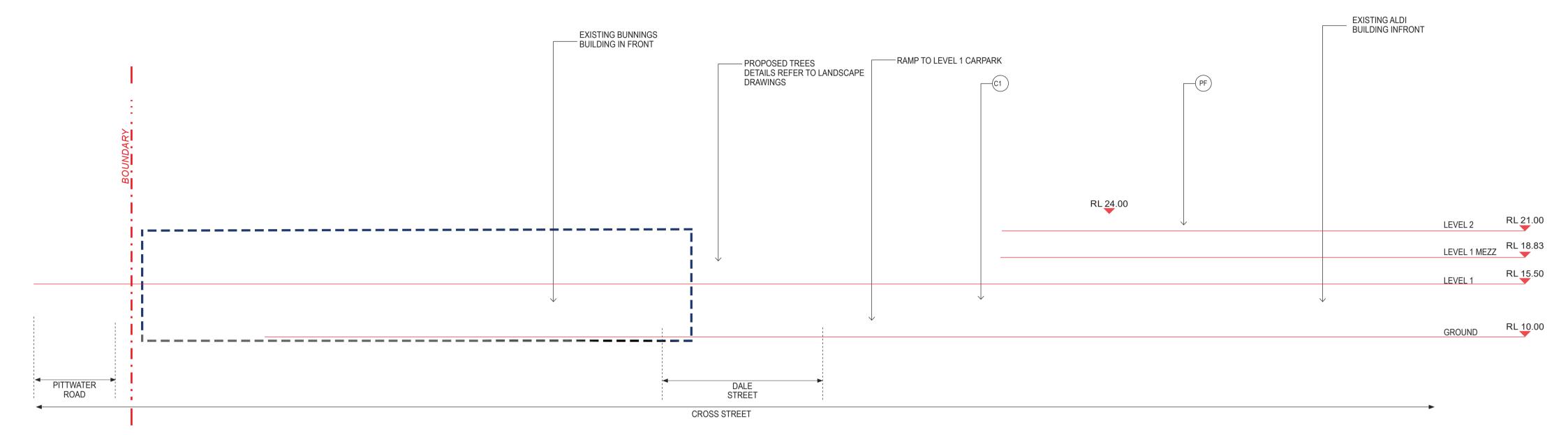
Project Number Drawing No.

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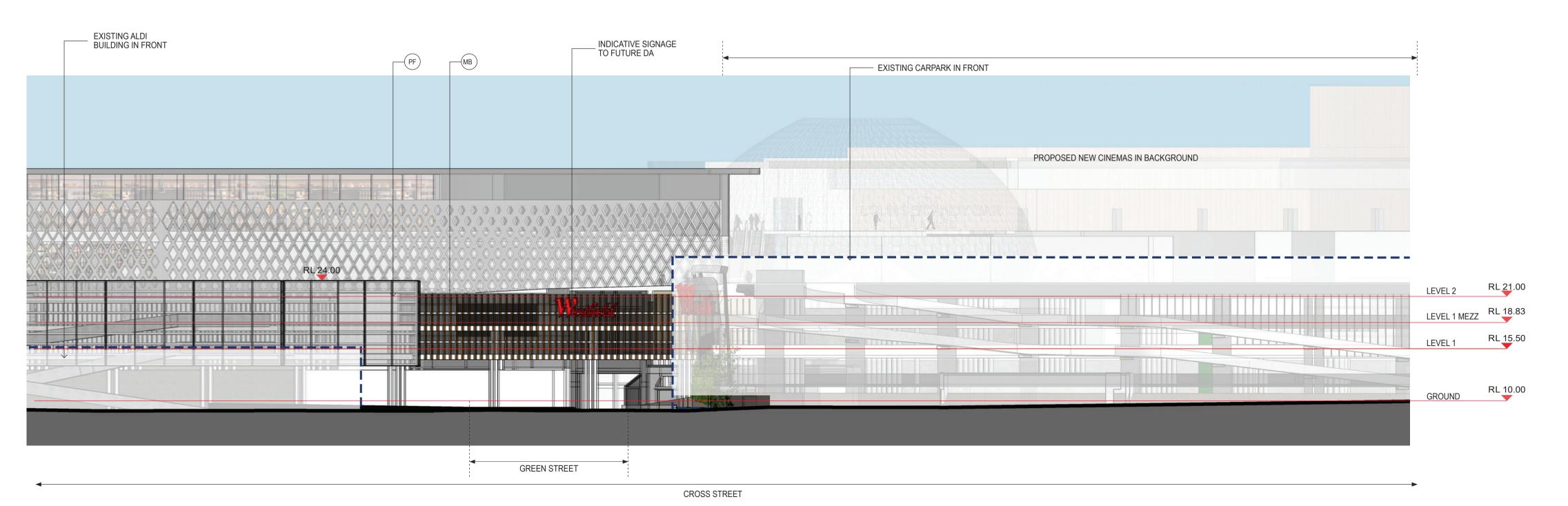
PART 1 PART 2

(1) KEY DRAWING PROPOSED NORTH ELEVATION



PROPOSED NORTH ELEVATION - PART 1

1:250



PROPOSED NORTH ELEVATION - PART 2

MATERIAL FINISHES

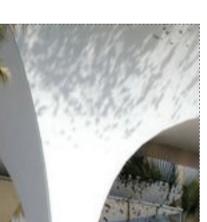




CONCRETE / BLOCKWALL WITH STUCCO WHITE FINISH



METAL CLADDING 1
WITH CUSTOM PATTERN



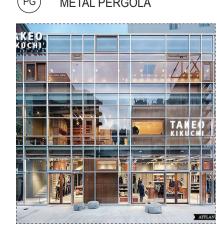
PREFABRICATED PRECAST PANEL PAINTED WHITE



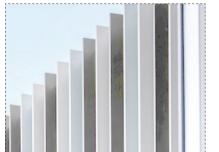
FC1 FIBRE CEMENT PANEL 1
GREY



PG METAL PERGOLA



GL SHOPFRONT GLAZING



METAL BATTENS



C1 CONCRETE



MP2 METAL CLADDING 2
WITH CUSTOM PATTERN



PC2 PRECAST PANEL GREY



FC2 FIBRE CEMENT PANEL 2 GREY



PERFORATED METAL MESH WHITE



KEY PLAN

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PROPOSED NORTH ELEVATION

WARRINGAH MALL

STAGE 02
SCHEME 14F
DEVELOPMENT
APPLICATION

Project Number Drawling No. Revis

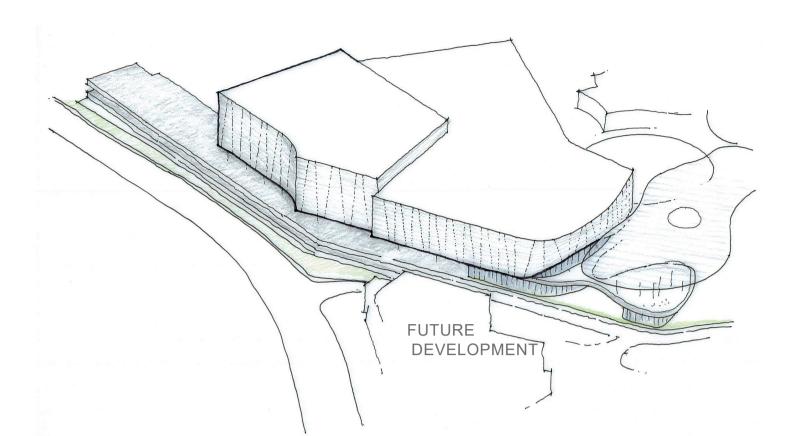
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Plot Date

07-06-2019
06 WORKING PRESENTATIONS/ACTIVE\2019-06-07_DA SUBMISSIONIGA Elevations rev2.ir

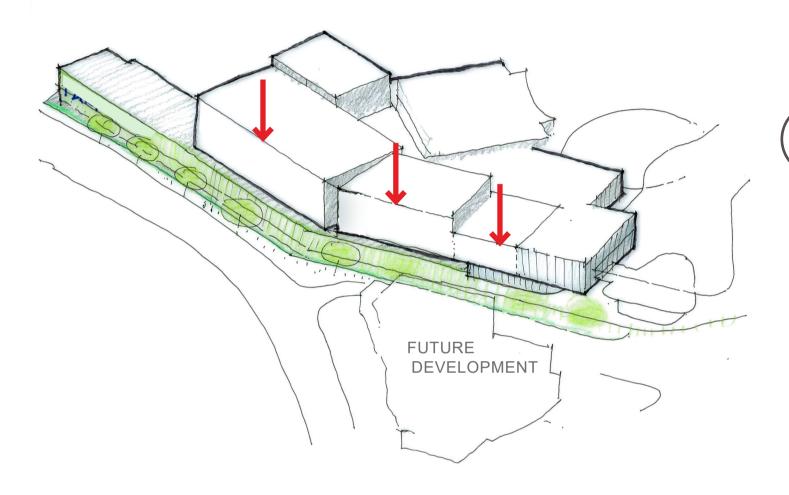
CONCEPT DIAGRAMS



ORIGINAL PROPOSAL

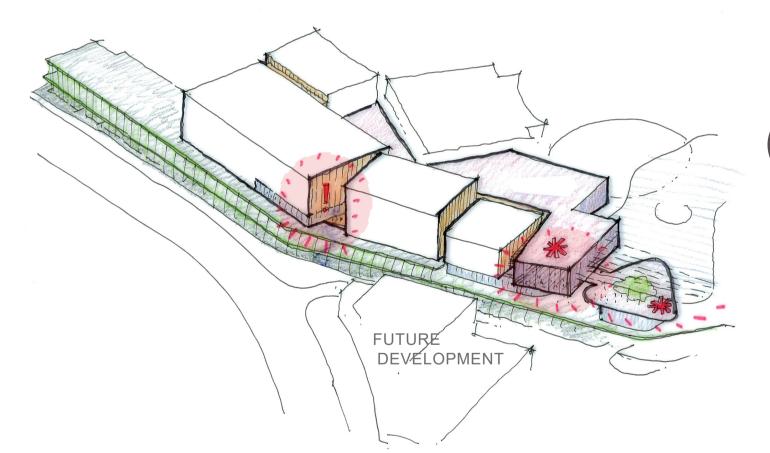
- LODGED SEPTEMBER 2019
- MONOLITHIC EXPRESSION FOR CINEMA **VOLUMES**
- TALLER VOLUMES ALONG STREET
- SCOPE TO IMPROVE ARTICULATION AT STREET LEVEL

DESIGN RESPONSE



VOLUME REDUCTION

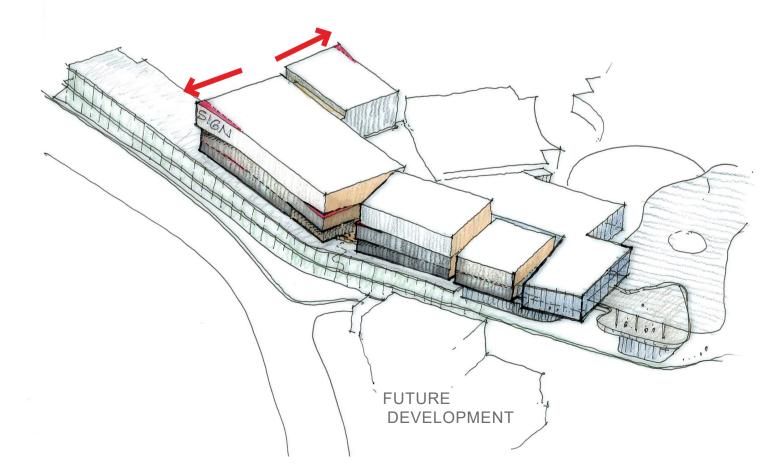
- CINEMA VOLUMES HEIGHT REDUCED ALONG STREET
- SEPARATION OF CINEMA AND PARKING VOLUMES
- IMPROVING STREET PRESENCE WITH A COMPREHENSIVE GREEN STRATEGY (REFER LANDSCAPE DESIGN FOR DETAILS)





B) VOLUME SEPARATION

- CINEMA VOLUMES BROKEN UP TO CREATE VISUAL ACTIVATION
- LOBBY & PRE-FUNCTION AREAS ARE IDENTIFIED AS BEACONS WITH PHYSICAL ACTIVATION
- OPPORTUNITIES FOR EXTERNAL TERRACE AND MULTI- LEVEL CONNECTIVITY





(C) FACADE ARTICULATION

- FURTHER BREAKS IN THE CINEMA **VOLUMES TO ACHIEVE HUMAN** SCALE
- FACADE MATERIALS VARIATION AND ARTICULATION TO ENHANCE VISUAL PERCEPTION FROM STREET.

