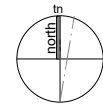


15 Southern Cross Way, ALLAMBIE HEIGHTS



site location plan
Scale: nts



source: google earth

drawing register

| | | Issue Date: |
|--------|----------------------------------|----------------------|
| | | Day Month Year |
| DA//00 | Site Location & Drawing Register | A |
| DA//01 | Perspective Views // Existing | A |
| DA//02 | Planning Approval Pathway (DA) | A |
| DA//03 | Site Analysis Plan // Existing | A |
| DA//04 | Site Layout Plan // Proposed | A |
| DA//05 | GF Plan // Existing | A |
| DA//06 | GF Plan // Proposed | A |
| DA//07 | Lower GF Plan // Proposed | A |
| DA//08 | Roof Plan // Proposed | A |
| DA//09 | Sections // Proposed | A |
| DA//10 | Elevations North // Exg. & Prop. | A |
| DA//11 | Elevations South // Exg. & Prop. | A |
| DA//12 | Elevations East // Existing | A |
| DA//13 | Elevations East // Proposed | A |
| DA//14 | Elevations West // Exg. & Prop. | A |
| DA//15 | BASIX Report - Sht 1 | A |
| DA//16 | BASIX Report - Sht 2 | A |
| DA//17 | Ext. Window Schedule | A |
| DA//18 | Ext. Door & Finishes Schedule | A |
| DA//19 | Building Height Envelope | A |
| DA//20 | Shadow Diagram Jun 21st 9am | A |
| DA//21 | Shadow Diagram Jun 21st 12pm | A |
| DA//22 | Shadow Diagram Jun 21st 3pm | A |
| DA//24 | Sed. & Erosion//Site Setup Plan | A |
| DA//AA | Notification Plans | A |

| Issue: | Recipients: |
|--------|---|
| (DA) | <ul style="list-style-type: none"> Clients : W. & L. Quick Council : Northern Beaches Council Town Planner : Watermark - Sarah McNeilly Engineer : Found Engineers - Faran Daneshgari |

BASIX®
Building Sustainability Index
to be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:
Showerheads 3 Star
Toilets 3 Star
Taps 3 Star

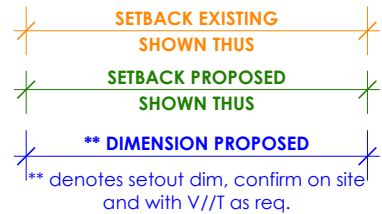
Artificial Lighting
40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)
Suspended Floor R 0.60 (or R1.70 incld. construction)
External Wall Brick veneer R 1.16 (or R1.70 incld. construction)
External Wall Framed R 1.30 (or R1.70 incld. construction)
Ceiling (flat) R 0.95
Ceiling (raked) R 1.24
Roof 100mm Foil backed blanket
Solar absorbance (SA) Medium 0.475 - 0.70
Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
Standard Aluminium, Single clear, (U-value: 7.63, SHGC: 0.75) and
Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
Timber low-E internal/argon fill// clear external (or U-value: 2.5, SHGC: 0.456)
note skylights grouping:
skylights orientation grouped for BASIX purposes

setbacks // dimensions



plan reference key:

demolitions

extent of additions

plan reference key:

existing walls // structure retained

new walls

demolitions

new glazed areas

new joinery

flush thresholds

DEVELOPMENT APPLICATION (DA)
not for construction

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

| | | |
|----------|--|--|
| address: | 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | |
| client: | W. & L. Quick | |
| project: | Alterations & additions | |

| | | |
|-----------|----------------------------------|--------------------------|
| title: | Site Location & Drawing Register | |
| drawn by: | JOB | scale: @ a3 |
| date: | 12/02/2025 | issue: @ VIEW//THRU (DA) |
| dwg. no.: | DA//00 | Rev. no.: A |

RIAI Architectural Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)

t: 043 7222 389 info@viewthru.ccm.au
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdca
ACCREDITED
BUILDING DESIGNER
accreditation no: 6851

LIVING FUTURE
PROFESSIONAL MEMBER

VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU



existing street view
Scale: nts



proposed street view
Scale: nts



existing garden view
Scale: nts



proposed garden view
Scale: nts

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: W. & L. Quick

project: Alterations & additions

title: Perspective Views // Existing

drawn by: JOB

date: 12/02/2025

dwg. no.: DA//01

scale: @ a3

issue: @ VIEW//THRU (DA)

Rev. no.: A

RIAI Architectural Technologist 2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)

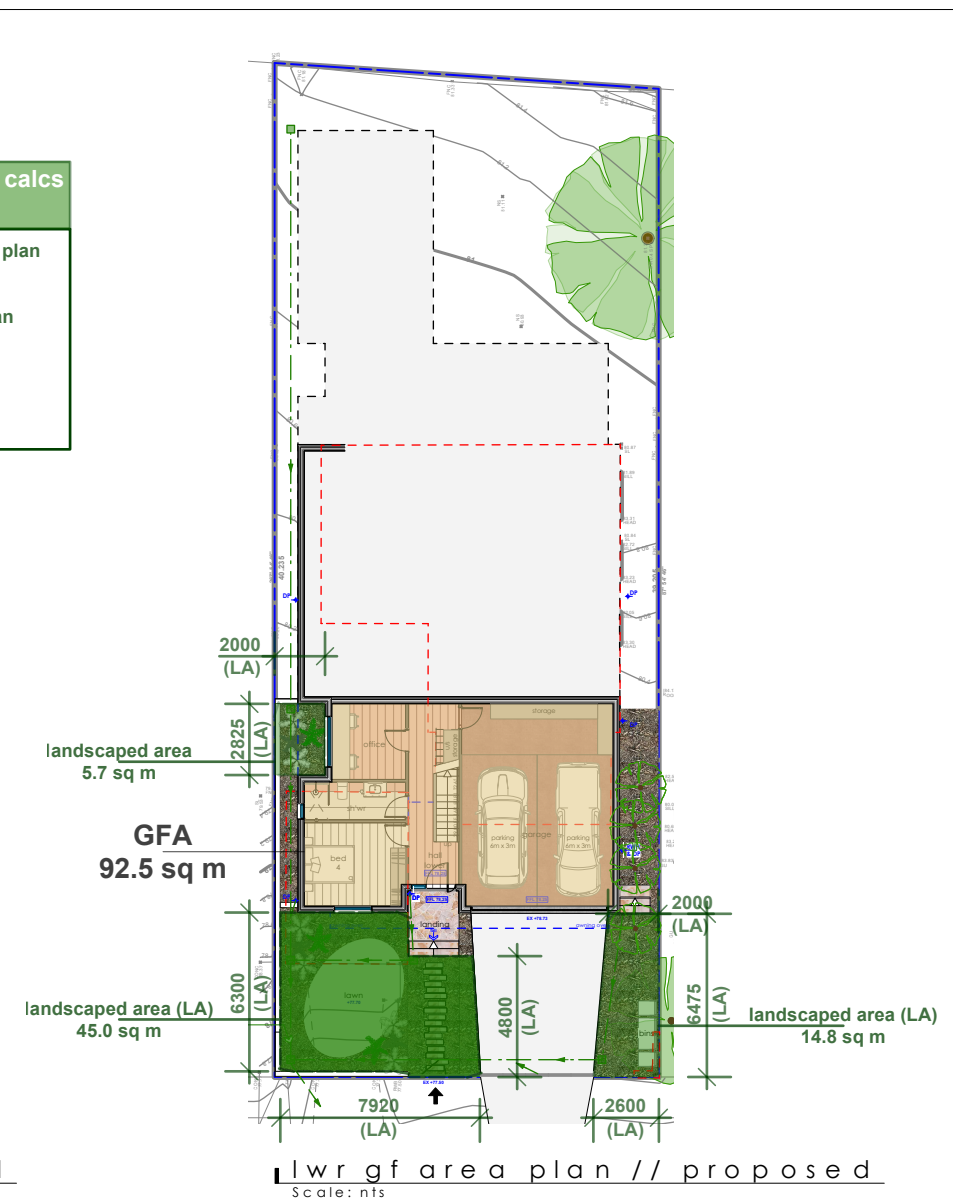
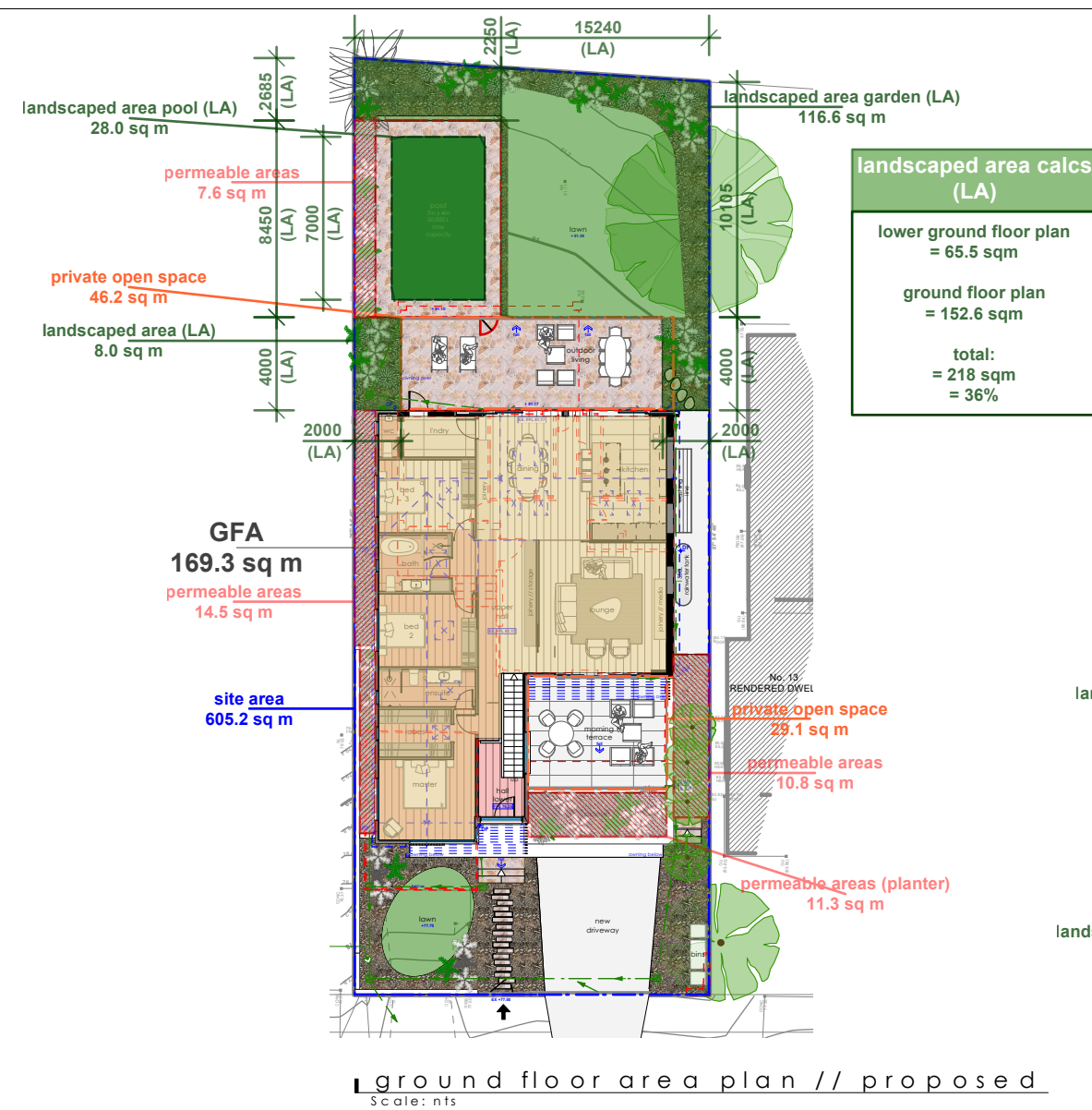
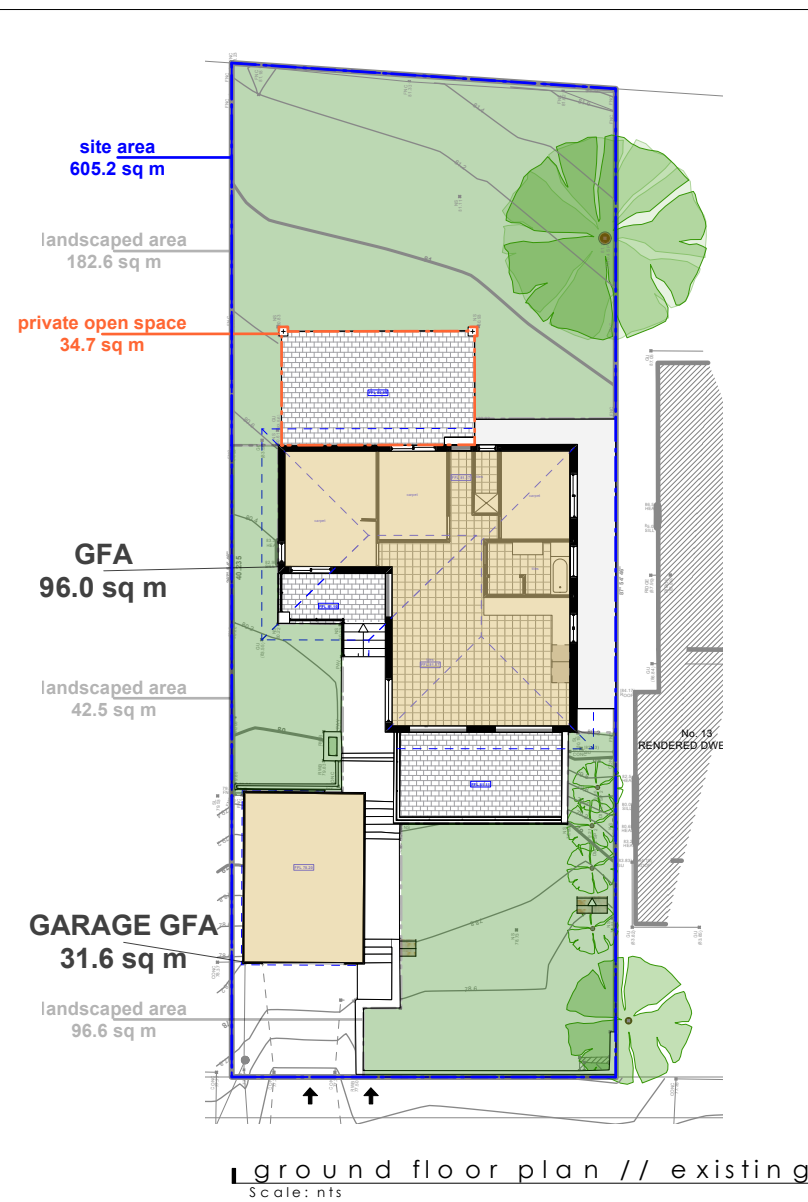
t: 043 7222 389 info@viewthru.com.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa
ACCREDITED
BUILDING DESIGNER
accreditation no: 6851

LIVING FUTURE
PROFESSIONAL MEMBER

VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU



COMPLIANCE TABLE - AREA CALCULATIONS FOR DA (m2)

