

UNITS

UNIT	1 BED	2 BED	3 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	PARKING REQUIRED (PER UNIT)	PARKING SPACES PROVIDED
1			■	■	■		125.3sqm	19.6 / 38.7sqm	□	■	■		2	2
2		■		■	■		80.2sqm	11.2 / 10.7 / 4.2sqm	□	■	■		2	2
3		■		■	■		80.2sqm	11.2 / 10.7 / 4.2sqm	□	■	■		2	2
4	■			■		■	53.5sqm	20.6sqm	■	■	■		1 (ACC.)	1 (ACC.)
5	■			■		■	55.8sqm	10.1sqm	■	■	■		1 (ACC.)	1 (ACC.)
6		■		■	■		86.4sqm	19.2sqm	□	■	■		2	2

RETAIL

RETAIL SPACE	AREA	STORE
1	64.8sqm	11.0sqm
2	47.1sqm	11.9sqm
3	60.8sqm	3.9sqm
4	56.4sqm	5.6sqm
TOTAL	229.1sqm	[27.4% of GFA]

PARKING

	REQUIRED	PROVIDED
RESIDENTIAL	10 (2 ACC.)	10 (2 ACC.)
RETAIL	8 (230.0/30)	8 (2 ACC.)
VISITOR	2	2 (1 ACC.)
TOTAL		20 (5 ACC.)

DRAWINGS

A000	COVER
A001	LOCATION PLAN
A002	SITE ANALYSIS
A100	BASEMENT PLAN
A101	GROUND FLOOR PLAN
A102	LEVEL 1 PLAN
A103	LEVEL 2 PLAN
A104	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A210	MATERIAL AND FINISHES
A300	SECTIONS
A301	SECTIONS

Assessor # 20420		Certificate # 0005073143		Issued: 040820			
Thermal Performance Specifications							
These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents							
Windows	Product ID	Glass	Frame	U value	SHGC	Area M²	Detail
Single glazed		Clear	Aluminium	6.70	0.70		As per plans
Skylights	Product ID	Glass	Frame	U value	SHGC	Area M²	Detail
Window and skylight U and SHGC values, if specified, are according to ANAC 2005. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.							
External walls	Construction	Insulation	Colour – solar abs.	Detail			
Brick veneer		Foil + R2,5	Medium	As per plans			
Cladding		Foil + R2,5	Medium	As per plans. Upper level			
Internal walls	Construction	Insulation	Detail				
Plasterboard		None	As per plans.				
Floors	Construction	Insulation	Covering	Detail			
Concrete		R2.0/None	Varies	As per plans. Insulation where car park below			
Ceilings	Construction	Insulation	Detail				
Plasterboard		R2.5/None	Upper level insulation/where adjoins exterior. No insulation elsewhere				
Roof	Construction	Insulation	Colour – solar abs.	Detail			
Metal		Foil + R1.3	Medium	As per plans			
Window cover	Internal (curtains)			External (awnings, shutters, etc)			
Holland blinds				Soffits			
Fixed shading	Eaves (width - inc. gutters, h't above windows)			Location			
Soffits/Louvres				As per plans			
Overshadowing	Overshadowing structures			Overshadowing trees			
NA							
Orientation, Exposure, Ventilation and Infiltration							
Orientation of nominal north:	0	Living area open to entry:		Y	Ventilated skylights:		N
Terrain category:	Suburban	Doors separate living areas:		N	Open fire, unflued gas heat:		N
Roof ventilation:	Unventilated	Stair open to heated areas:		N/Y	Vented downlights:		N
Cross ventilation:	Standard	Seals to windows and doors:		Y	Wall and ceiling vents:		N
Subfloor:	Grd/Enclosed	Exhaust fans without dampers:		N			

7.2

NATIONWIDE HOUSE ENERGY RATING SCHEME

36.6 MJ/m²

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Certificate no.: 0005073143

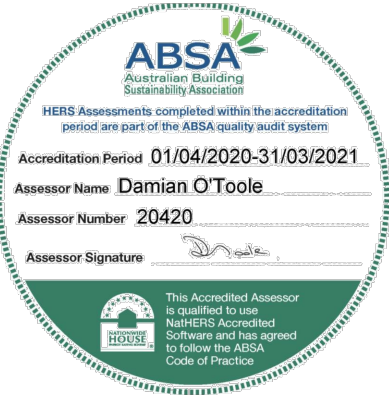
Assessor Name: Damian O'Toole

Accreditation no.: 20420


Certificate date: 04 Aug 2020

Dwelling Address: 349 BARRENJOEY RD  
NEWPORT, NSW 2106

www.nathers.gov.au







**ABSA**  
Automated Building  
Sustainability Assessment


HERG Assessments comply with the accreditation  
period as part of the ABSA quality audit system

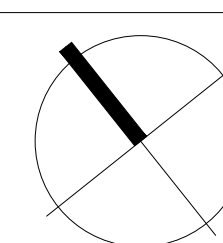
Accreditation Period 01/04/2020-31/03/2021

Assessor Name **Damian O'Toole**


Assessor Number **20420**

Assessor Signature *[Signature]*

 The Accredited Assessor  
is certified to use  
NHERG's Accredited  
Software and is required  
to follow the ABSA  
Code of Practice







**ABSA**  
Accredited Building  
Surveyors and  
Assessors

HBIS Assessments completed within the accreditation  
period are part of the ABSA quality audit system

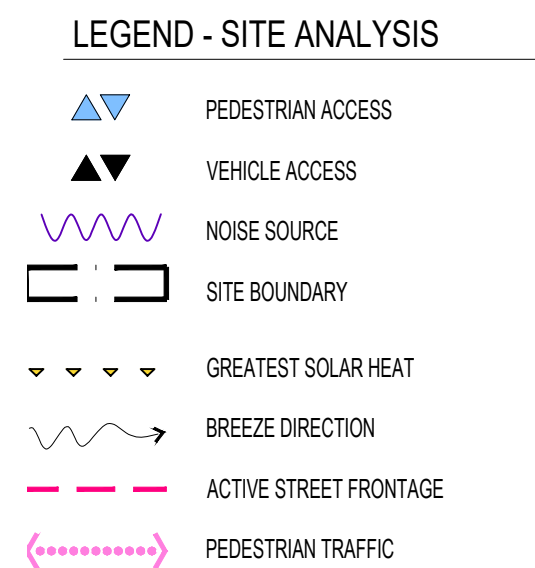
**Accreditation Period** 01/04/2020-31/03/2021

**Assessor Name** Damian O'Toole

**Assessor Number** 20420

**Assessor Signature** *D. O'Toole*

This Accredited Assessor  
is qualified to issue  
HBIS/IBIS  
Software and I will not  
attempt to  
to follow the ABSA  
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ABN 56 120 779 106  
NOMINATED ARCHITECTS:  
TONY GRAY 5303 & PAUL GODSELL 6726

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**ABSA**  
Business Standing  
with Integrity

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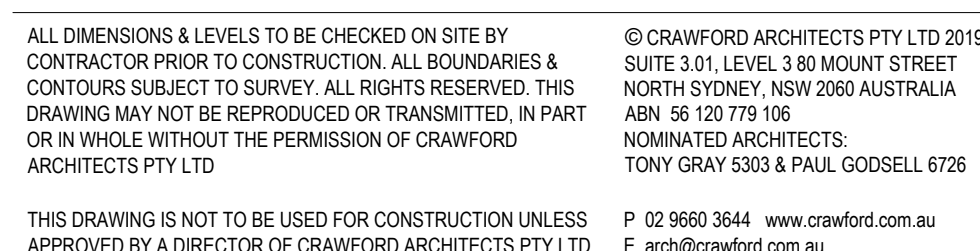
Accreditation Period: 01/04/2020-31/03/2021

Assessor Name: **Damian O'Toole**

Assessor Number: **24020**

Assessor Signature: *[Signature]*

 This Accredited Assessor  
has been Accredited  
by NHS England  
to follow the ABSA  
Code of Practice



349 BARRENJOEY ROAD NEWPORT NSW 2106

PROJECT NUMBER 19032 DRAWING NUMBER A

## A100

ISSUE

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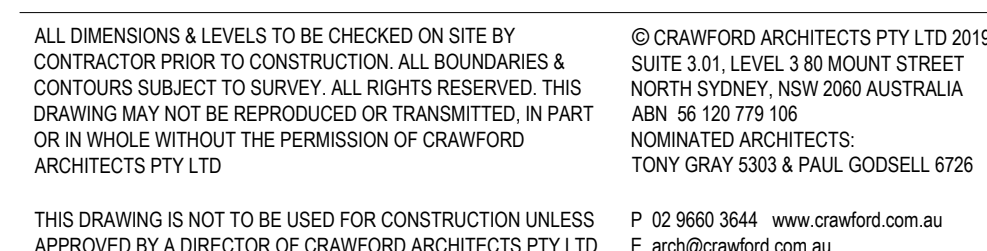
**Accreditation Period:** 01/04/2020-31/03/2021

**Assessor Name:** Damian O'Toole

**Assessor Number:** 20420

**Assessor Signature:** *[Signature]*

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HERIS Accredited  
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3-Year Re-Audit  
by ABSA  
Code of Practice



349 BARREN LOFFY ROAD NEWPORT NSW 2106

ER DRAWING NUMBER

2 A102

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Sustainability Association

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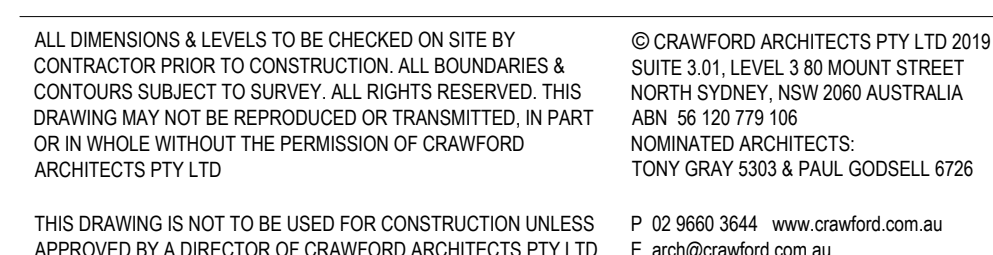
**Accreditation Period:** 01/04/2020-31/03/2021