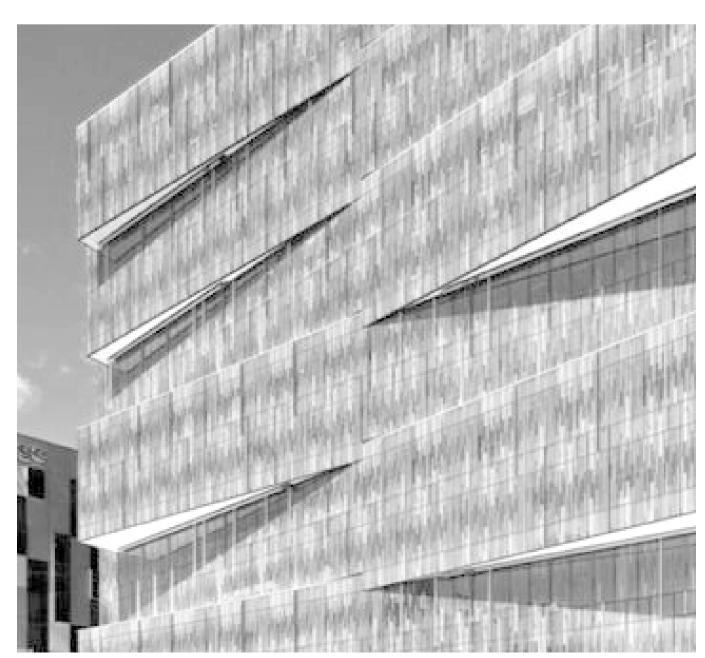
REFERENCE IMAGES



GREEN CLIMBERS STRATEGY ALONG PARKING LEVELS (SEE LANDSCAPE DRAWINGS FOR DETAIL)



LOBBY AND PUBLIC AREAS



CINEMA FACADE ARTICULATION

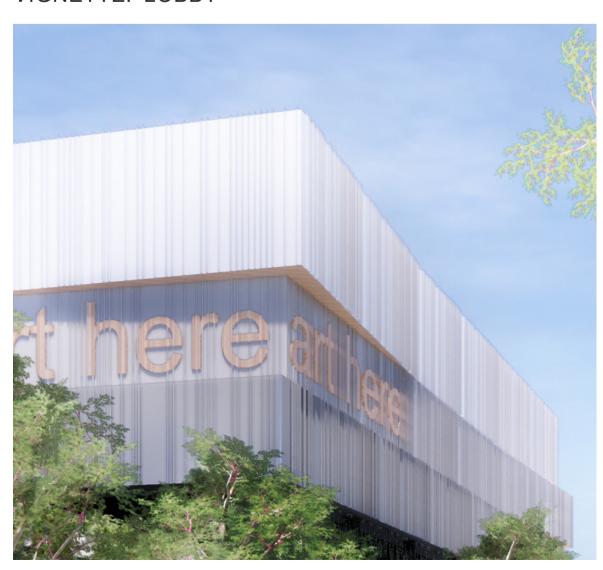
FACADE VIGNETTES



VIGNETTE: VOLUME SEPARATION



VIGNETTE: LOBBY



VIGNETTE: CINEMA BOXES

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CINEMA FACADE **DESIGN STUDY**

WARRINGAH MALL STAGE 02

SCHEME 14F DEVELOPMENT **APPLICATION**

CINEMA & PARKING FACADE DESIGN RESPONSE

FACADE VIGNETTES











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GPO Box 4004 Sydney NSW 2001

ACN 000 267 265

CINEMA FACADE DESIGN STUDY

WARRINGAH MALL STAGE 02

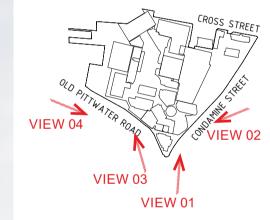
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DEVELOPMENT
APPLICATION

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07-06-2019





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PERSPECTIVE 01

WARRINGAH MALL STAGE 02

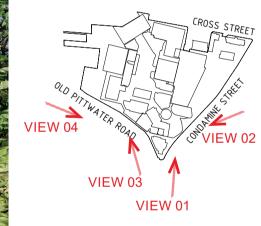
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Project Number Drawing No.

11754
Scale @ Sheet Size
NTS
Plot Date

01.55





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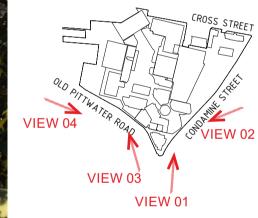
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PERSPECTIVE 02

WARRINGAH MALL STAGE 02

SCHEME 14F
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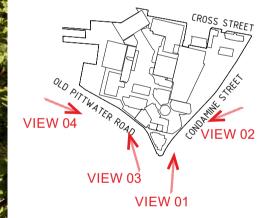
WARRINGAH MALL STAGE 02

DEVELOPMENT
APPLICATION

Project Number Drawing No.