Warringah Local Environmental Plan (LEP) 2011, Warringah Development Control Plan (DCP) 2011
Local Government Area: Northern Beaches Council

| AREAS: | CONTROLS: (LEP) | | | | | | | | | | | | | | | | | DCP | | |
|------------|-----------------|---------|--------------|--------------|-----------|--------------|---------------------|------------|------------------|---------------------|------------|---------------------------|-------------------------|-----------------|---------------------------|---------------|----------------------------|---------------------|--------------------|---------|
| | SITE AREA | GARAGE | GROUND FLOOR | LOWER GROUND | LAND ZONE | MIN LOT SIZE | ACID SULPHATE SOILS | BIO DIVER. | CRITICAL HABITAT | LANDSLIDE RISK LAND | FLOOD RISK | FORESHORE SCENIC PROTECT. | FORESHORE BUILDING LINE | GEO TECH HAZARD | HERITAGE or CONSERV. AREA | SITE COVERAGE | LANDSCAPED AREA | BUSHFIRE PRONE LAND | PRIVATE OPEN SPACE | PARKING |
| CONTROL | | | | | | 600 sqm | | | | | | | | | | | = 40% min = 242 SQM MIN | | 60 sqm MIN | |
| EXISTING | 605 sqm | 31.6 m2 | 96 m2 | - | R 2 | | | | | | | | | | | | 321 sqm | | | |
| PROPOSED | 605 sqm | | 169.3 m2 | 92.5 m2 | R2 | | | | | | | | | Area B & D | | | - sqm 218 sqm = 36% | | | 2 |
| COMPLIANCE | ✓ | | ✓ | ✓ | ✓ | ✓ | N/A | N/A | N/A | N/A | N/A | N/A | N/A | Refer to Report | N/A | N/A | Refer to SEE | Refer to Report | ✓ | ✓ |

- plan reference key:**
- gross floor area existing
 - landscaped area
 - proposed extended gross floor area
 - open space
 - site coverage
 - entry

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

address:
15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922

client: W. & L. Quick

project: Alterations & additions

title: Planning Approval Pathway (DA)

drawn by: JOB scale: @ a3

date: 12/02/2025 issue: @ VIEW//THRU (DA)

dwg. no.: DA//02 Rev. no.: A

RIAI Architectural Technologist 2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.) (Affiliate RAI.A)

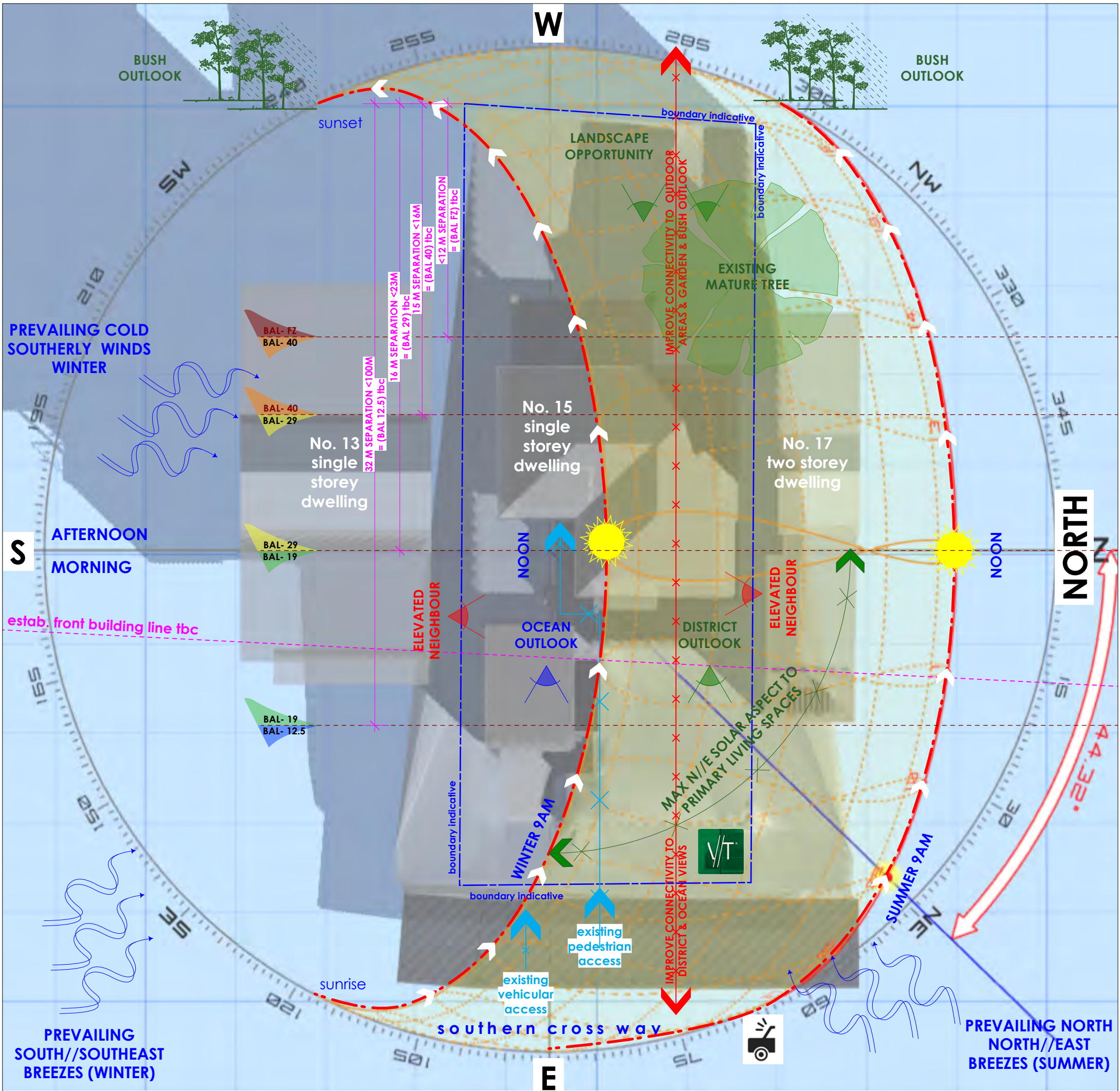
t: 043 7222 389 info@viewthru.ccm.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa ACCREDITED BUILDING DESIGNER accreditation no: 6851

LIVING FUTURE PROFESSIONAL MEMBER

VIEWTHRU MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

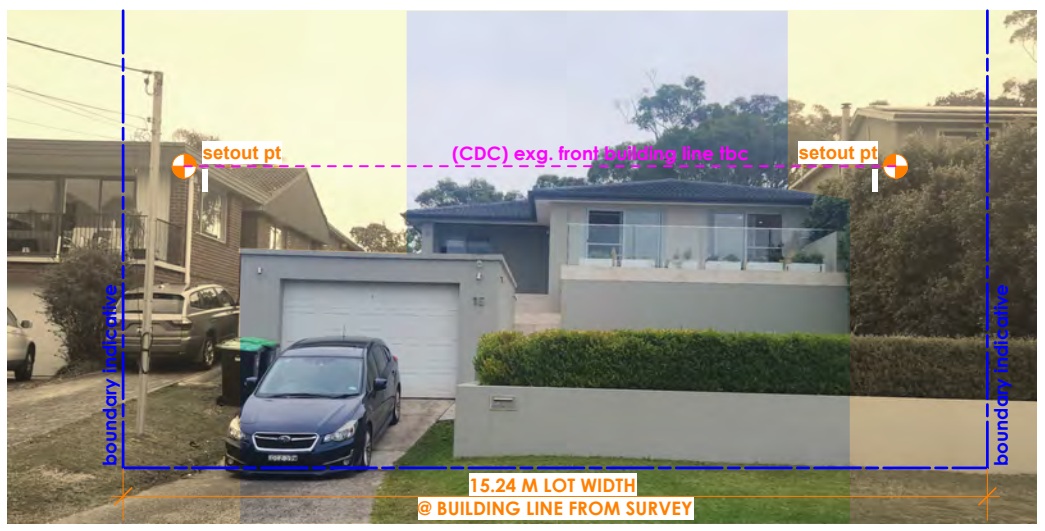


site analysis plan // existing
Scale: nts

source: andrewmarsh.com

- plan reference key:**
- potential overlooking
 - views water
 - views bush // district
 - site entry points
 - traffic noise
 - existing bush outlook

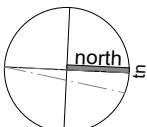
| GEOGRAPHIC LOCATION | |
|---------------------|----------------|
| Latitude: | -30.00° |
| Longitude: | 150.1171875° |
| Timezone: | GMT+10:00 |
| DATE AND TIME | |
| Date: | 21 Jun 2023 |
| Time: | 12:01 |
| SOLAR INFORMATION | |
| Azi / Alt: | 0.09° / 36.58° |
| Rise / Set: | 06:55 / 17:08 |
| Daylight: | 10:13 Hrs |



site analysis // street view
Scale: nts

DEVELOPMENT APPLICATION (DA)

| | | |
|--|---------------------------------------|-------------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Site Analysis Plan // Existing | |
| client: W. & L. Quick | drawn by: JOB | scale: 1:200 @ a3 |
| project: Alterations & additions | date: 12/02/2025 | issue: @ VIEW/THRU (DA) |
| | dwg. no.: DA//03 | Rev. no.: A |



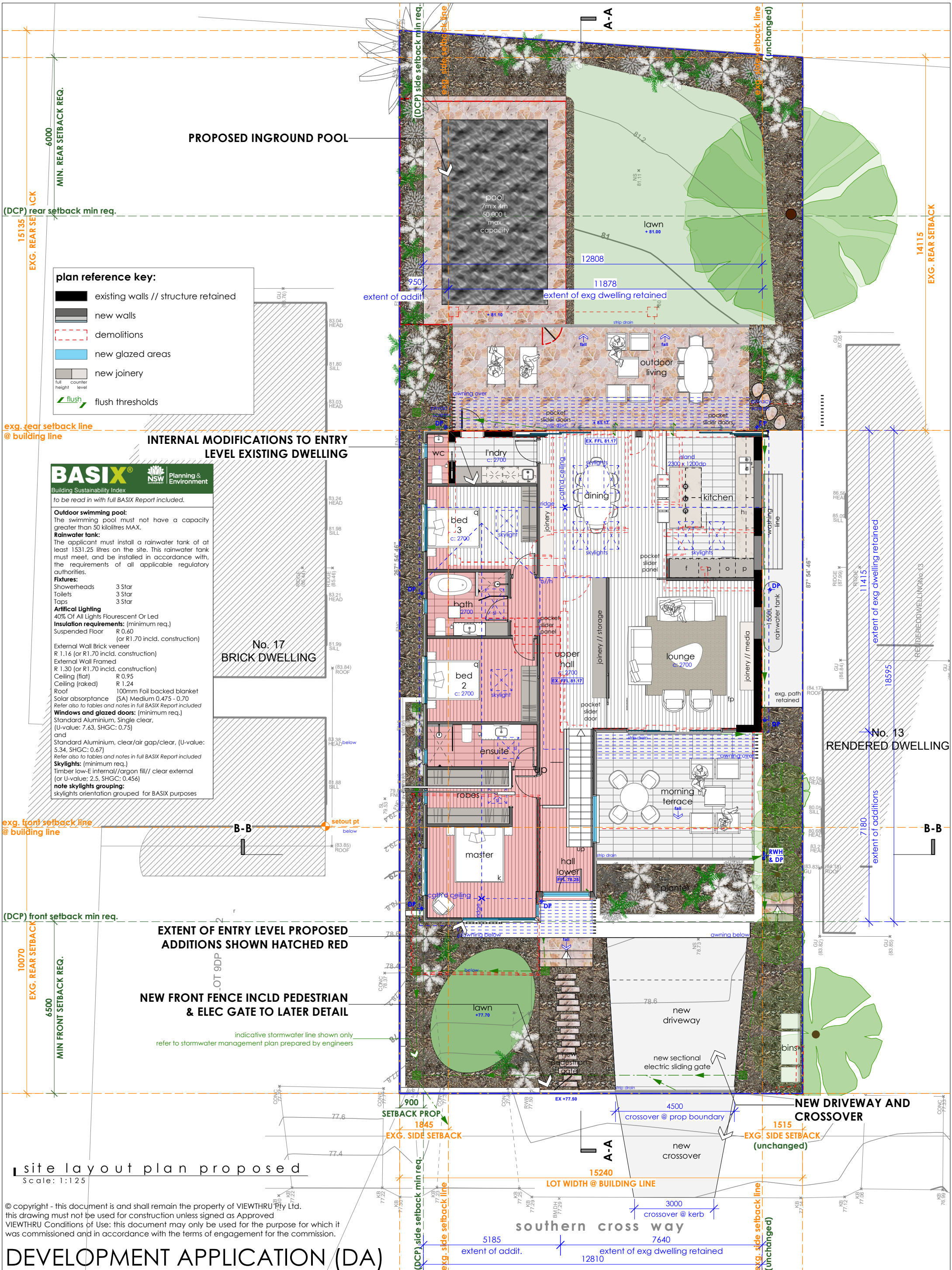
RIAI
Architectural Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAlA)

bdaa
ACCREDITED BUILDING DESIGNER
accreditation no: 6851

VIEW/THRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

t: 043 7222 389 info@viewthru.com.au
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531



| | |
|--|-------------------------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Site Layout Plan // Proposed |
| client: W. & L. Quick | drawn by: JOB |
| project: Alterations & additions | date: 12/02/2025 |
| | scale: 1:125 @ a3 |
| | issue: @ VIEW/THRU |
| | dwg. no.: DA//04 |
| | Rev. no.: A |

north

RIA
Architectural
Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIA Arch.Tech.)
(Affiliate RIAA)

