



yours locally

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Web www.localgroup.com.au

BUSHFIRE HAZARD ASSESSMENT



Site Details:
Lot 4
DP (Unknown)
(Parent Lot/DP 31/5464)
House No. (Unknown)
Warriewood Road
Warriewood NSW 2102

Report Prepared for:
Mr Holl & Ms Nield
C/- Rawson Homes Pty Ltd
Building F, Level 2, Suite 1
1 Homebush Bay Drive
Rhodes NSW 2138

Construction of a two storey dwelling

Executive Summary

As required by Northern Beaches Council a bushfire risk assessment has been carried out in accordance with the procedures and requirements outlined in *Planning for Bushfire Protection (2006) Addendum – Appendix 3 (2010)* as issued by the NSW Rural Fire Service (RFS). A summary of the findings of this assessment are provided below. Subject to the recommendations proposed in this report, the proposed development has the potential to comply with the aims and objectives of *Planning for Bushfire Protection (2006)*.

Site Address

Lot 4 DP (Unknown)
(Parent Lot/DP 31/5464)
House No. (Unknown)
Warriewood Road
Warriewood NSW 2102

GPS Coordinates

Latitude: -33.687224
Longitude: 151.300439

Aspect

North

Fire Danger Index Applied

FDI 100

Vegetation Classifications

North	East	South	West
Managed Land	Managed Land	Managed Land	Managed Land

Distance to Vegetation

North	East	South	West
>140m	>140m	>140m	>140m

Effective Slope

North	East	South	West
0-5° Downslope	N/A	N/A	N/A

Bushfire Attack Level

North	East	South	West
BAL-LOW	BAL-LOW	BAL-LOW	BAL-LOW

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1. Project Brief

We have been engaged by Rawson Homes Pty Ltd to assess the threat posed to the development in the event of a bushfire. Current fire maps prepared by Northern Beaches Council in accordance with the requirements of Section 146 of the *Environmental Planning and Assessment Act 1979* (as amended) (EPAA) indicate that the site is situated within a bushfire prone area (BPA). The aim of this report is to identify the Bushfire Attack Level (BAL) to which the proposed development should be constructed under *AS 3959-2009: Construction of buildings in bushfire-prone areas* and the NSW variations as contained within *Addendum: Appendix 3 of Planning for Bushfire Protection* (2010) by the NSW Rural Fire Service to outline the provisions required to facilitate the fighting of bushfires.

The site is located at Lot 4, DP (Unknown), (Parent Lot/DP 31/5464), Warriewood Road, Warriewood NSW 2102.

This report will supplement the development application to Northern Beaches Council for the proposed development of a new dwelling and has been prepared in accordance with the procedures and requirements contained within *Planning for Bushfire Protection* (2006) – *A Guide for Councils, Planners, Fire Authorities and Developers* with *Addendum: Appendix 3* (2010) as issued by the NSW Rural Fire Service.

The report relies upon the following information:

- Inspection of the site
- Details of the proposed dwelling as produced by Rawson Homes Pty Ltd (See Appendix 2)

2. Introduction

As required by Northern Beaches Council and in accordance with the requirements of Section 79BA of EPAA, a bushfire assessment of the proposed development has been carried out. This was done in accordance with the procedures and requirements contained within *AS 3959-2009* and *Addendum: Appendix 3* (2010) of *Planning for Bushfire Protection* (2006) as issued by the NSW Rural Fire Service. The findings have been outlined in this report to determine compliance with the Building Code of Australia.

The assessment of the site found that any development on the site is not at significant risk of bushfire attack and accordingly, construction to a Bushfire Attack Level of **BAL-LOW** to all elevations of the proposed dwelling is recommended.

3. The Proposed Development

The proposed development is a two storey dwelling. Internally the dwelling will feature a living room, dining, kitchen, leisure, four bedrooms with three bathrooms and garage. The development will have a building footprint area totalling 154.91m². Landscaped areas are proposed to cover approximately 201.35m² (51.22%) of the site.

The building will be on a reinforced concrete slab with timber frames and timber roof trusses. A brick, cladding and rendered finish veneer with a colorbond sheet roof covering will form the façade of the dwelling.

4. Assessment of Site Characteristics

The site is located in suburb of Warriewood, within Northern Beaches Local Government Area. The site is situated on Warriewood Road, which will also provide access to the property. The site borders onto vacant lots ready for construction on the eastern, southern and western aspects. The northern aspect of the site faces a roadway, then onto managed lands.

The site is rectangular in shape, with a street frontage of 15.97 metres along Warriewood Road, with the total subject lot size being 393.1m².

The development site has a downward slope from the front of the property to the rear. Figure 1 below displays the allotment boundaries as given by the NSW Government 'SixMaps' website. The satellite image is dated, and does not accurately reflect the current surrounding landscape of the allotment.



Figure 1 – Aerial Mapping showing the lot boundary (NSW SixMaps 2019)

All aspects of the subject site face towards vacant lots ready for the construction of similar dwellings or public infrastructure assets such as roadways and footpaths. These properties and assets present reduced vegetation forms (i.e. maintained lawns and gardens) as well as areas of non-vegetation (i.e. dwellings, roads, paths, ancillary structures) and as such, are not considered to harbour any predominant vegetation formations which are described in *Planning for Bushfire Protection* (2006). Any future developments within this area should also come under the R3 – Medium Density Residential planning codes as per Pittwater Local Environmental Plan 2014 and should present with similar sized dwellings and managed landscaping.



Figure 2 – Photograph showing the northern aspect of the site



Figure 3 – Photograph showing the eastern aspect of the site



Figure 4 – Photograph showing the southern aspect of the site



Figure 5 – Photograph showing the western aspect of the site

As seen within Figures 2-5, all aspects of the site look towards a landscape that is classified as 'Managed Land' as defined within AS 3959-2009. This landscape surrounds the entire site from a 140m distance, with no prominent vegetation formations in this area. As such this vegetation was noted in accordance with the Site Methodology procedure given in Section A3.5 of *Addendum: Appendix 3 of Planning for Bushfire Protection (2010)* however it was not considered to warrant any BAL construction requirements as specified in Table 2.4.2 of AS 3959-2009.

4.1 Surrounding Vegetation Types

The fuel categories in *Planning for Bushfires Protection* are described using botanical terminology, such as “forest” and “grassy woodland”. It should be noted that when used for bushfire hazard assessment these terms refer to the fuel production capacity and flammability of different vegetation types. Therefore their meaning and application for bushfire hazard assessment may differ from their use in a strictly botanical context.

There are not any prominent forms of vegetation within a 140m distance of the dwelling location. This is based on measurements taken during the site inspection and supplemented by satellite image data from Nearmap. Figure 6 displays a 140m radius surrounding the site.



Figure 6 – 140m radius of the proposed dwelling (Nearmap 2019)

Using the information provided on the site plan produced by Rawson Homes Pty Ltd and by measuring distances as part of the site inspection, the distance between the proposed developments façade to predominant vegetation was determined and is given in Table 2.

Table 2: Setbacks from vegetation

Facade	Distance to Predominant Vegetation
Northern	>140m
Eastern	>140m
Southern	>140m
Western	>140m

4.2 Category of Bushfire Attack

In accordance with the Table 2.4.2 of *AS 3959-2009*, all elevations of the proposed development have been determined as being located within an area of a Bushfire Attack Level considered LOW (BAL-LOW). This is due to there being insufficient risk to warrant specific Bushfire construction requirements. This is predicated on low threat vegetation and non-vegetated areas surrounding the site. Table 3 outlines the construction requirements for the proposed development elevations.

Table 3: BAL construction requirements for the development

Elevation	Level of Construction as per AS 3959-2009
Northern	BAL - LOW
Eastern	BAL - LOW
Southern	BAL - LOW
Western	BAL - LOW

5. Construction and Landscaping Recommendations

This site has been assessed to be within an area that will require a bushfire attack level of **BAL-LOW for all elevations of the dwelling**. Attached as an Appendix 1 are the construction requirements for BAL-LOW from Section 4 of Australian Standard *AS3959-2009: Construction of buildings in bushfire prone areas*.

However, even though the dwelling is not located within 140m of bushfire threatening vegetation, the following construction and landscaping techniques are recommended to mitigate the risk of potential ember attack from this vegetation:

- Using non-combustible gutter and valley guards in the dwelling to limit the accumulation of debris in gutters.
- Storage of combustible materials as far from the dwelling as possible

6. Conclusion

In conclusion, construction standards for building within bushfire-prone areas are set out in Australian Standard *AS 3959-2009: Construction of Buildings in Bushfire Prone Areas. Addendum: Appendix 3 (2010) of Planning for Bushfire Protection (2006)* provides a procedure for determining the category of bushfire attack and the appropriate level of construction. It is considered that the proposed dwelling is not at particular risk warranting a specific construction standard as given in *AS 3959-2009*, hence a **BAL-LOW rating** is recommended to the proposed development.

However, even though the development is not located within 140m of bushfire threatening vegetation, the following recommendations are made for the dwelling to mitigate the risk of ember attack:

- Using non-combustible gutter and valley guards in the dwelling to limit the accumulation of debris in gutters.
- Storage of combustible materials as far from the dwelling as possible



Craig Hardy
MBA; M.App.Sc.(Env.Toxicology); B.App.Sc.(Env.Health)
Accredited Certifier – Building Surveying A2 – 0167
BPAD-D Certified Practitioner – 24168

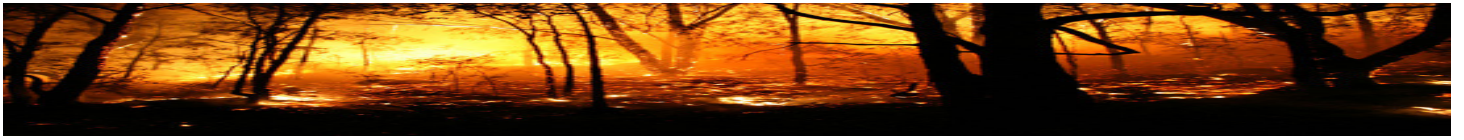
February 2019

7. References

- Nearmap Pty Ltd (2019) *PhotoMaps by Nearmap*. Available: <http://maps.au.nearmap.com/>. Last accessed 28/02/2019
- NSW Rural Fire Service (2006) *Planning for Bushfire Protection, A Guide for Councils, Planners, Fire Authorities, Developers and Home Owners*. NSW Rural Fire Service, Lidcombe NSW.
- NSW Rural Fire Service (2010) *Planning for Bushfire Protection: Addendum Appendix 3*. NSW Rural Fire Service, Lidcombe NSW.
- NSW State Government. (2019). *SixMaps*. Available: <https://maps.six.nsw.gov.au/>. Last accessed 28/02/2019
- Ramsay C & Dawkins D (1993) *Building in Bushfire Prone areas – Information and Advice*. CSIRO and Standards Australia.
- Standards Australia (2009) *Australian Standard AS 3959-2009: Construction of Buildings in Bushfire-Prone Areas*. SAI Global Ltd, Sydney.

8. Appendices

1. Construction Levels for BAL-LOW from *AS 3959-2009: Construction of buildings in bushfire-prone areas*.
2. Proposed Development Plans as produced by Rawson Homes Pty Ltd – job no. A/8854, Issue B, Dated 09/11/2018



ADDENDUM TO
SPECIFICATION
BUSHFIRE CONSTRUCTION REQUIREMENTS FOR
BUSHFIRE ATTACK LEVEL BAL-LOW



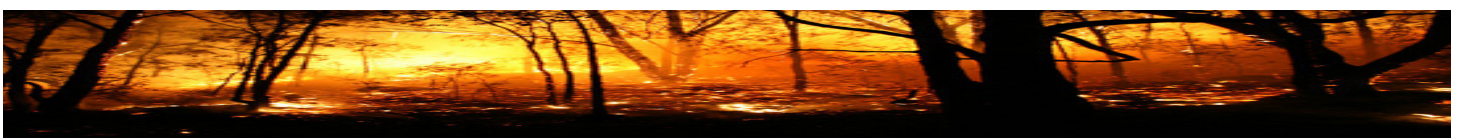
Owner/s

Address

Development Consent Number:

Construction Certificate:

Complying Development Certificate Number:



SECTION 4 CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL LOW (BAL—LOW)

This Standard does not provide construction requirements for buildings assessed in bushfire-prone areas in accordance with Section 2 as being BAL—LOW.

A3

‘Text deleted’

The Bushfire Attack Level BAL—LOW is based on insufficient risk to warrant specific bushfire construction requirements. It is predicated on low threat vegetation and non-vegetated areas (see Clause 2.2.3.2).