11754
Scale @ Sheet Size
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Plot Date





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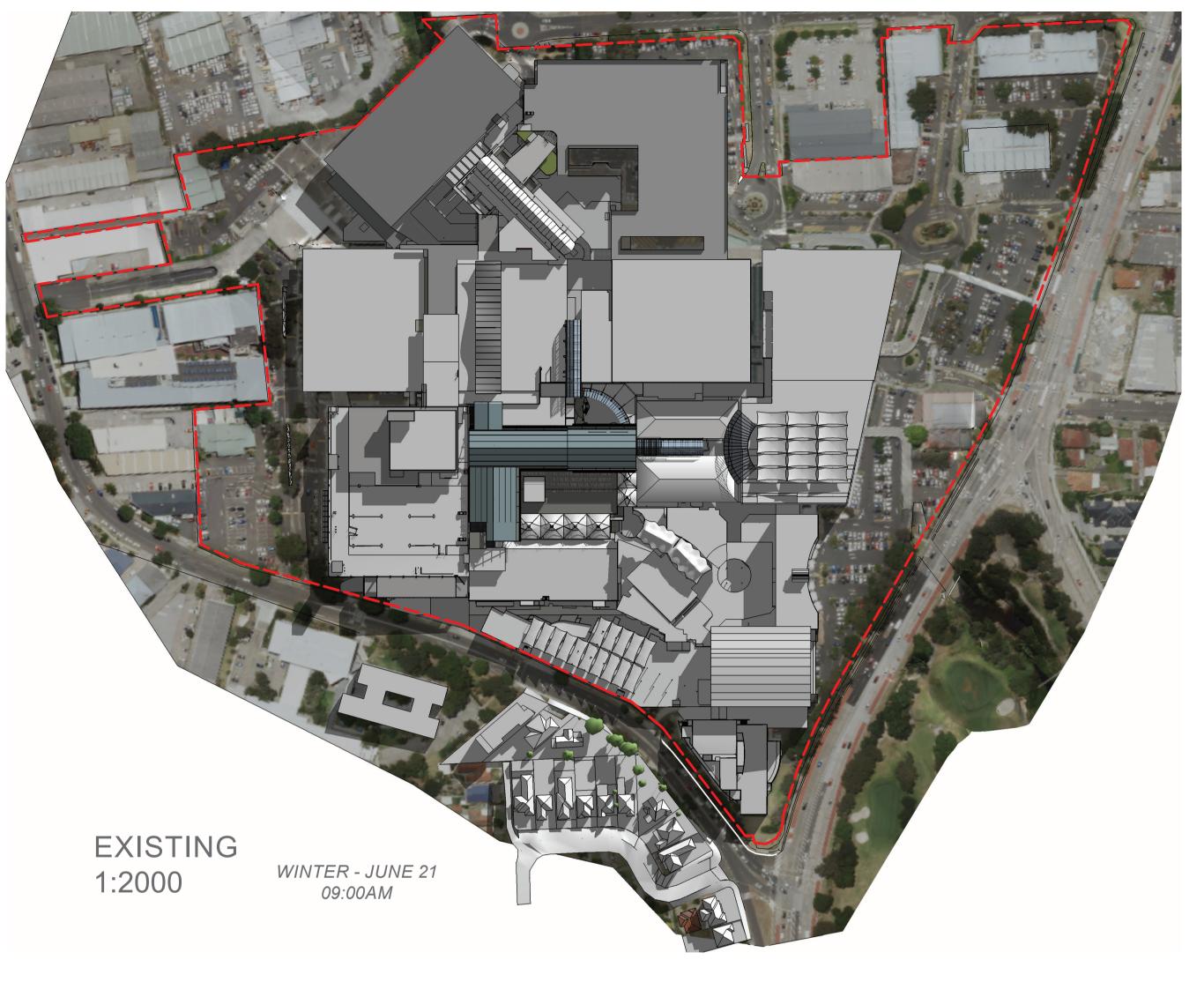
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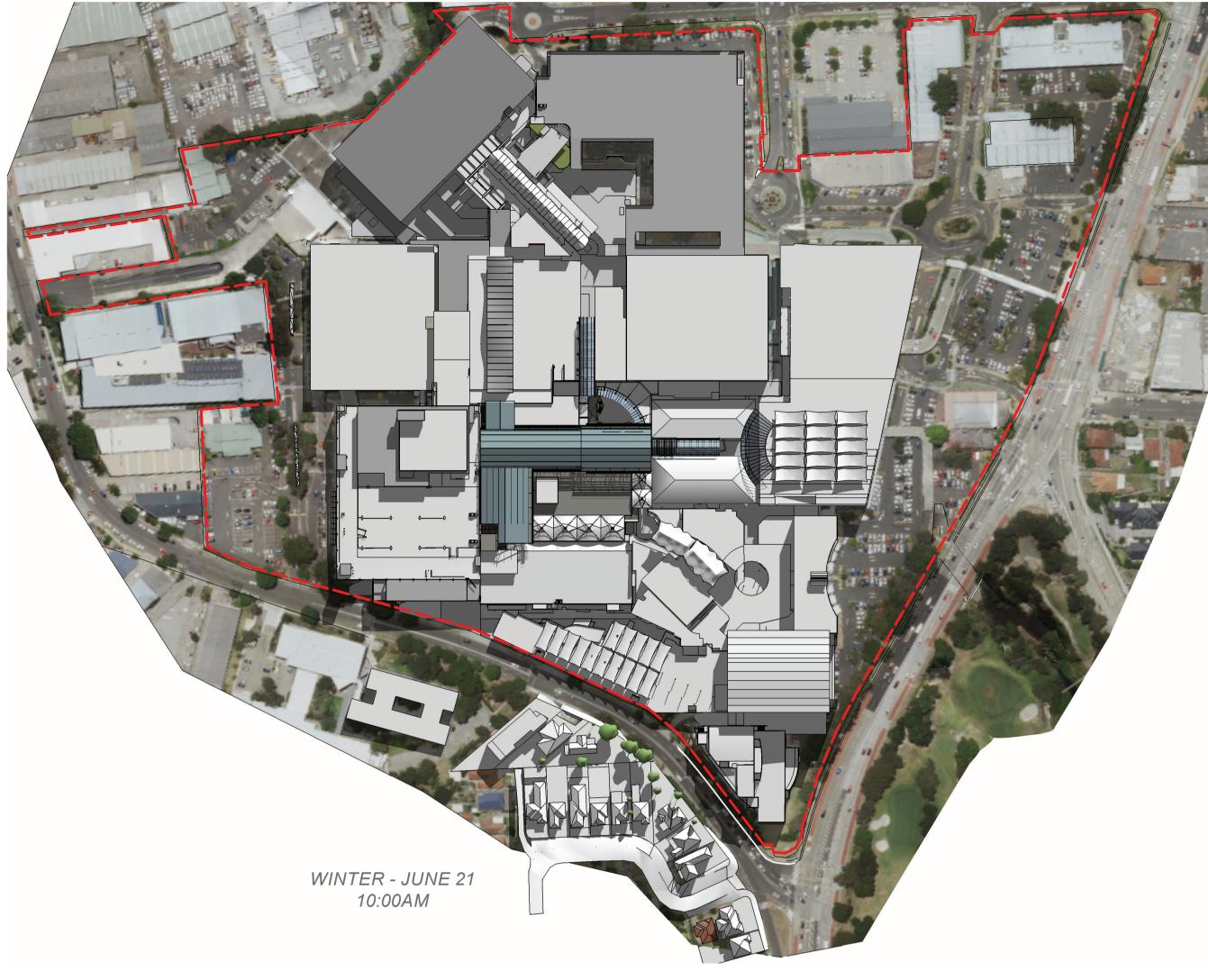
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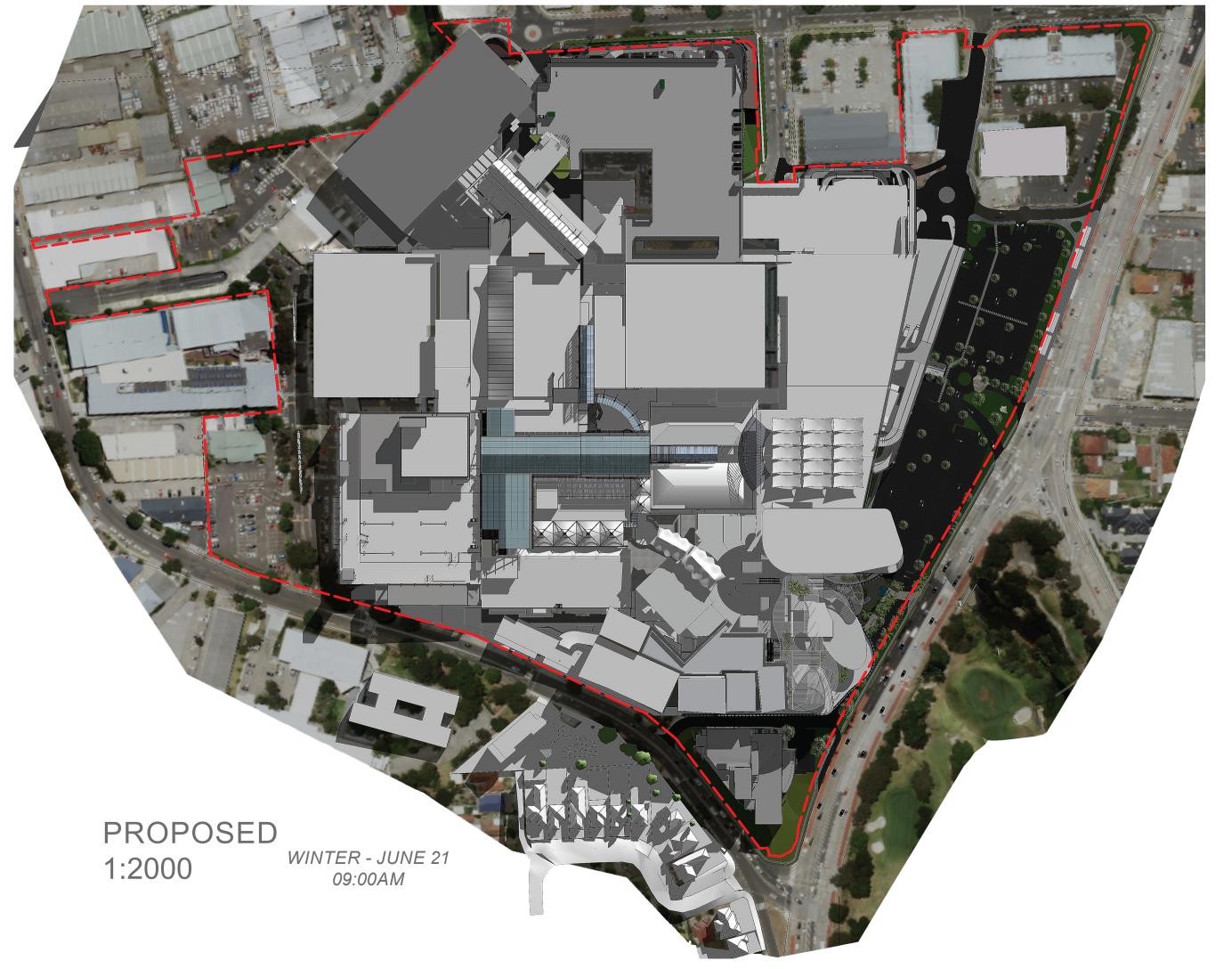
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DEVELOPMENT

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SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

SCHEME 14F
DEVELOPMENT
APPLICATION

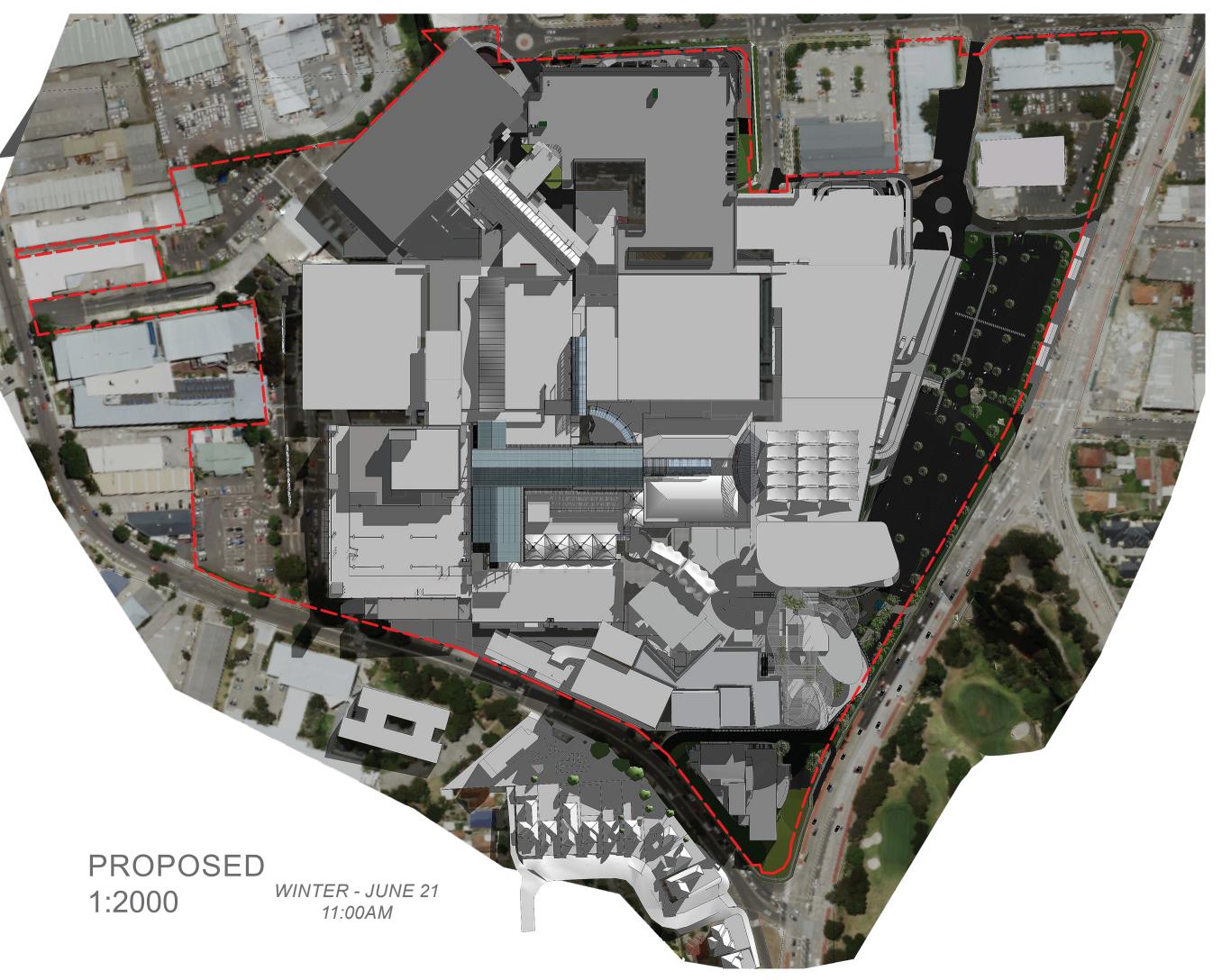
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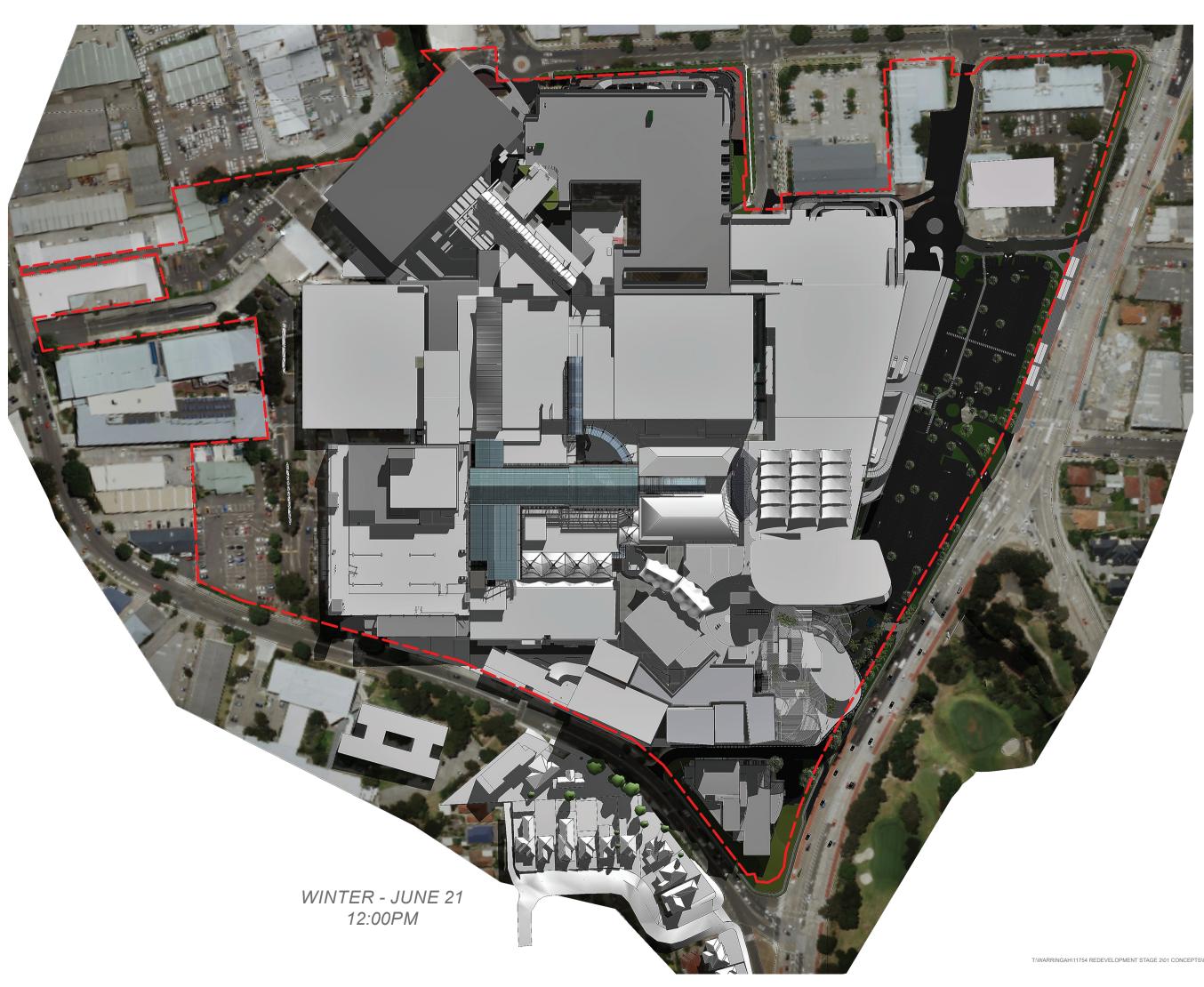
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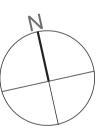
Plot Date 07-06-2019