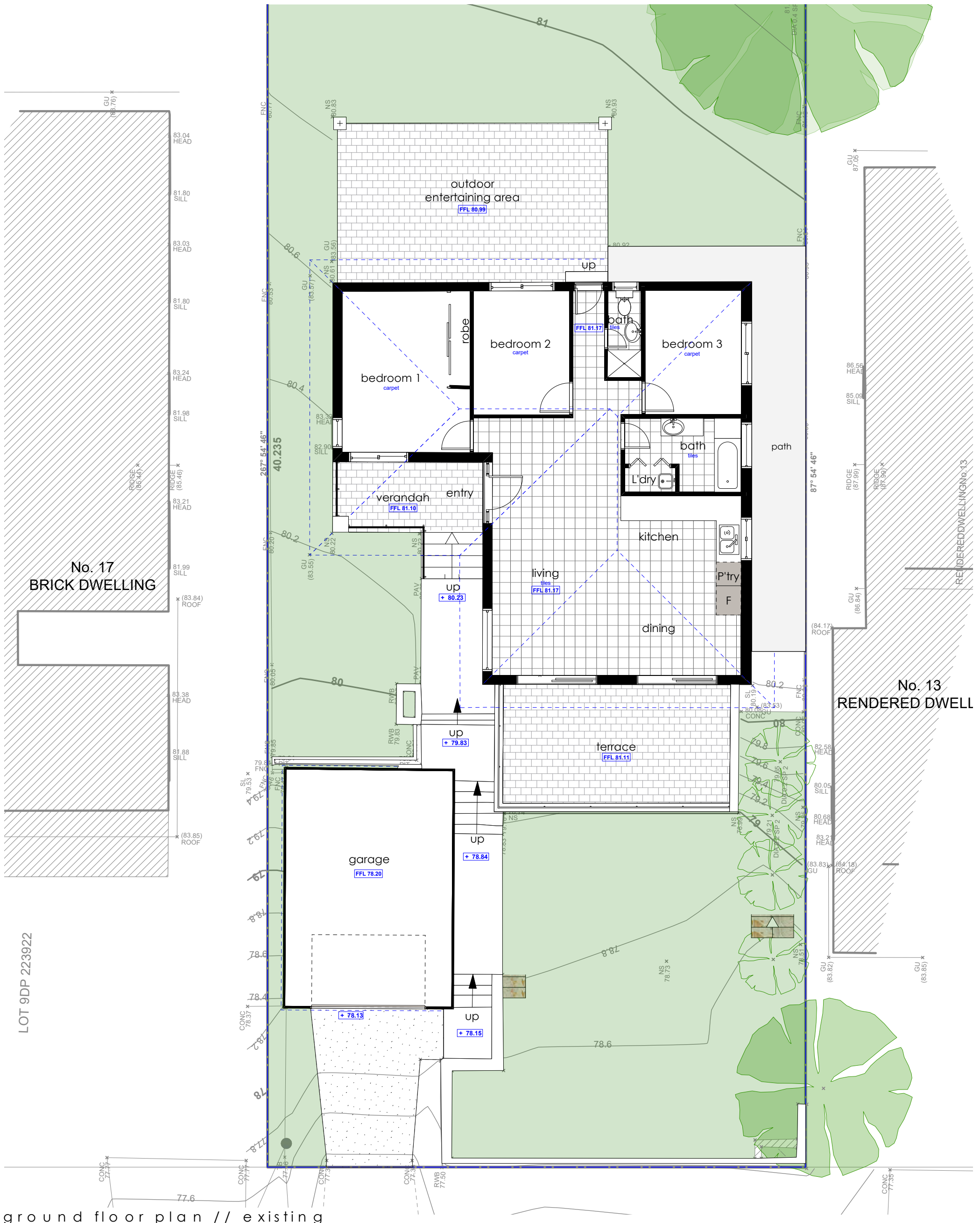
t: 043 7222 389 info@viewthru.com.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa
ACCREDITED
BUILDING DESIGNER
accreditation no: 6851

LIVING FUTURE
PROFESSIONAL MEMBER

VIEW/THRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

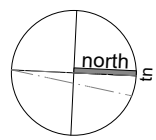


ground floor plan // existing
Scale: 1:100

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it
was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | | | |
|--|----------------------------|---------------|-------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: GF Plan // Existing | drawn by: JOB | scale: 1:100 @ a3 |
| client: W. & L. Quick | date: 12/02/2025 | issue: (DA) | © VIEW//THRU |
| project: Alterations & additions | dwg. no.: DA//05 | Rev. no.: A | |



RIAI
Architectural Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAlA)

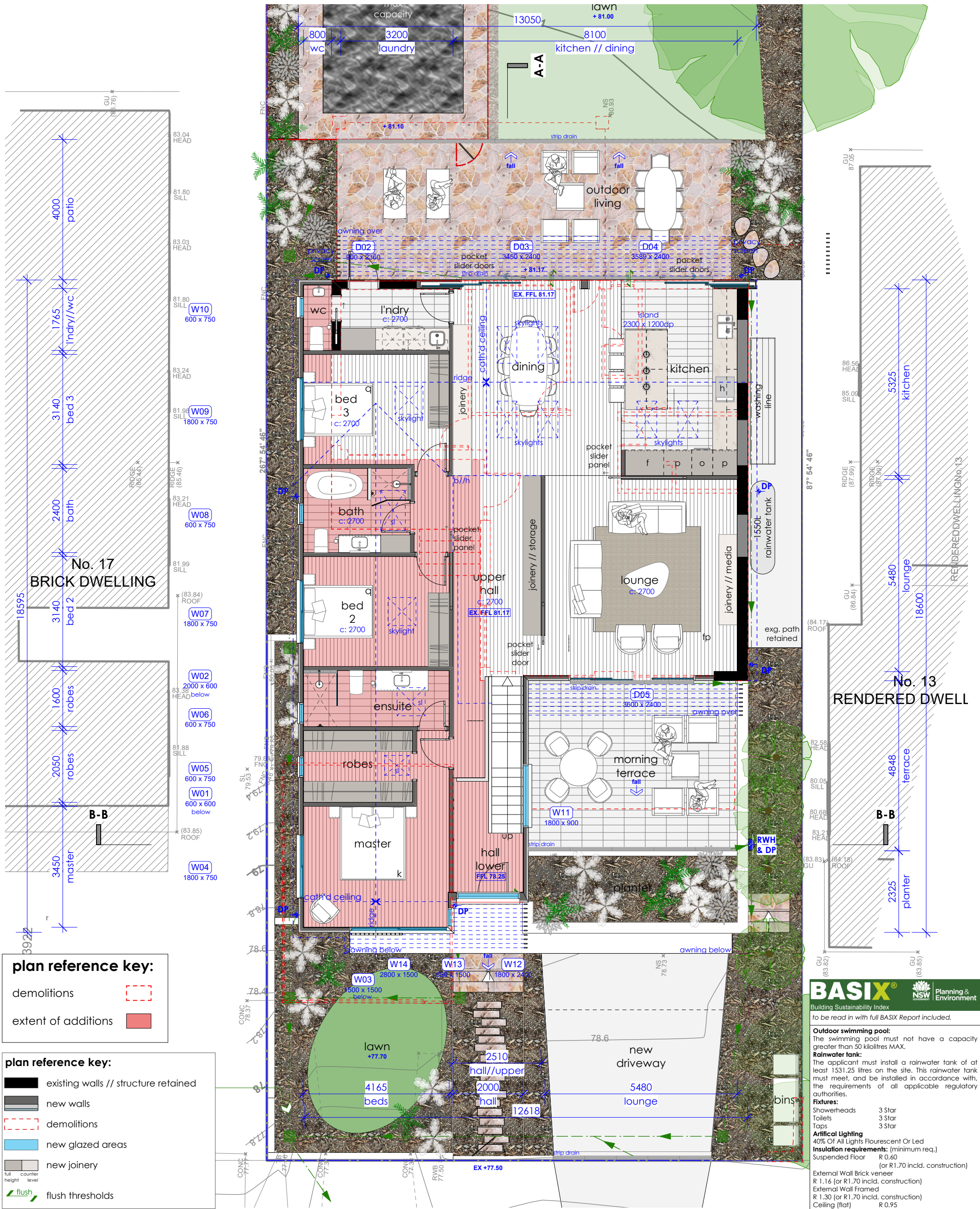
t: 043 7222 389 info@viewthru.com.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531



VIEWTHRU
MAKE IT YOURS

WWW.VIEWTHRU.COM.AU

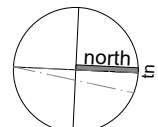


ground floor plan // proposed
Scale: 1:100

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | |
|--|--|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: GF Plan // Proposed |
| client: W. & L. Quick | drawn by: JOB scale: 1:100 @ a3 |
| project: Alterations & additions | date: 12/02/2025 issue: © VIEW/THRU (DA) |
| | dwg. no.: DA//06 Rev. no.: A |



RIAI Architectural Technologist 2024
 Jim O'Brien Principal Designer // Director
 (RIAI Arch.Tech.) (Affiliate RAlA)
 t: 043 7222 389 info@viewthru.com.au

bdca ACCREDITED BUILDING DESIGNER accreditation no: 6851

VIEWTHRU MAKE IT YOURS
 WWW.VIEWTHRU.COM.AU

BASIX Planning & Environment
 Building Sustainability Index
 to be read in with full BASIX Report included.

Outdoor swimming pool:
 The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
 The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:
 Showerheads 3 Star
 Toilets 3 Star
 Taps 3 Star

Artificial Lighting
 40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)
 Suspended Floor R 0.60
 (or R1.70 incld. construction)

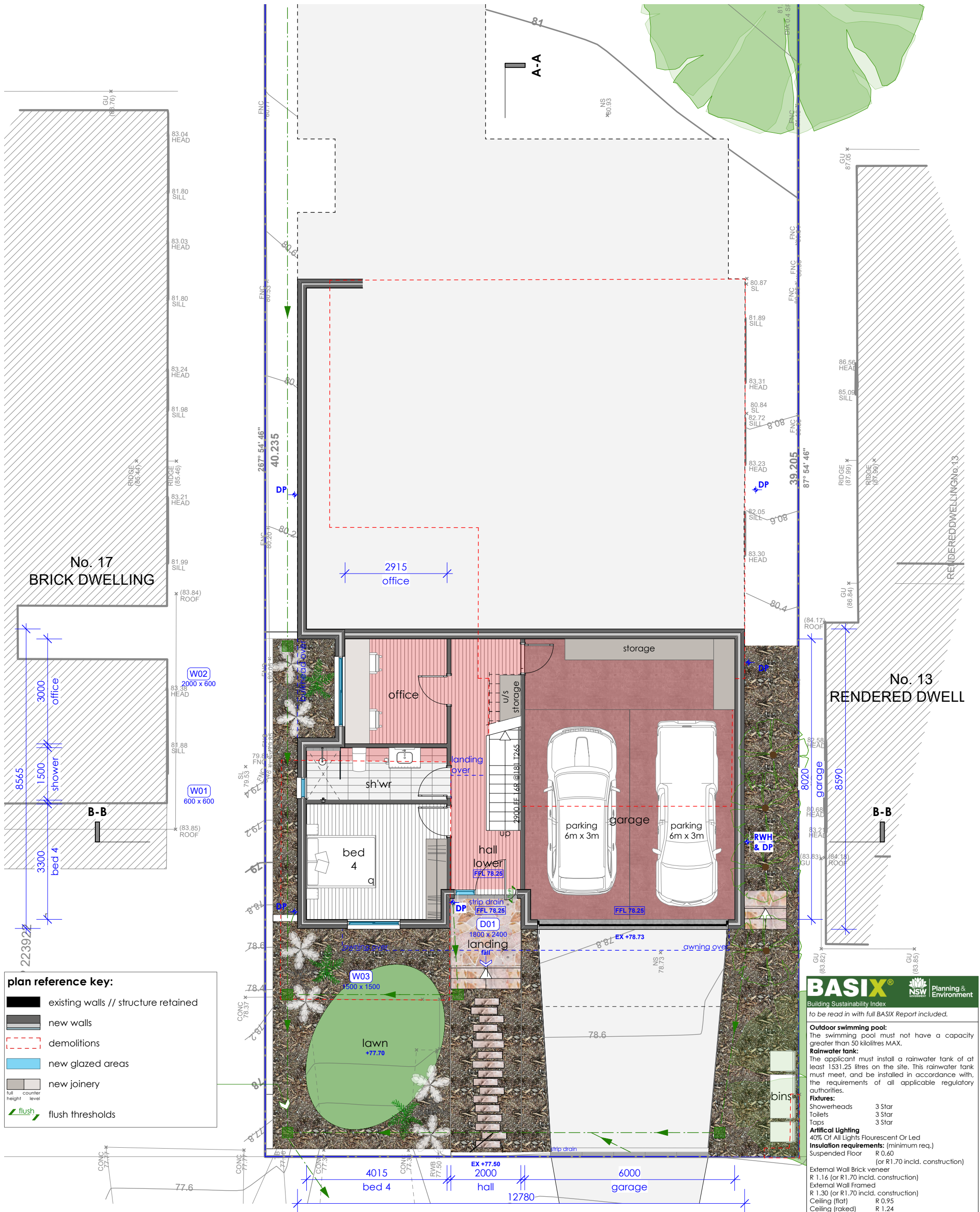
External Wall Brick veneer
 R 1.16 (or R1.70 incld. construction)
External Wall Framed
 R 1.30 (or R1.70 incld. construction)
Ceiling (flat) R 0.95
Ceiling (raked) R 1.24
Roof 100mm Foil backed blanket
 Solar absorptance (SA) Medium 0.475 - 0.70
 Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
 Standard Aluminium, Single clear,
 (U-value: 7.63, SHGC: 0.75)
 and
 Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
 Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
 Timber low-E internal/argon fill// clear external
 (or U-value: 2.5, SHGC: 0.456)
note skylights grouping:
 skylights orientation grouped for BASIX purposes

BALGOWLAH, NSW 2093.
 VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

LIVING FUTURE PROFESSIONAL MEMBER

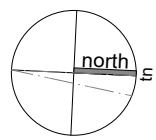


lower ground floor plan // proposed
 Scale: 1:100

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | |
|--|----------------------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Lower GF Plan // Proposed |
| client: W. & L. Quick | drawn by: JOB |
| project: Alterations & additions | scale: 1:100 @ a3 |
| | date: 12/02/2025 |
| | issue: © VIEW//THRU (DA) |
| | dwg. no.: DA//07 |
| | Rev. no.: A |



RIAI Architectural Technologist 2024
 Jim O'Brien Principal Designer // Director
 (RIAI Arch.Tech.) (Affiliate RAlA)
 t: 043 7222 389 info@viewthru.com.au

bdca ACCREDITED BUILDING DESIGNER accreditation no: 6851
LIVING FUTURE PROFESSIONAL MEMBER

VIEWTHRU MAKE IT YOURS
 WWW.VIEWTHRU.COM.AU

BALGOWLAH, NSW 2093.
 VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

GENERAL ROOF PLAN NOTES:

all guttering, flashing and waterproofing relating to all roofing systems to comply with requirements of the current b.c.a. and relevant Australian standards including as/nzs 3500: 2018 "plumbing and drainage".

all downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2018 "plumbing and drainage", provide proprietary leaf guard as selected to all gutters.

STORMWATER MAGEMENT NOTES:

all pipes to be 100mm ø sewer grade pvc
all pipes to be laid at 1% min grade unless noted otherwise
all works to be in accordance with local council standards and specification all levels shown to ah



to be read in with full BASIX Report included.