ADDENDUM TO SPECIFICATION

"Bushfire Attack Level - LOW (BAL-LOW)"





APPENDICES

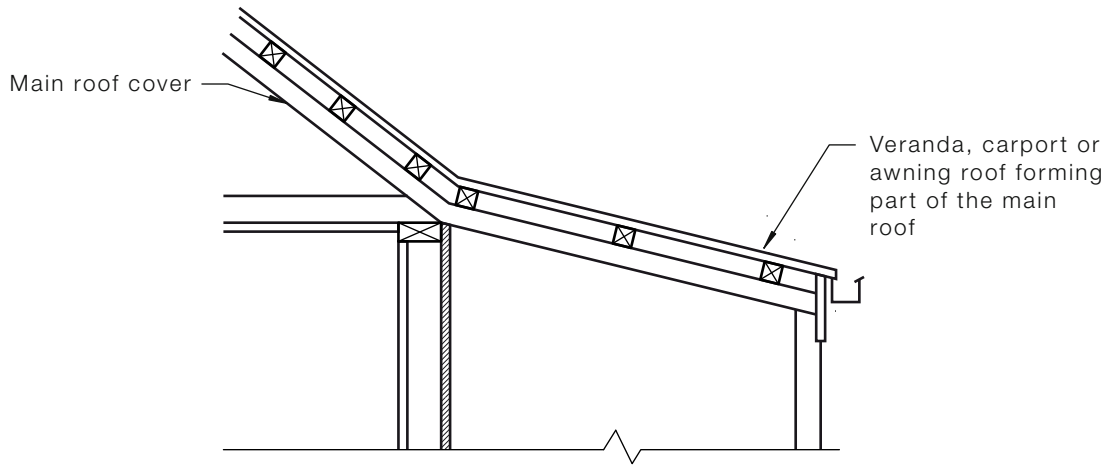
BUSHFIRE CONSTRUCTION REQUIREMENTS
APPENDICES D, F, G, AND H of AS3959-2009



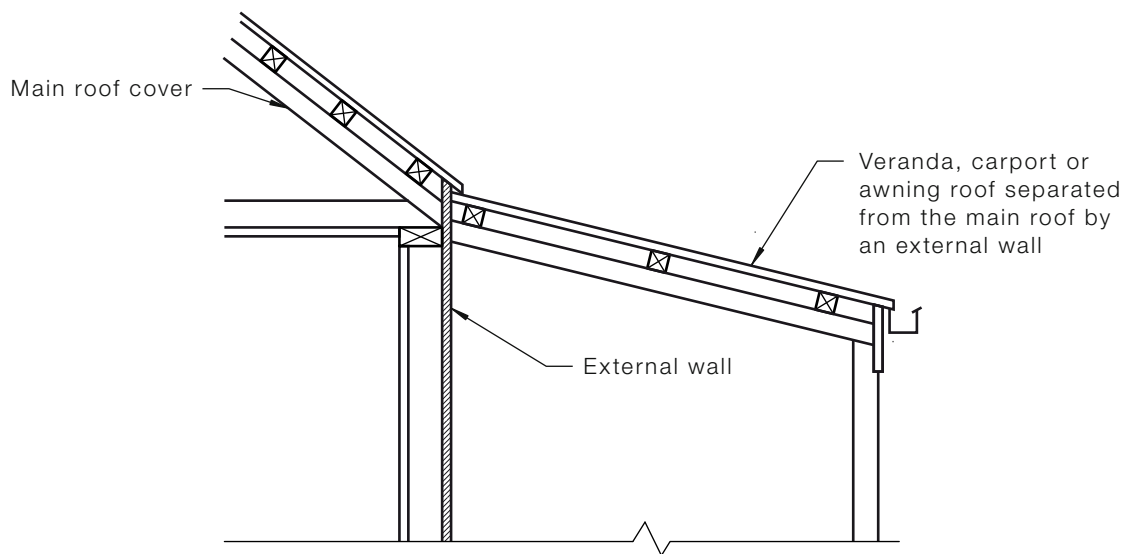
APPENDIX D
ILLUSTRATIONS

(Normative)

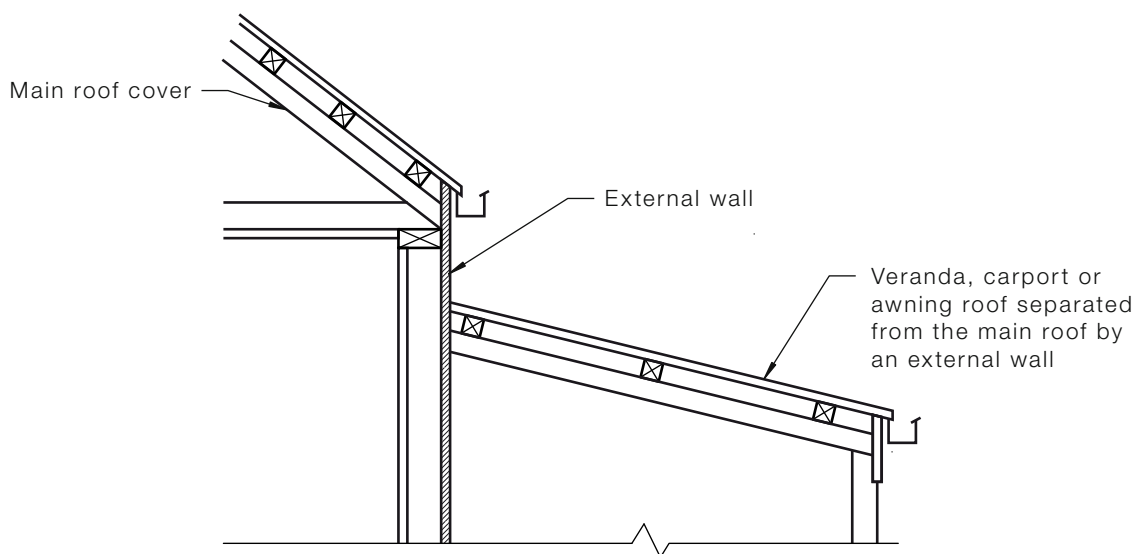
The following illustrations (Figures D1 to D4) support requirements of this Standard:



(a) Continuous roof

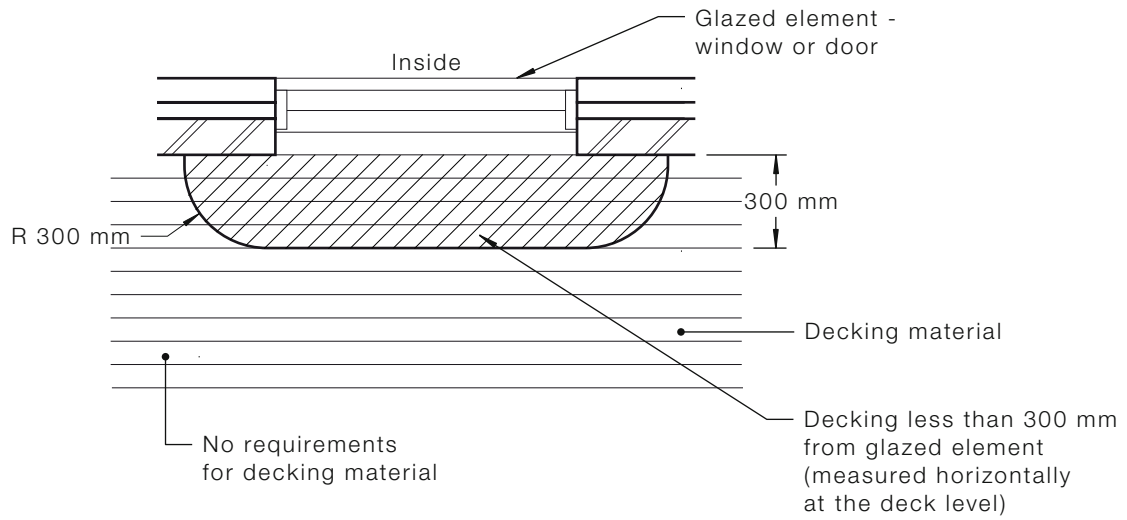


(b) Continuous roof with veranda, carport or awning roof separated from main roof

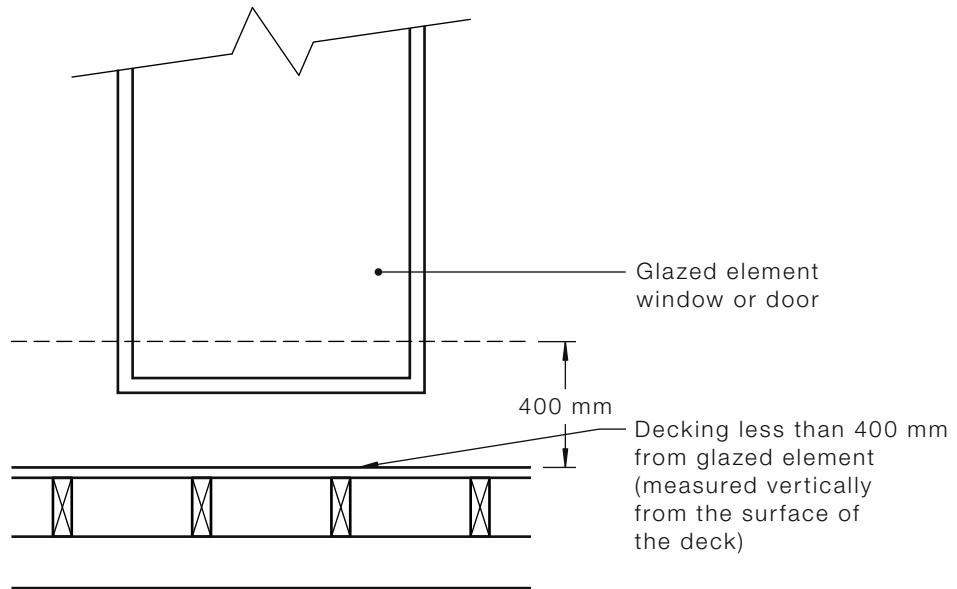


(c) Discontinuous roof

FIGURE D1 VERANDA, CARPORT OR AWNING ROOFS SHOWING CONTINUOUS AND DISCONTINUOUS ROOF TYPES



(a) Plan view

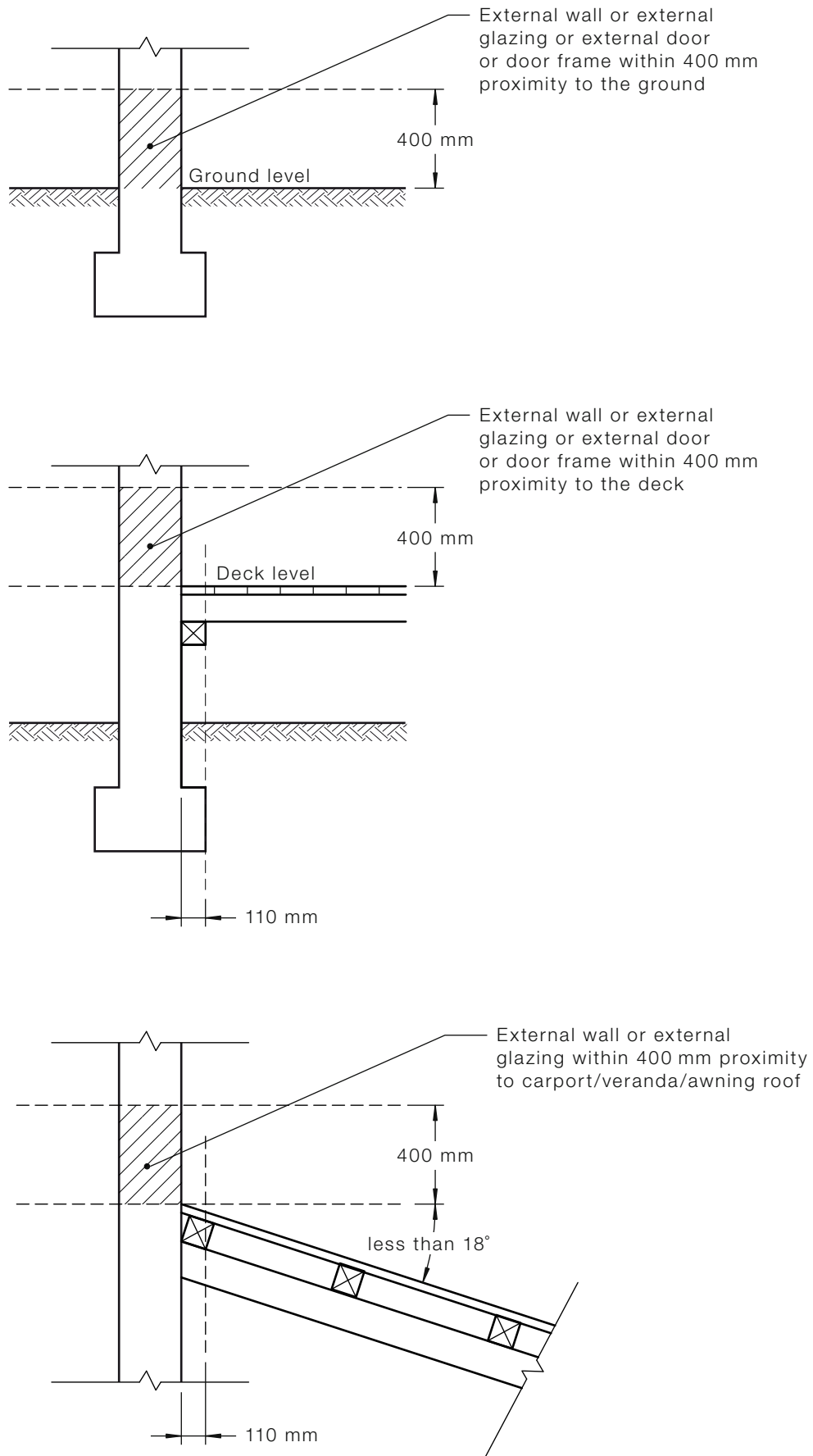


(b) Elevation view

A1 |

FIGURE D2 DECKING WITHIN HORIZONTAL AND VERTICAL LIMITS OF GLAZED ELEMENTS

A1



DIMENSIONS IN MILLIMETRES

FIGURE D3 EXTERNAL WALLS OR EXTERNAL GLAZING, OR EXTERNAL DOORFRAMES WITHIN LIMITS ABOVE GROUND, DECKS, CARPORT ROOFS

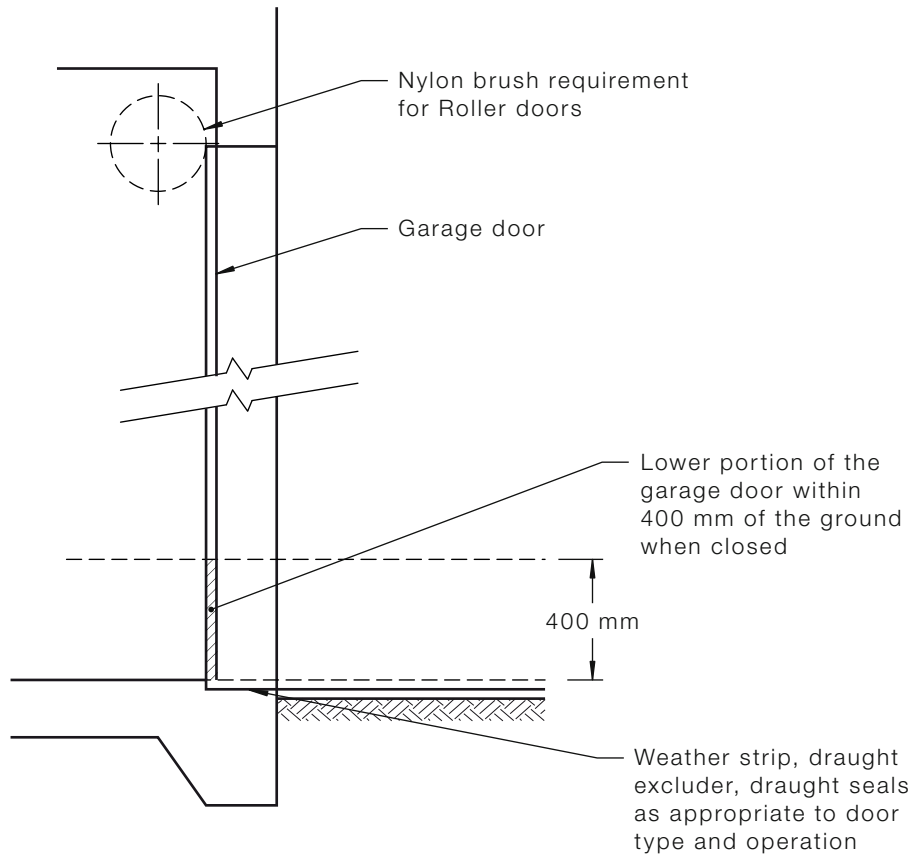


FIGURE D4 VEHICLE ACCESS DOORS (GARAGE DOORS)

APPENDIX F BUSHFIRE-RESISTING TIMBER

(Normative)

F1 GENERAL

A3 | Bushfire-resisting timber is timber that is in solid, laminated or reconstituted form is deemed to be acceptable to withstand exposure up to a BAL—29 condition.