**Assessor Name:** Damian O'Toole

**Assessor Number:** 20420

**Assessor Signature:** *[Handwritten Signature]*

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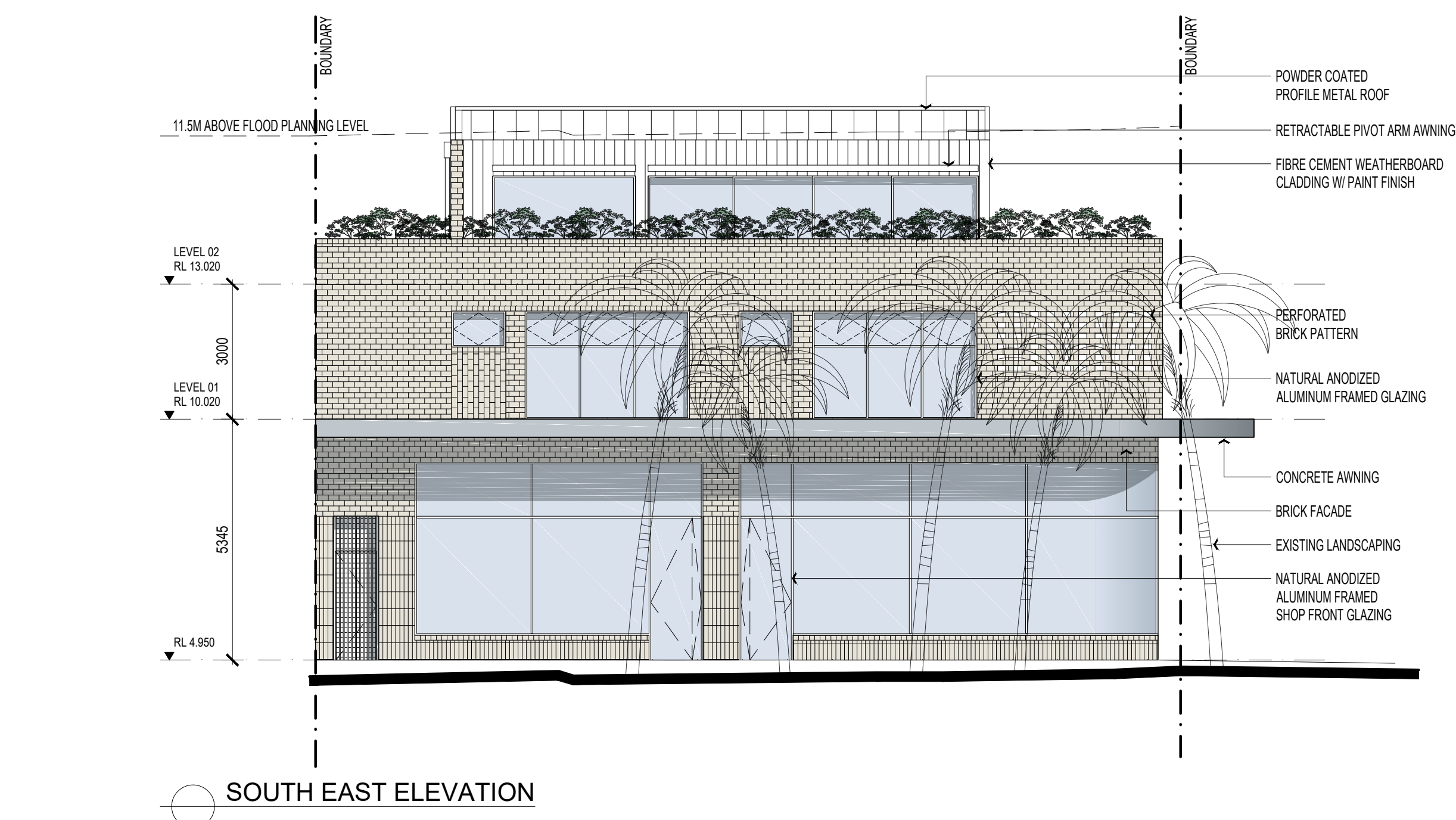
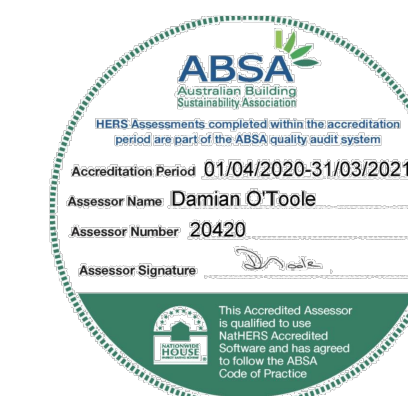
PROJECT NUMBER 19032 DRAWING NUMBER A

# A104<sup>2</sup>

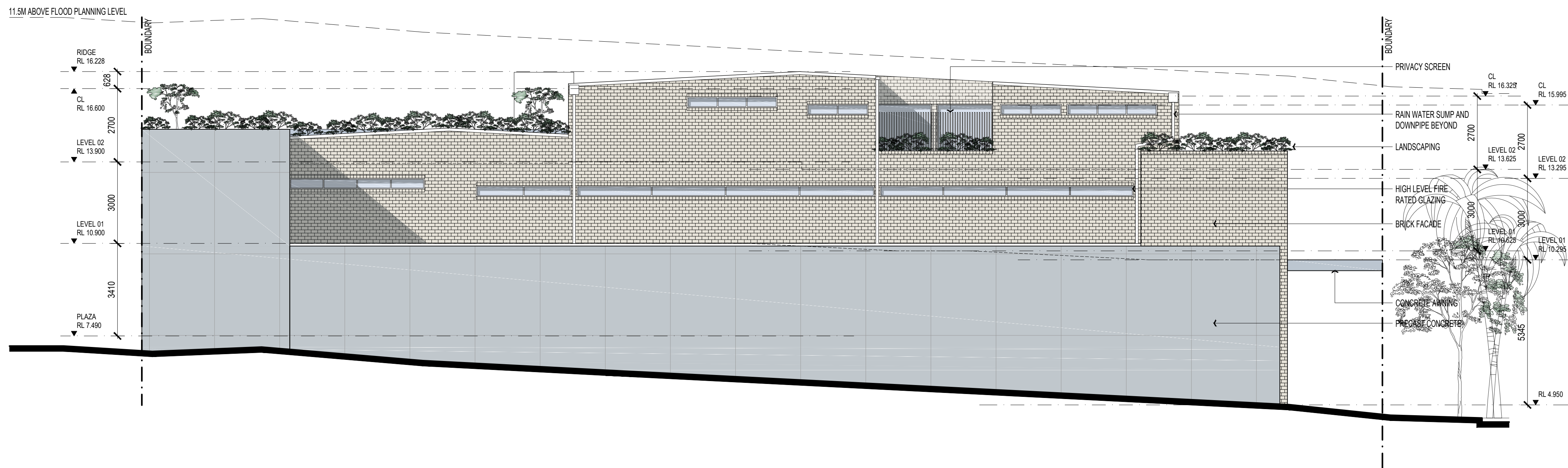
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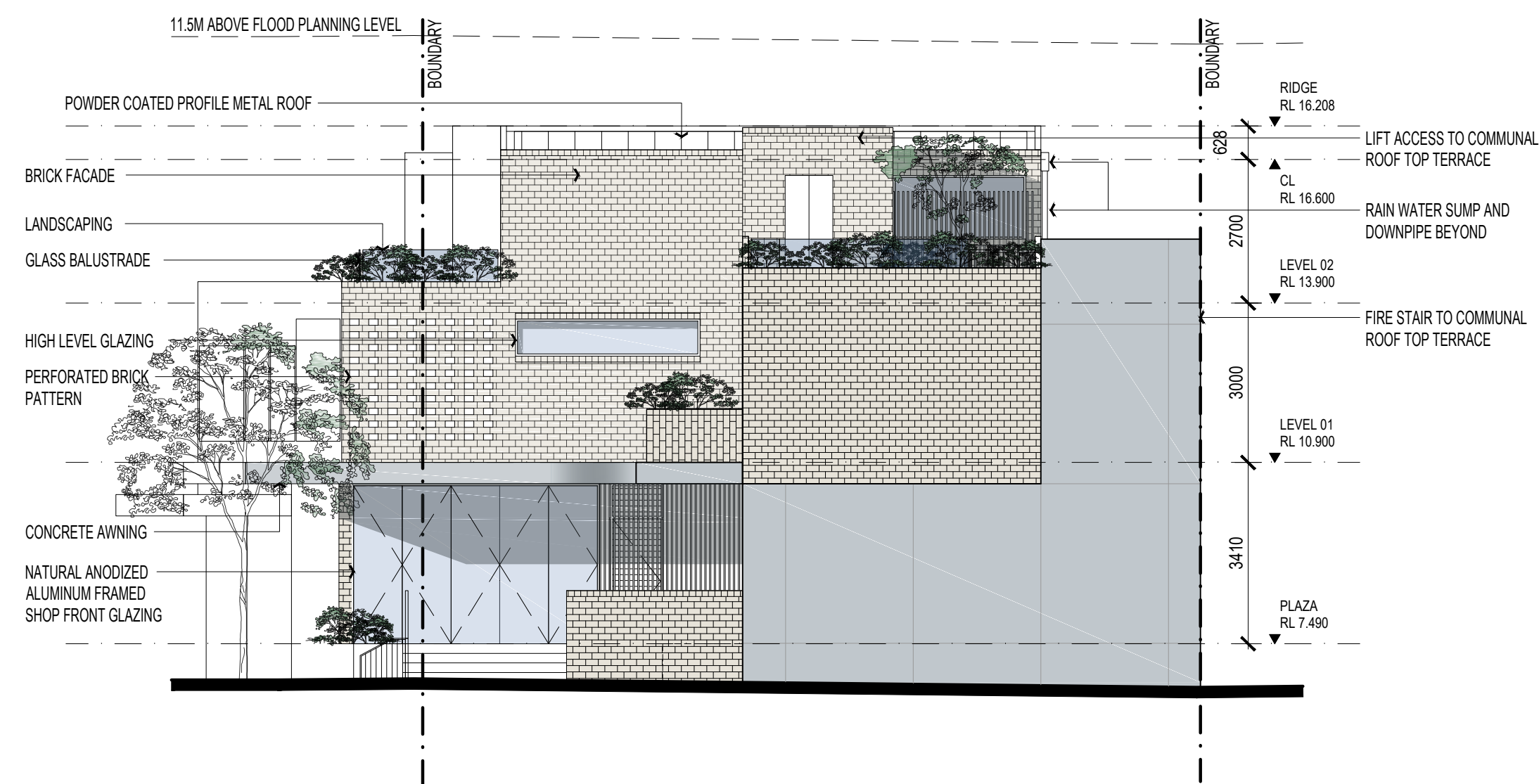








SOUTH WEST ELEVATION



NORTH WEST ELEVATION

Certificate no.: 0005073143  
Assessor Name: Damian O'Toole  
Accreditation no.: 20420  
Certificate date: 04 Aug 2020  
Dwelling Address: 349 BARRENJOEY RD  
NEWPORT, NSW  
2106  
www.nathers.gov.au

**7.2**  
**NATIONWIDE HOUSE**  
ENERGY RATING SCHEME  
**36.6 MJ/m²**  
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A	20.08.12	DA ISSUE
ISSUE	DATE	AMENDMENTS

SUMMIT BUILD P/L

MIXED USE DEVELOPMENT

ELEVATIONS

SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN MN  
CHECKED TG  
DATE JULY  
STATUS DA