Outdoor swimming pool:

The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:

The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:

- Showerheads 3 Star
- Toilets 3 Star
- Taps 3 Star

Artificial Lighting

40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)

Suspended Floor R 0.60 (or R1.70 incld. construction)

External Wall Brick veneer R 1.16 (or R1.70 incld. construction)

External Wall Framed R 1.30 (or R1.70 incld. construction)

Ceiling (flat) R 0.95

Ceiling (raked) R 1.24

Roof 100mm Fall backed blanket

Solar absorptance (SA) Medium 0.475 - 0.70

Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)

Standard Aluminium, Single clear, (U-value: 7.63, SHGC: 0.75)

and Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)

Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)

Timber low-E internal/argon fill// clear external (or U-value: 2.5, SHGC: 0.456)

note skylights grouping:

skylights orientation grouped for BASIX purposes

No. 17 BRICK DWELLING

B-B

plan reference key:

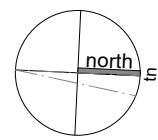
- existing walls // structure retained
- new walls
- demolitions
- new glazed areas
- new joinery
- flush thresholds

roof plan // proposed
Scale: 1:125

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | |
|--|------------------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Roof Plan // Proposed |
| client: W. & L. Quick | drawn by: JOB |
| project: Alterations & additions | date: 12/02/2025 |
| | scale: 1:125 @ a3 |
| | issue: © VIEW/THRU (DA) |
| | dwg. no.: DA//08 |
| | Rev. no.: A |



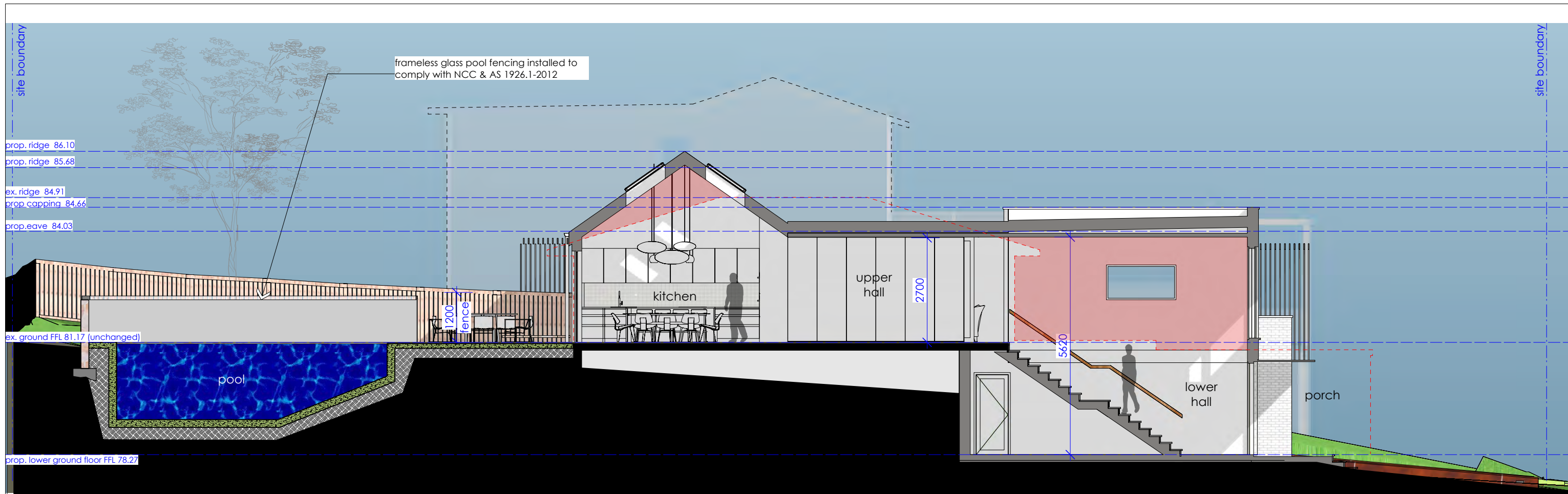
RIAI
Architectural Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RIAI)

bdaa
ACCREDITED BUILDING DESIGNER
accreditation no: 6851

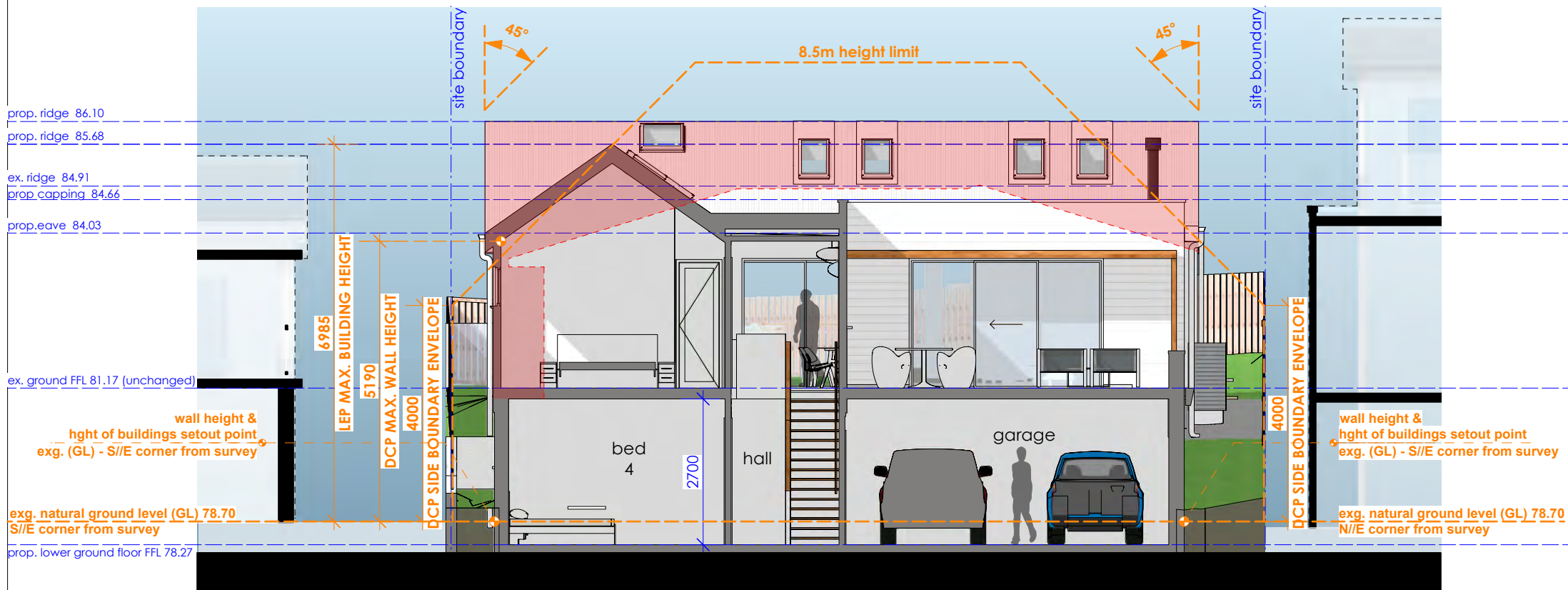
VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

t: 043 7222 389 info@viewthru.com.au
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531



section A - A // proposed

Scale: 1:100



section B - B // proposed

Scale: 1:100

BASIX Building Sustainability Index
to be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:
Showerheads 3 Star
Toilets 3 Star
Taps 3 Star

Artificial Lighting:
40% Of All Lights Fluorescent Or Led
Insulation requirements: (minimum req.)
Suspended Floor R 0.60
(or R1.70 incl. construction)

External Wall Brick veneer
R 1.16 (or R1.70 incl. construction)
External Wall Framed
R 1.30 (or R1.70 incl. construction)
Ceiling (flat) R 0.95
Ceiling (raked) R 1.24
Roof 100mm Foli backed blanket
Solar absorptance (SA) Medium 0.475 - 0.70
Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
Standard Aluminium, Single clear,
(U-value: 7.63, SHGC: 0.75)
and
Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
Timber low-E internal/argon fill// clear external
(or U-value: 2.5, SHGC: 0.456)

note skylights grouping:
skylights orientation grouped for BASIX purposes

elev reference key:

- demolitions
- extent of additions

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: W. & L. Quick

project: Alterations & additions

title: Sections // Proposed

drawn by: JOB

date: 12/02/2025

dwg. no.: DA//09

scale: 1:100 @ a3

issue: @ VIEW//THRU (DA)

Rev. no.: A

RIAI Architectural Technologist 2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)

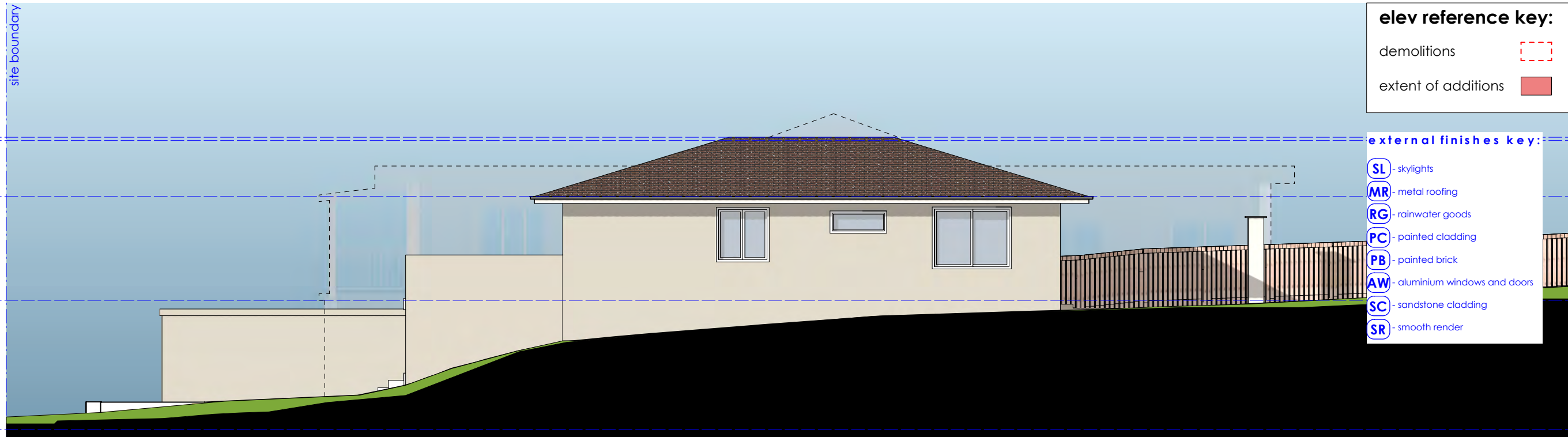
t: 043 7222 389 info@viewthru.ccm.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa ACCREDITED BUILDING DESIGNER accreditation no: 6851

LIVING FUTURE PROFESSIONAL MEMBER

VIEWTHRU MAKE IT YOURS
WWW.VIEWTHRU.COM.AU



elev reference key:

demolitions

extent of additions

external finishes key:

SL - skylights

MR - metal roofing

RG - rainwater goods

PC - painted cladding

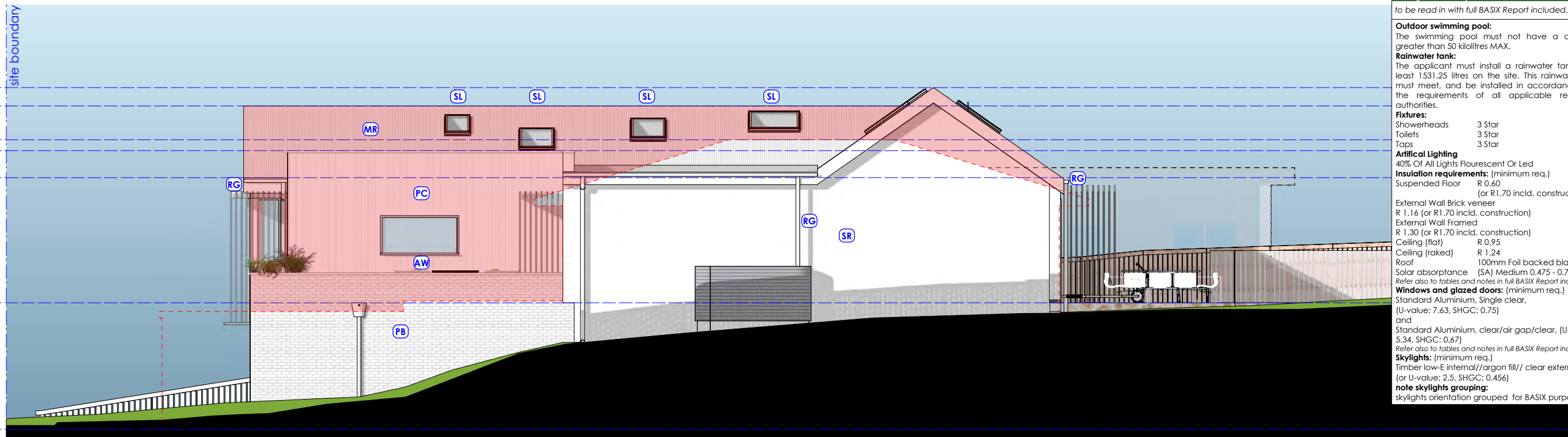
PB - painted brick

AW - aluminium windows and doors

SC - sandstone cladding

SR - smooth render

n o r t h e l e v a t i o n // e x i s t i n g
Scale: 1:100



BASIX Building Sustainability Index

to be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:

| | |
|-------------|--------|
| Showerheads | 3 Star |
| Toilets | 3 Star |
| Taps | 3 Star |

Artificial Lighting
40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)

| | |
|----------------------------|---------------------------------------|
| Suspended Floor | R 0.60 |
| | (or R1.70 incld. construction) |
| External Wall Brick veneer | R 1.16 (or R1.70 incld. construction) |
| External Wall Framed | R 1.30 (or R1.70 incld. construction) |
| Ceiling (flat) | R 0.95 |
| Ceiling (raked) | R 1.24 |
| Roof | 100mm Foil backed blanket |
| Solar absorptance (SA) | Medium 0.475 - 0.70 |

Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)

Standard Aluminium, Single clear, (U-value: 7.63, SHGC: 0.75) and

Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)

Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)

Timber low-E internal/argon fill// clear external (or U-value; 2.5, SHGC; 0.456)

note skylights grouping:
skylights orientation grouped for BASIX purposes

n o r t h e l e v a t i o n // p r o p o s e d
Scale: 1:100

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: W. & L. Quick

project: Alterations & additions

title: Elevations North // Exg. & Prop.

drawn by: JOB

date: 12/02/2025

dwg. no.: DA//10

scale: 1:100 @ a3

issue: © VIEW//THRU (DA)

Rev. no.: A

RIAI Architectural Technologist

2024

Jim O'Brien
Principal Designer // Director

(RIAI Arch.Tech.)
(Affiliate RAI/A)

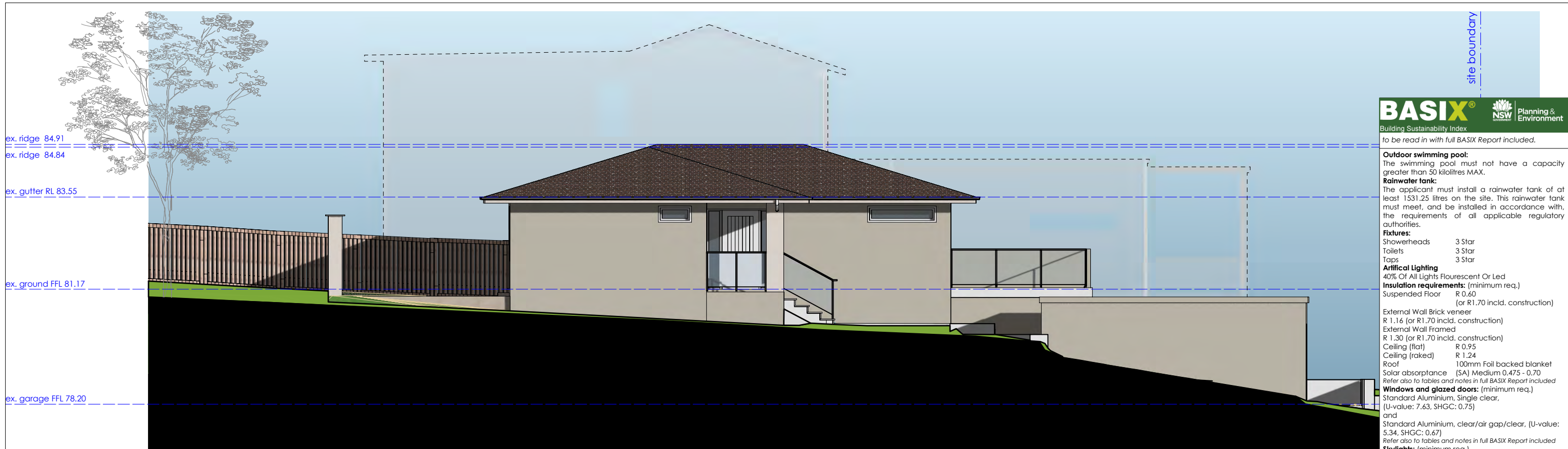
t: 043 7222 389 info@viewthru.ccm.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa ACCREDITED BUILDING DESIGNER accreditation no: 6851