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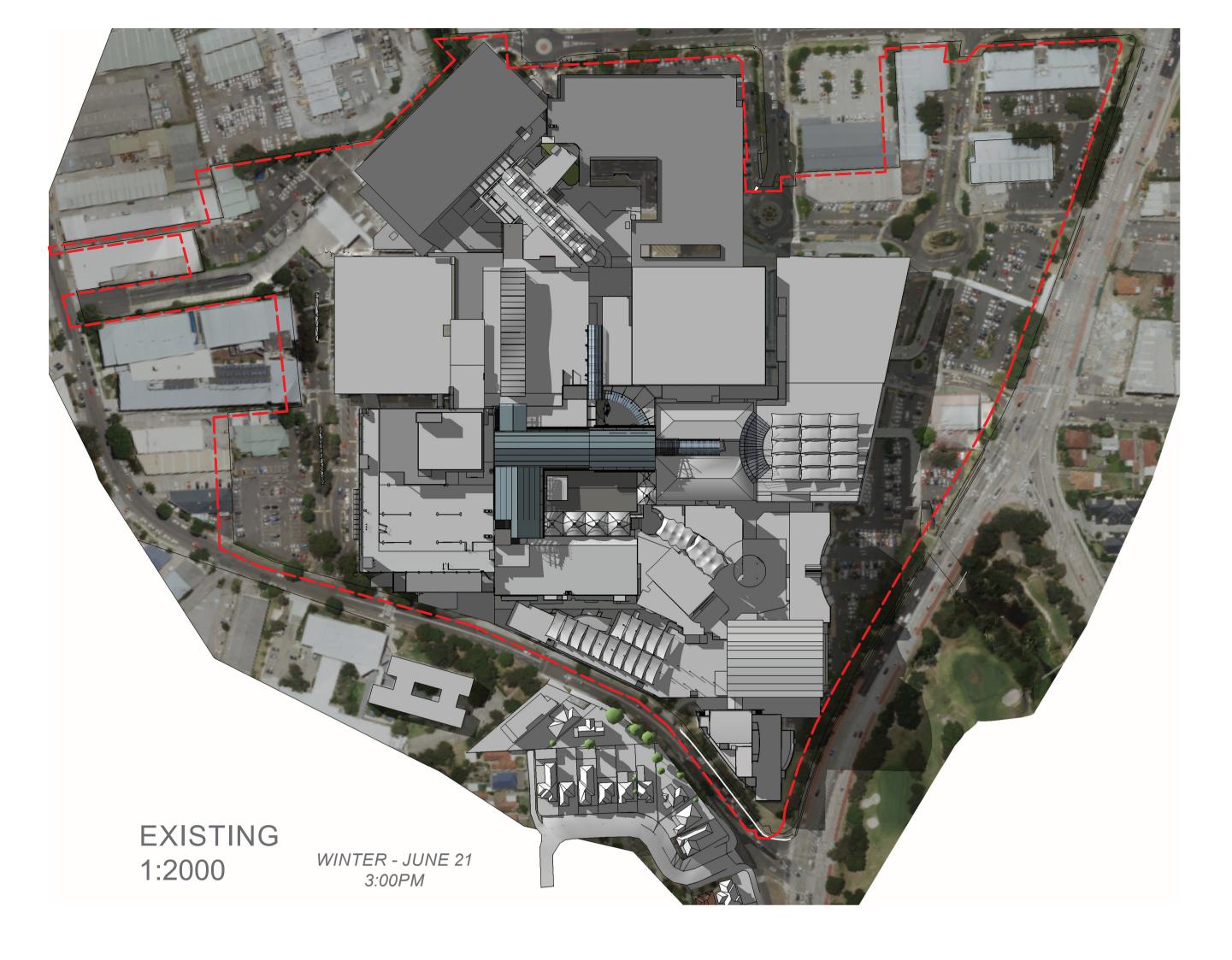
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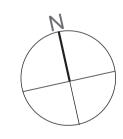
SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

SCHEME 14F
DEVELOPMENT APPLICATION







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SHADOW DIAGRAMS

WARRINGAH MALL STAGE 02

SCHEME 14F

DEVELOPMENT

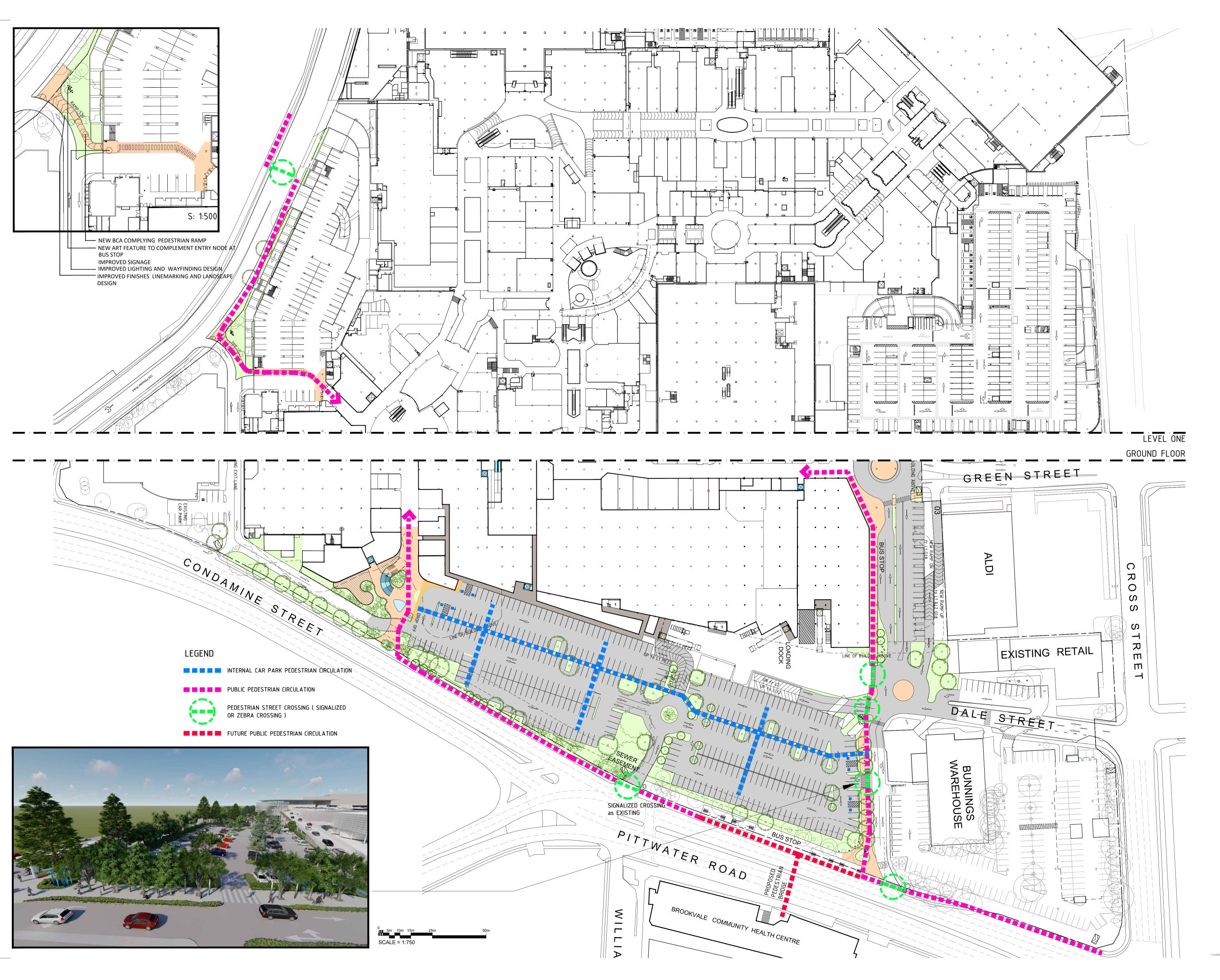
APPLICATION

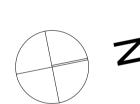
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PEDESTRIAN MOVEMENT DIAGRAM PROPOSED