PROJECT NUMBER 19032

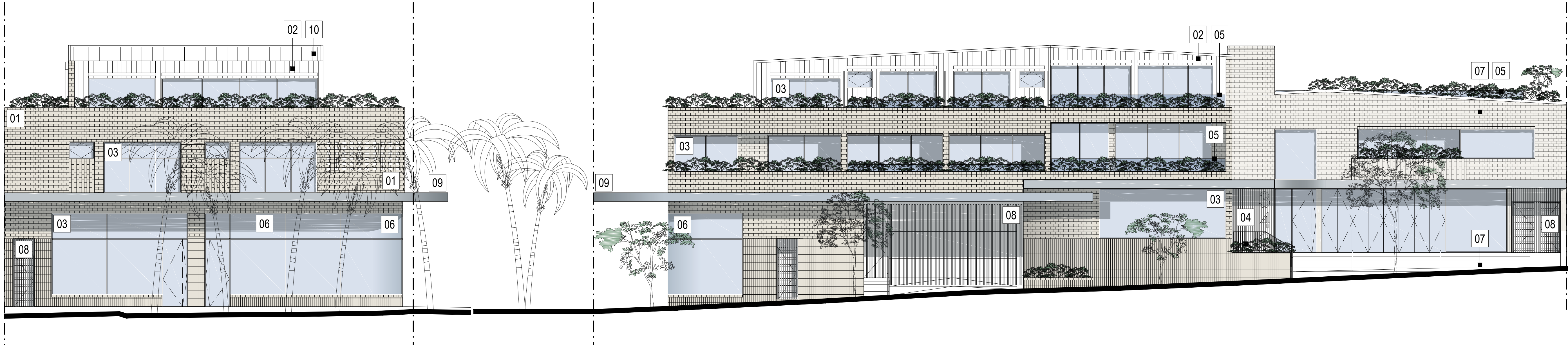
DRAWING NUMBER  
**A201**

ISSUE

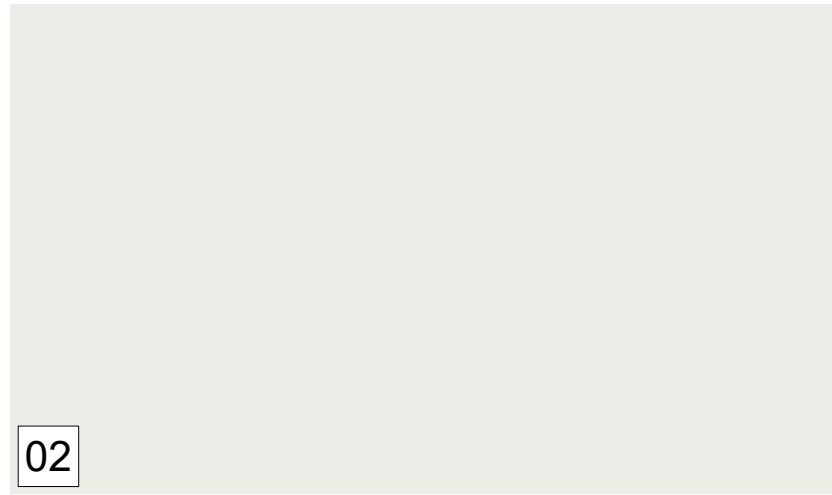
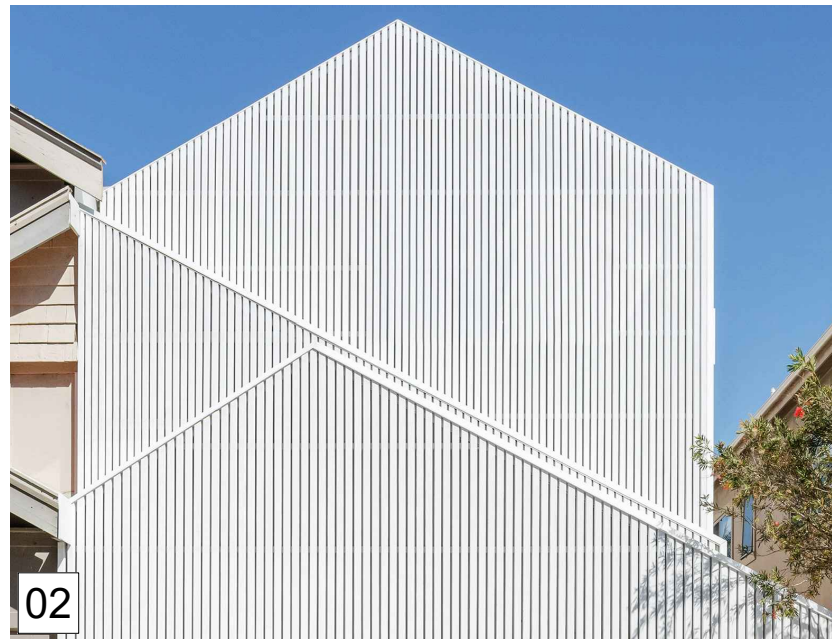
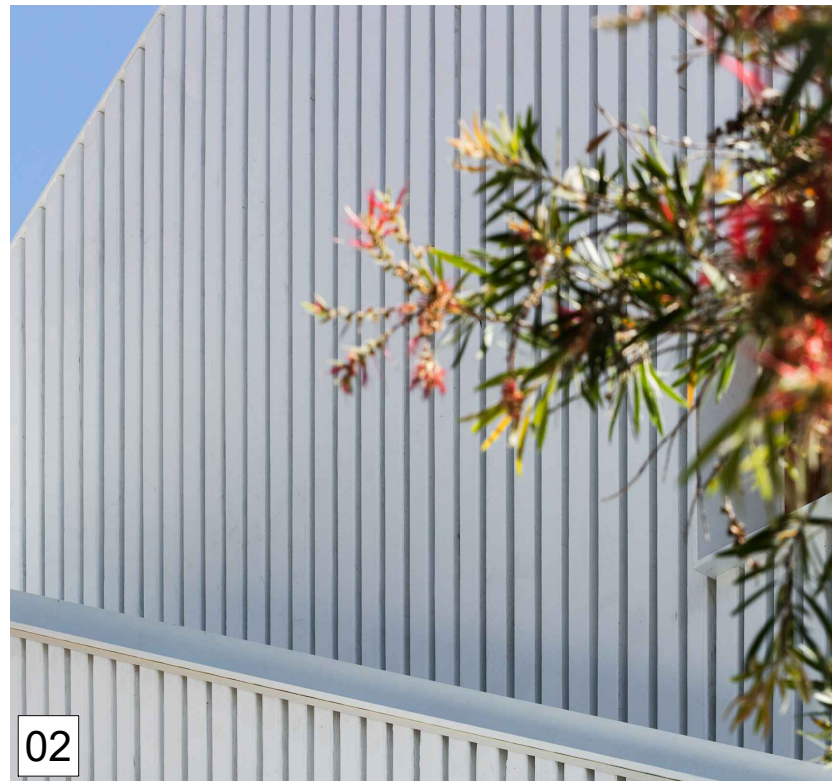
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01. BRICK FACADE  
NUBRIK ARTISAN - AURORA  
FEATURE SOLDIER COURSING ALONG STREET FRONT FACADE /  
PERFORATED BRICK PATTERN PROVIDING FILTERED LIGHT TO LEVEL 01 BALCONIES



02. WEATHERBOARD CLADDING  
JAMES HARDIE AXON™ 133MM GRAINED  
IN DULUX CASPER WHITE QUARTER 11W



03. NATURAL ANODIZED  
ALUMINUM FRAMED GLAZING



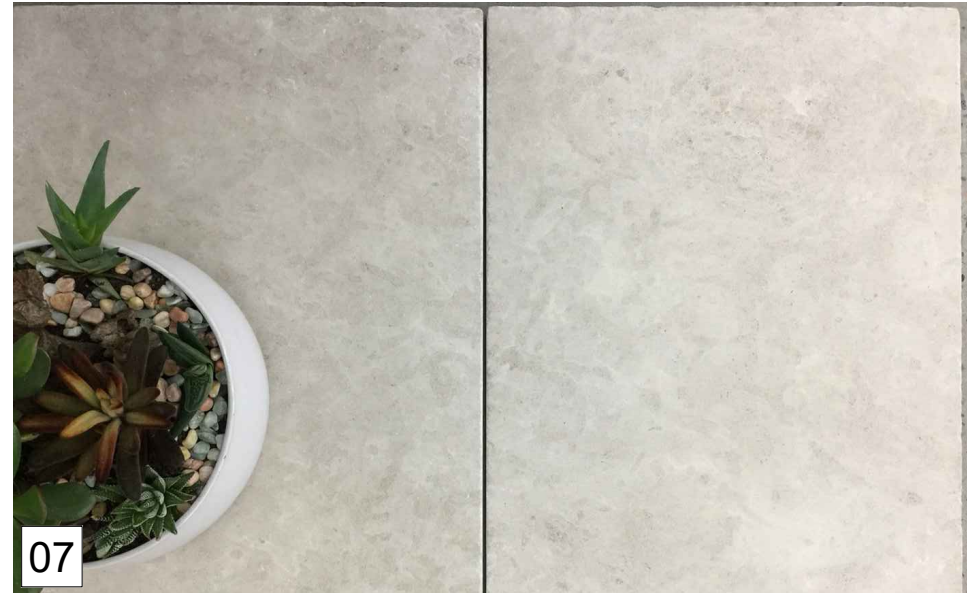
04. WHITE POWDER-  
COATED ALUMINUM  
BALUSTRADE



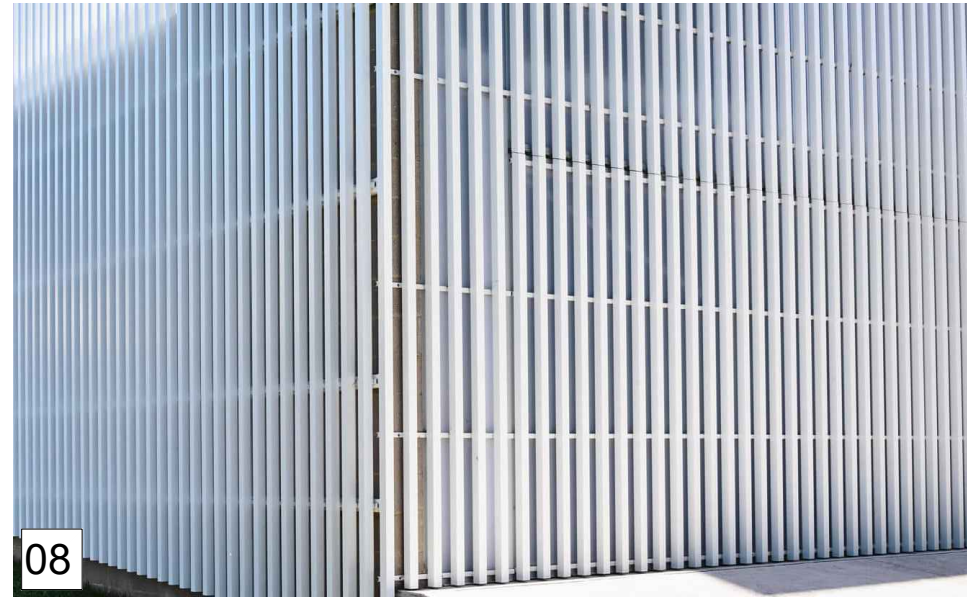
05. GLASS  
BALUSTRADE



06. CURVED SHOP FRONT GLAZING



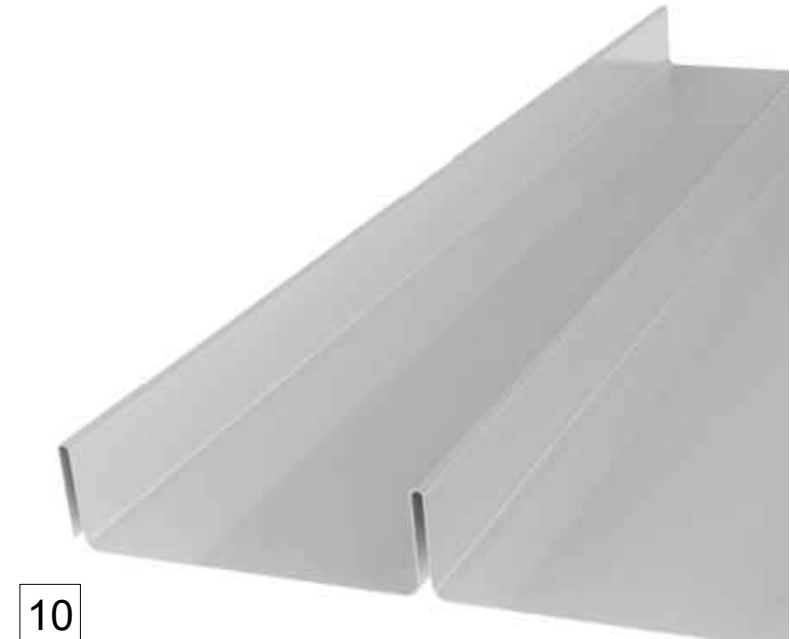
07. LIMESTONE TILES  
SURFACE GALLERY GOHERA RENAISSANCE



08. VERTICAL ALUMINUM BATTEN  
SECTIONAL GARAGE DOOR/ ACCESS  
GATE/ FIRE EGRESS DOORS  
SCUPTFORM 25 X 50 AND 50 X 50 ALUMINUM  
BATTEN IN DURATEC ZEUS WHITE



09. CONCRETE AWNING



10. PROFILE METAL ROOFING  
LYSAGHT LONGLINE 305® IN  
COLORBOND SHALE GREY™

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A	20.08.12	DA ISSUE
ISSUE	DATE	AMENDMENTS

SUMMIT BUILD P/L

MIXED USE DEVELOPMENT

MATERIAL AND FINISHES

349 BARRENJOEY ROAD NEWPORT NSW 2106

SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED MN  
DRAWN TG  
CHECKED  
DATE JULY  
STATUS DA

PROJECT NUMBER 19032

DRAWING NUMBER

A210

ISSUE

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7.2

NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME

36.6 MJ/m²

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Certificate no.: 0005073143  
Assessor Name: Damian O'Toole  
Accreditation no.: 20420  
Certificate date: 04 Aug 2020  
Dwelling Address: 349 BARRENJOEY RD  
NEWPORT, NSW  
2106  
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SECTION CC

SECTION DD

SECTION EE

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ISSUE	DATE	AMENDMENTS

CLIENT  
SUMMIT BUILD P/L

PROJECT  
MIXED USE DEVELOPMENT

TITLE  
SECTIONS

SCALE  
1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

PROJECT NUMBER  
19032

DRAWING NUMBER  
A301

ISSUE

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349 BARRENJOEY ROAD NEWPORT NSW 2106



# 349 Barrenjoey Rd, Newport

## Landscape Development Application

### Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan Ground	1:75
102	Landscape Plan Level 1	1:75
103	Landscape Plan Level 2	1:75
501	Landscape Details	As Shown