Timber may be ‘bushfire-resisting’ by means of one or more of—

- (a) the inherent properties of the material itself;
- (b) being impregnated with fire-retardant chemicals; *or*
- (c) the application of fire-retardant coatings or substrates.

F2 TESTING

The following apply:

- (a) To satisfy the requirements for bushfire-resisting timber, timber shall be tested in accordance with AS/NZS 3837 and shall meet the following criteria:
 - (i) The maximum heat release rate shall be not greater than 100 kW/m².
 - (ii) The average heat release rate for 10 min following ignition shall be not greater than 60 kW/m² when the material is exposed to an irradiance level of 25 kW/m².
- (b) Where the timber has been altered by chemicals, the test samples shall be subjected to the regime of accelerated weathering described in Paragraph F3 except that where the timber is protected from the weather, as described in AS 1684.2 and AS 1684.3 (for example, cladding protected by a veranda), accelerated weathering of the test samples is not required before being tested to AS/NZS 3837.

External timbers are deemed to be protected if they are covered by a roof projection (or similar) at 30 degrees or greater to the vertical and they are well detailed and maintained (painted or stained and kept well ventilated).

A2 | NOTE: The purpose of testing is to assess timber performance rather than to simulate a bushfire. The irradiance set for the test is not to be considered to be correlated to the BAL.

F3 ACCELERATED WEATHERING

Where accelerated weathering is required before testing to AS/NZS 3837, external fire-retardant-coated substrates shall be subjected to the ASTM D2898 Method B weathering regime, with the water flow rate modified to be the same as that within ASTM D2898 Method A.

A2 | F4 BUSHFIRE-RESISTING SPECIES

Some species have been tested and have met the requirements of Paragraph F2 above.

NOTE: For bushfire-resisting species, see Appendix H.

APPENDIX G
EXPLANATION OF BUSHFIRE ATTACK LEVELS (BALs)
(Informative)

G1 GENERAL

A1 | To determine the construction requirements for a building site, the threat or risk of bushfire attack needs to be assessed.

G2 1999 and 2009 EDITIONS OF AS 3959

The 1999 edition of AS 3959 provided four levels of risk: Low, Medium, High, Extreme.

This Standard provides six levels of risk: BAL—LOW, BAL—12.5, BAL—19, BAL—29, BAL—40, BAL—FZ.

The BAL system of levels (see Paragraph G4) is based on the potential exposure of the site to heat flux exposure thresholds, expressed as kW/m² (see Table G1). Because the site assessment methodology has changed, it is NOT appropriate to compare the construction requirements from a level in the 1999 edition with those of a level in this Edition.

G3 RADIANT HEAT THRESHOLDS OF PAIN AND IGNITION

In a bushfire, radiant heat levels may be unsafe for humans and could also ignite combustible materials in the vicinity. Table G1 provides an indication of the potential effects of radiant heat levels on both humans and selected materials to assist the reader in understanding the implications of the different BALs.

TABLE G1
TYPICAL RADIANT HEAT INTENSITIES
FOR VARIOUS PHENOMENA

Phenomena	kW/m ²
Pain to humans after 10 s to 20 s	4
Pain to humans after 3 s	10
Ignition of cotton fabric after a long time (piloted) (see Note 2)	13
Ignition of timber after a long time 13 (piloted) (see Note 2)	13
Ignition of cotton fabric after a long time (non-piloted) (see Note 3)	25
Ignition of timber after a long time (non-piloted) (see Note 3)	25
Ignition of gaberdine fabric after a long time (non-piloted) (see Note 3)	27
Ignition of black drill fabric after a long time (non-piloted) (see Note 3)	38
Ignition of cotton fabric after 5 s (non-piloted) (see Note 3)	42
Ignition of timber in 20 s (non-piloted) (see Note 3)	45
Ignition of timber in 10 s (non-piloted) (see Note 3)	55

NOTES:

- 1 Source AS 1530.4—2005.
- 2 Introduction of a small flame to initiate ignition.
- 3 Flame not introduced to initiate ignition.

G4 BUSHFIRE ATTACK LEVELS (BALs) EXPLAINED

A1

The 2009 edition of AS 3959 (this Standard) explains Bushfire Attack Levels (BALs) as follows:

- (a) **BAL—LOW** The risk is considered to be **VERY LOW**.
There is insufficient risk to warrant any specific construction requirements but there is still some risk.
- (b) **BAL—12.5** The risk is considered to be **LOW**.
There is a risk of ember attack.
The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m².
- (c) **BAL—19** The risk is considered to be **MODERATE**.
There is a risk of ember attack and burning debris ignited by wind borne embers and a likelihood of exposure to radiant heat.
The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m².
- (d) **BAL—29** The risk is considered to be **HIGH**.
There is an increased risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to an increased level of radiant heat.
The construction elements are expected to be exposed to a heat flux not greater than 29 kW/m².
- (e) **BAL—40** The risk is considered to be **VERY HIGH**.
There is a much increased risk of ember attack and burning debris ignited by windborne embers, a likelihood of exposure to a high level of radiant heat and some likelihood of direct exposure to flames from the fire front.
The construction elements are expected to be exposed to a heat flux not greater than 40 kW/m².
- (f) **BAL—FZ** The risk is considered to be **EXTREME**.
There is an extremely high risk of ember attack and burning debris ignited by windborne embers, and a likelihood of exposure to an extreme level of radiant heat and direct exposure to flames from the fire front.
The construction elements are expected to be exposed to a heat flux greater than 40 kW/m².

APPENDIX H
BUSHFIRE-RESISTING SPECIES

(Informative)

A2

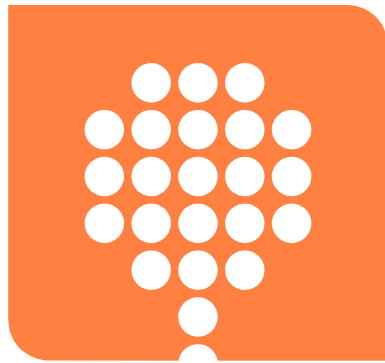
The following species have been tested and have met the requirements of Paragraph F2, Appendix F:

Standard trade name	Botanical name
Ash, silvertop	<i>Eucalyptus sieberi</i>
Blackbutt	<i>Eucalyptus pilularis</i>
Gum, red, river	<i>Eucalyptus camaldulensis</i>
Gum, spotted	<i>Corymbia maculata</i>
	<i>Corymbia henryi</i>
	<i>Corymbia citriodora</i>
Ironbark, red	<i>Eucalyptus sideroxylon</i>
Kwila (Merbau)	<i>Intsia bijuga</i>
Turpentine	<i>Syncarpia glomulifera</i>

ADDENDUM TO SPECIFICATION
"Appendices D, F, G and H of AS3959-2009"



S:\17_DRAFTING\RAWSON HOMES\CONTRACTS AND JOB FILES\A008854 Nield & Holl - Lot 4 Warriewood Road - Warriewood\A008854 Submission Plan.rvt



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HOMES**
- EST 1978 -

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SCHEDULE OF DRAWINGS:

<u>SHEET</u>	<u>CONTENTS</u>
01	COVER SHEET
02	SITE PLAN
03	GROUND FLOOR
04	FIRST FLOOR
05	ELEVATIONS 1-2
06	ELEVATIONS 3-4
07	SECTIONS
08	WET AREA DETAILS
09	SLAB SETOUT PLAN (NOT IN SET)
10	SITE ANALYSIS & SEDIMENT PLAN
11	SHADOW DIAGRAMS
KD	KITCHEN DETAILS

AMENDMENTS

ISS	DESCRIPTION	BY	DATE
A	APPLICATION PLANS (VAR:1-10)	PG	11.09.18
B	SUBMISSION PLANS (VAR:11-28) + (C1,C2)	PG	09.11.18

SUBMISSION PLANS - DA

SIGNATURE: _____			
DRAWN BY: DD	DATE DRAWN: 12.11.18	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE:	
DRAWING TITLE: COVER SHEET	JOB No: A008854	DRWG No: 01	ISSUE: B

NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
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* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES

1 HOMEBUSH BAY DRIVE, BLDG. F
LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE 02 8765 5500
FAX 02 8765 8099
Builder's licence No. 33493C



CLIENT:
MR. T. HOLL & MS. K. J. NIELD

SITE ADDRESS:
**LOT 4 (DP UNREG.)
WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

HOUSE TYPE
MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

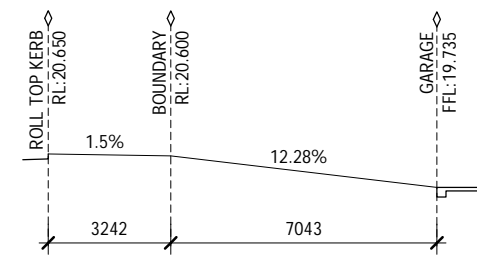
SITE NOTES:

- BEFORE STARTING WORK ON SITE CHECK FOLLOWING:
- SERVICE LOCATIONS
 - SEWER CONNECTION POSITION
 - DRIVEWAY ALIGNMENT & LEVELS

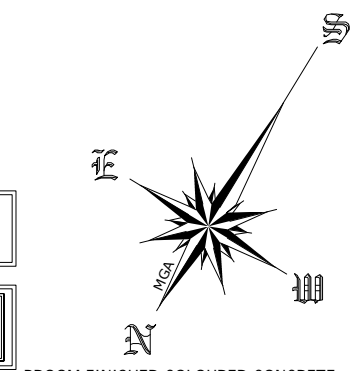
DP ○ INDICATES DOWNPIPE LOCATION

DRIVEWAY GRADIENT

SCALE: 1 : 200



WARRIEWOOD ROAD



BROOM FINISHED COLOURED CONCRETE DRIVEWAY, FRONT PATH AND GRATED DRAIN BY RAWSON HOMES

PLAIN CONCRETE CROSSOVER BY RAWSON HOMES

3.5m WIDE NEW LAYBACK TO ROAD/COUNCIL VERGE

BENCH MARK
BM 3 NAIL IN KERB
RL 20.00 (ASSUMED)

(A): EASEMENT TO DRAIN WATER 1.5 WIDE

BAS

- WARNING -
UNREGISTERED PLAN

N2 WIND CATEGORY

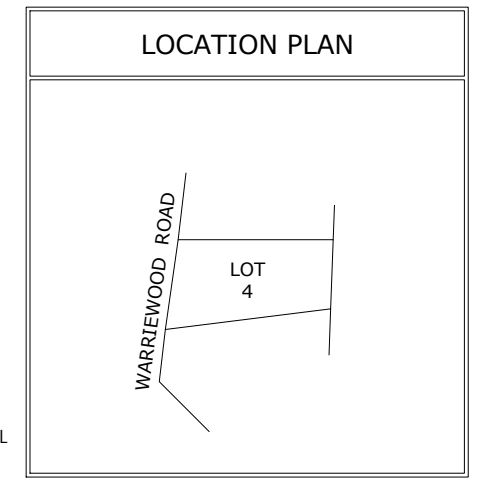
1m FALL ACROSS BUILDING ENVELOPE

DRIVEWAY & PATH TO COMPLY WITH AS2890

EXISTING TREES GREATER THAN 8m IN HEIGHT WITHIN 3m OF THE PROPOSED BUILDING OR ANY TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

- GENERAL SITING NOTES:**
- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENT SUBJECT TO CONFIRMATION UPON COMPLETION OF ARCHITECTURAL PLANS
 - ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR
 - ALL FLOOR AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS
 - ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS
 - ALL ALLOWANCES FOR RETAINING WALLS ARE SUBJECT TO FINAL ARCHITECTURAL PLANS

SITE CALCULATIONS DA		
GROUND FLOOR	101.73	m ²
FIRST FLOOR	102.81	m ²
TOTAL LIVING AREA	204.54	m ²
SITE AREA	393.10	m ²
BUILDING FOOTPRINT	154.91	m ²
DRIVEWAY & PATH	36.84	m ²
CROSSOVER	10.90	m ²
TOTAL LANDSCAPE AREA	201.35	m ²
LANDSCAPE AREA (%)	51.22	%
FLOOR SPACE RATIO	0.52	:1
SITE COVERAGE	39.41	%

