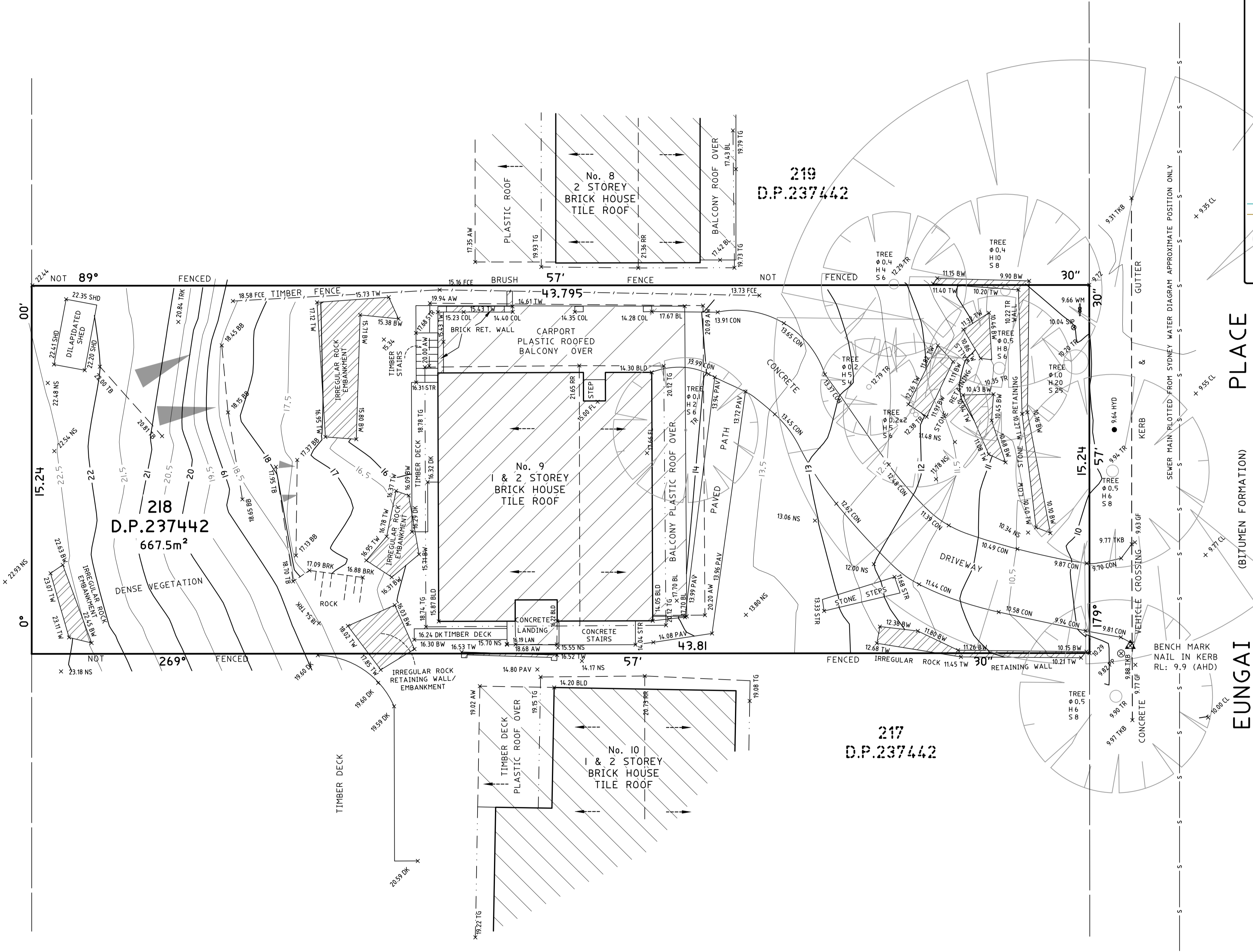


KUNDIBAH ROAD (UNFORMED)

DENSE VEGETATION



LEGEND:

- AW = AWNING
- BL = BALCONY
- BB = BOTTOM OF BANK
- BRK = BOTTOM OF ROCK
- BW = BOTTOM WALL
- BLD = BUILDING
- CL = CENTRELINE
- COL = COLUMN
- CON = CONCRETE
- DK = DECK
- FCE = FENCE
- FL = FLOOR LEVEL
- GF = GUTTER LEVEL
- HYD = HYDRANT
- LAN = LANDING
- NS = NATURAL SURFACE
- PAV = PAVING
- PP = POWER POLE
- RAMSET NAIL PLACED
- RR = ROOF RIDGE
- SIP = SEWER INSPECTION PIT
- SHD = SHED
- STR = STAIRS
- RET = RETAINING
- TB = TOP OF BANK
- TG = TOP OF GUTTER
- TBK = TOP OF KERB
- TRK = TOP OF ROCK
- TW = TOP WALL
- TR = TREE
- WM = WATER METER

- EO = ELECTRICITY OVERHEAD
- S = SEWER UNDERGROUND
- TREE
- Ø = TRUNK DIAMETER
- H = HEIGHT
- S = SPREAD DIAMETER

NOTES

- BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR COUNCIL DA SUBMISSION (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.
- THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JOANNE & ROBERT McLEOD
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2015.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 5286
R.L. 59.566 (ORDER L3)
SOURCE: S.C.I.M.S. (26/03/04)

1 FIRST ISSUE 26/03/15

CLIENT:

JOANNE & ROBERT McLEOD
9 EUNGAI PLACE
NORTH NARRABEEN NSW 2101

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 218 IN D.P.237442
9 EUNGAI PLACE
NORTH NARRABEEN NSW 2101

C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

PO Box 463 Dee Why
NSW 2099
1/32 Campbell Avenue,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: PITTWATER SHEET 1 OF 1

SURVEYED ME	DRAWN MC	CHECKED ME	APPROVED MJ
SURVEY INSTRUCTION 4432A	SCALE 1:100 @ A1	DATE OF SURVEY 13/03/15	
DRAWING NAME 4432Adetail	CAD FILE 4432Adetail 1.dwg	ISSUE 1	

TITLE INDICATES THAT LOT 218 IN D.P.237442 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).
- DP237442 RESTRICTION(S) USE OF LAND (NOT INVESTIGATED)