Symbol	Botanical Name	Common Name	Size	Pot Size	Spacing
Trees					
Aco	Angophora costata	Sydney Red Gum	25 x 10	100L	As show n
Ca	cupaniopsis anacardioides	Tuckeroo	15 x 10	100L	As show n
Wf	Waterhousia floribunda	Weeping Lilly Pilly	10 x 15	100L	As show n
Er	Elaeocarpus reticulatus	Blueberry Ash	As Show n	100L	As show n
MLG	Magnolia 'Little Gem'	Magnolia	As Show n	100L	As show n
TL	Tristaniopsis laurina 'Luscious'	Water Gum	As Show n	100L	As show n
Shrubs / Accents					
Aa	Asplenium australasicum	Birds Nest Fern	0.8 x 0.8	300mm	As show n
As	Agave salminiana	Agave	0.7 x 0.7	300mm	As show n
Ag	Agave geminiflora	Agave Blue Glow	0.7 x 0.7	300mm	As show n
BSL	Blechnum 'Silver Lady'	Dw arf Tree Fern	0.8 x 1.2	300mm	As show n
By	Beschorneria yuccoides	Mexican Lily	1 x 2	300mm	As show n
Cr	Cycas revoluta	Japanese Sago	1 x 1	300mm	As show n
PX	Philodendron Xanadu	Xanadu	0.8 x 1	300mm	5m²
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Haw thorne	0.8 x 1	300mm	As show n
Vo	Viburnum odoratississum	Sw eet Viburnum	5 x 3.5	300mm	As show n
Groundcovers & Grasses					
CCI	Casuarina glauca 'Cousin It'	Cousin It	.15 x 1	150mm	5m²
Cg	Carpobrotus glaucescens	Pig Face	0.1 x 1	150mm	5m²
Dr	Dichondra repens	kidney wee	.1 x .4	150mm	5m²
LJR	Liriope muscari 'Just Right'	Lirope	0.6 x 0.5	150mm	5m²
Ss	Senecio serpens 'Blue Chalksticks'	Chalk Sticks	.4 x spreading	150mm	5m²

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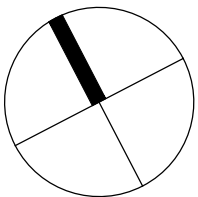
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020
Issue	Revision Description	Drawn	Check	Date

#### LEGEND

Key Plan:



Client:  
**Summit Built Pty Ltd**

Project:  
**349 Barrenjoey Road  
Newport, NSW 2016**

Drawing Name:  
**Coversheet**

Scale:

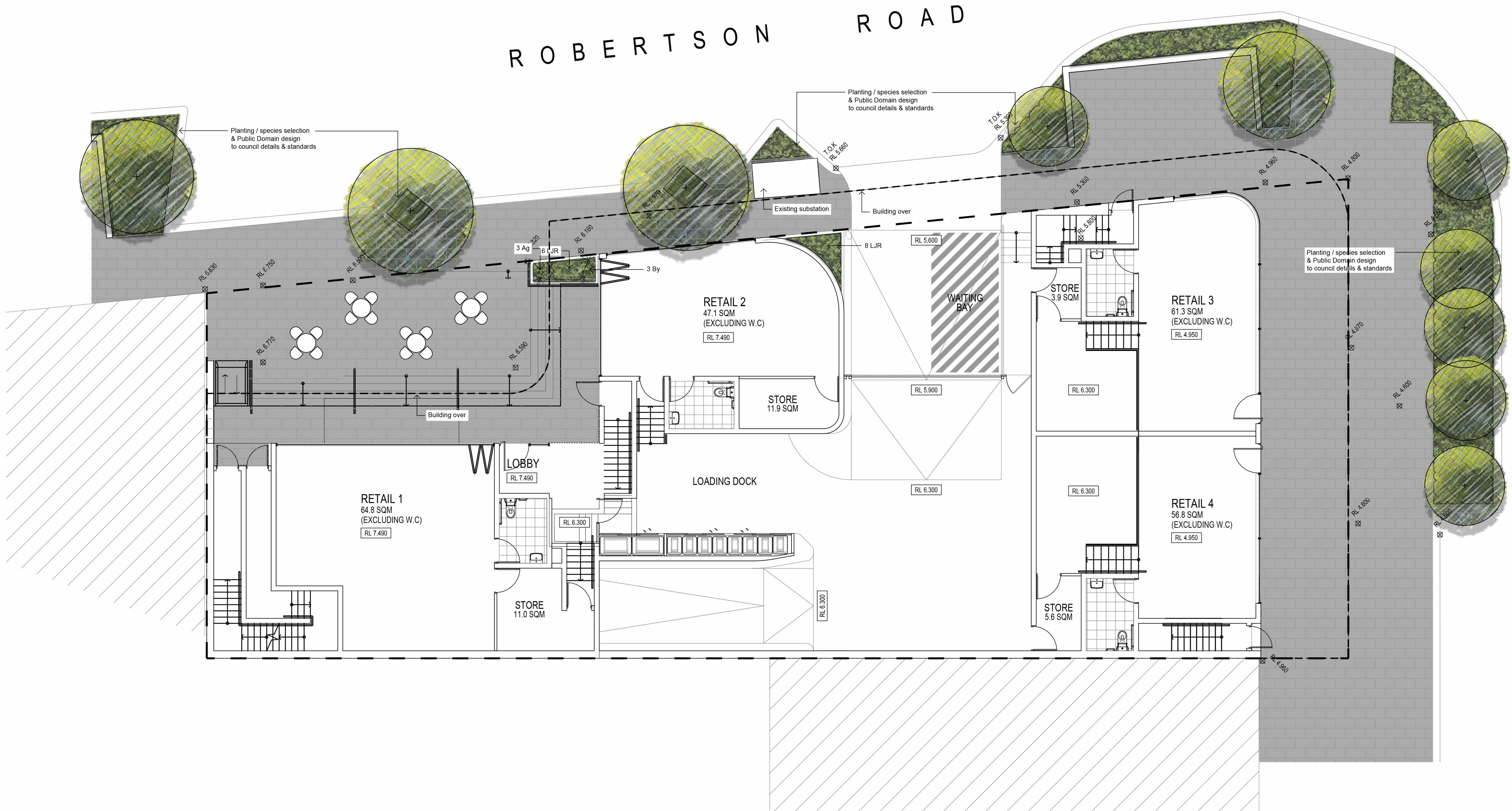
Job Number: **SS20-4436**

Drawing Number: **000**

Issue: **C**

**PRELIMINARY**





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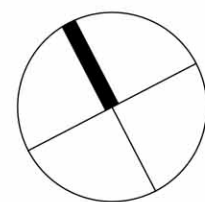
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D	For submission	LM	NM	04.08.2020
C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020
Issue	Revision Description	Drawn	Check	Date

LEGEND	
	Boundary
	Proposed Tree (Refer Plant Schedule & Detail)
	Shrubs & Accents (Refer Plant Schedule & Detail)

	Grasses & Groundcovers (Refer Plant Schedule)
	Decking / Paving

Key Plan:



**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
**Summit Built Pty Ltd**  
  
Project:  
**349 Barrenjoey Road  
Newport, NSW 2016**

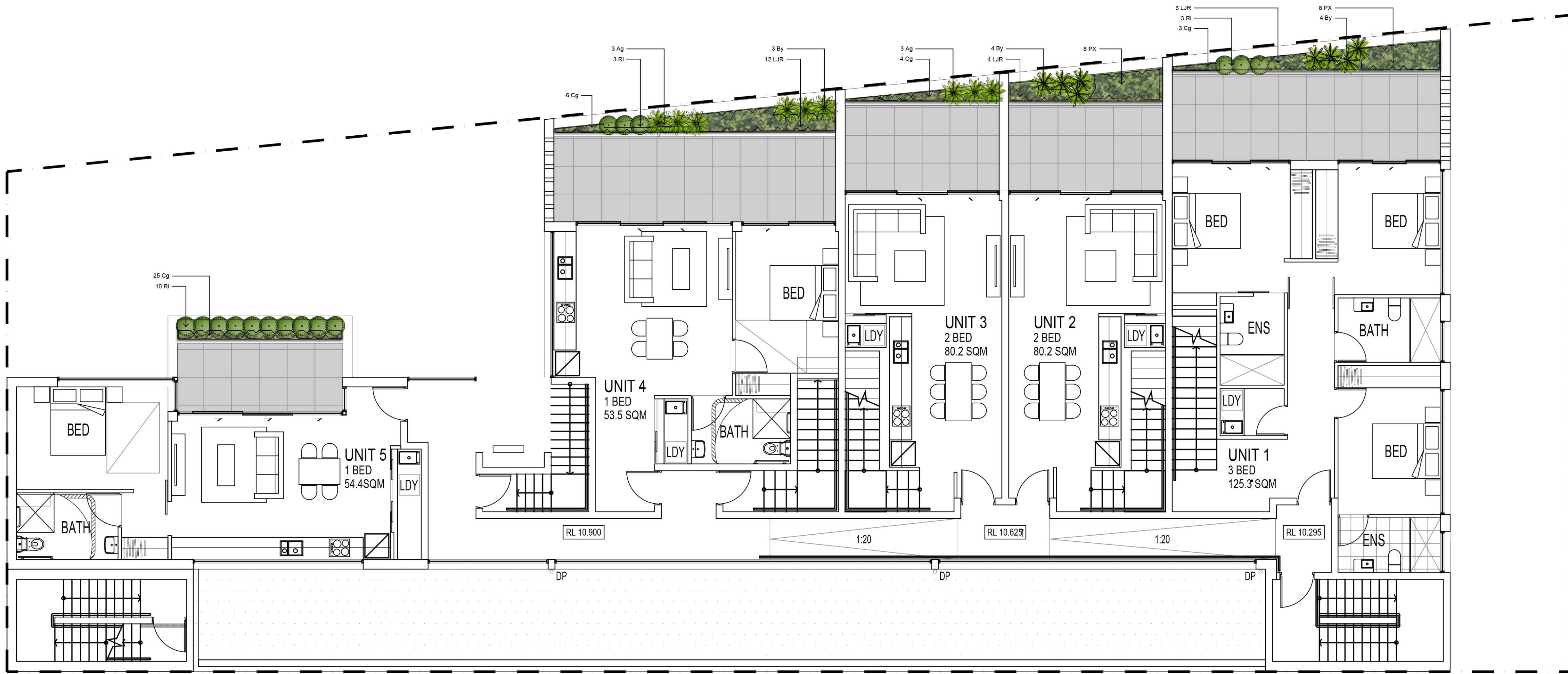
Drawing Name:  
**Landscape Plan  
Ground Floor**

**PRELIMINARY**  
Scale: 1:75 @ A1  
Job Number:  
**SS20-4436**

Drawing Number: Issue:

101 D





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C	For submission
B	For submission
A	Draft for review
Issue	Revision Description

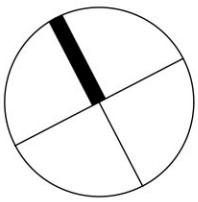
LM	NM	20.07.2020
LM	NM	09.07.2020
LM	NM	01.07.2020
Drawn	Check	Date

LEGEND	
	Boundary
	Proposed Tree (Refer Plant Schedule & Detail)
	Shrubs & Accents (Refer Plant Schedule & Detail)

	Grasses & Groundcovers (Refer Plant Schedule)
	Decking / Paving
	Turf

	Picnic benches
--	----------------

Key Plan:



**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
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Client:  
**Summit Built Pty Ltd**  
  