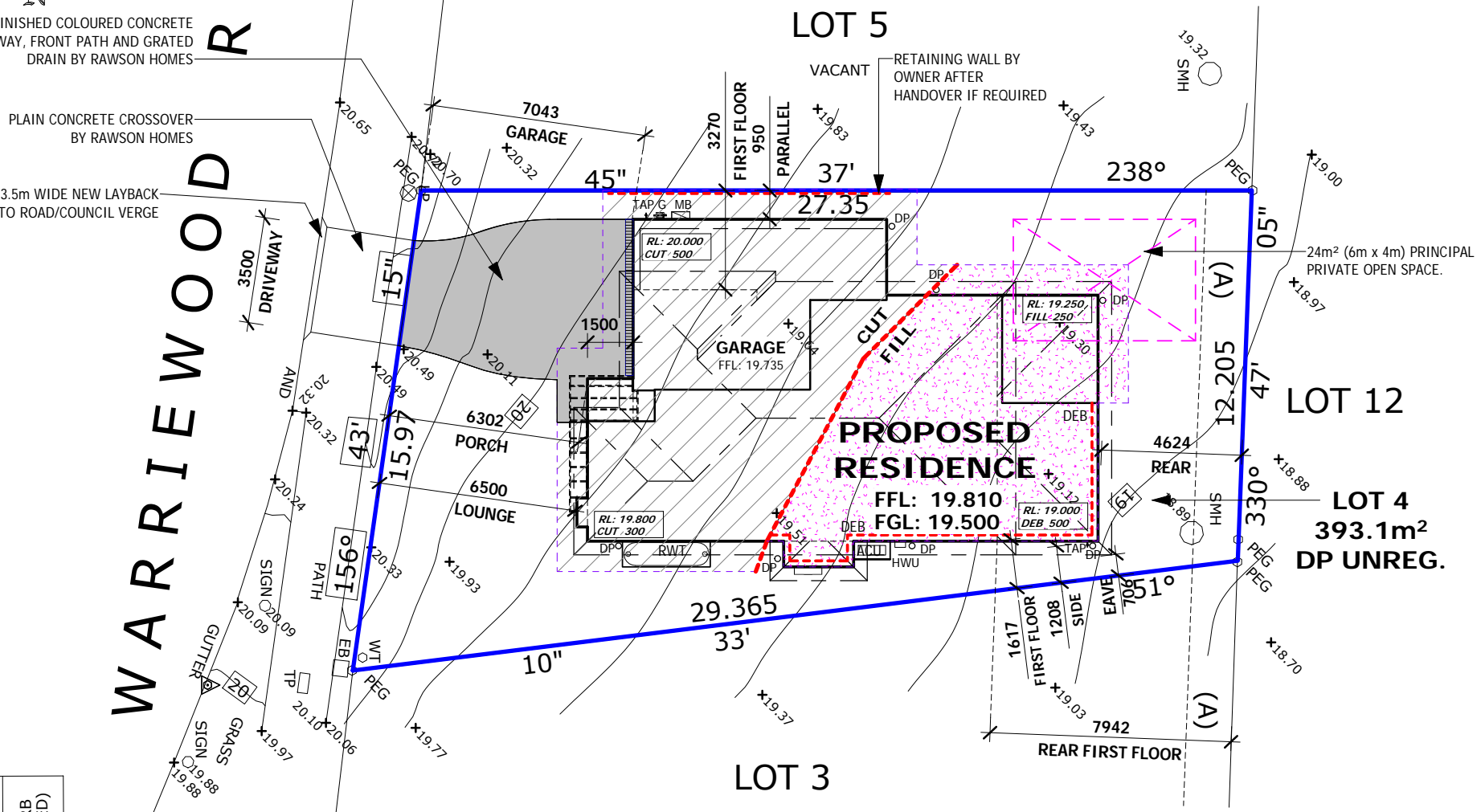


LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
R	- HYDRANT RECYCLED
KO	- KERB OUTLET
LP	- LIGHT POLE
LH	- LAMP HOLE
MH	- MAN HOLE
PP	- POWER POLE
SH	- SHRUB
SMH	- SEWER MAN HOLE
SIO	- SEWER INSPECTION OPENING
SV	- STOP VALVE
SR	- STOP VALVE RECYCLED
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET



NOTES:
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RAWSON HOMES

1 HOMEBUSH BAY DRIVE, BLDG. F
LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE 02 8765 5500
FAX 02 8765 8099
Builder's licence No. 33493C

CLIENT:
MR. T. HOLL & MS. K. J. NIELD

SITE ADDRESS:
**LOT 4 (DP UNREG.)
WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

HOUSE TYPE
MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

DRAWING TITLE:
SITE PLAN

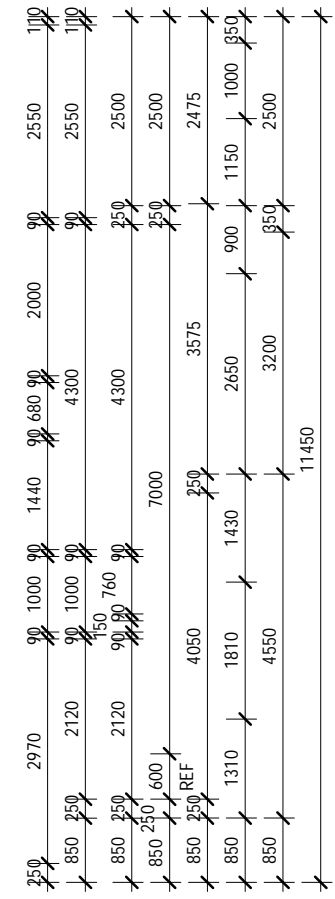
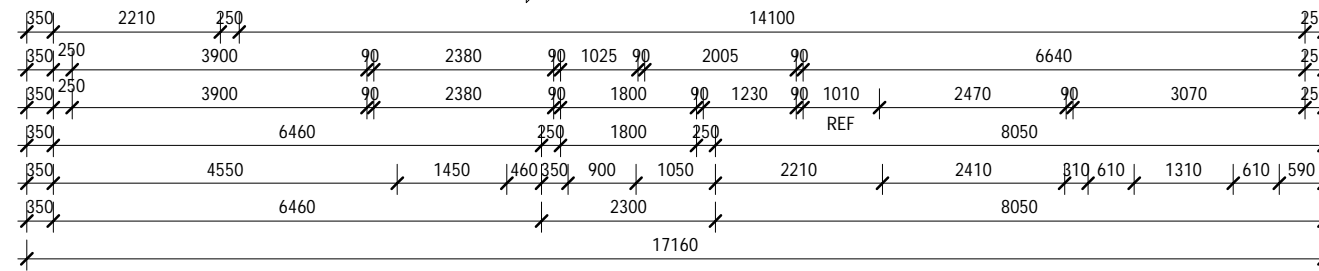
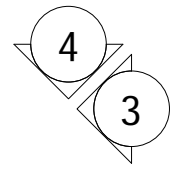
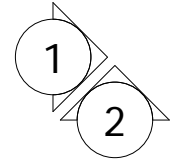
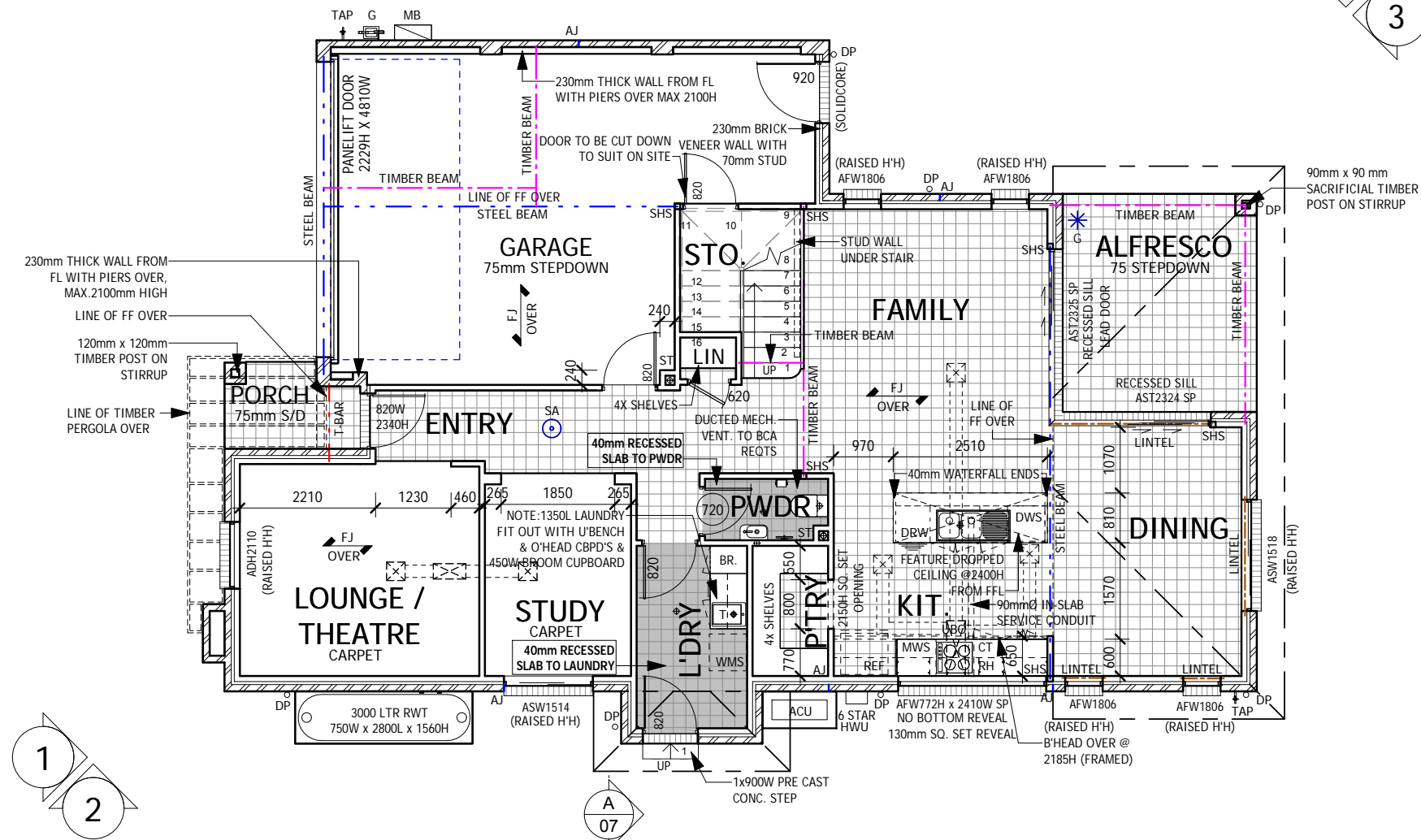
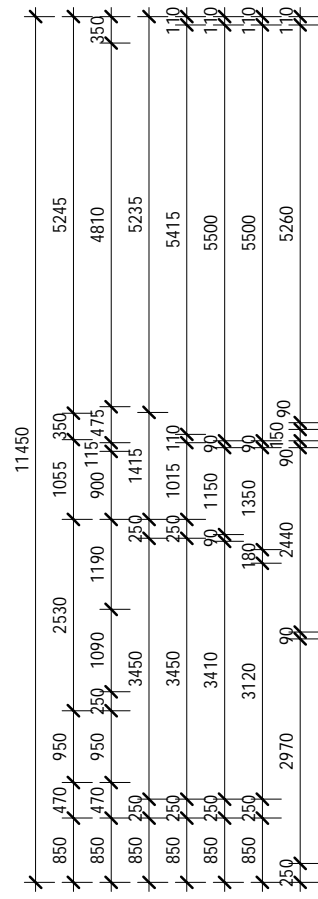
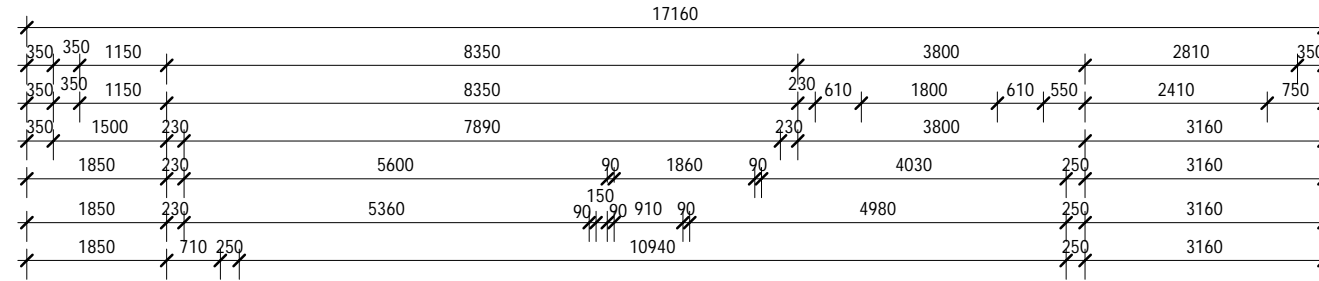
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COUNCIL AREA: PITTWATER		SCALE: 1 : 200	
JOB No: A008854	DRWG No: 02	ISSUE: B	

NOTES:

- ALL EXTERNAL DOORS TO BE FITTED WITH DRAFT EXCLUSION DEVICE
- WC DOORS TO BE FITTED WITH LIFT-OFF HINGES
- WINDOW OPENING SIZES TO BE CHECKED BEFORE FRAMES ARE CONSTRUCTED
- FRAMES & TRUSSES TO SATISFY AS 1684 SAA TIMBER FRAMING CODE
- ROOF SPACE TO BE VENTILATED BY EAVE VENTS
- HEIGHT OF ALL SQ. SETS 2400mm FROM FFL UNLESS OTHERWISE SHOWN TO GROUND FLOOR
- HEIGHT OF ALL INTERNAL DOORS 2340mm FROM FFL TO GROUND FLOOR

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NOTE: LOCATION OF GAS AND ELECTRICAL METERS TO BE DETERMINED BY CONTRACTOR ON SITE TO NEAREST POINT OF CONNECTION



FLOOR AREAS	
GROUND FLOOR	101.73 m ²
FIRST FLOOR	102.81 m ²
GARAGE	39.43 m ²
PORCH	2.83 m ²
ALFRESCO	11.22 m ²
TOTAL	258.01 m²

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NOTES:
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CLIENT:
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SITE ADDRESS:
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WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