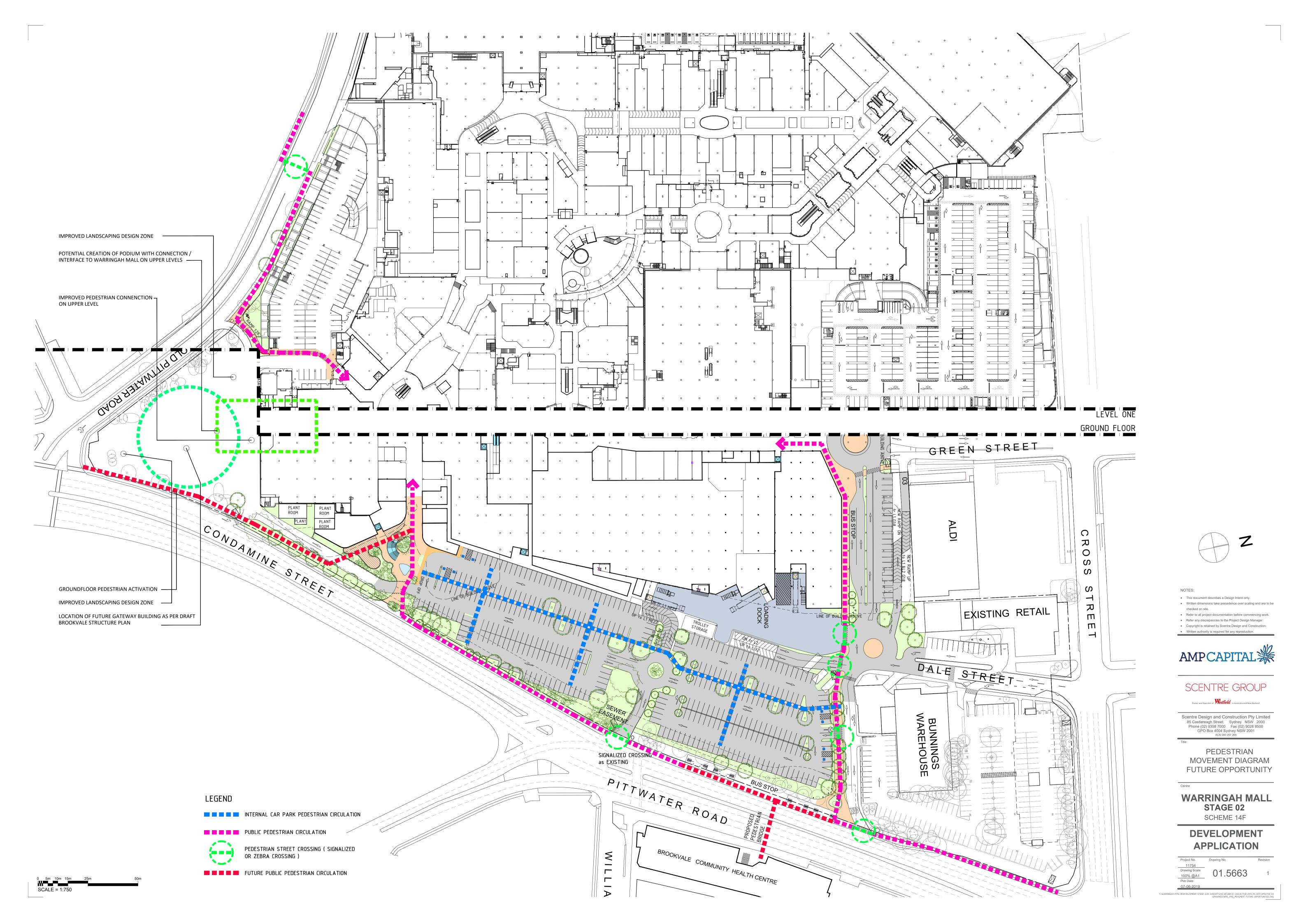
WARRINGAH MALL STAGE 02

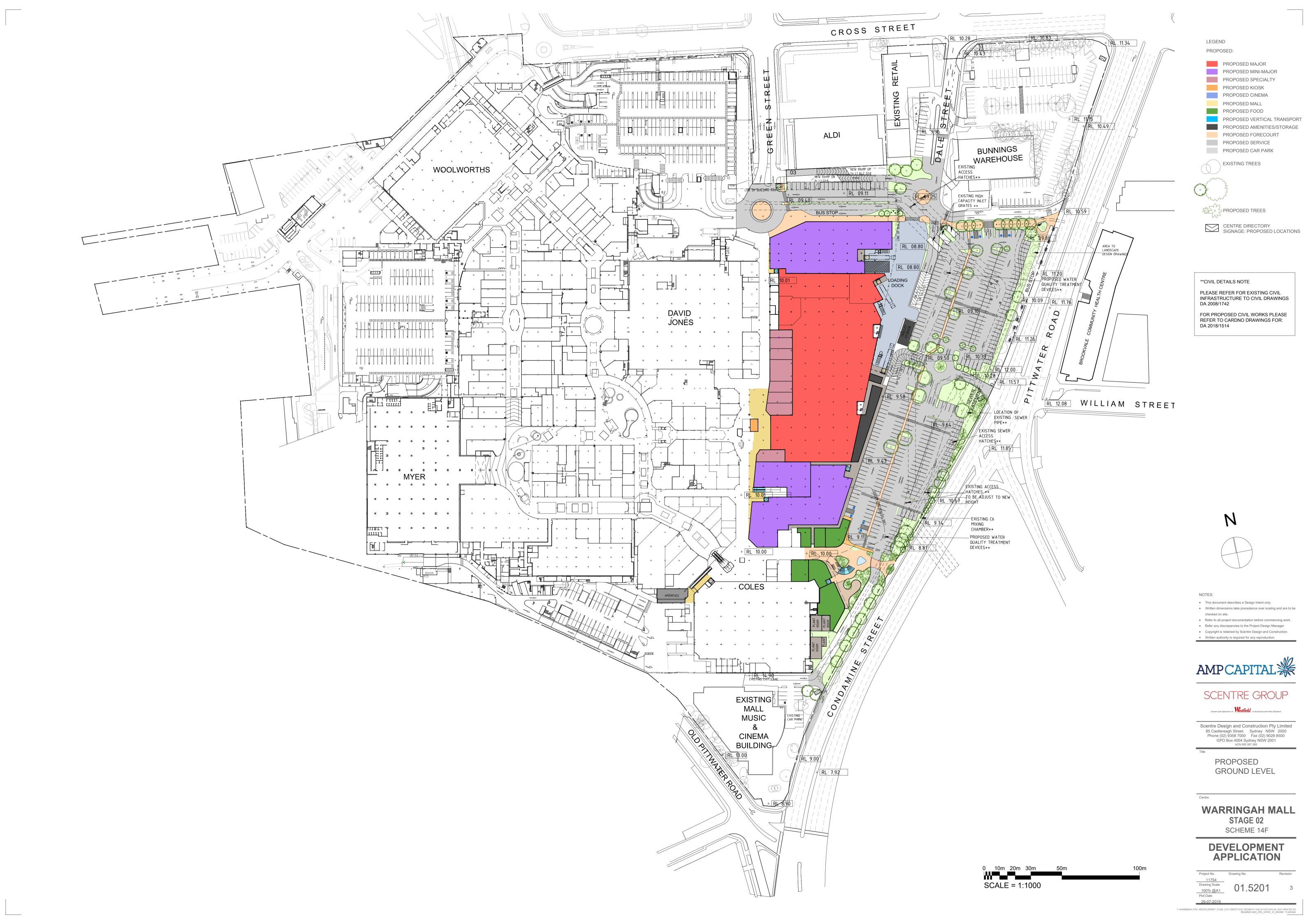
SCHEME 14F **DEVELOPMENT**

APPLICATION

oject No. Drawing No. Re
11754

07-06-2019







Over View - Main Pedestrian Entry



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ABN 40 069 552 610

SUITE 602 / 51 RAWSON STREET,

EPPING, NSW 2121

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PROJECT & CLIENT

Warringah Mall Stage 2

Stage 2

Lot 100, DP1015283, 145 Old Pitwater Rd Brookvale NSW 2100

Prepared for :

Scentre Design & Construction Pty Ltd

Landscape Concept Plans

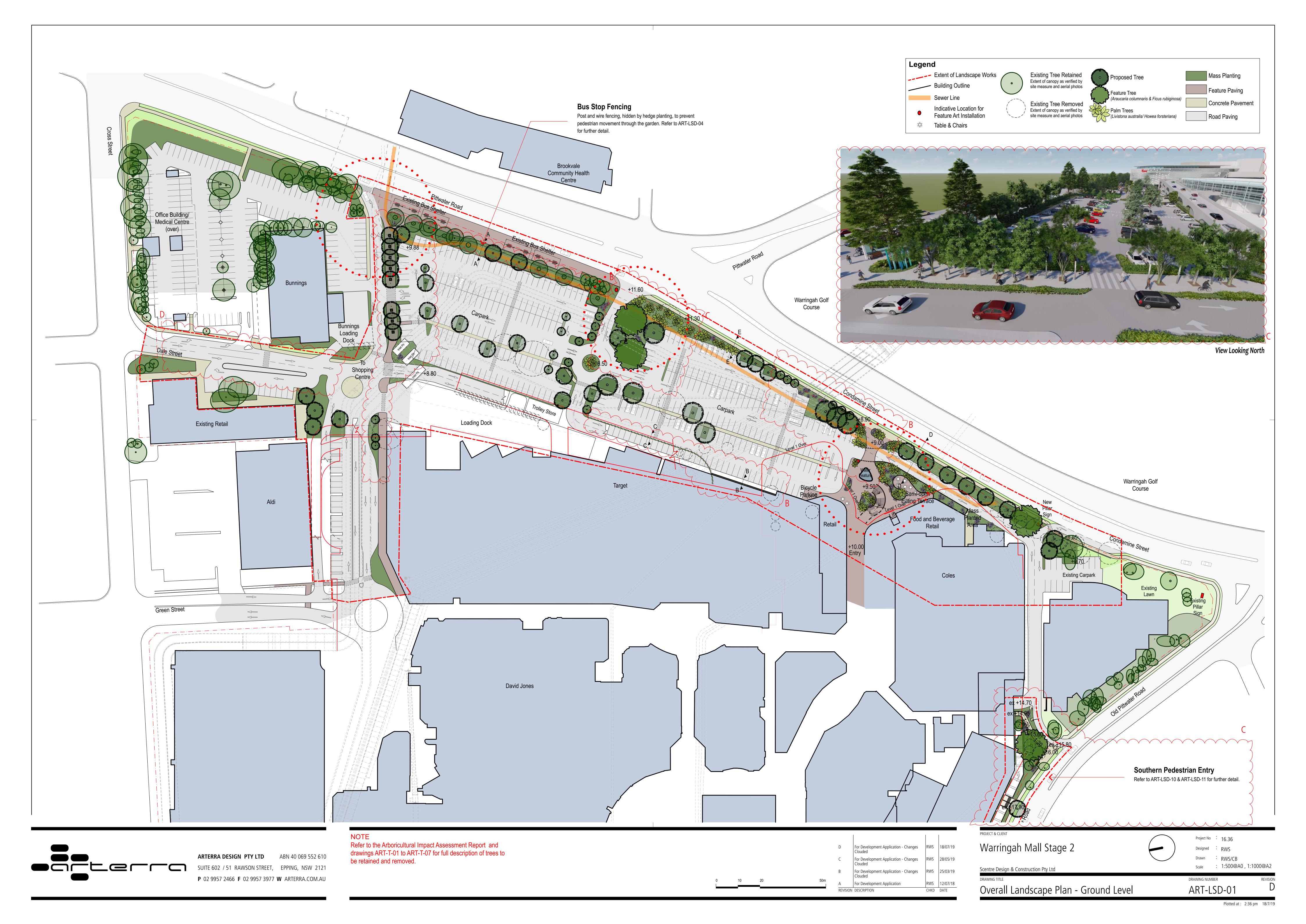
DRAWING INDEX **Drawing No: Drawing Name** Current Rev. ART-LSD-00 Cover Sheet Overall Landscape Plan - Ground Level ART-LSD-01 D ART-LSD-02 Northern Entry Landscape Plan D ART-LSD-03 Southern Entry Landscape Plan В ART-LSD-04 Typical Sections В ART-LSD-05 Typical Sections В ART-LSD-06 Planting Palette В ART-LSD-07 Character Imagery В ART-LSD-08 Perspective Imagery С ART-LSD-09 Northern Car Park Entry Pathway ART-LSD-10 Southern Pedestrian Access Pathway ART-LSD-11 Southern Pedestrian Access Pathway - Section