Project:  
**349 Barrenjoey Road  
Newport, NSW 2016**

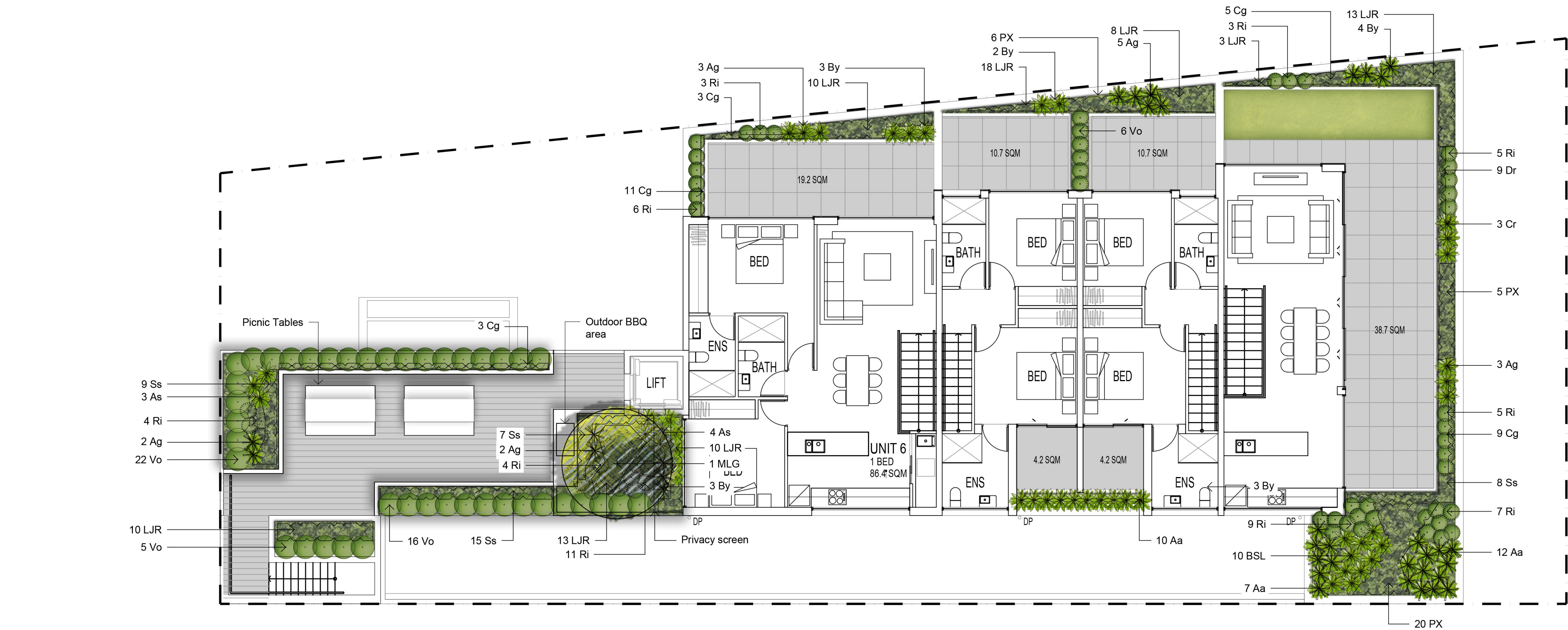
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**Landscape Plan  
Level 1**

Scale: 1:75 @ A1  
Job Number:  
**SS20-4436**

Drawing Number:  
**102**

Issue:  
**C**





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C	For submission
B	For submission
A	Draft for review
Issue	Revision Description

LM	NM	20.07.2020
LM	NM	09.07.2020
LM	NM	01.07.2020
Drawn	Check	Date

LEGEND

Boundary

Proposed Tree  
(Refer Plant Schedule & Detail)

Shrubs & Accents  
(Refer Plant Schedule & Detail)

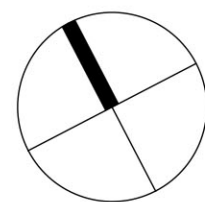
Grasses & Groundcovers  
(Refer Plant Schedule)

Decking / Paving

Turf

Picnic benches

Key Plan:



SITE IMAGE



Landscape Architects  
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Client:  
Summit Built Pty Ltd

Project:  
349 Barrenjoey Road  
Newport, NSW 2016

Drawing Name:  
Landscape Plan  
Level 2

PRELIMINARY

Scale: 1:75 @ A1

Job Number:

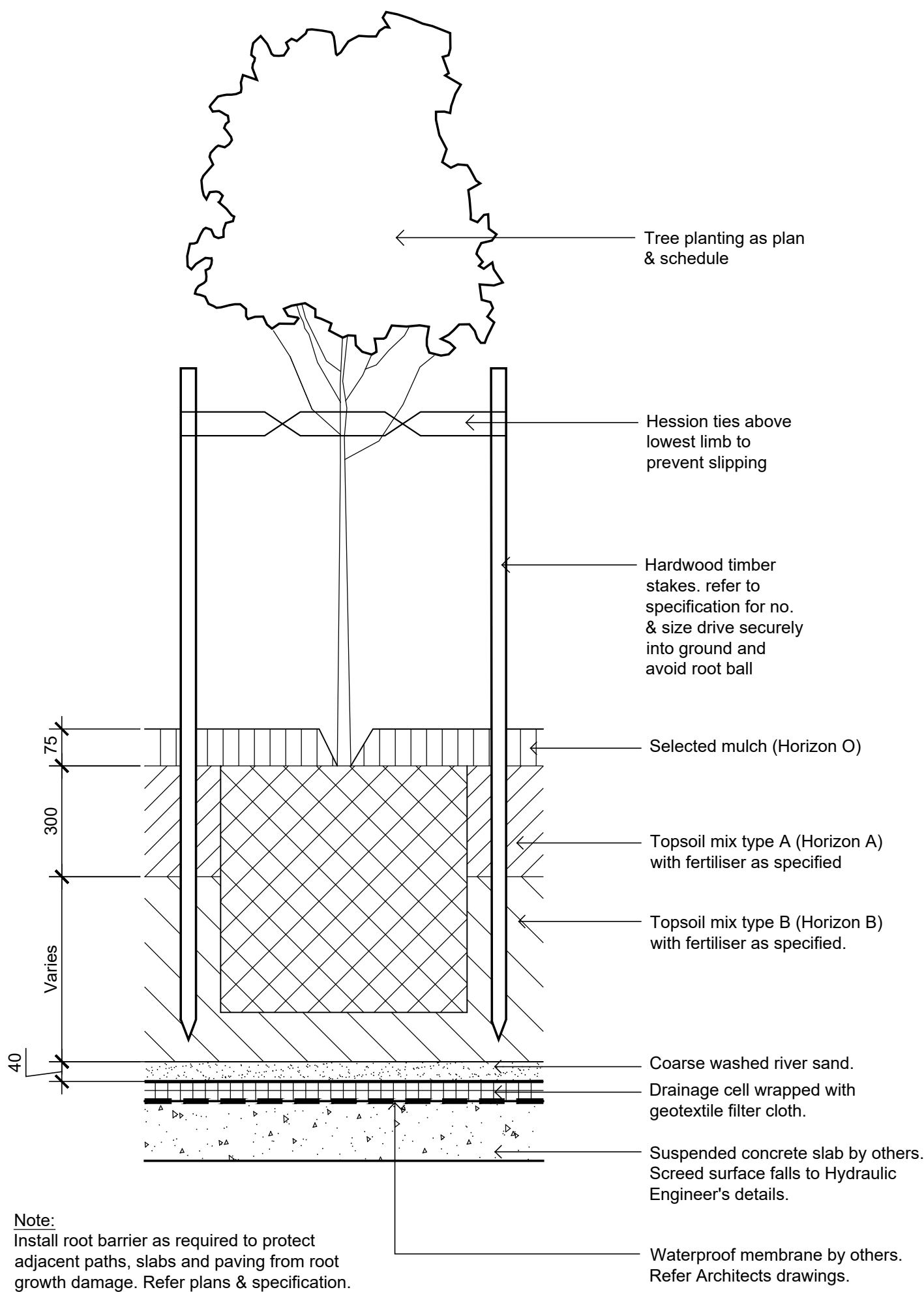
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Drawing Number:

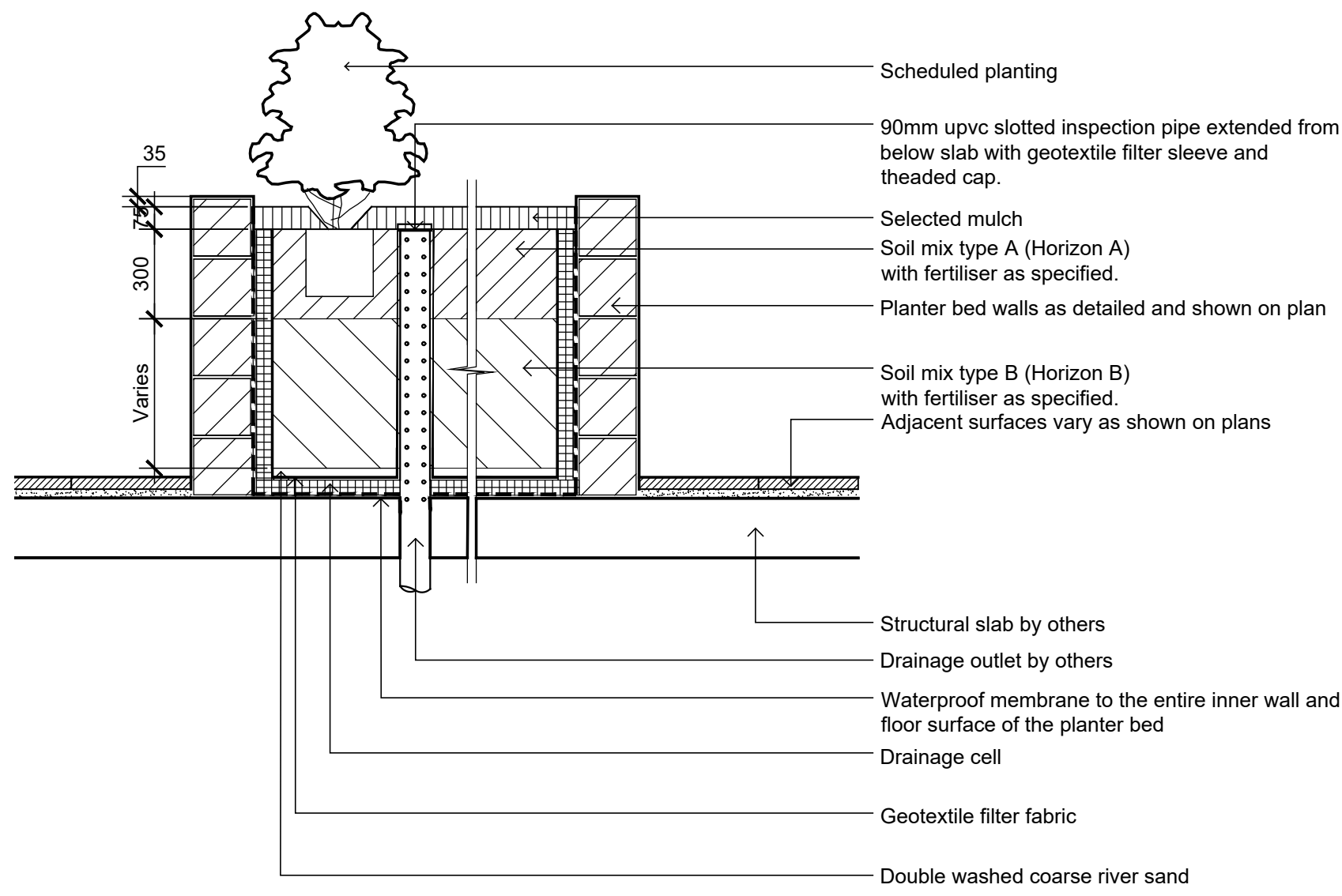
Issue:

103 C

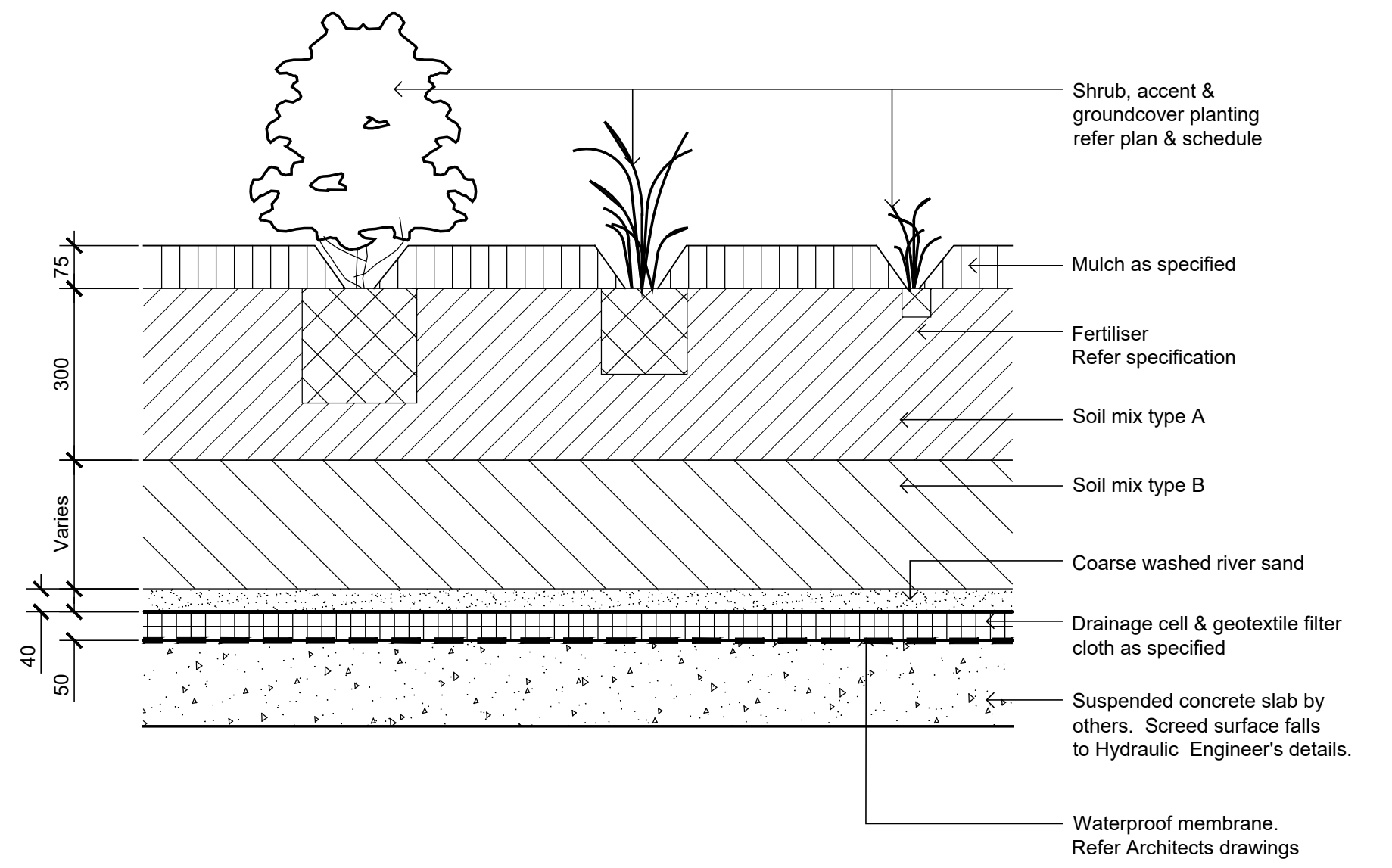




**Detail 75-200L Tree Planting on Structure**  
1:10



**Section - Typical Raised Planter Bed on Structure**  
1:20  
Inspection riser pipe



**Detail Shrub Accent & Groundcover Planting on Structure**  
1:10

NOT FOR CONSTRUCTION

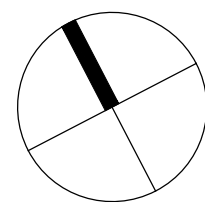
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C	For submission	LM	NM	20.07.2020
B	For submission	LM	NM	09.07.2020
A	Draft for review	LM	NM	01.07.2020
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:



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Drawing Name:  
**Landscape Plan**

**PRELIMINARY**  
Scale: 1:75 @ A1  
Job Number:  
**SS20-4436**  
Drawing Number:  
**103**  
Issue:  
**C**













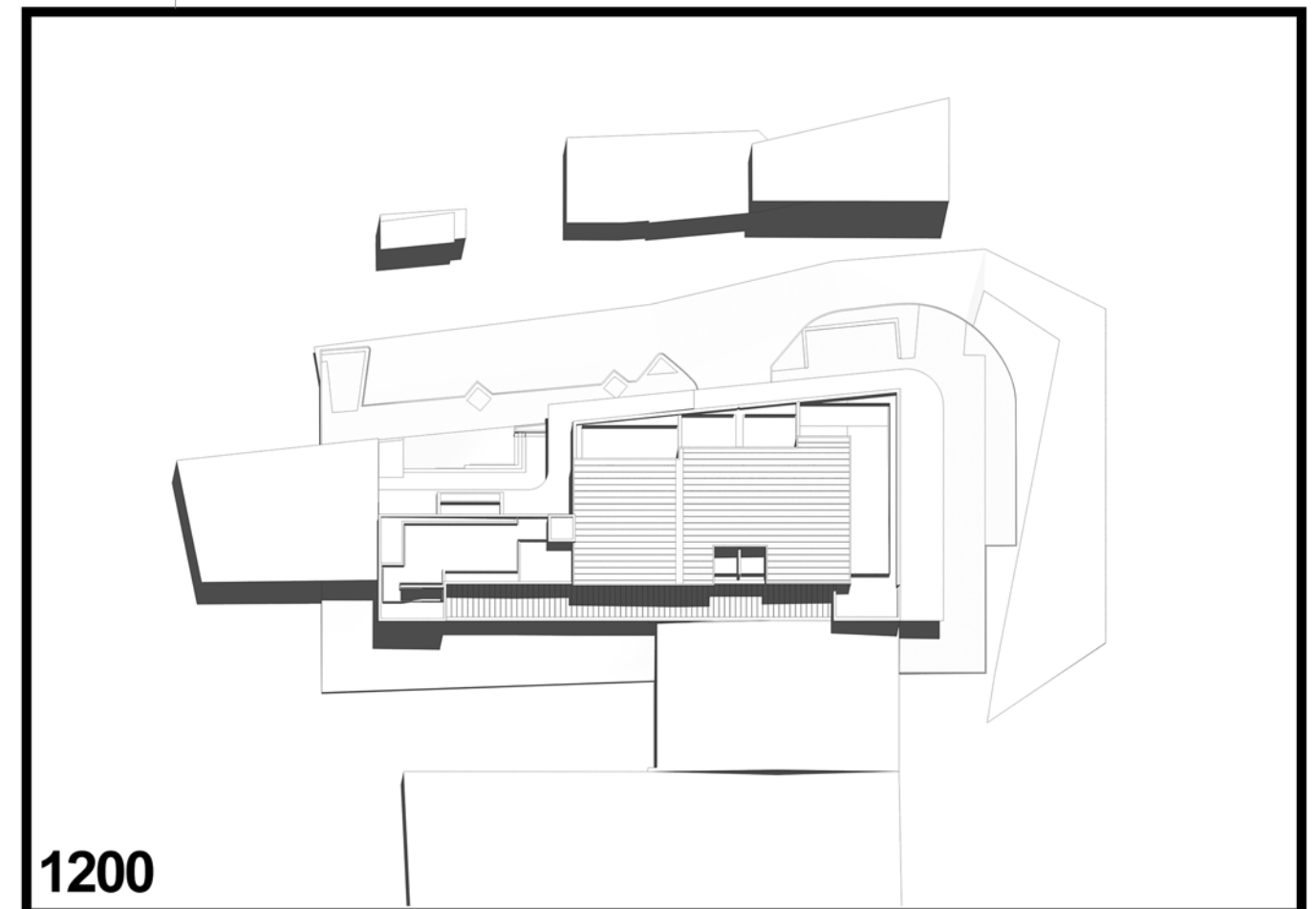
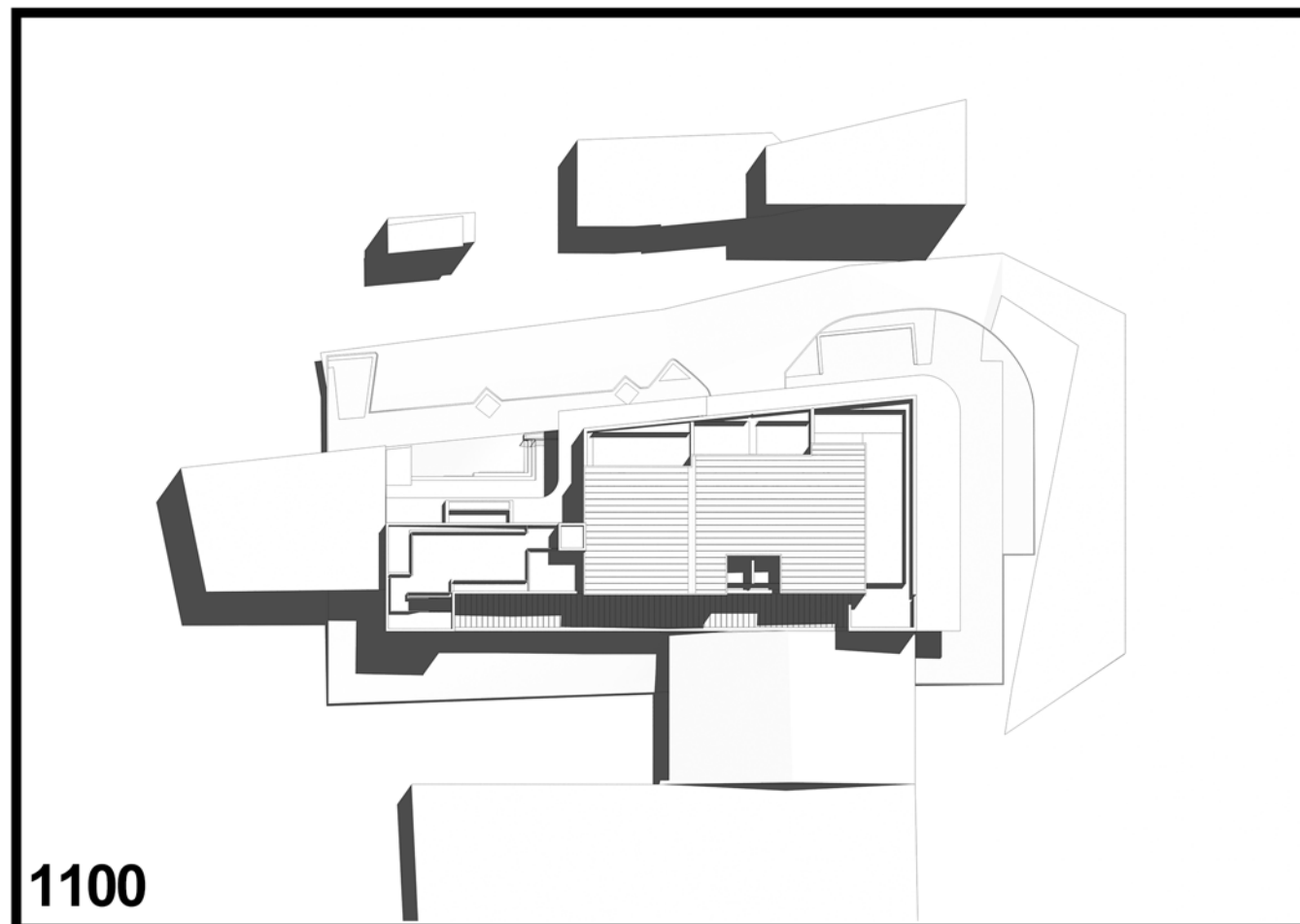
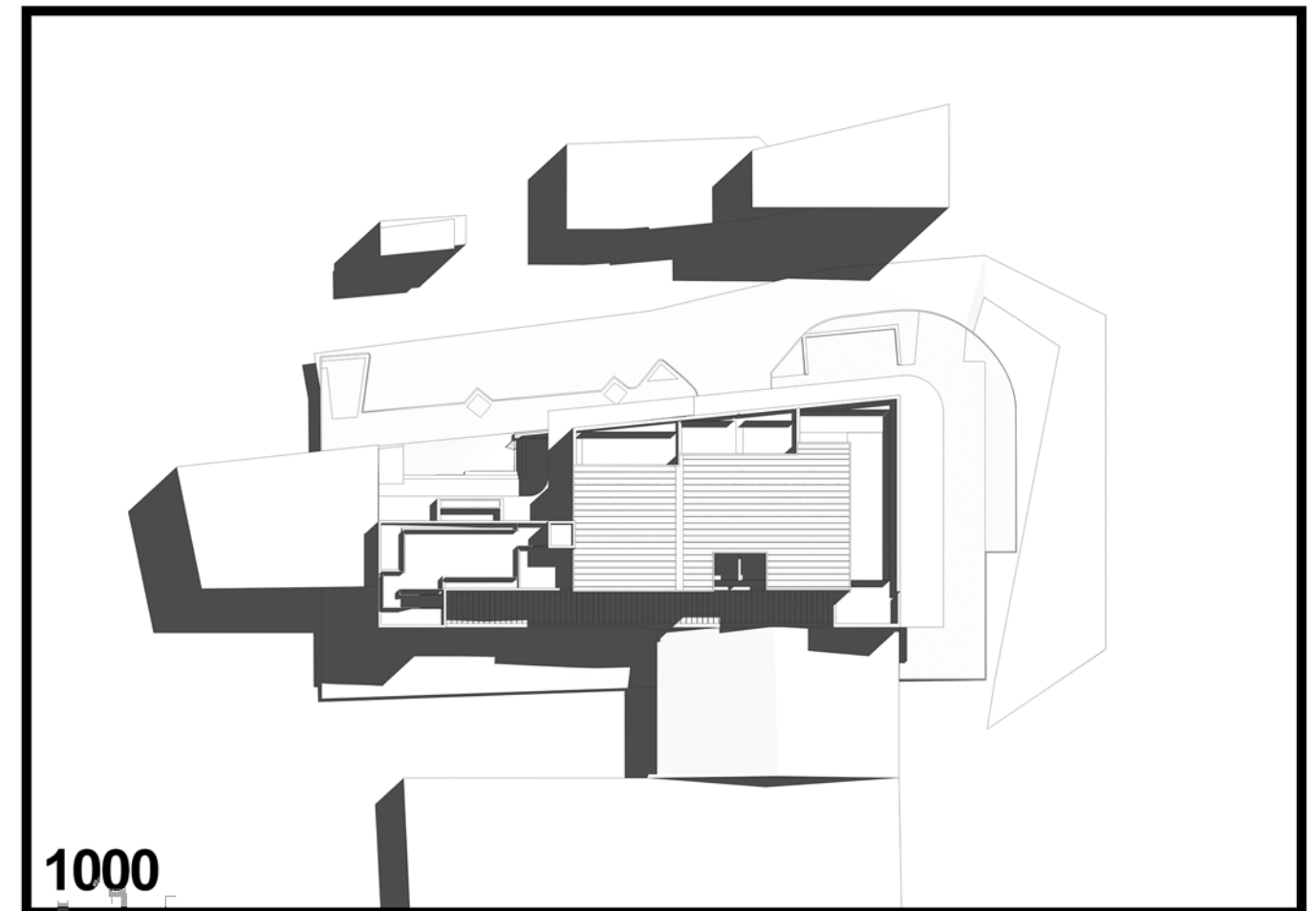
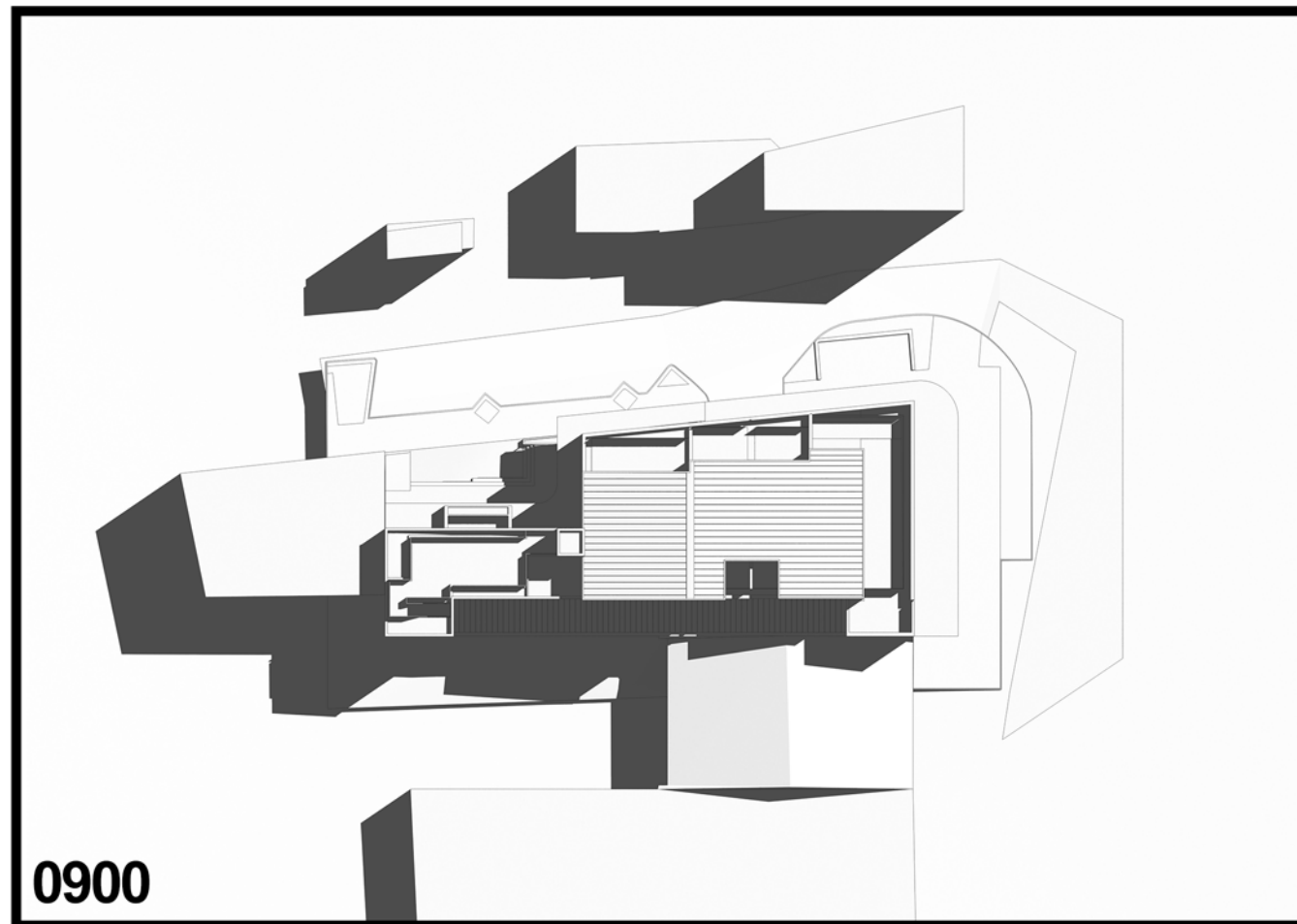