HOUSE TYPE
MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

DRAWING TITLE:
GROUND FLOOR

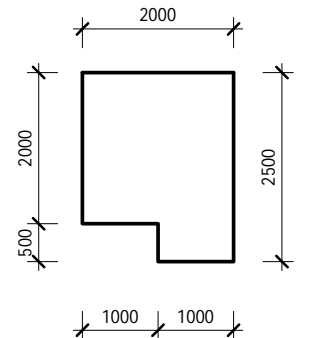
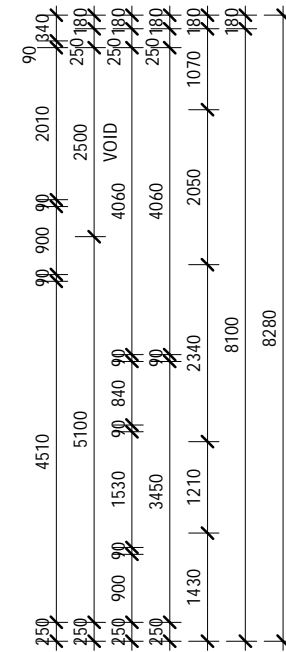
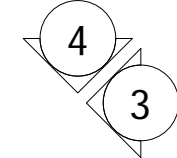
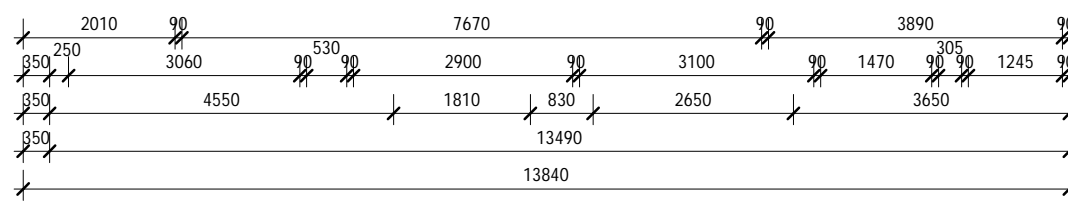
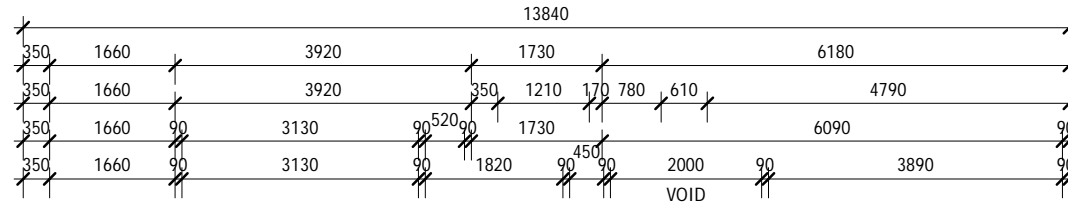
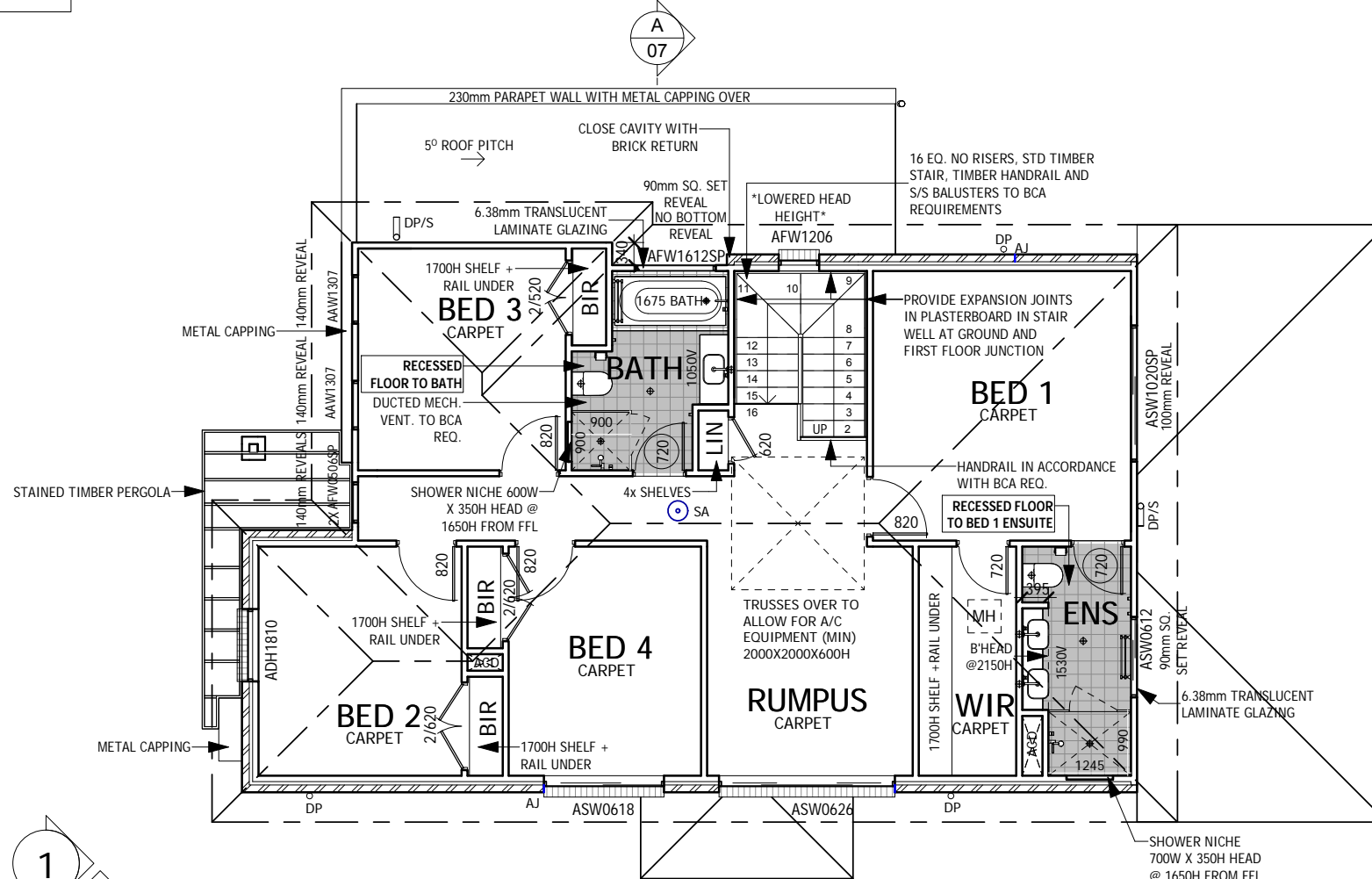
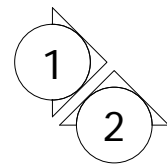
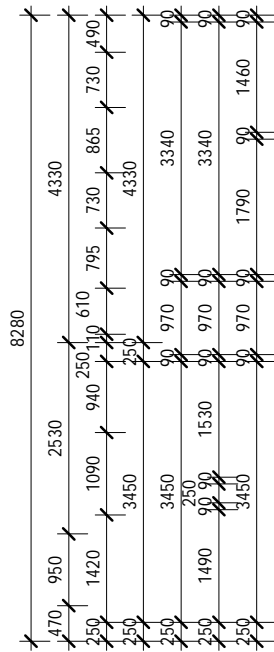
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COUNCIL AREA: PITTWATER		SCALE: 1 : 100	
JOB No: A008854	DRWG No: 03	ISSUE: B	

NOTES:

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- HEIGHT OF ALL SQ. SETS 2150mm FROM FFL UNLESS OTHERWISE SHOWN TO FIRST FLOOR
- HEIGHT OF ALL INTERNAL DOORS 2040mm FROM FFL TO FIRST FLOOR

NOTE:RESTRICTORS TO BE FITTED TO ALL 1st FLOOR OPENABLE WINDOWS WITH A SILL HEIGHT LESS THAN 1.7m ABOVE FFL IN ACCORDANCE WITH BCA CLAUSE 3.9.2.5

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STAIR VOID

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Builder's licence No. 33493C



CLIENT:
MR. T. HOLL & MS. K. J. NIELD

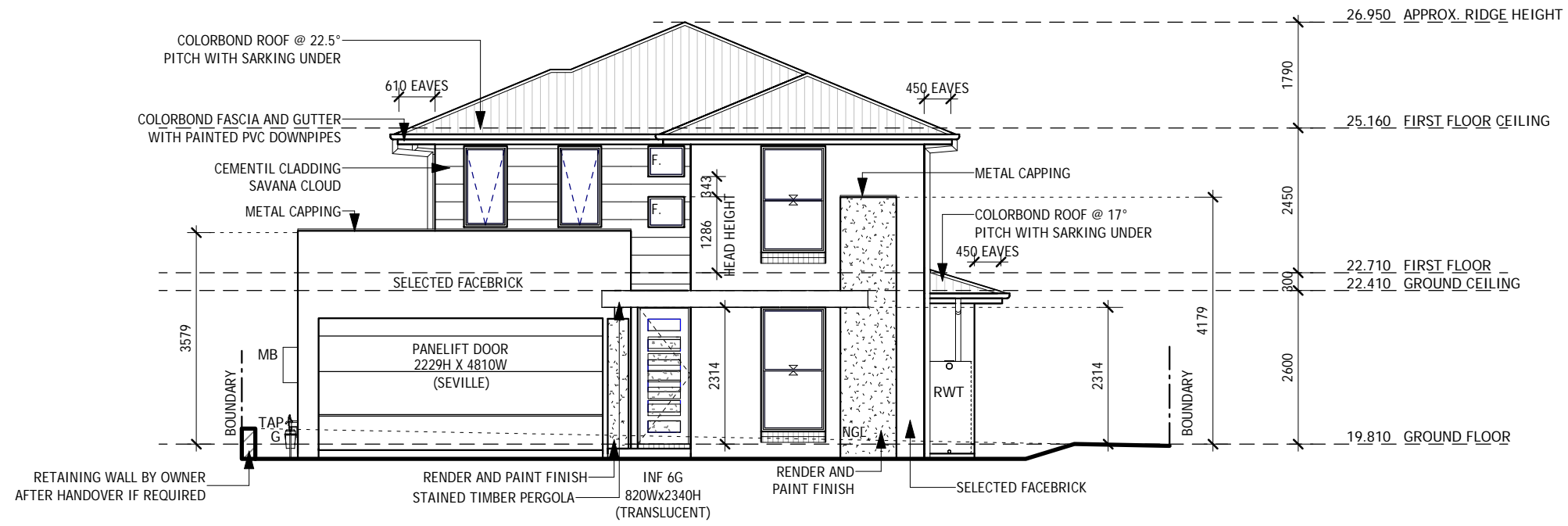
SITE ADDRESS:
**LOT 4 (DP UNREG.)
WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

HOUSE TYPE
MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

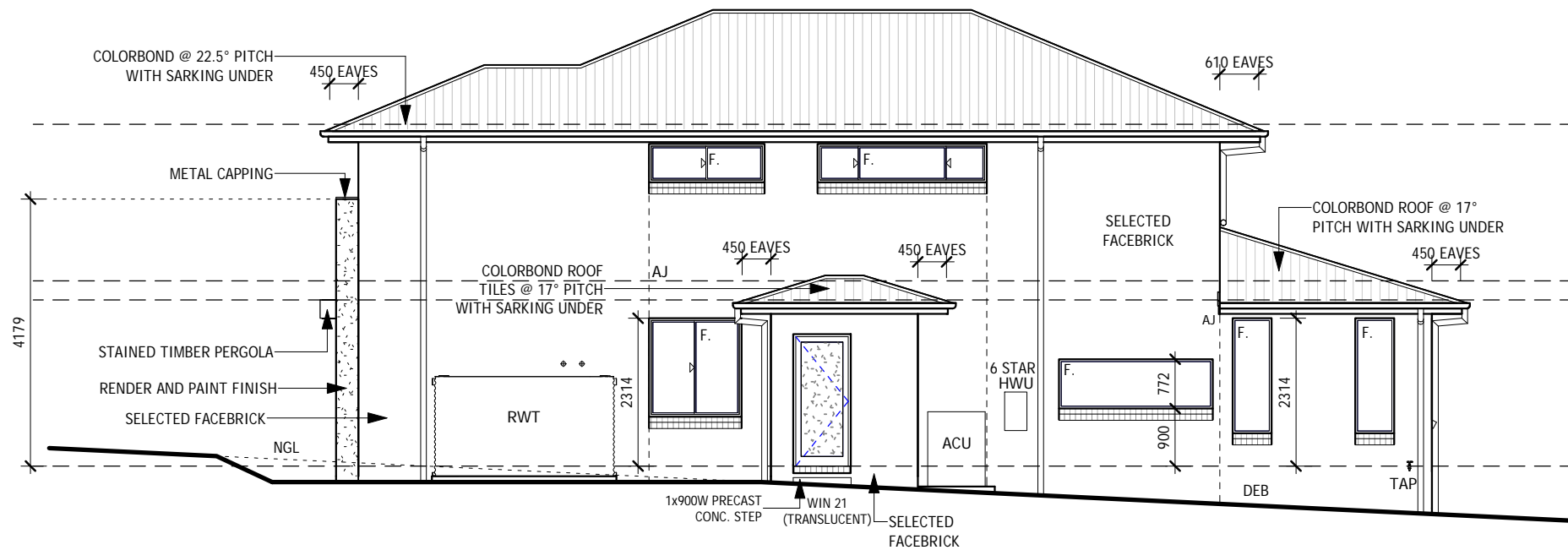
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FIRST FLOOR

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COUNCIL AREA: PITTWATER		SCALE: 1 : 100	
JOB No: A008854	DRWG No: 04	ISSUE: B	

NOTE: NYLON MESH FLYSCREENS TO ALL OPENING
WINDOWS & STACKER DOORS (EXCLUDING HINGED DOORS)