DATE:

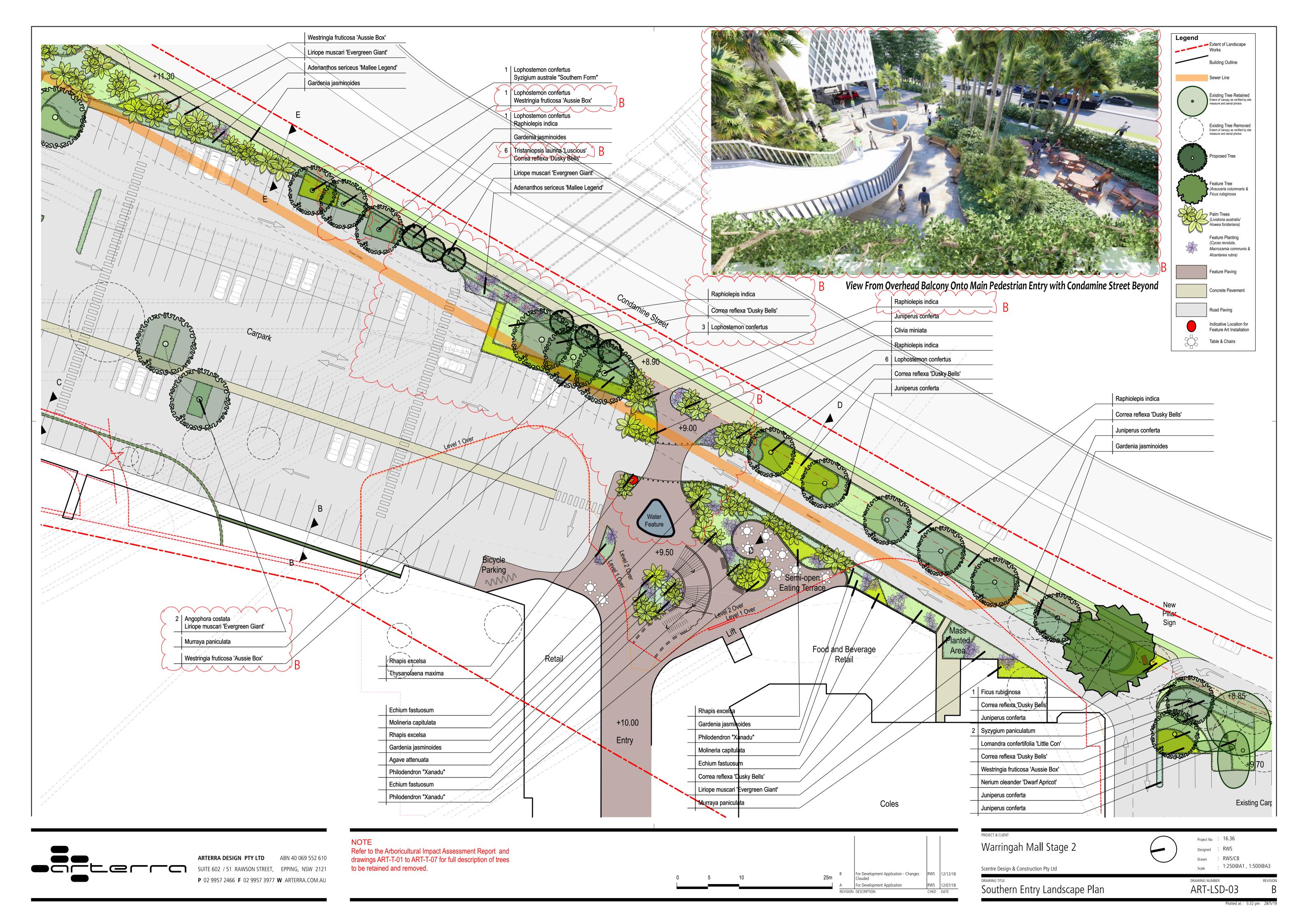
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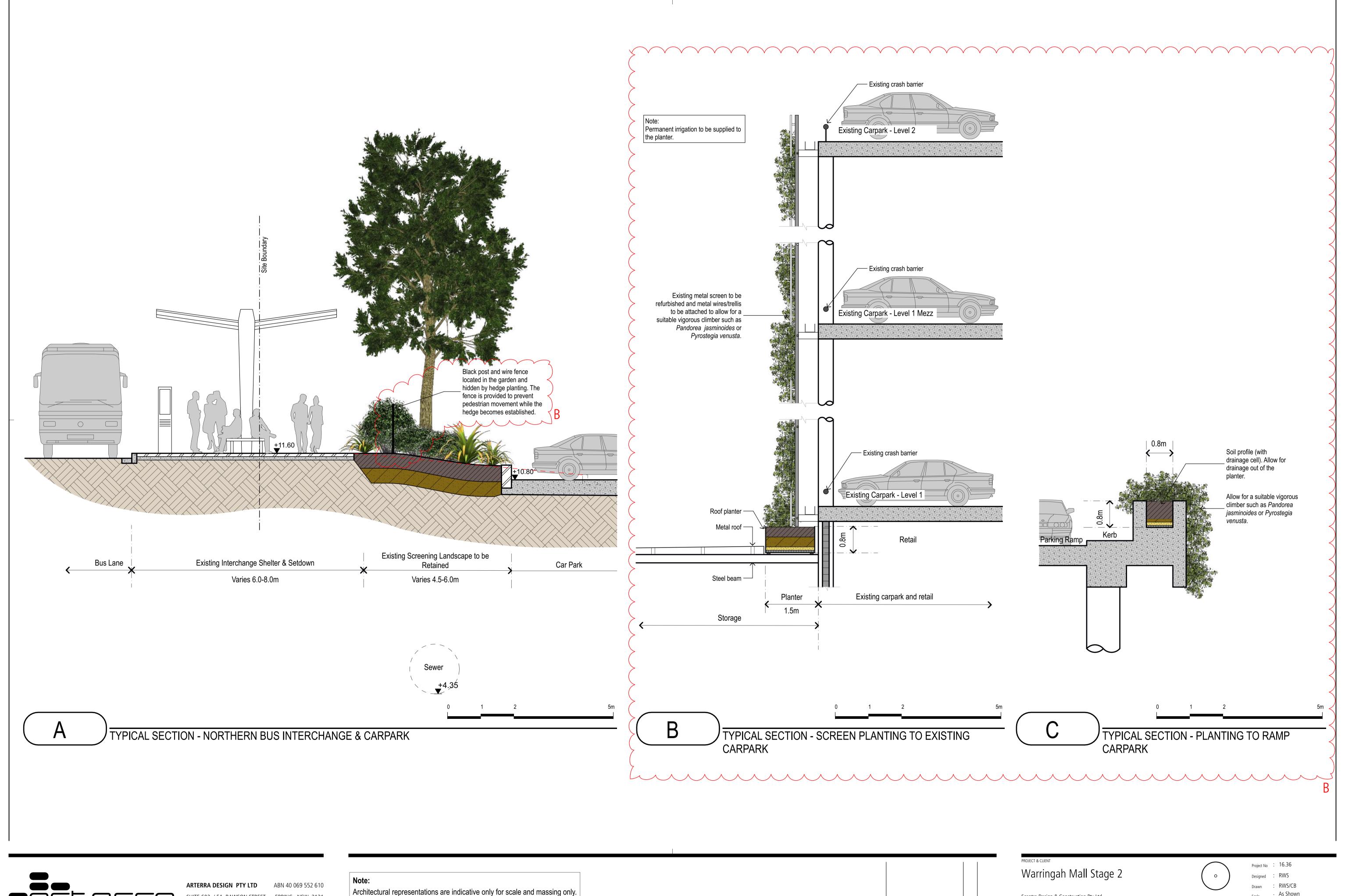
18 July 2019