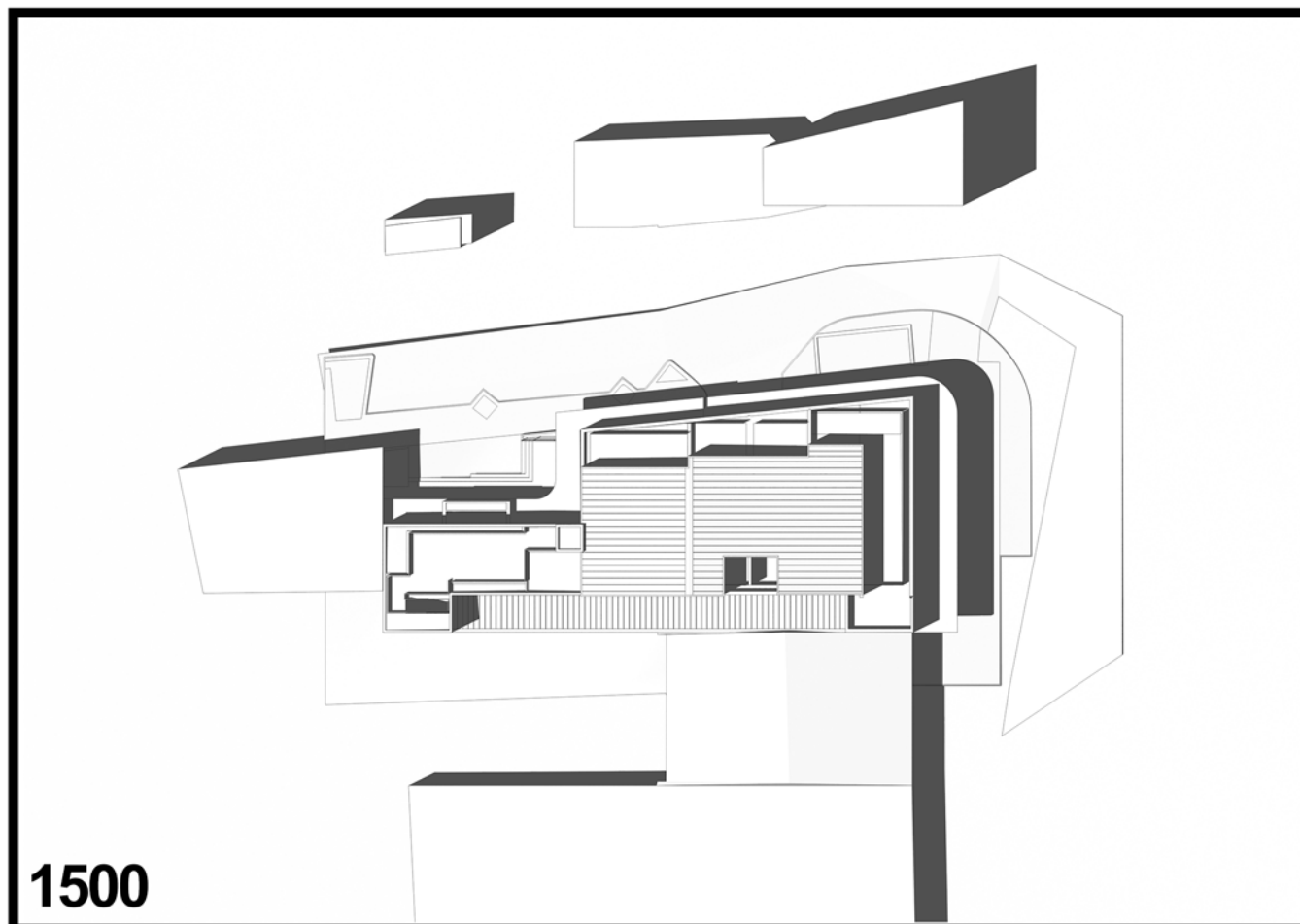
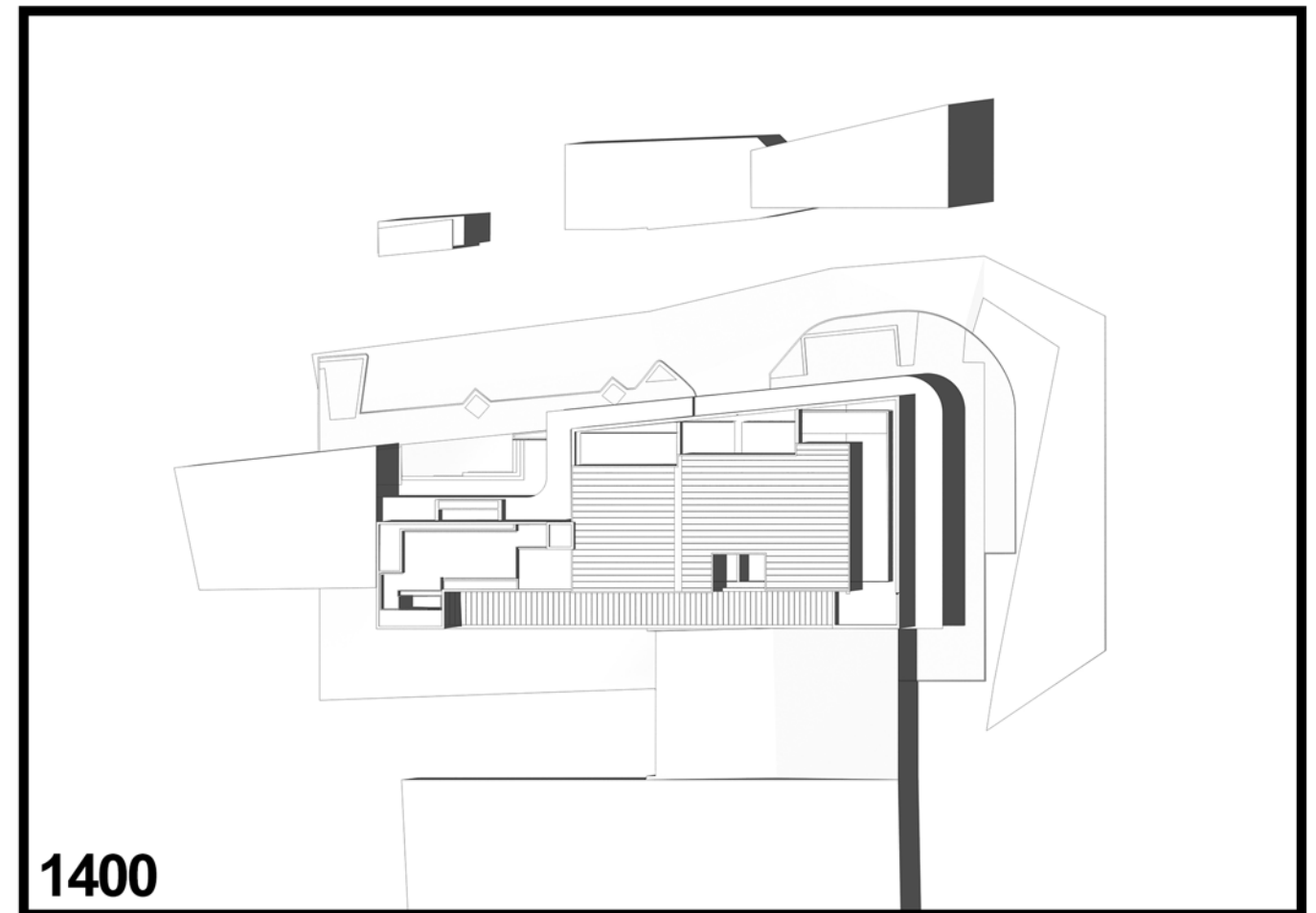
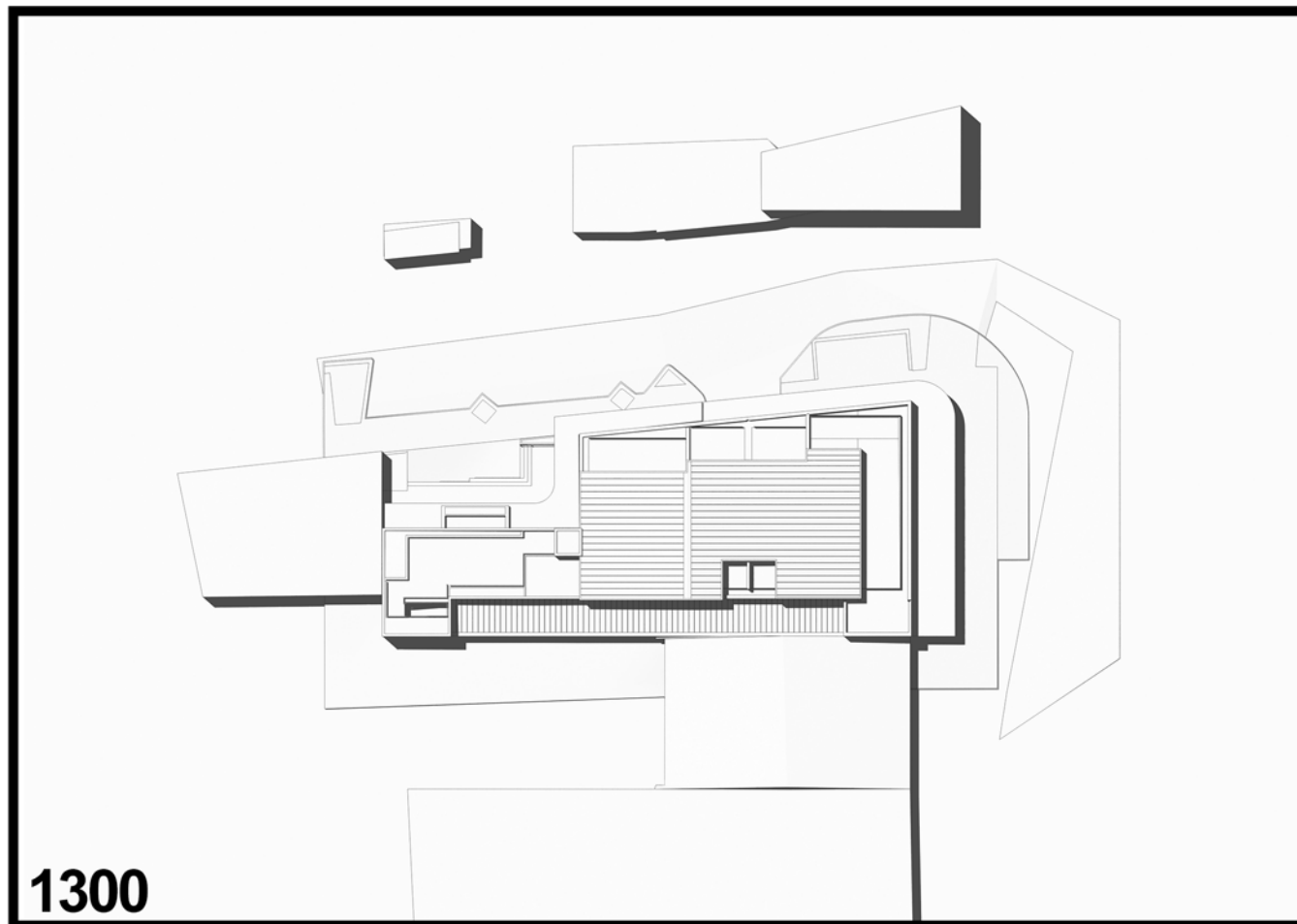