ELEVATION 1



ELEVATION 2

NOTES:
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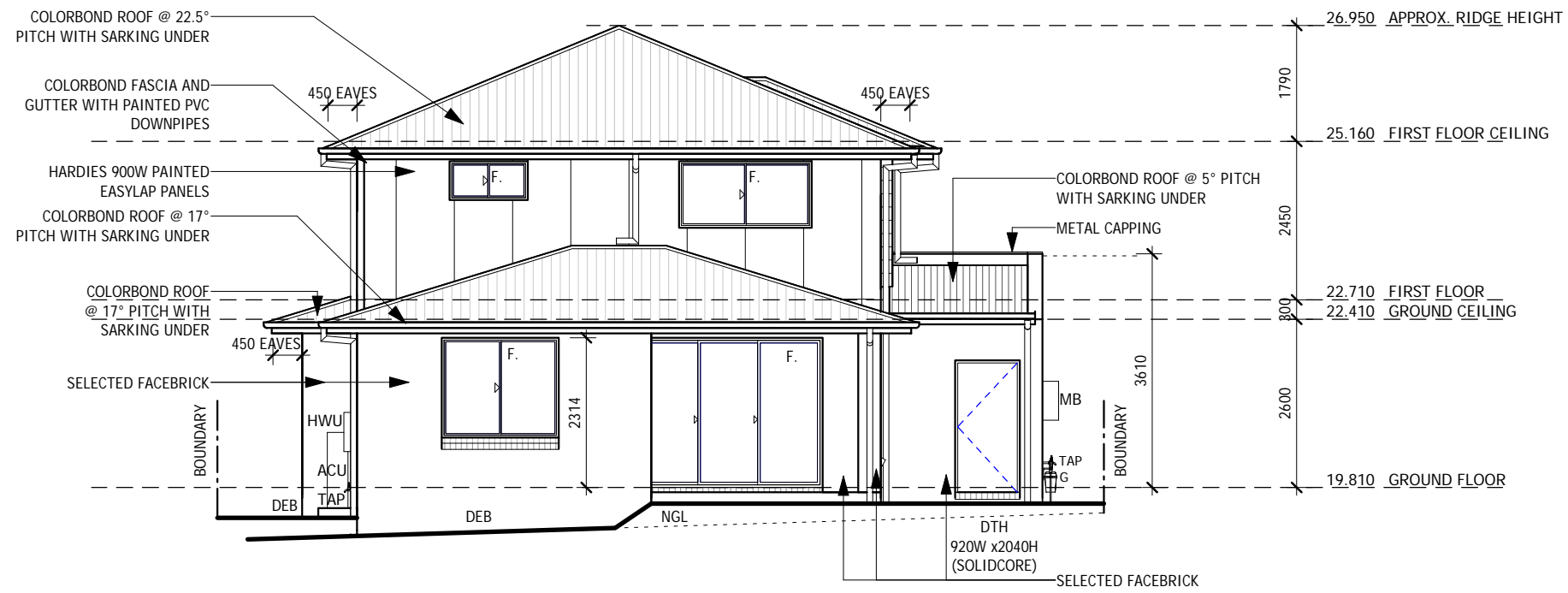
SITE ADDRESS:
**LOT 4 (DP UNREG.)
WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

HOUSE TYPE
MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

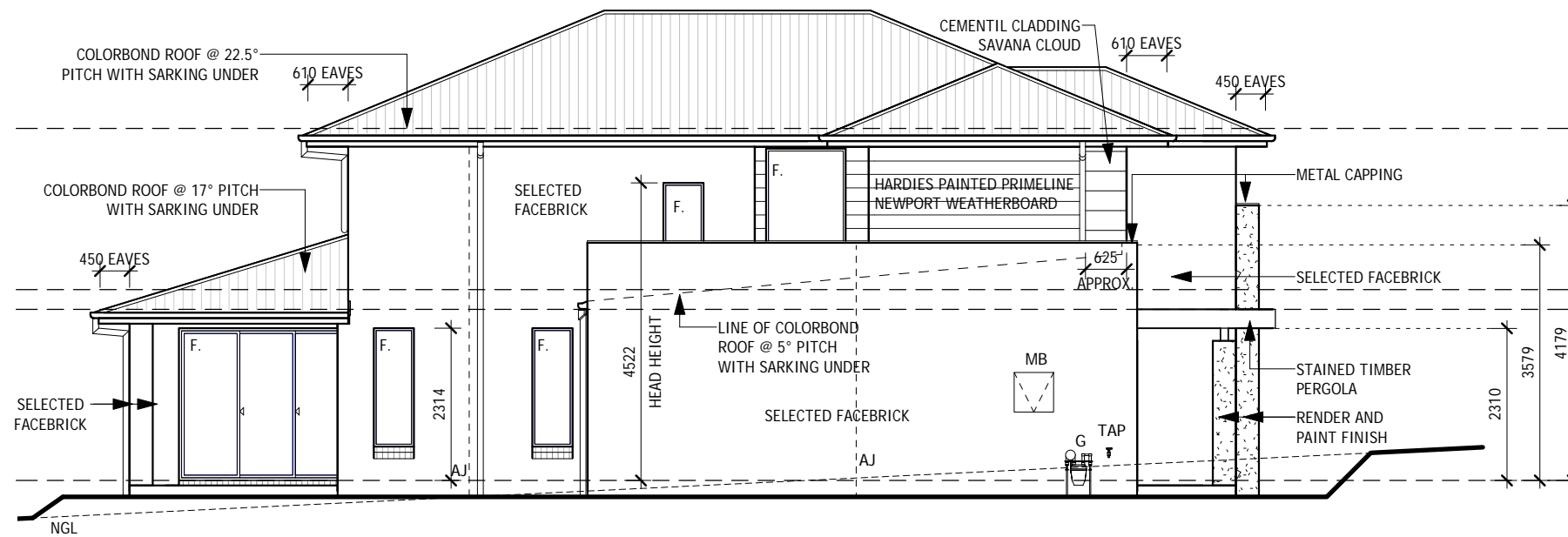
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ELEVATIONS 1-2

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JOB No: A008854	DRWG No: 05	ISSUE: B	

NOTE: NYLON MESH FLYSCREENS TO ALL OPENING WINDOWS & STACKER DOORS (EXCLUDING HINGED DOORS)



ELEVATION 3



ELEVATION 4

NOTES:
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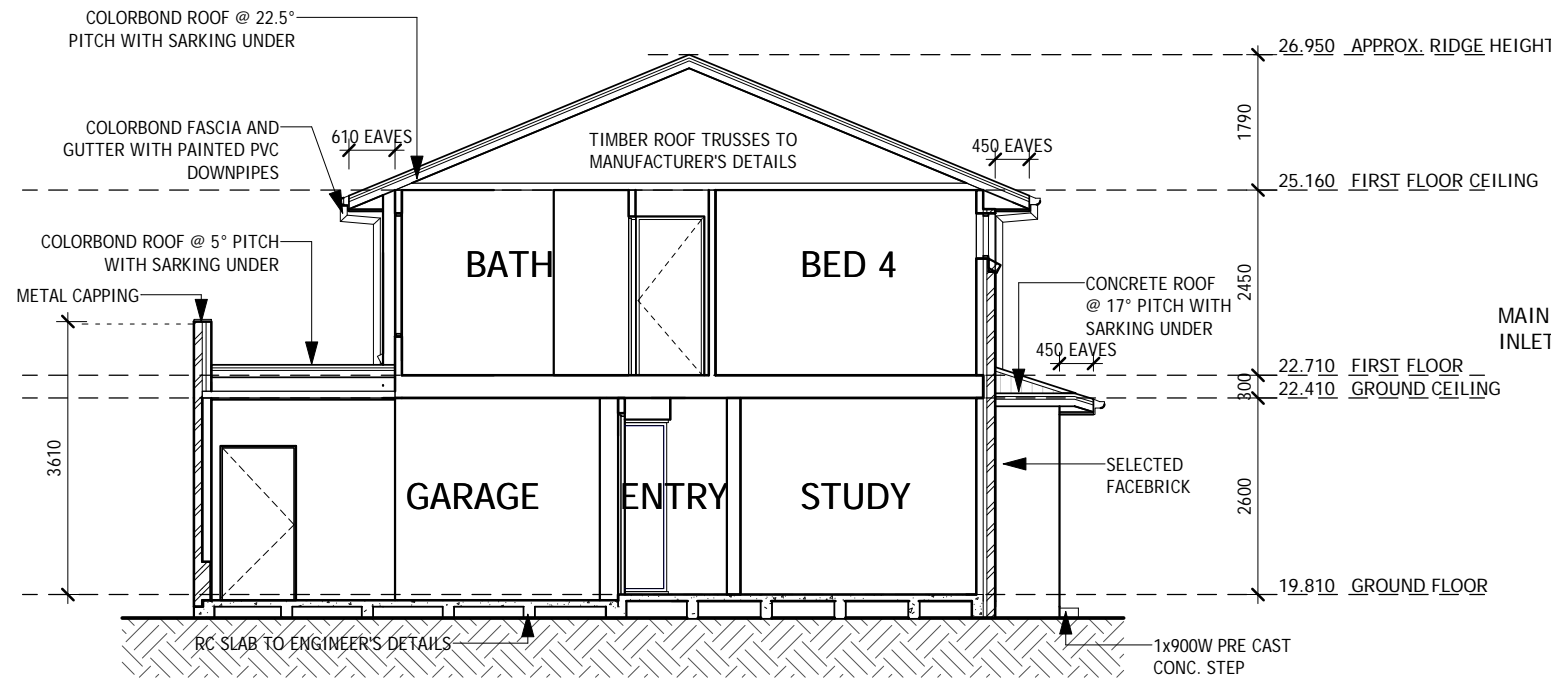
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MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**
DRAWING TITLE:
ELEVATIONS 3-4

DRAWN BY: DD	DATE DRAWN: 12.11.18	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
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JOB No: A008854	DRWG No: 06	ISSUE: B	

INSULATION NOTE:

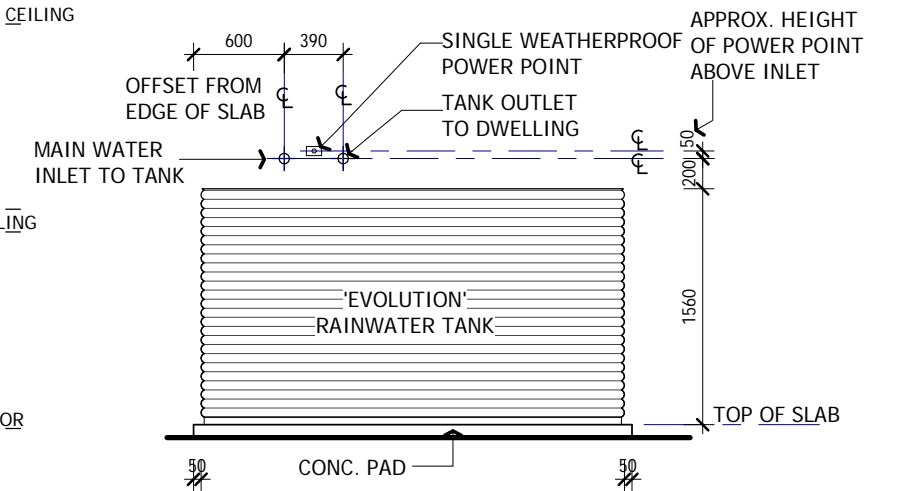
- R2.5 THERMAL BATTS TO EXTERNAL WALLS INCLUDING INTERNAL WALL BETWEEN GARAGE & HOUSE (EXCLUDES EXTERNAL WALLS OF GARAGE).
- R4.1 THERMAL BATTS TO CEILINGS WITH ROOF OVER (EXCLUDING CEILINGS OVER GARAGE, PORCH, ALFRESCO).
- R2.0 INSULATION TO INTERNAL WALL AS INDICATED ON PLANS

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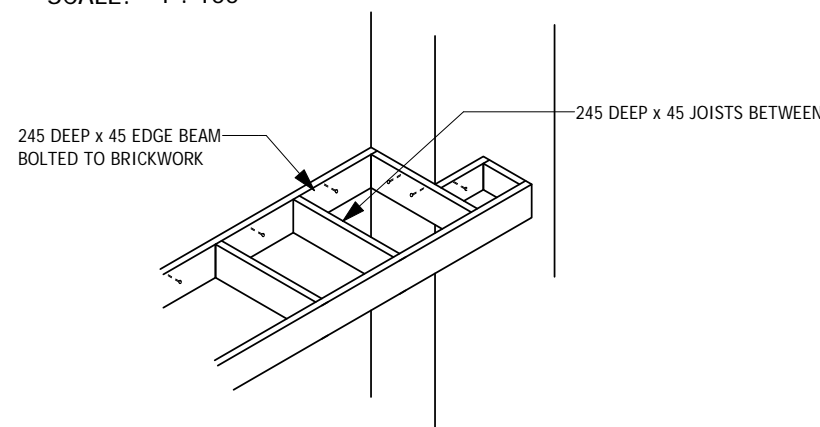
SECTION A-A

SCALE: 1 : 100



RAINWATER TANK DETAIL

SCALE: 1 : 50



PERGOLA DETAIL

SCALE: 1 : 50

BASIX COMMITMENTS			STORMWATER	ENERGY	LIGHTING
PROJECT DETAILS				ACTIVE COOLING/HEATING 3-phase	
Site area	393	m ²	Rainwater tank to collect at least 172m ² of rain run off from roof area	Cooling system with day/night zoning for bedrooms & living areas with an EER 3.0 - 3.5	Applicant must provide a window or skylight for natural lighting to 2 bathrooms/toilets
Roof area	172.0	m ²	Rainwater tank to be connected to all toilets with in the development	Heating system with day/night zoning for bedrooms & living areas with an EER 3.5 - 4.0	COOKING (KITCHEN APPLIANCES)
number of bedrooms	4		Rainwater tank to be connected to cold water tap to supply water to the washing machine	VENTILATION	Install a gas cooktop and electric oven
Total area of vegetation (garden & lawn)	201	m ²	Rainwater to be connected to at least one outdoor tap for garden watering	At least 1 Bathroom: individual fan, ducted to façade or roof: manual switch on/off	DESIGN ENHANCEMENT
ABSA Certificate Number (if applicable)	0003442589		Rainwater to have a capacity of at least 3000L	Kitchen: individual fan, ducted to façade or roof: manual switch on/off	Install a fixed outdoor clothes drying line
Net conditioned floor area	170	m ²	WATER	Laundry: natural ventilation only, or no laundry.	INSULATION
Net Unconditioned floor area	5	m ²	All showers with in the development are to have a minimum rating of 3 star showerheads	HOT WATER	External wall [including garage]: R2.5
Concession claimed (if applicable)	N/A		Each toilet is to have a flushing system of no less than a 4 star rating	Gas instantaneous with a performance of 6 stars	Ceiling [excluding garage & alfresco]: R4.1
Cooling load (if applicable)	24	MJ/m ² /pa	All basin taps to have a minimum rating of 3 star rating		
Heating load (if applicable)	35	MJ/m ² /pa	All taps in the kitchen are to have a minimum rating of 3 star		