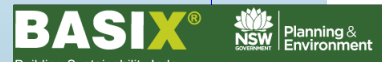
LIVING FUTURE PROFESSIONAL MEMBER

VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU



south elevation // existing

Scale: 1:100



to be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

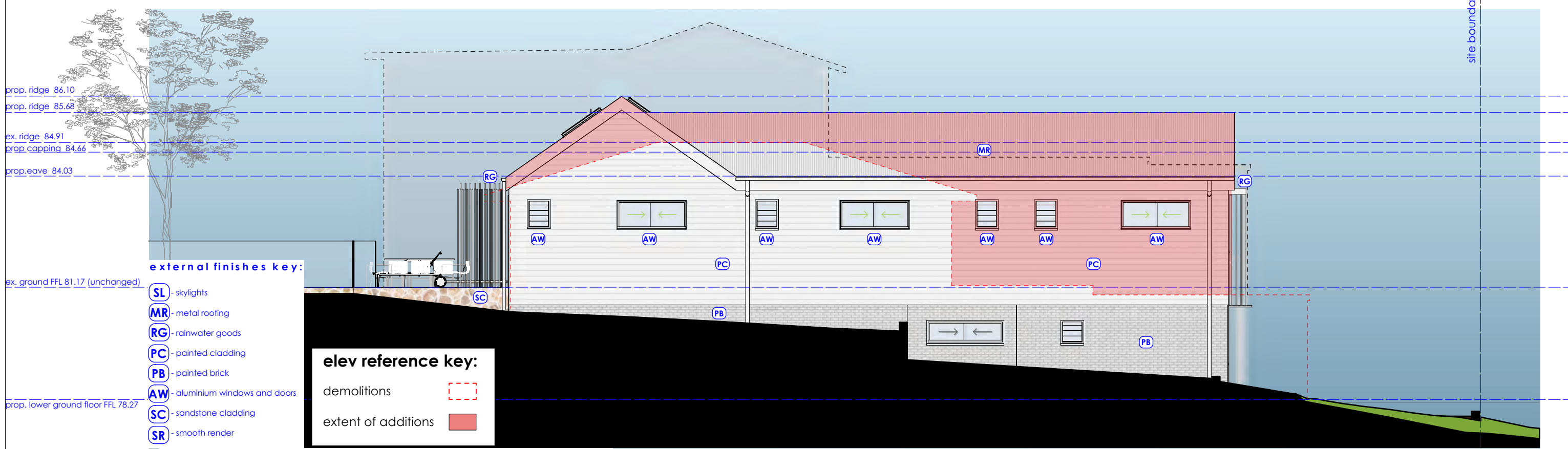
Fixtures:
Showerheads 3 Star
Toilets 3 Star
Taps 3 Star

Artificial Lighting
40% Of All Lights Fluorescent Or Led
Insulation requirements: (minimum req.)
Suspended Floor R 0.60
(or R1.70 incld. construction)

External Wall Brick veneer R 1.16 (or R1.70 incld. construction)
External Wall Framed R 1.30 (or R1.70 incld. construction)
Ceiling (flat) R 0.95
Ceiling (raked) R 1.24
Roof 100mm Foil backed blanket
Solar absorptance (SA) Medium 0.475 - 0.70
Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
Standard Aluminium, Single clear,
(U-value: 7.63, SHGC: 0.75)
and
Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
Timber low-E internal/argon fill// clear external
(or U-value: 2.5, SHGC: 0.456)
note skylights grouping:
skylights orientation grouped for BASIX purposes



south elevation // proposed

Scale: 1:100

external finishes key:

- SL** - skylights
- MR** - metal roofing
- RG** - rainwater goods
- PC** - painted cladding
- PB** - painted brick
- AW** - aluminium windows and doors
- SC** - sandstone cladding
- SR** - smooth render

elev reference key:

- demolitions
- extent of additions

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

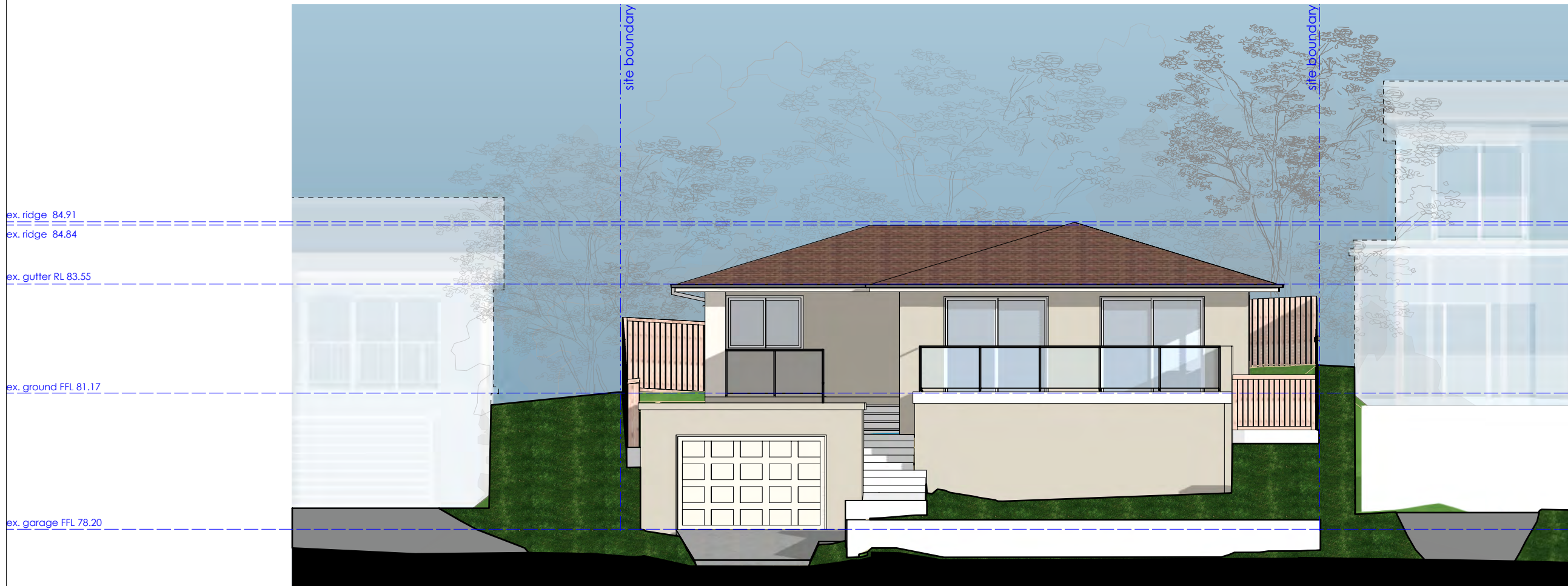
| | | |
|----------|--|--|
| address: | 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | |
| client: | W. & L. Quick | |
| project: | Alterations & additions | |

| | | |
|-----------|----------------------------------|--------------------|
| title: | Elevations South // Exg. & Prop. | |
| drawn by: | JOB | scale: 1:100 @ a3 |
| date: | 12/02/2025 | issue: (DA) |
| dwg. no.: | DA//11 | Rev. no.: A |

RIAI Architectural Technologist 2024
 Jim O'Brien
 Principal Designer // Director
 (RIAI Arch.Tech.)
 (Affiliate RAI/A)
 t: 043 7222 389 info@viewthru.com.au
 BALGOWLAH, NSW 2093.
 VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdca
 ACCREDITED BUILDING DESIGNER
 accreditation no: 6851
LIVING FUTURE
 PROFESSIONAL MEMBER

VIEWTHRU
 MAKE IT YOURS
 WWW.VIEWTHRU.COM.AU



ex. ridge 84.91
 ex. ridge 84.84
 ex. gutter RL 83.55
 ex. ground FFL 81.17
 ex. garage FFL 78.20

east elevation // existing
 Scale: 1:100

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
 this drawing must not be used for construction unless signed as Approved
 VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it
 was commissioned and in accordance with the terms of engagement for the commission.

| | |
|---|---|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Elevations East // Existing |
| client: W. & L. Quick | drawn by: JOB scale: 1:100 @ a3 © VIEW//THRU |
| project: Alterations & additions | date: 12/02/2025 issue: (DA) |
| | dwg. no.: DA//12 Rev. no.: A |

RIAI
Architectural Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)

t: 043 7222 389 info@viewthru.ccm.au

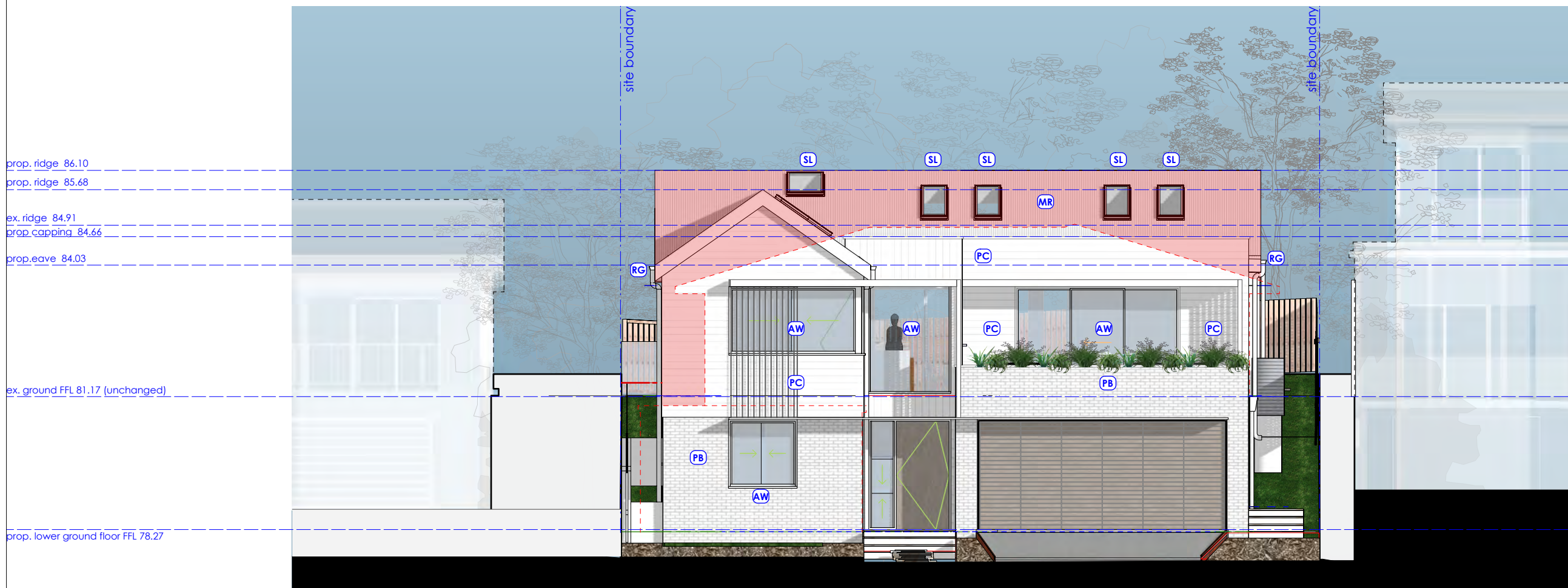
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdqa
ACCREDITED
BUILDING DESIGNER
accreditation no: 6851

LIVING FUTURE
PROFESSIONAL MEMBER

VIEWTHRU
MAKE IT YOURS

WWW.VIEWTHRU.COM.AU



elev reference key:

demolitions

extent of additions

external finishes key:

SL - skylights

MR - metal roofing

RG - rainwater goods

PC - painted cladding

PB - painted brick

AW - aluminium windows and doors

SC - sandstone cladding

SR - smooth render

prop. ridge 86.10
 prop. ridge 85.68
 ex. ridge 84.91
 prop. capping 84.66
 prop. eave 84.03
 ex. ground FFL 81.17 (unchanged)
 prop. lower ground floor FFL 78.27

east elevation // proposed
 Scale: 1:100

BASIX Building Sustainability Index
 to be read in with full BASIX Report included.

Outdoor swimming pool:
 The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
 The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:

| | |
|-------------|--------|
| Showerheads | 3 Star |
| Toilets | 3 Star |
| Taps | 3 Star |

Artificial Lighting
 40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)

| | |
|--------------------------------|---------------------------------------|
| Suspended Floor | R 0.60 |
| (or R1.70 incld. construction) | |
| External Wall Brick veneer | R 1.16 (or R1.70 incld. construction) |
| External Wall Framed | R 1.30 (or R1.70 incld. construction) |
| Ceiling (flat) | R 0.95 |
| Ceiling (raked) | R 1.24 |
| Roof | 100mm Foil backed blanket |
| Solar absorbance (SA) Medium | 0.475 - 0.70 |

Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
 Standard Aluminium, Single clear, (U-value: 7.63, SHGC: 0.75) and
 Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
 Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
 Timber low-E internal/argon fill// clear external (or U-value: 2.5, SHGC: 0.456)

note skylights grouping:
 skylights orientation grouped for BASIX purposes

Building Sustainability Index
To be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

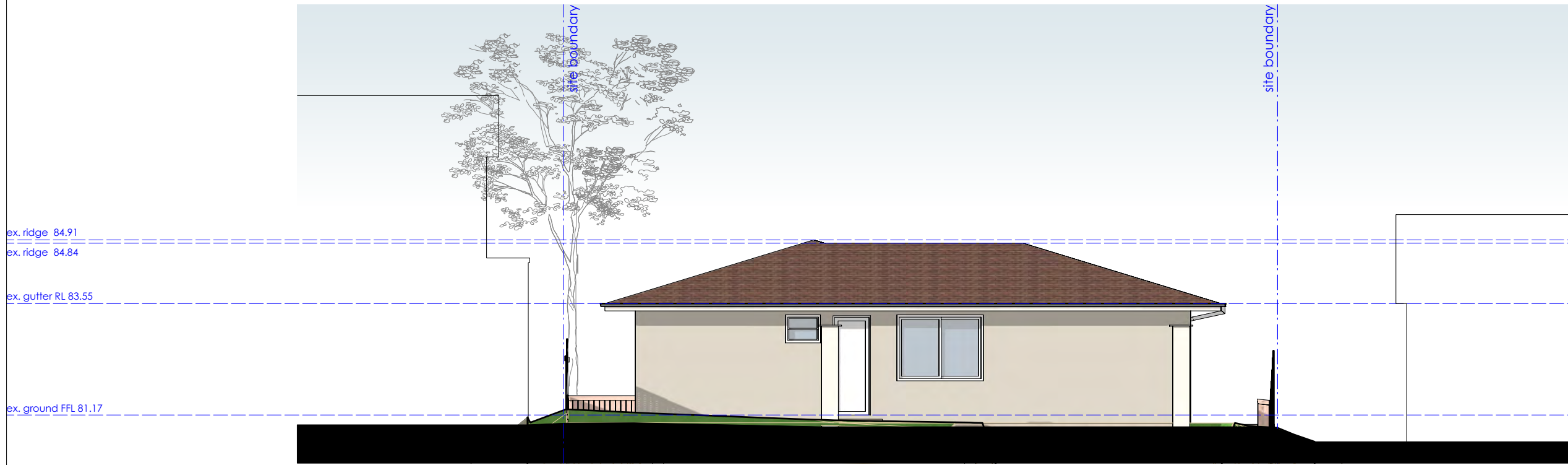
Fixtures:
Showerheads 3 Star
Toilets 3 Star
Taps 3 Star