FOR DEVELOPMENT APPLICATION









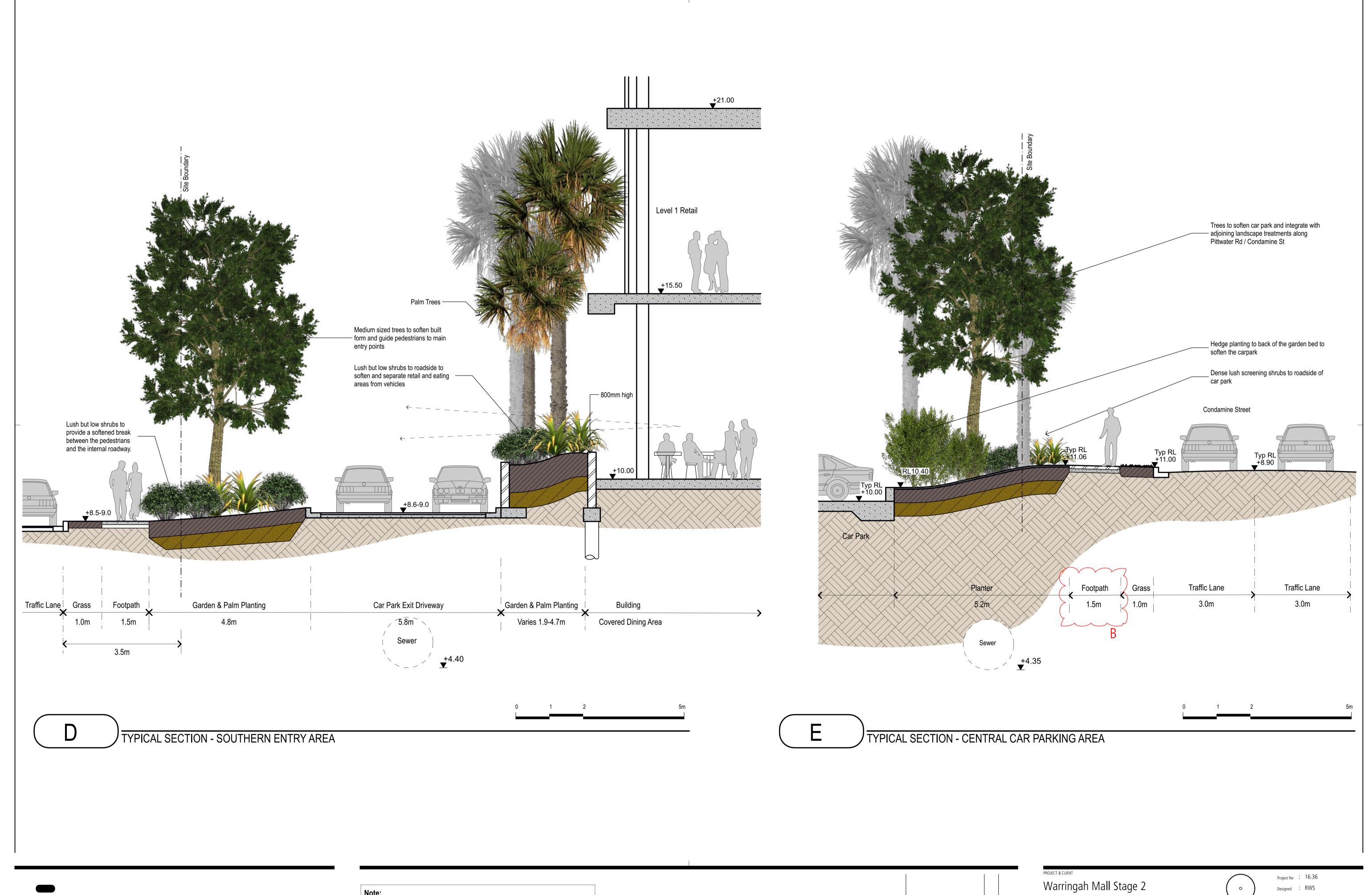


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For Development Application - Changes Clouded For Development Application REVISION DESCRIPTION

Scale : As Shown Scentre Design & Construction Pty Ltd DRAWING NUMBER Typical Sections ART-LSD-04





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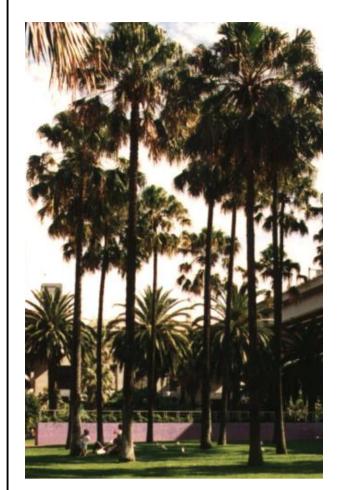
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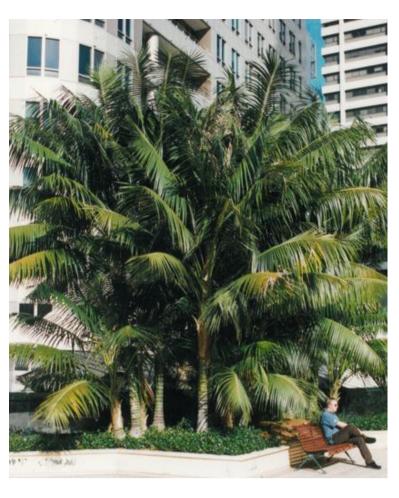
В	For Development Application - Changes Clouded	RWS	28/05/19
Α	For Development Application	RWS	12/07/18
REVISION	DESCRIPTION	CHKD	DATE

PROJECT & CLIENT Warringah Mall Stage 2	Project No : 16.36 Designed : RWS Drawn : RWS/CB	
Scentre Design & Construction Pty Ltd	Scale : As Shown	
Typical Sections	DRAWING NUMBER ART-LSD-05	revision B

Palms



Cabbage Tree Palm Livistona australis



Kentia Palm Howea forsteriana

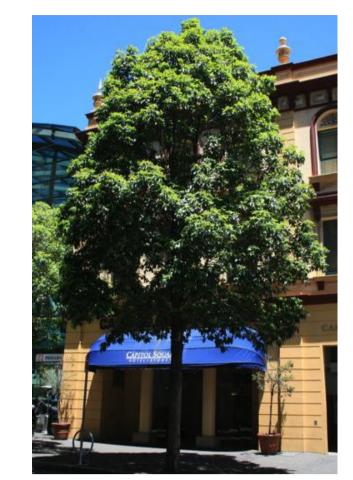
Trees



Water Gum Tristaniopsis laurina 'Luscious'



Angophora costata Sydney Red Gum



Brush Box Lophostemon confertus



Green Avenue Weeping Lilly Pilly Waterhousea floribunda 'Green Avenue'



Cook Pine Araucaria columnaris



Ficus rubiginosa Port Jackson Fig

Groundcovers



Giant Lilyturf Liriope 'Evergreen Giant'



Century Plant Agave attenuata



Palm Grass Molineria capitulata



Shore Juniper Juniperus conferta



Clivia miniata Kaffir Lily



Lomandra confertifolia 'Little Con' Mat Rush

Climbers/Trailers



Bower of Beauty Pandorea jasminoides



Flame Vine Pyrostegia venusta

Shrubs



Lady Palm Raphis excelsa



Sago Palm Cycas revoluta



Xanadu Philodendron Philodendron 'Xanadu'



Common Gardenia Gardenia jasminoides



Lilly Pilly Syzygium australe cultivars



Dusky Bells Correa reflexa' Dusky Bells'



Indian Hawthorn Rhaphiolepis indica



Burrawang Macrozamia communis



Sweet Viburnum Viburnum odoratissimum



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Warringah Mall Stage 2

Scentre Design & Construction Pty Ltd Planting Palette

ART-LSD-06

Proposed Plant Schedule

Potential

Botanical Name	Common Name	Potential Height Reached	Container Size
TREES			
Angophora costata	Sydney Red Gum	10-18m	100L
Araucaria columnaris (syn.A cookii)	Captain Cook's Pine	25-35m	400L
Caesalpinia ferrea	Leopard Tree	10-15m	100L
Corymbia maculata	Spotted Gum	15-25m	200L
Elaeocarpus eumundii	Eumundi Quandong	10-15m	200L
Ficus rubiginosa	Port Jackson Fig	10-20m	400L
Glochidion ferdinandi	Cheese Tree	10-15m	100L
ophostemon confertus	Brush Box	18-20m	200L
Syzygium paniculatum	Brush Cherry/Magenta Cherry	8-12m	200L
Tristaniopsis laurina 'Luscious'	Water Gum	5-8m	100L
Naterhousea floribunda "Green Avenu	Green Avenue Lilly Pilly	15-20m	200L
DALMO			
PALMS Cycas revoluta	Dwarf Sago Palm	3.5m	45L
Cycas revoluta	Dwarf Sago Palm	·····	
Howea forsteriana	Kentia Palm	13-15m	100L 200L +
Livistona australis	Cabbage Palm	15-18m	/transplante
Macrozamia communis	Burrawang	2m	45L
Rhapis excelsa	Lady Palm	3-6m	45L
SHRUBS			
Adenanthos sericeus 'Mallee Legend'	Coastal Woollybush	1.5-2m	5L
Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 - 1.5m	45L
Alpinia zerumbet / speciosa	Shell Ginger	3m	5L
Correa reflexa 'Dusky Bells'	Native Fuchsia, Common Correa	1-2m	5L
Echium fastuosum	Pride of Madeira	2-3m	5L
Gardenia jasminoides	Gardenia	1-2m	25L
Murraya paniculata	Orange Jessamine	3m	25L
Nerium oleander 'Dwarf Apricot'	Dwarf Oleander	1-2m	5L
Philodendron "Xanadu"	Dwarf Philodendron	1m	25L
Raphiolepis indica	Indian Hawthorn	2-3m	5L
Syzigium australe "Southern Form"	Southern Form Syzygium	2-3m	25L

Thysanolaena maxima		2-3m	5L
Viburnum odoratissimum	Sweet Viburnum	3-4m	5L
Nestringia fruticosa 'Aussie Box'	Dwarf Coastal Rosemary	0.8m	5L
GROUNDCOVERS/CLIMBERS	,		
Agave attenuata	Century Plant	0.5m	25L
Cissus rhombifolia	Grape Ivy	0.5m	150mm
Clivia miniata	Kaffir Lily	0.45m	5L
Hedera canariensis	lvy	0.3m	150mm
	Shore Juniper	0.3m	150mm
Juniperus conferta		0 Em	150mm
	Turf Lily	0.5m	
_iriope muscari 'Evergreen Giant'	Turf Lily Mat Rush	0.5m	150mm
Juniperus conferta _iriope muscari 'Evergreen Giant' _omandra confertifolia 'Little Con' Molineria capitulata			150mm 5L
_iriope muscari 'Evergreen Giant' _omandra confertifolia 'Little Con'	Mat Rush	0.2m	

Character Imagery





Cascading Plants

Planting on the upper roof level to provide cascading climbers and hardy trailing plants to further soften the building edges





Raised garden beds filled with hardy and low maintenance shrubs and groundcovers that provide a lush tropical character

Landscape Establishment & Maintenance

LANDSCAPE ESTABLISHMENT & MAINTENANCE

Extent & Tasks

Monitor and maintain all planting and associated landscaping works for the duration of the maintenance period. This shall generally include watering, failed plant replacements, pest and disease control, weed control and monitoring. Maintenance is to be carried out to all areas where new planting, is installed. Weeding shall extend around and in between individual plants and up to path, kerbs or other defining edges. Carry out all maintenance activities for all new garden and lawn areas as required to ensure the plants and turf become established within the maintenance period and are kept in a healthy and tidy state in accordance with best horticultural practices.

Watering

Plants are to be watered upon completion of planting and then monitored for water stress. Watering requirements will be subject to season and prevailing weather conditions. Plants that fail due to wilting and water stress shall be replaced.

Pests and Diseases

All trees are to be visually inspected for the presence of persistent and damaging insect pests or diseases at least once every 4 weeks, or upon written notification from the Contract Manager of a potential problem. The pest and / or disease and its extent and prevalence is to be identified and recorded along with the recommended control and action to be taken.

Weeding

All areas are to be visually inspected for the presence of woody and herbaceous weed species once every 4 weeks. All occurrences of weeds are to be spot sprayed using a glyphosate based herbicide no later than 7 days after being identified. Weeds are to be re-inspected 7 days after spraying and retreated if required. Weeds higher than 200mm in height shall be removed by hand before general herbicide treatment. Smaller weeds shall be allowed to wither and rot in place.

Plant Replacements

Plants that have failed due to inadequate maintenance, or implementing inappropriate handling procedures or planting operations shall be replaced. Replacements shall be undertaken within 7 days of the plant being identified as failed or unacceptably damaged. Note, severe wilting or water logging leading to death of foliage, breakage or wounding of main stem, damage to apical leaders or damage to significant second order branches shall be deemed to constitute failure.