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Builder's licence No. 33493C



CLIENT:
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SITE ADDRESS:
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HOUSE TYPE
MODEL: **HUNTLEY 27**
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TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

DRAWING TITLE:
SECTIONS

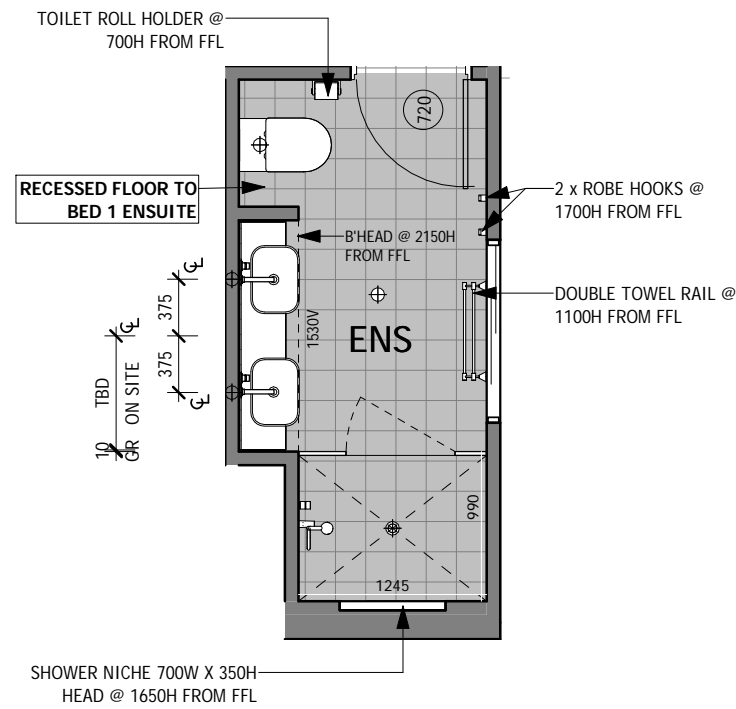
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COUNCIL AREA: PITTWATER		SCALE: As indicated	
JOB No: A008854	DRWG No: 07	ISSUE: B	

LAUNDRY / WC

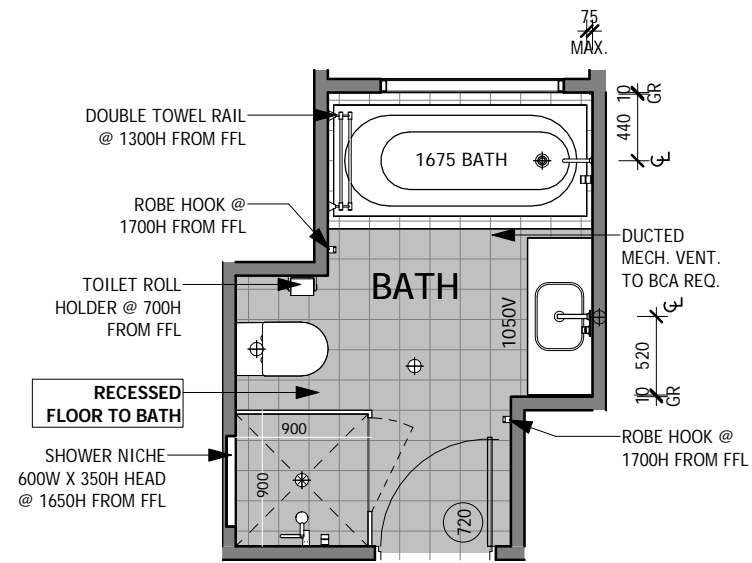
- PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY
- TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 650mm HIGH

BATHROOM

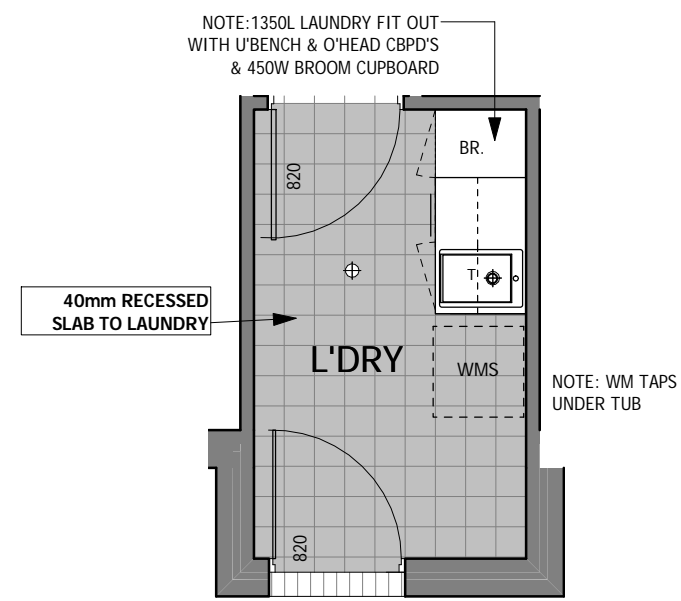
- PROVIDE 2100 HIGH TILES TO SHOWER RECESS 500 OVER BATH & SKIRTING TILE TO PERIMETER WALL
- 1900H SHOWER HEAD FROM FFL TO UNDERSIDE OF SHOWER HEAD
- FLOATING VANITIES
- 340H TILED SPLASHBACKS ABOVE VANITIES WITH FLOATING MIRROR OVER ON 32mm BOARD, 130mm FROM SIDE OF VANITY, MAX. HEIGHT 880mm
- PROVIDE KICKER TO BATH HOB 140H x 70W
- WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH
- SMART FLOOR WASTE TO ALL WET AREAS



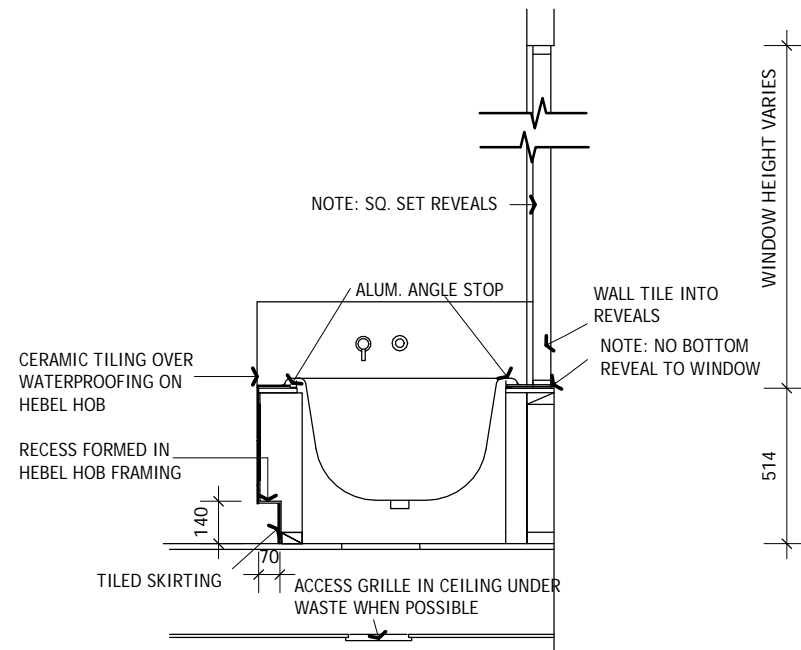
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1 : 50



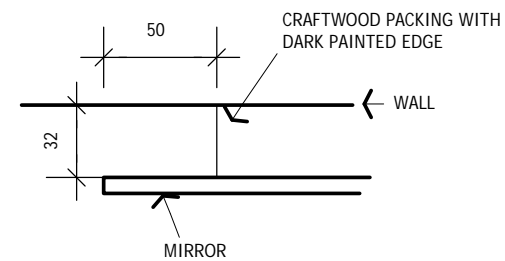
BATH PLAN
1 : 50



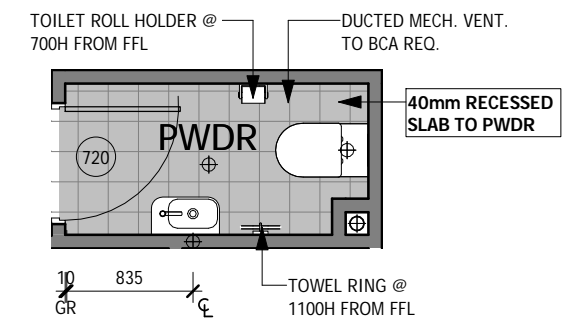
L'DRY PLAN
1 : 50



BATH HOB DETAIL
SCALE: 1 : 25



MIRROR EDGE DETAIL
SCALE: 1 : 25



PWDR PLAN
1 : 50

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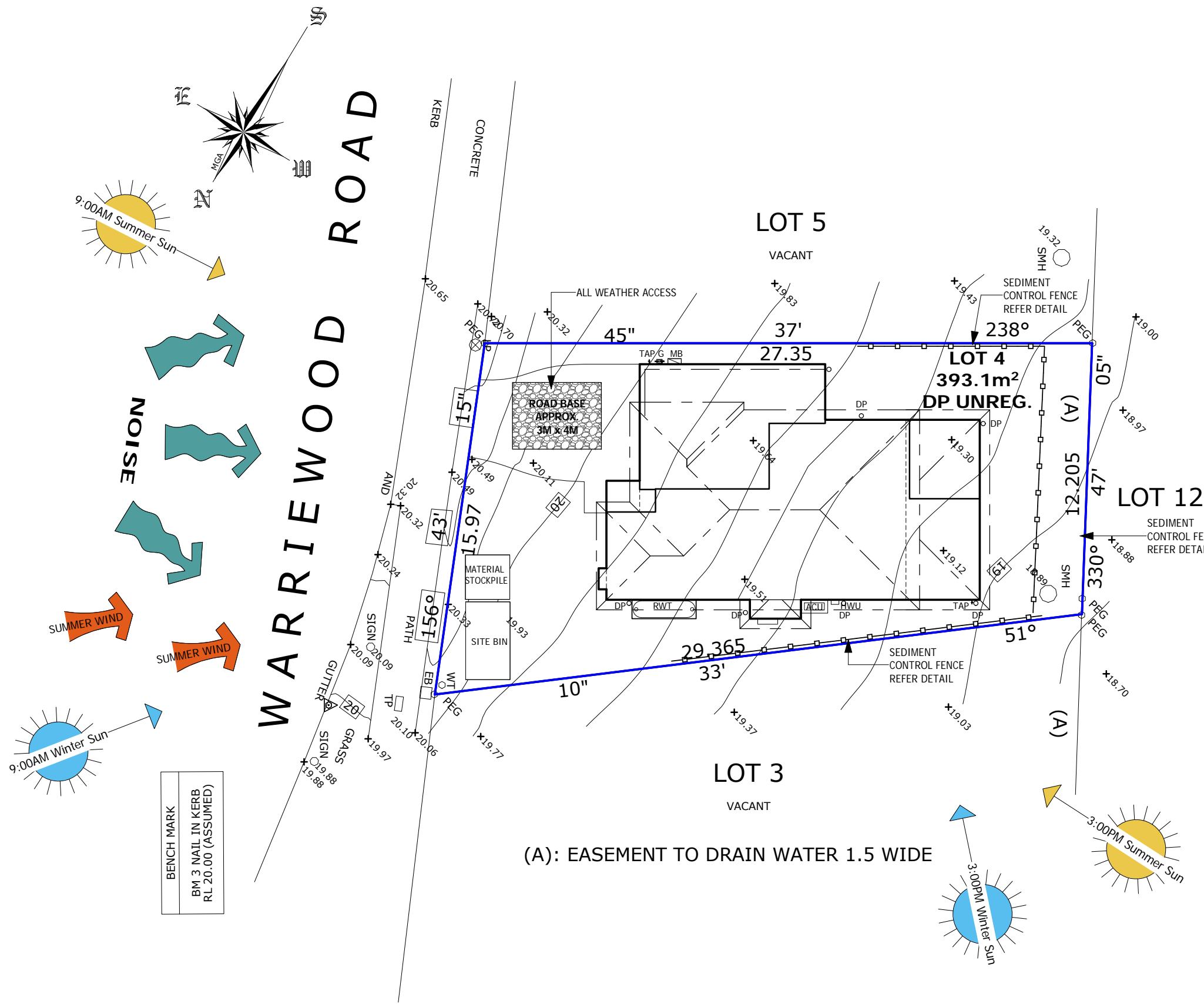
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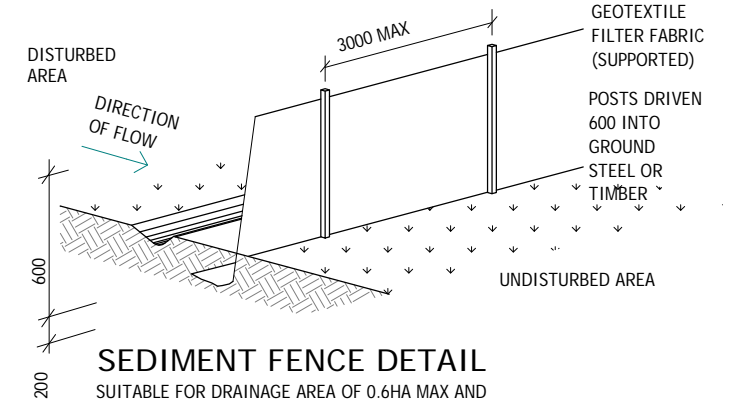
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MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**
DRAWING TITLE:
WET AREA DETAILS

DRAWN BY: DD	DATE DRAWN: 12.11.18	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
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JOB No: A008854	DRWG No: 08	ISSUE: B	



SEDIMENT CONTROL
 INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL
 SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