Artificial Lighting
40% Of All Lights Fluorescent Or Led
Insulation requirements: (minimum req.)
Suspended Floor R 0.60
(or R1.70 incld. construction)

External Wall Brick veneer
R 1.16 (or R1.70 incld. construction)
External Wall Framed
R 1.30 (or R1.70 incld. construction)
Ceiling (flat) R 0.95
Ceiling (raked) R 1.24
Roof 100mm Foil backed blanket
Solar absorptance (SA) Medium 0.475 - 0.70
Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
Standard Aluminium, Single clear,
(U-value: 7.63, SHGC: 0.75)
and
Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
Timber low-E internal/argon fill// clear external
(or U-value: 2.5, SHGC: 0.456)
note skylights grouping:
skylights orientation grouped for BASIX purposes



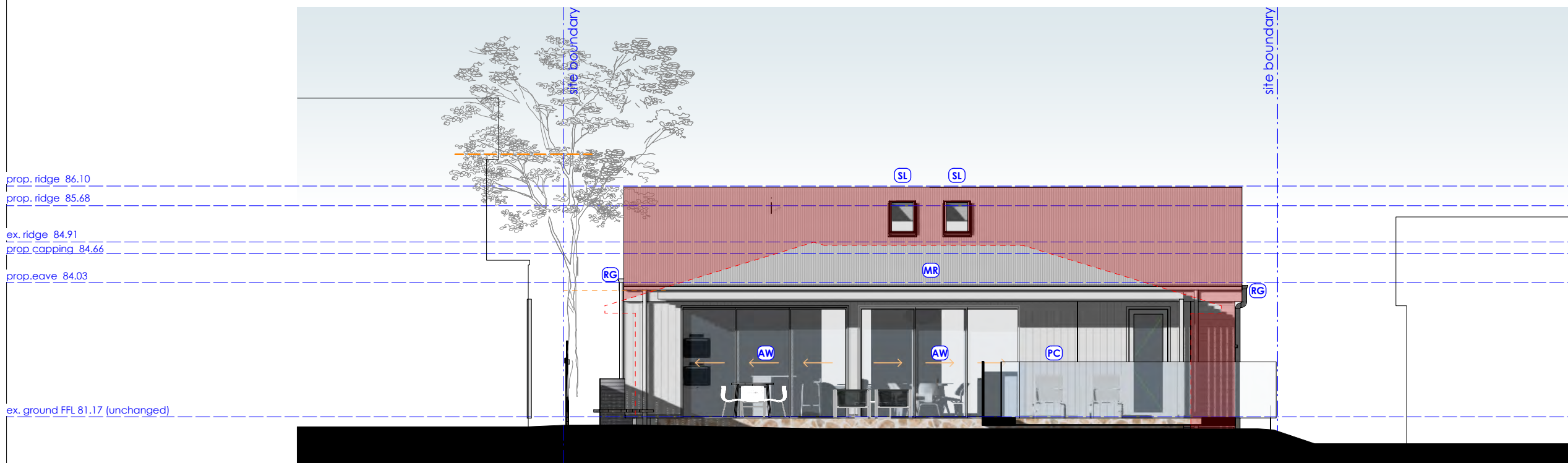
ex. ridge 84.91
ex. ridge 84.84

ex. gutter RL 83.55

ex. ground FFL 81.17

west elevation // existing
Scale: 1:100

ex. garage FFL 78.20



prop. ridge 86.10
prop. ridge 85.68

ex. ridge 84.91
prop. capping 84.66


prop. eave 84.03


ex. ground FFL 81.17 (unchanged)

west elevation // proposed
Scale: 1:100

prop. lower ground floor FFL 78.27

elev reference key:

demolitions 

extent of additions 

external finishes key:

SL - skylights
MR - metal roofing
RG - rainwater goods
PC - painted cladding
PB - painted brick
AW - aluminium windows and doors
SC - sandstone cladding
SR - smooth render

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: W. & L. Quick

project: Alterations & additions

title: Elevations West // Exg. & Prop.

drawn by: JOB scale: 1:100 @ a3
© VIEW//THRU

date: 12/02/2025 issue: (DA)

dwg. no.: DA//14 Rev. no.: A

RIAI Architectural Technologist 2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)

t: 043 7222 389 info@viewthru.ccm.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdca
ACCREDITED
BUILDING DESIGNER
accreditation no: 6851

LIVING FUTURE
PROFESSIONAL MEMBER

VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

Alterations and Additions

Certificate number: A1779888

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 14 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project address | |
|---|--|
| Project name | ALLAMBIE #02 |
| Street address | 15 SOUTHERN CROSS - ALLAMBIE HEIGHTS 2100 |
| Local Government Area | Northern Beaches Council |
| Plan type and number | Deposited Plan DP223922 |
| Lot number | 8 |
| Section number | - |
| Project type | |
| Dwelling type | Dwelling house (detached) |
| Type of alteration and addition | The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa). |
| N/A | N/A |
| Certificate Prepared by (please complete before submitting to Council or PCA) | |
| Name / Company Name: | VIEWTHRU PTY LTD |
| ABN (if applicable): | 53620084531 |

| Construction | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---|---|-----------------|
| Insulation requirements | | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. | ✓ | ✓ | ✓ |
| Construction | Additional insulation required (R-value) | Other specifications | |
| concrete slab on ground floor. | nil | N/A | |
| suspended floor with enclosed subfloor: framed (R0.7). | R0.60 (down) (or R1.30 including construction) | N/A | |
| floor above existing dwelling or building. | nil | N/A | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | | |
| internal wall shared with garage: plasterboard (R0.36) | nil | | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (100 mm) | medium (solar absorptance 0.475 - 0.70) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (100 mm) | medium (solar absorptance 0.475 - 0.70) | |

| Pool and Spa | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area. | | ✓ | ✓ |
| The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool. | | ✓ | ✓ |
| Outdoor swimming pool | | | |
| The swimming pool must be outdoors. | ✓ | ✓ | ✓ |
| The swimming pool must not have a capacity greater than 50 kilolitres. | ✓ | ✓ | ✓ |
| The swimming pool must have a pool cover. | | ✓ | ✓ |
| The applicant must install a pool pump timer for the swimming pool. | | ✓ | ✓ |
| The applicant must install the following heating system for the swimming pool that is part of this development: solar (electric boosted). | | ✓ | ✓ |

| Fixtures and systems | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Lighting | | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Fixtures | | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | ✓ |

| Glazing requirements | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Windows and glazed doors | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | ✓ | ✓ |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | ✓ | ✓ |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. | | ✓ | ✓ |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. | ✓ | ✓ | ✓ |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. | | ✓ | ✓ |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|-------------|---|--------------------------|----------------------------|--|--|------------------|------------------------------|-----------------|
| Windows and glazed doors glazing requirements | | | | | | | | | |
| Window/door number | Orientation | Area of glass including frame (m ²) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| W01 | S | 0.36 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W02 | S | 1.2 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57) | | | |
| W03 | E | 2.25 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) | | | |
| W04 | S | 1.35 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W05 | S | 0.45 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

| | | | |
|----------|--|-----------|--|
| address: | 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: | BASIX Report - Sht 1 |
| client: | W. & L. Quick | drawn by: | JOB Planning Industry And Environment @ VIEW//THRU (DA) |
| project: | Alterations & additions | date: | 12/02/2025 |
| | | dwg. no.: | DA//15 |
| | | Rev. no.: | A |

RIAI Architectural Technologist 2024
Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)
t: 043 7222 389 info@viewthru.ccm.au
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa
ACCREDITED BUILDING DESIGNER
accreditation no: 6851
LIVING FUTURE
PROFESSIONAL MEMBER

VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|---|---|------------------|------------------------------|-----------------|
| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| W06 | S | 0.45 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W07 | S | 1.35 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W08 | S | 0.45 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W09 | S | 0.45 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W10 | S | 0.45 | 0 | 0 | none | standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67) | | | |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|-------------|------------------------------------|--------------------------|----------------------------|---|--|------------------|------------------------------|-----------------|
| Windows and glazed doors glazing requirements | | | | | | | | | |
| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| W11 | N | 1.62 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W12 | E | 4.32 | 0 | 0 | awning (fixed) >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W13 | N | 0.8 | 0 | 0 | external louvre/blind (adjustable) | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D01 | E | 1.2 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D02 | W | 2.1 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|---|--|------------------|------------------------------|-----------------|
| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| D03 | W | 8.3 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D04 | W | 8.6 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W14 | E | 4.2 | 0 | 0 | eave/verandah/ pergola/balcony >=450 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) | | | |
| D05 | E | 8.64 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |

| Glazing requirements | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---------------------------------|----------------|--|------------------|------------------------------|-----------------|
| Skylights | | | | | | |
| The applicant must install the skylights in accordance with the specifications listed in the table below. | | | | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | | | | ✓ | ✓ |
| Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. | | | | | ✓ | ✓ |
| Skylights glazing requirements | | | | | | |
| Skylight number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type | | | |
| 01-05 | 1.5 | no shading | timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456) | | | |
| 05-10 | 2 | no shading | timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456) | | | |
| 11-12 | 1 | no shading | timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456) | | | |

| Legend |
|--|
| In these commitments, "applicant" means the person carrying out the development. |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). |
| Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued. |

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

| | | |
|----------|--|--|
| address: | 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | |
| client: | W. & L. Quick | |
| project: | Alterations & additions | |

| | | |
|-----------|----------------------|--------------------------|
| title: | BASIX Report - Sht 2 | |
| drawn by: | JOB | scale: @ a3 |
| date: | 12/02/2025 | issue: @ VIEW//THRU (DA) |
| dwg. no.: | DA//16 | Rev. no.: A |



Architectural Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RIAI)



ACCREDITED BUILDING DESIGNER
accreditation no: 6851



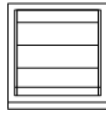





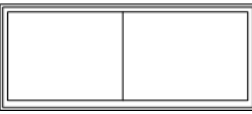




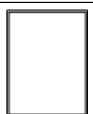
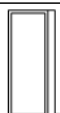
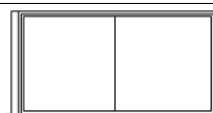
LIVING FUTURE PROFESSIONAL MEMBER

t: 043 7222 389 info@viewthru.ccm.au
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531




MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

WINDOW // DOOR SCHEDULE

| IMAGE | ID | Type | Opening Height | Opening Width | Unit Area | Glazing Type | Comments |
|---|-----|-------------|----------------|---------------|-----------|----------------|----------|
|  | W01 | louvre | 600 mm | 600 mm | 0.36 m2 | REFER TO BASIX | |
|  | W02 | sashless HS | 600 mm | 2000 mm | 1.2 m2 | REFER TO BASIX | |
|  | W03 | sashless HS | 1500 mm | 1500 mm | 2.25 m2 | REFER TO BASIX | |
|  | W04 | sashless HS | 750 mm | 1800 mm | 1.35 m2 | REFER TO BASIX | |
|  | W05 | louvre | 750 mm | 600 mm | 0.45 m2 | REFER TO BASIX | |
|  | W06 | louvre | 750 mm | 600 mm | 0.45 m2 | REFER TO BASIX | |
|  | W07 | sashless HS | 750 mm | 1800 mm | 1.35 m2 | REFER TO BASIX | |
|  | W08 | louvre | 750 mm | 600 mm | 0.45 m2 | REFER TO BASIX | |
|  | W09 | sashless HS | 750 mm | 1800 mm | 1.35 m2 | REFER TO BASIX | |
|  | W10 | louvre | 750 mm | 600 mm | 0.45 m2 | REFER TO BASIX | |
|  | W11 | fixed | 900 mm | 1800 mm | 1.62 m2 | REFER TO BASIX | |
|  | W12 | fixed | 2400 mm | 1800 mm | 4.32 m2 | REFER TO BASIX | |
|  | W13 | sashless DH | 1500 mm | 550 mm | 0.825 m2 | REFER TO BASIX | |
|  | W14 | sashless HS | 1500 mm | 2800 mm | 4.2 m2 | REFER TO BASIX | |

notes:

1. All external glazing units to have aluminium frames as selected unless stated otherwise
2. window supplier to issue shop drawings for sign off prior to commencement of fabrication
3. Refer to BASIX for glazing spec and shading requirements
4. Dimensions given are nominal and to suit scheduled opening sizes, Contractor to check all dimensions on site before proceeding, Contact VIEW//THRU if dimensions conflict.
5. Refer to Elevations for fixed/openable sashes.
6. window supplier to include for supply of fly screens to all openable sashes.
7. All window & door numbers correspond with BASIX reference.
8. All operable windows 2m or more above ground level to be capable of being restricted to 125mm sphere in acc. AS and BCA req.
9. ALL glazing assemblies to comply with Bush Fire Report recommendations, certification to be issued prior to commencement of fabrication where applicable

BASIX[®]  Building Sustainability Index
to be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:
Showerheads 3 Star
Toilets 3 Star
Taps 3 Star

Artificial Lighting
40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)
Suspended Floor R 0.60 (or R1.70 incld. construction)
External Wall Brick veneer R 1.16 (or R1.70 incld. construction)
External Wall Framed R 1.30 (or R1.70 incld. construction)
Ceiling (flat) R 0.95
Ceiling (raked) R 1.24
Roof 100mm Foil backed blanket
Solar absorbance (SA) Medium 0.475 - 0.70
Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
Standard Aluminium, Single clear, (U-value: 7.63, SHGC: 0.75) and
Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)
Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
Timber low-E internal//argon fill// clear external (or U-value: 2.5, SHGC: 0.456)
note skylights grouping:
skylights orientation grouped for BASIX purposes

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

| | |
|---|---|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Ext. Window Schedule |
| client: W. & L. Quick | drawn by: JOB scale: @ a3 |
| project: Alterations & additions | date: 12/02/2025 issue: @ VIEW//THRU (DA) |
| | dwg. no.: DA//17 Rev. no.: A |

RIAI Architectural Technologist 2024
Jim O'Brien Principal Designer // Director
(RIAI Arch.Tech.) (Affiliate RAI/A)
t: 043 7222 389 info@viewthru.ccm.au
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdca ACCREDITED BUILDING DESIGNER accreditation no: 6851
LIVING FUTURE PROFESSIONAL MEMBER