The cost of plants that are damaged or killed by environmental factors outside the normal control such as severe storms, high winds, hail, flooding, vehicular accident, or are stolen or maliciously damaged shall be born by the Contractor if prior to Practical Completion. The Contractor is advised to take out all necessary Construction Insurance to cover all the costs associated with re-supply, delivery and replanting prior to this time. The costs of replacing damaged, stolen or maliciously damaged plants shall be covered by the Principal after Practical Completion has been granted.



Stone Paving

Character Imagery

Paving is to have a high level of finish utilising a natural stone or stone-like surface and non-slip characteristics that easily meets and matches the adjoining concrete footpaths and roads.



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А	For Development Application	RWS	12/07/1
REVISION	DESCRIPTION	CHKD	DATE

PROJECT & CLIENT	
	Project No : 16.36
Warringah Mall Stage 2	(o) Designed : RWS
	Drawn : RWS/CB
Scentre Design & Construction Pty Ltd	Scale : NTS
DRAWING TITLE	DRAWING NUMBER

ART-LSD-07

Character Imagery



Main Pedestrian Entry with Palm Planting



Over View of Northern Carpark Looking South



Over View - Looking North Along Condamine Street



Main Pedestrian Entry from Condamine Street



Main Vehicular Entry



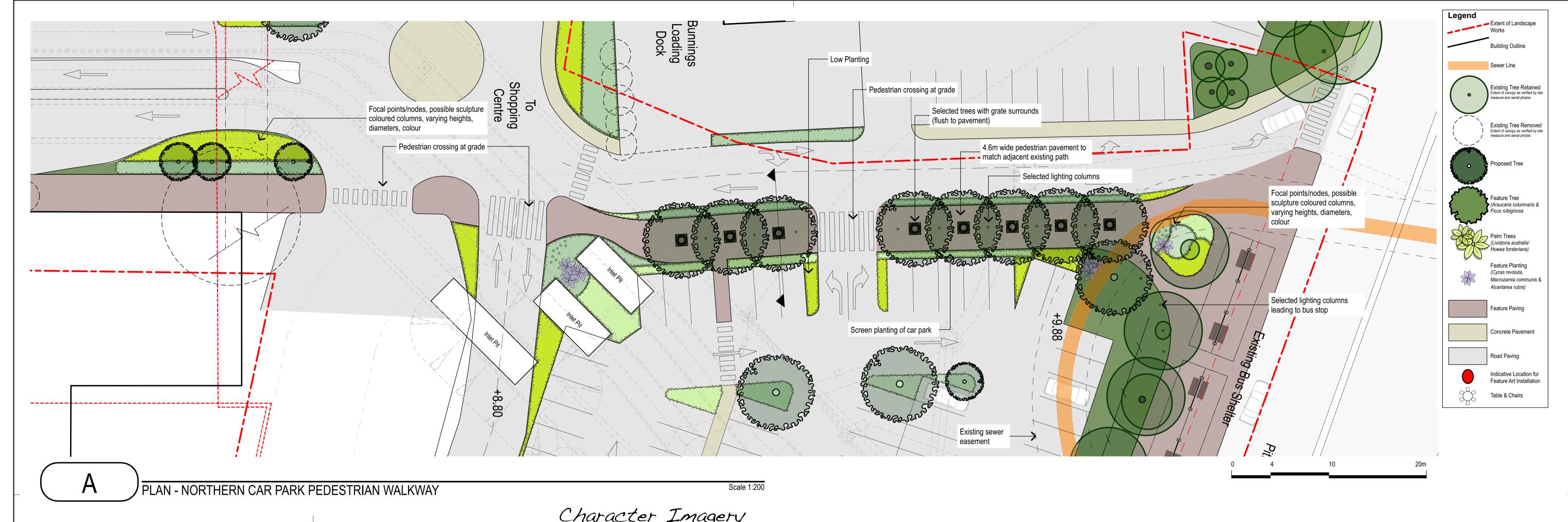
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С	For Development Application - Shown Clouded	RWS	28/05/19
В	For Development Application - All Images Amended	RWS	12/12/18
Α	For Development Application	RWS	12/07/18
REVISION	DESCRIPTION	CHKD	DATE

THOSECT & CEIENT			
Warringah	Mall	Stage	2

Scentre Design & Construction Pty Ltd Perspective Imagery

DRAWING NUMBER
ART-LSD-08



Character Imagery

Large spreading canopy tree (mix of *Waterhousea floribunda "Green* Avenue" and Caesalpinia ferrea)

Light poles positioned between

Paving over structural cells to

appropriate soil volume for the

Access Road

nom. 0.8m

assist with achieving an

proposed tree planting





Over View of Northern Carpark Pedestrian Walkway Looking West

Northern Car Park Entry Pathway

Precedent Imagery - Lighting/Sculptures











Tree pit to be 1200 x 1200 with a heel safe and non slip tree grate at

Hedge planting to screen and soften parked cars and to direct pedestrians to appropriate exit

Black post and wire fence located in

the garden and hidden by hedge

planting. The fence is provided to

prevent pedestrian movement while

Car Park

the hedge becomes established.

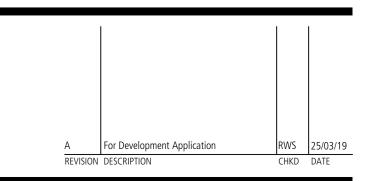
the surface

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Pedestrian Walkway

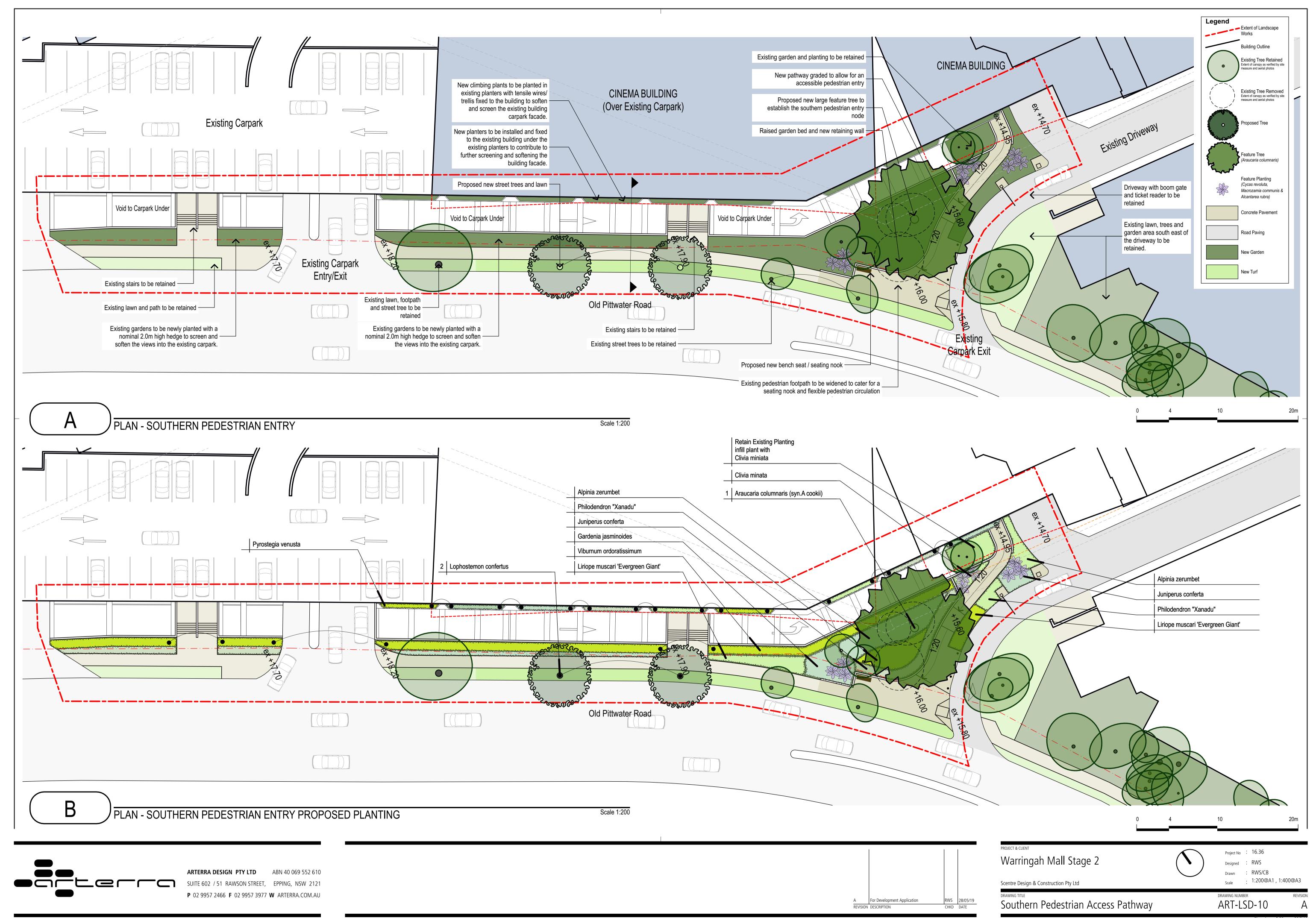
SECTION AA- NORTHERN CAR PARK PEDESTRIAN WALKWAY

Scale 1:50



& CLIENT	Project No	: 16.36	
win and Mall Ctage 2	Project No	. 10.50	
rringah Mall Stage 2	Designed	: RWS	
	Drawn	: RWS/CB	
e Design & Construction Pty Ltd	Scale	: AS SHOWN @ A	1
G TITLE	DRAWING NUMB	RER	F

ART-LSD-09



Plotted at: 5:32 pm 28/5/19

Cinema Roof Note: Permanent irrigation to be supplied to Cinema facade to architectural detail New street tree to match existing species (Lophostemum confertus) Cinema - Level 3 New modular trellis/ wire - system to be fixed to existing car park slab New climber to provide softened screen Existing suspended planter – with trailing plants to soften the building facade Decorative groundcover — Nom. 2m high hedge planting ___ (Viburnum odoratissimum) Shops - Level 2 New modular trellis/ wire - system to be fixed to existing car park slab Existing Road New suspended fibreglass reinforced plastic planter (Quatro design green wall planter technology) Existing Carpark - Level 1 Mezz Engineered stainless steel brackets (as per engineers requirement) verge with Existing garden bed to be newly Existing footpath | planting | Old Pittwater Road Varies Varies nom. 1.2m Existing Carpark - Level 1 **Ground Level** Truck Route TYPICAL SECTION - AA NEW PLANTING AND SCREENING OF EXISTING CAR PARK

Character Imagery



Main Southern Pedestrian Entry from Old Pittwater Road



Overview - Main Southern Pedestrian Entry Looking South



Photomontage from Old Pittwater Road Looking North







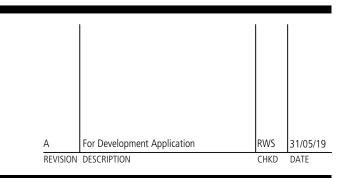






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Warringah Mall Stage 2

Scentre Design & Construction Pty Ltd

: 1:50@A1 , 1:100@A3

Southern Pedestrian Access Pathway - Section ART-LSD-11