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MODEL:
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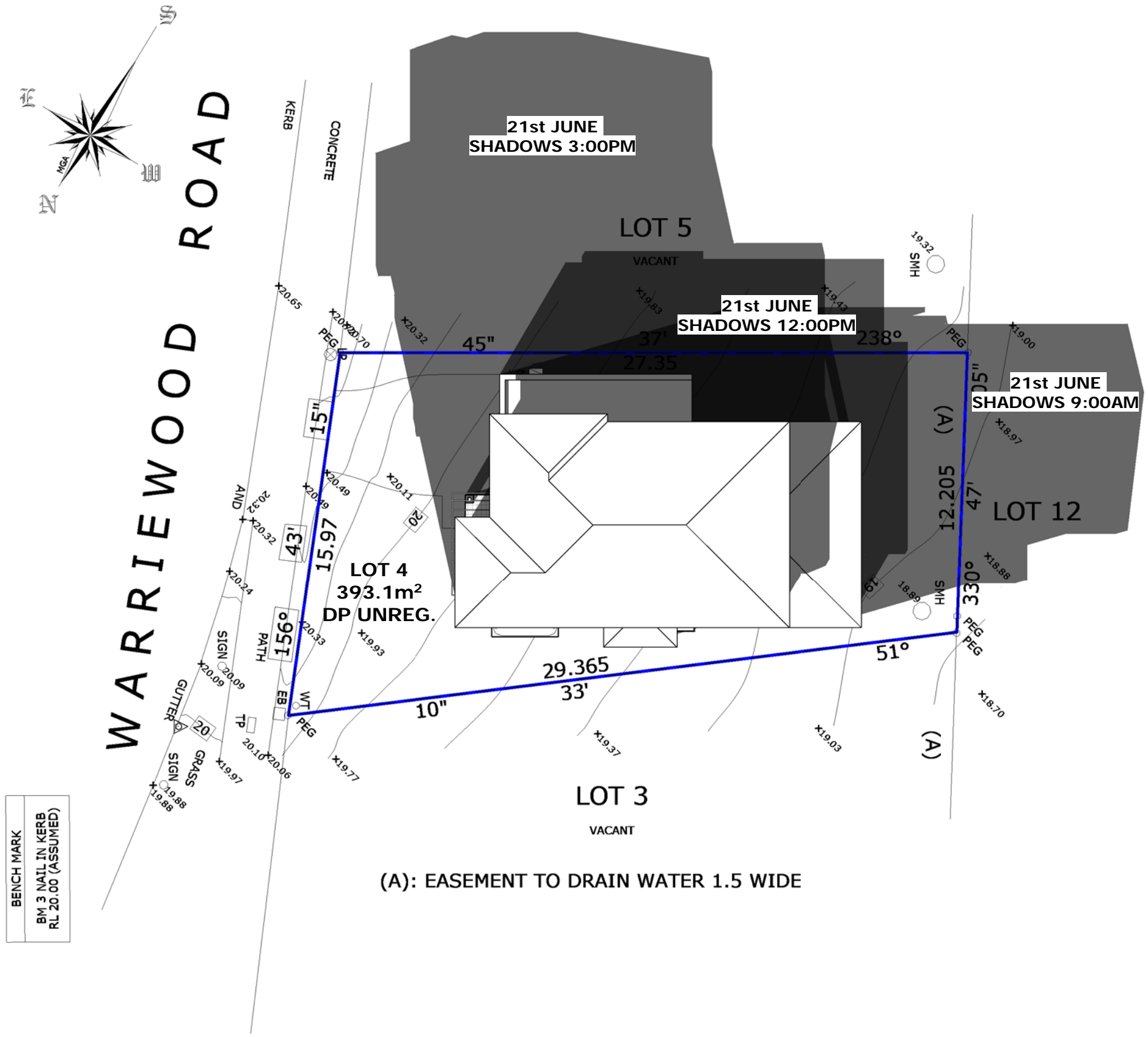
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DOUBLE GARAGE

TYPE:
LUX

SPECIFICATION:
LUX

DRAWING TITLE:
SITE ANALYSIS & SEDIMENT PLAN

DRAWN BY: DD	DATE DRAWN: 12.11.18	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1 : 200	
JOB No: A008854	DRWG No: 10	ISSUE: B	



BENCH MARK
BM 3 NAIL IN KERB
RL 20.00 (ASSUMED)

(A): EASEMENT TO DRAIN WATER 1.5 WIDE

S:\17_DRAFTING\RAWSON HOMES\CONTRACTS AND JOB FILES\A008854 Nield & Holl - Lot 4 Warriewood Road - Warriewood\A008854 Submission Plan.rvt

NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
* ALL DIMENSIONS ARE IN MILLIMETRES
* DO NOT SCALE - USE WRITTEN DIMENSIONS
* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES
1 HOMEBUSH BAY DRIVE, BLDG. F
LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE 02 8765 5500
FAX 02 8765 8099
Builder's licence No. 33493C



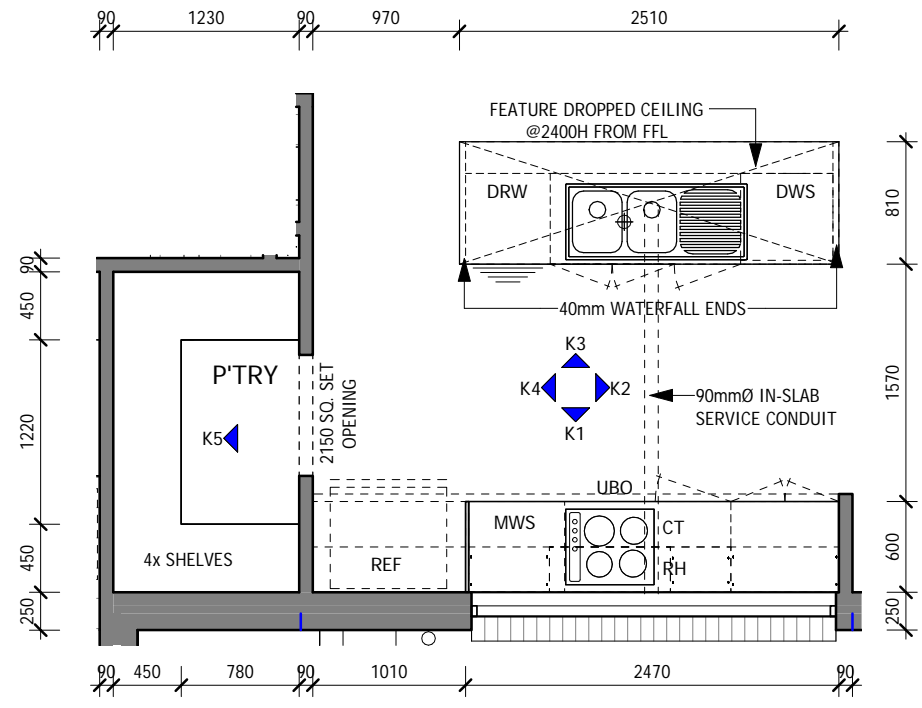
CLIENT:
MR. T. HOLL & MS. K. J. NIELD

SITE ADDRESS:
**LOT 4 (DP UNREG.)
WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

HOUSE TYPE
MODEL: **HUNTLEY 27**
FACADE: **MAJESTIC**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUX**

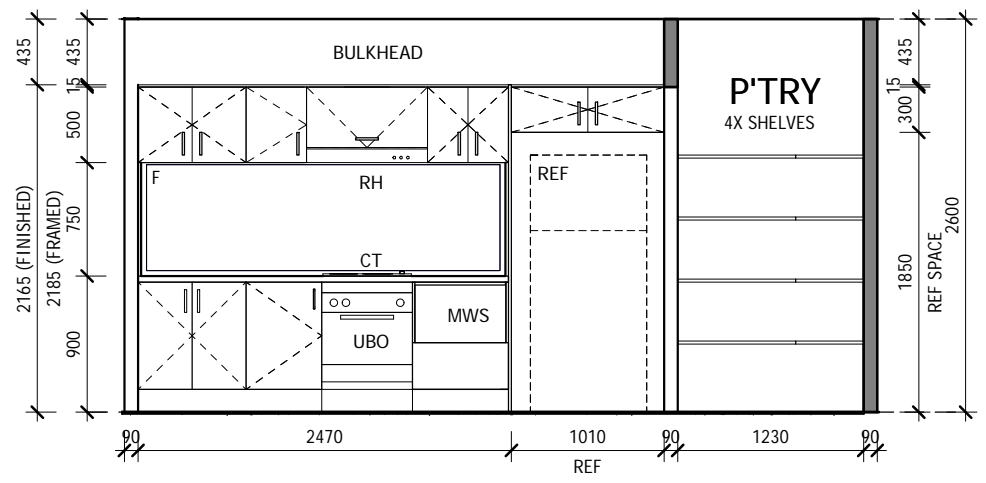
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SHADOW DIAGRAMS

DRAWN BY: DD	DATE DRAWN: 12.11.18	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1 : 200	
JOB No: A008854	DRWG No: 11	ISSUE: B	



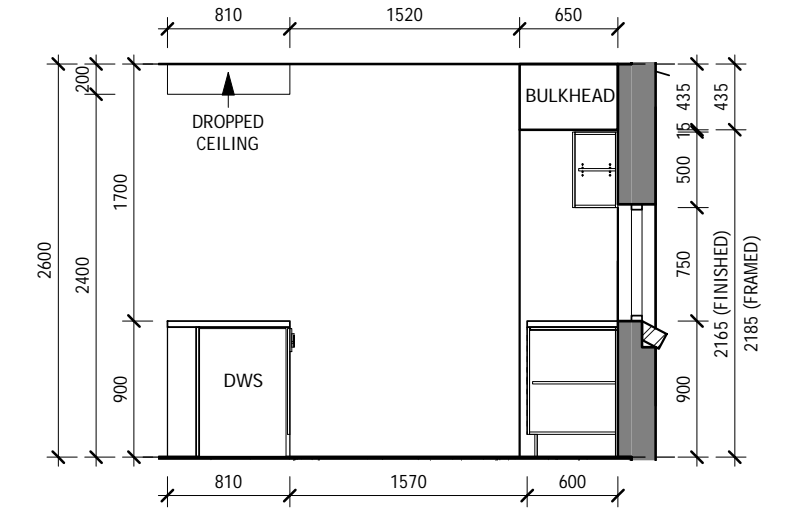
KITCHEN PLAN

SCALE: 1 : 50



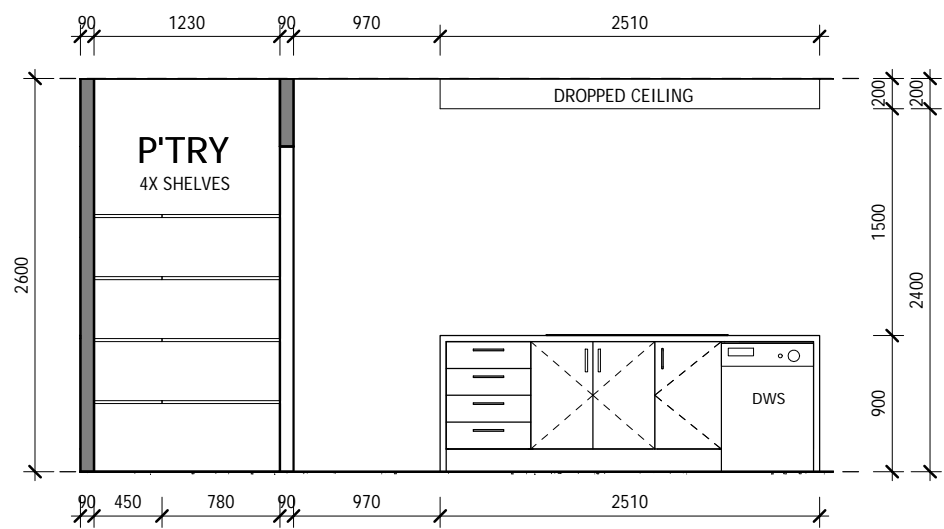
ELEVATION K1

SCALE: 1 : 50



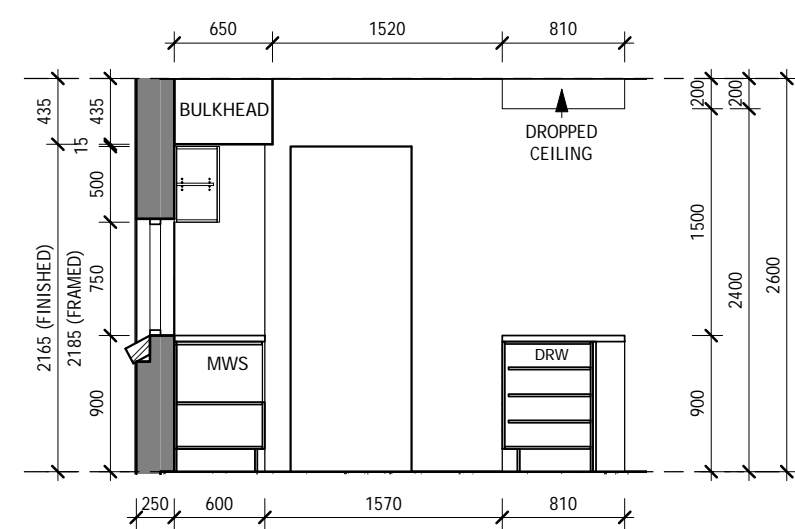
ELEVATION K2

SCALE: 1 : 50



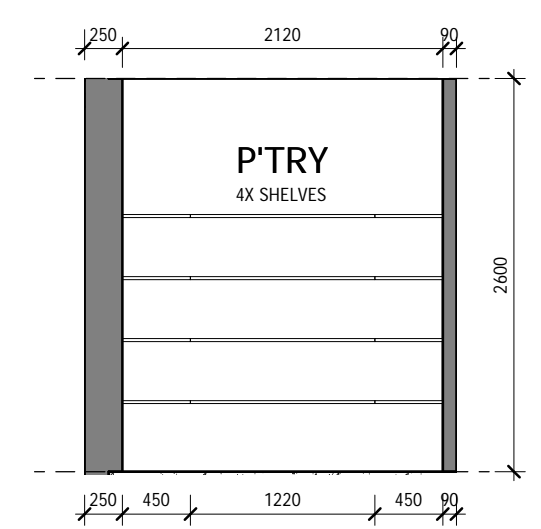
ELEVATION K3

SCALE: 1 : 50



ELEVATION K4

SCALE: 1 : 50



ELEVATION K5

SCALE: 1 : 50

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DRAWING TITLE:
KITCHEN DETAILS

DRAWN BY: DD	DATE DRAWN: 12.11.18	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1 : 50	
JOB No: A008854	DRWG No: KD	ISSUE: B	