VIEW/THRU MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

| DOOR SCHEDULE | | | | | | | | |
|---------------|-----|-----------------------------|----------------|---------------|-----------|----------------|-----------|----------|
| IMAGE | ID | Type | Opening Height | Opening Width | Unit Area | Glazing Type | No. Doors | Comments |
| | D01 | hinged door sidelight fixed | 2400 mm | 1800 mm | 4.32 m2 | REFER TO BASIX | 1 | |
| | D02 | | 2360 mm | 900 mm | 2.124 m2 | REFER TO BASIX | 1 | |
| | D03 | sliding centre opening | 2400 mm | 3450 mm | 8.28 m2 | REFER TO BASIX | 3 | |
| | D04 | cavity sliding | 2400 mm | 3589 mm | 8.614 m2 | REFER TO BASIX | | |
| | D05 | sliding centre opening | 2400 mm | 3600 mm | 8.64 m2 | REFER TO BASIX | 1 | |

- notes:**
1. All external glazing units to have aluminium frames as selected unless stated otherwise
 2. window supplier to issue shop drawings for sign off prior to commencement of fabrication
 3. Refer to BASIX for glazing spec and shading requirements
 4. Dimensions given are nominal and to suit scheduled opening sizes, Contractor to check all dimensions on site before proceeding, Contact VIEW//THRU if dimensions conflict.
 5. Refer to Elevations for fixed/openable sashes.
 6. window supplier to include for supply of fly screens to all openable sashes.
 7. All window & door numbers correspond with BASIX reference.
 8. All operable windows 2m or more above ground level to be capable of being restricted to 125mm sphere in acc. AS and BCA req.
 9. ALL glazing assemblies to comply with Bush Fire Report recommendations, certification to be issued prior to commencement of fabrication where applicable

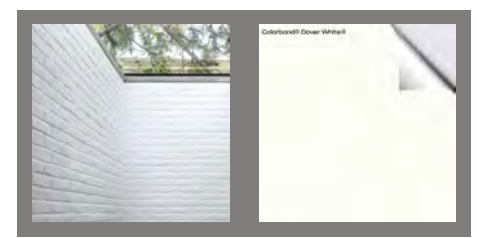
external finishes schedule



SL SKYLIGHTS
Velux - Colour - RAL 7043 Grey



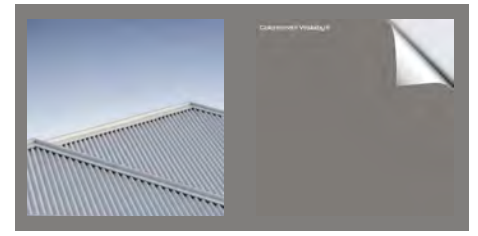
RG RAINWATER GOODS
'Colorbond - Dover White' or similar



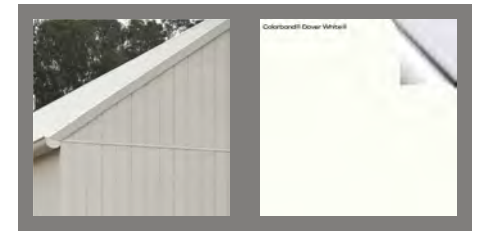
PB PAINTED BRICK
'Colorbond - Dover White' or similar



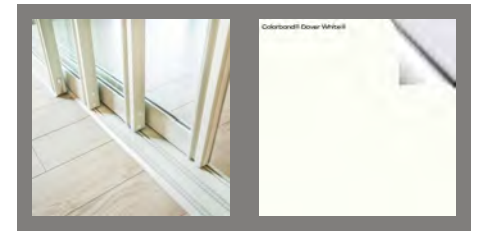
SC SANDSTONE CLADDING



MR METAL ROOFING
Colour - Wallaby (or similar)



PC PAINTED CLADDING
'Colorbond - Dover White' or similar



AW ALUMINIUM WINDOW AND EXTERNAL DOOR FRAMES
'Colorbond - Dover White' or similar



SR SMOOTH RENDER
Color - eg. Dover White or similar

external finishes key:

- SL** - skylights
- MR** - metal roofing
- RG** - rainwater goods
- PC** - painted cladding
- PB** - painted brick
- AW** - aluminium windows and doors
- SC** - sandstone cladding
- SR** - smooth render

BASIX Building Sustainability Index

to be read in with full BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 kilolitres MAX.

Rainwater tank:
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:

| | |
|-------------|--------|
| Showerheads | 3 Star |
| Toilets | 3 Star |
| Taps | 3 Star |

Artificial Lighting
40% Of All Lights Fluorescent Or Led

Insulation requirements: (minimum req.)

| | |
|------------------------------|---------------------------------------|
| Suspended Floor | R 0.60 |
| | (or R1.70 incld. construction) |
| External Wall Brick veneer | R 1.16 (or R1.70 incld. construction) |
| External Wall Framed | R 1.30 (or R1.70 incld. construction) |
| Ceiling (flat) | R 0.95 |
| Ceiling (raked) | R 1.24 |
| Roof | 100mm Foil backed blanket |
| Solar absorbance (SA) Medium | 0.475 - 0.70 |

Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
Standard Aluminium, Single clear, (U-value: 7.63, SHGC: 0.75) and
Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.67)

Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
Timber low-E internal//argon fill// clear external (or U-value; 2.5, SHGC: 0.456)

note skylights grouping:
skylights orientation grouped for BASIX purposes

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

| | |
|---|---|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Ext. Door & Finishes Schedule |
| client: W. & L. Quick | drawn by: JOB scale: @ a3 |
| project: Alterations & additions | date: 12/02/2025 issue: @ VIEW//THRU (DA) |
| | dwg. no.: DA//18 Rev. no.: A |

RIAI Architectural Technologist 2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAI/A)

t: 043 7222 389 info@viewthru.ccm.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdca ACCREDITED BUILDING DESIGNER accreditation no: 6851

LIVING FUTURE PROFESSIONAL MEMBER

VIEWTHRU MAKE IT YOURS
WWW.VIEWTHRU.COM.AU



building height envelope diagram

Scale: nts

plan reference key:

- extent of non-compliance
- building envelope control

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
 VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

| | | |
|----------|--|--|
| address: | 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | |
| client: | W. & L. Quick | |
| project: | Alterations & additions | |




| | | |
|-----------|--------------------------|-------------------|
| title: | Building Height Envelope | |
| drawn by: | JOB | scale: @ a3 |
| date: | 12/02/2025 | © VIEW//THRU (DA) |
| dwg. no.: | DA//19 | Rev. no.: A |

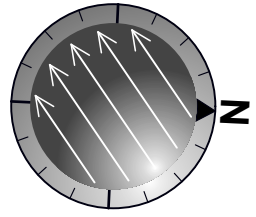
RIAI Architectural Technologist 2024
 Jim O'Brien Principal Designer // Director
 (RIAI Arch.Tech.) (Affiliate RAI/A)
 t: 043 7222 389 info@viewthru.ccm.au
 BALGOWLAH, NSW 2093. VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdaa ACCREDITED BUILDING DESIGNER accreditation no: 6851
LIVING FUTURE PROFESSIONAL MEMBER

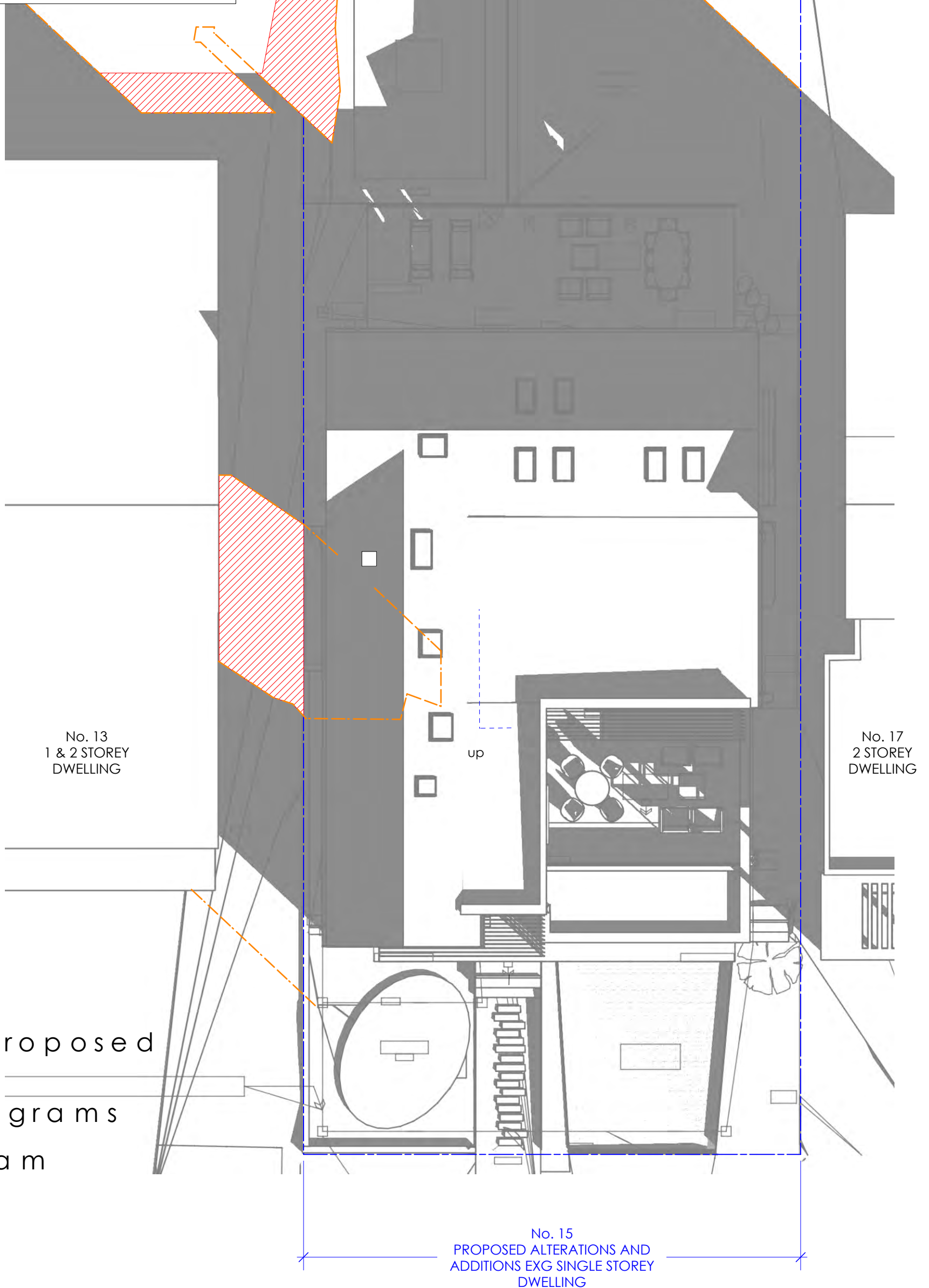
VIEW/THRU MAKE IT YOURS
 WWW.VIEWTHRU.COM.AU

shadow diagrams reference key:

-  denotes existing shadows
-  denotes extent of existing shadows
-  denotes extent of additional shadows from proposal



9:00 AM
Sydney
June 21

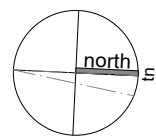


existing // proposed
shadow diagrams
June 21st 9am

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it
was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | | |
|--|------------------------------------|--------------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | title: Shadow Diagram Jun 21st 9am | |
| client: W. & L. Quick | drawn by: JOB | scale: 1:200 @ a3 |
| project: Alterations & additions | date: 12/02/2025 | issue: © VIEW//THRU (DA) |
| | dwg. no.: DA//20 | Rev. no.: A |



Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAlA)

t: 043 7222 389 info@viewthru.com.au




BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

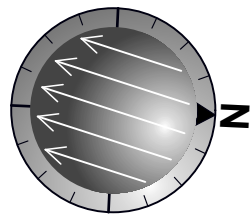


VIEWTHRU
MAKE IT YOURS

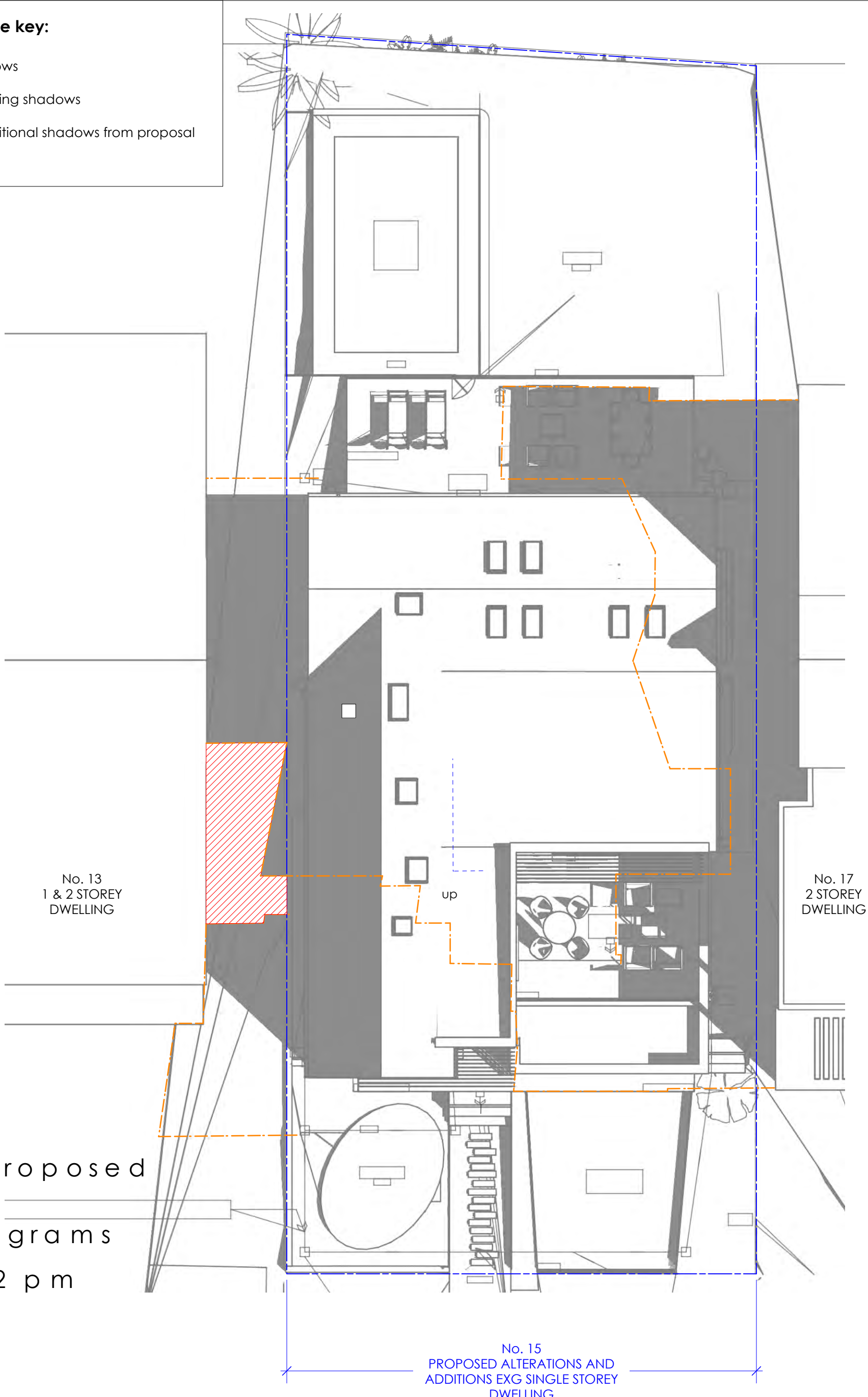
WWW.VIEWTHRU.COM.AU

shadow diagrams reference key:

-  denotes existing shadows
-  denotes extent of existing shadows
-  denotes extent of additional shadows from proposal



12:00 PM
Sydney
June 21



No. 13
1 & 2 STOREY
DWELLING

No. 17
2 STOREY
DWELLING

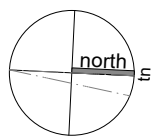
No. 15
PROPOSED ALTERATIONS AND
ADDITIONS EXG SINGLE STOREY
DWELLING

existing // proposed
shadow diagrams
June 21st 12 pm

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it
was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | | | |
|--|------------------|-------------------------------------|------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | | title: Shadow Diagram Jun 21st 12pm | |
| client: W. & L. Quick | drawn by: JOB | scale: 1:200 @ a3 | date: 12/02/2025 |
| project: Alterations & additions | date: 12/02/2025 | issue: © VIEW//THRU (DA) | rev. no.: A |
| | dwg. no.: DA//21 | | |



Architectural
Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAlA)




t: 043 7222 389 info@viewthru.com.au

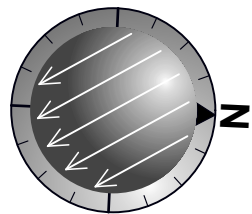
BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531



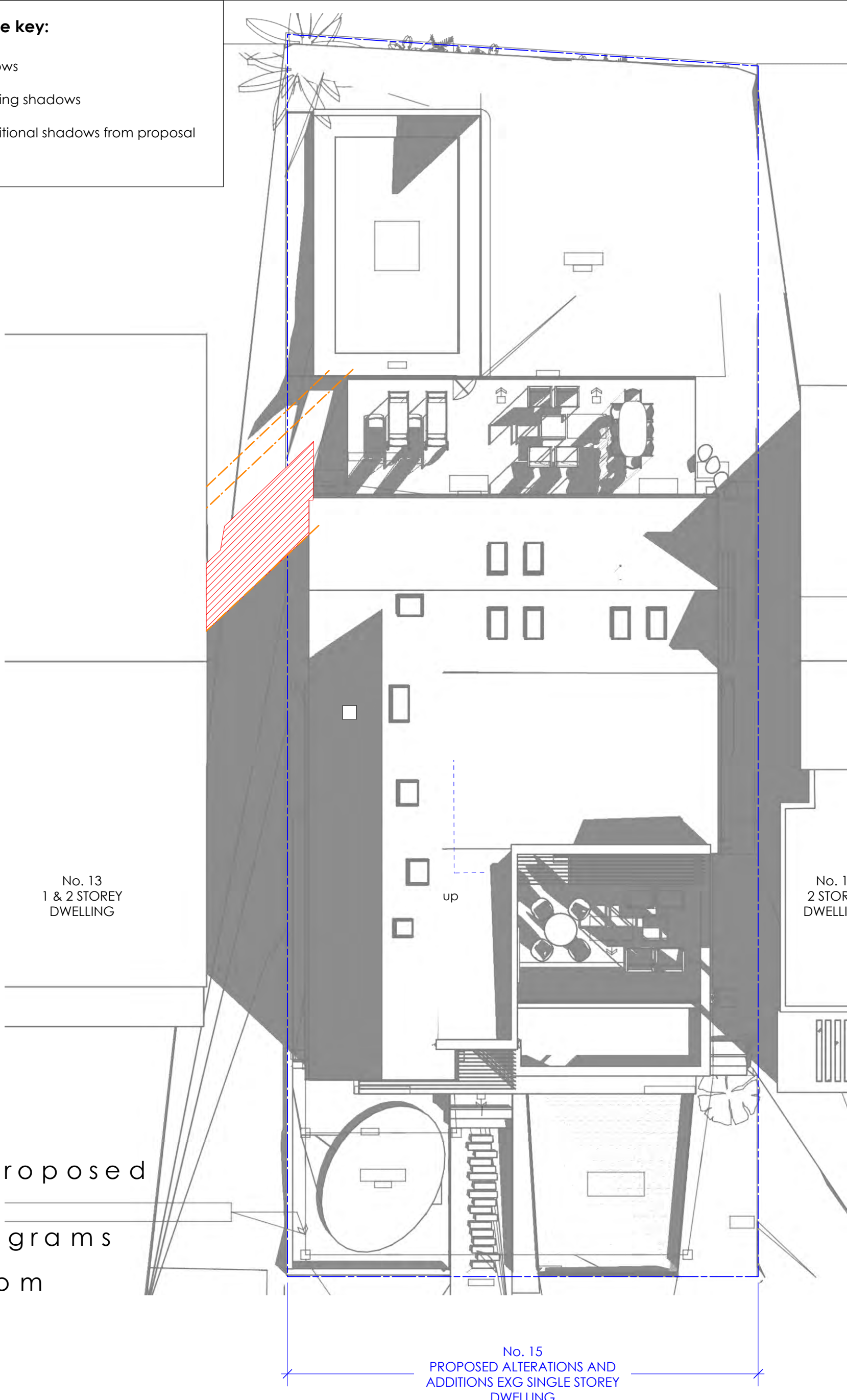
VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

shadow diagrams reference key:

-  denotes existing shadows
-  denotes extent of existing shadows
-  denotes extent of additional shadows from proposal



3:00 PM
Sydney
June 21



No. 13
1 & 2 STOREY
DWELLING

No. 17
2 STOREY
DWELLING

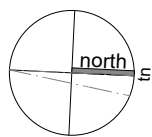
No. 15
PROPOSED ALTERATIONS AND
ADDITIONS EXG SINGLE STOREY
DWELLING

existing // proposed
shadow diagrams
June 21st 3pm

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd.
this drawing must not be used for construction unless signed as Approved
VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it
was commissioned and in accordance with the terms of engagement for the commission.

DEVELOPMENT APPLICATION (DA)

| | | | |
|--|------------------|------------------------------------|--------------------------|
| address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | | title: Shadow Diagram Jun 21st 3pm | |
| client: W. & L. Quick | drawn by: JOB | scale: 1:200 @ a3 | issue: © VIEW//THRU (DA) |
| project: Alterations & additions | date: 12/02/2025 | dwg. no.: DA//22 | Rev. no.: A |



Architectural
Technologist
2024

Jim O'Brien
Principal Designer // Director
(RIAI Arch.Tech.)
(Affiliate RAlA)

t: 043 7222 389 info@viewthru.com.au

BALGOWLAH, NSW 2093.
VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531



VIEWTHRU
MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

THE STABILISED SITE ACCESS SHALL BE CONSTRUCTED SUCH THAT ALL SEDIMENT LADEN RUNOFF FLOWING FROM IT IS DIVERTED INTO ADJACENT SEDIMENT CONTROLS (I.E. SEDIMENT FENCE, CHECK DAMS ETC). THIS MAY REQUIRE THE CONSTRUCTION OF A TRAFFICABLE CROSS BANK. SEDIMENT FENCING MAY BE USED AS A PHYSICAL BARRIER AT THE FRONT OF THE PROPERTY TO ENSURE VEHICLES ENTER VIA THE SITE ACCESS.

WHERE THERE IS POTENTIAL FOR SEDIMENT LADEN RUNOFF TO ENTER STORMWATER PITS DURING CONSTRUCTION, SUITABLE INLET PROTECTION MEASURES SHALL BE INSTALLED AROUND THE PIT INLETS SUCH AS GEOTEXTILE INLET FILTERS.



DEVELOPMENT: 15 Southern Cross Way, Allambie Heights NSW 2100, Australia

Applicant: ALLAMBIE
 Principal Contractor / Owner Builder(responsible for ESC Plan): TEST
 ESC Plan Creation Date: 23/10/2024
 Soil Type:
 Supplementary Comments:
 Designer: D Barnes (CPESC Cert No. 8494)
 Proposed Development Area = 387 m²

- Notes**
1. THE ESC PLAN WAS DEVELOPED IN ACCORDANCE WITH THE BLUE BOOK' (MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION VOL. 1, 4TH EDITION (LANDCOM, 2004).
 2. ESC MEASURE LOCATIONS ARE INDICATIVE ONLY. FINAL LOCATION TO BE DETERMINED DURING CONSTRUCTION AND UPDATED AS REQUIRED.
 3. CHECK DAMS (I.E. COIR LOGS, GEOTEXTILE GRAVEL BAGS ETC.) SHALL BE USED INSTEAD OF SEDIMENT FENCE IN CONCENTRATED FLOW PATHS OR WHERE SEDIMENT FENCING CANNOT BE INSTALLED. SMALL 45° RETURNS SHALL BE UNDERTAKEN AT THE ENDS OF THE SEDIMENT FENCING (NOT SHOWN IN THE DRAWING) TO ASSIST WITH THE CONTAINMENT OF RUNOFF AND SEDIMENT.
 4. THE REQUIREMENT AND FEASIBILITY OF POTENTIAL CLEAN WATER DIVERSIONS NEEDS TO BE UNDERTAKEN ON-SITE PRIOR TO GROUND DISTURBANCE WORKS. ANY DIVERSION STRUCTURES SHALL BE SUITABLY STABILISED TO CONVEY FLOWS AND SHALL DISCHARGE INTO A SUITABLY STABILISED AREA AND NOT INTO A NEIGHBOURING PROPERTY.
 5. ALL ESC MEASURES SHALL BE INSPECTED IN ACCORDANCE WITH THE FREQUENCY ON THE STANDARD NOTES DRAWING AND MAINTAINED AS REQUIRED THROUGHOUT THE COURSE OF THE WORKS AND FOLLOWING EACH INCIDENCE OF RAIN.
 6. ALL SEDIMENT COLLECTED SHALL BE REGULARLY REMOVED AND IF UNSUITABLE FOR REUSE DISPOSED OF IN AN APPROVED MANNER.
 7. ESC MEASURES SHALL BE INSTALLED PRIOR TO ANY GROUND DISTURBANCE.
 8. ALL TEMPORARY ESC MEASURES SHALL BE REMOVED WHEN NO LONGER REQUIRED.
 9. SEDIMENT FENCES SHALL BE PLACED AROUND THE DOWNSLOPE BATTER OF ALL TEMPORARY SOIL STOCKPILE AREAS WHERE OUTSIDE THE MAN DISTURBANCE AREA. THESE STOCKPILES SHALL NOT BE PLACED IN CONCENTRATED FLOW PATHS.
 10. GROUND DISTURBANCE WORKS SHALL BE STAGED TO MINIMISE THE POTENTIAL FOR SEDIMENT TO BE MOBILISED IN RUNOFF AT ANY GIVEN TIME. BASED ON THE SEQUENCING OF THE CONSTRUCTION WORKS ADDITIONAL ESC MEASURES MAY BE REQUIRED TO RETAIN SEDIMENT LADEN RUNOFF AS REQUIRED.
 11. VISUAL INSPECTIONS OF ALL VEHICLES LEAVING THE SITE WILL BE UNDERTAKEN AND WHERE IT IS DEEMED POSSIBLE THAT SEDIMENT COULD BE TRACKED ONTO THE ADJACENT STREETS, THE VEHICLES SHALL BE WASHED DOWN IN A SUITABLE LOCATION SUCH THAT THE WASH DOWN WATER REPORTS TO APPROPRIATE SEDIMENT CONTROLS. STREET SWEEPING WILL BE USED AS A CONTINGENCY MEASURE WHERE SEDIMENT IS OBSERVED ON THE STREETS.
 12. ANY DETAILS OF EXISTING SERVICES SHOWN ON THE DRAWINGS ARE NOT TO BE TAKEN AS INDICATING ALL EXISTING SERVICES OR LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADEQUATELY INFORM HIMSELF AS TO THE LOCATION OF ANY AND ALL SERVICES.
 13. WORKS SHALL BE UNDERTAKEN DURING PERIODS OF GOOD FORECAST WEATHER (AS BEST AS IS PRACTICALLY POSSIBLE).
 14. REFER TO THE CIVIL DRAWINGS FOR PLANT/VEHICLE PARKING AREAS, EQUIPMENT LAYDOWN AREAS AND LIMITS OF CUT/FILL (IF APPLICABLE).
 15. ALL HARD WASTE SHOULD BE STORED ON-SITE IN A WAY THAT PREVENTS MATERIAL LOSS CAUSED BY WIND OR WATER. SMALLER MATERIALS SUCH AS LITTER SHOULD BE CONTAINED IN COVERED BINS OR LITTER TRAPS. WHEN TRAVELLING TO AND FROM THE SITE, SECURE LOAD TO PREVENT WIND BLOWN LITTER POLLUTION.
 16. DISTURBED AREAS SHALL BE REHABILITATED / SEALED AS SOON AS PRACTICALLY POSSIBLE. THIS MAY INCLUDE TURFING, LANDSCAPING, SEEDING, CONCRETING ETC.
 17. ALL AREAS OUTSIDE OF THE GROUND DISTURBANCE AREA SHALL BE CONSIDERED A NO-GO ZONE. AND NOT DISTURBED IN ANY WAY.

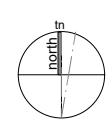
LEGEND

| | | | |
|--|-------------------------------------|--|--|
| | SITE BOUNDARY | | PROPOSED DISTURBANCE AREA |
| | PROPOSED STABILISED SITE ENTRY/EXIT | | PROPOSED INDICATIVE STOCKPILE LOCATION |
| | EXISTING CONTOURS | | PROPOSED SEDIMENT FENCE |

NSW GOVERNMENT - SPATIAL SERVICES
 RESOLUTION: 1 METRE
 source:

DEVELOPMENT APPLICATION (DA)

© copyright - this document is and shall remain the property of VIEWTHRU Pty Ltd. this drawing must not be used for construction unless signed as Approved
 VIEWTHRU Conditions of Use: this document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.



| | | |
|----------|--|--|
| address: | 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922 | |
| client: | W. & L. Quick | |
| project: | Alterations & additions | |

| | | |
|-----------|---------------------------------|--------------------------|
| title: | Sed. & Erosion//Site Setup Plan | |
| drawn by: | JOB | scale: @ a3 |
| date: | 12/02/2025 | issue: @ VIEW//THRU (DA) |
| dwg. no.: | DA//24 | Rev. no.: A |

RIAI Architectural Technologist 2024
 Jim O'Brien
 Principal Designer // Director
 (RIAI Arch.Tech.) (Affiliate RAI/A)
 t: 043 7222 389 info@viewthru.ccm.au
 BALGOWLAH, NSW 2093.
 VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

bdca
 ACCREDITED BUILDING DESIGNER
 accreditation no: 6851
LIVING FUTURE
 PROFESSIONAL MEMBER

VIEWTHRU
 MAKE IT YOURS
 WWW.VIEWTHRU.COM.AU