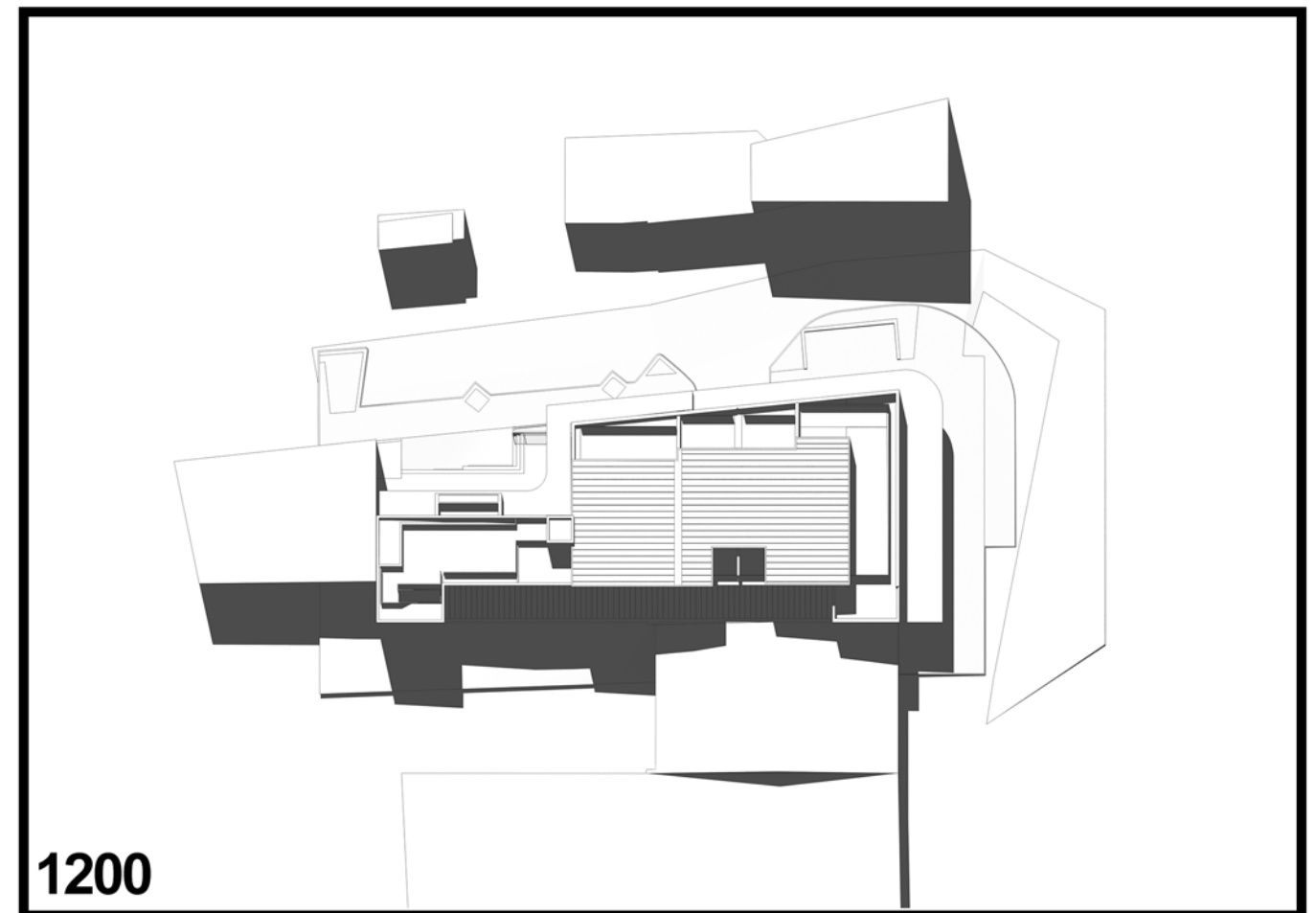
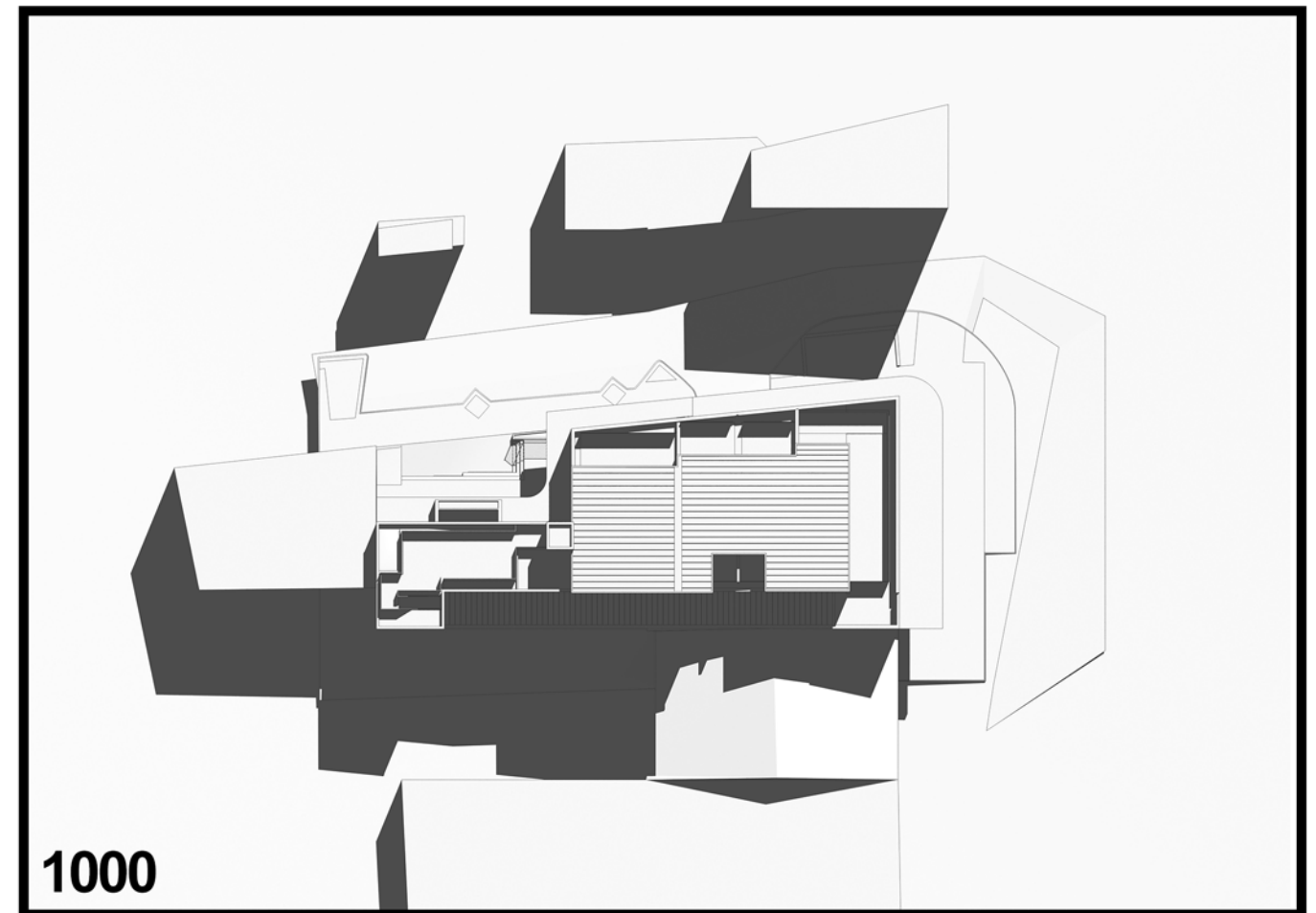
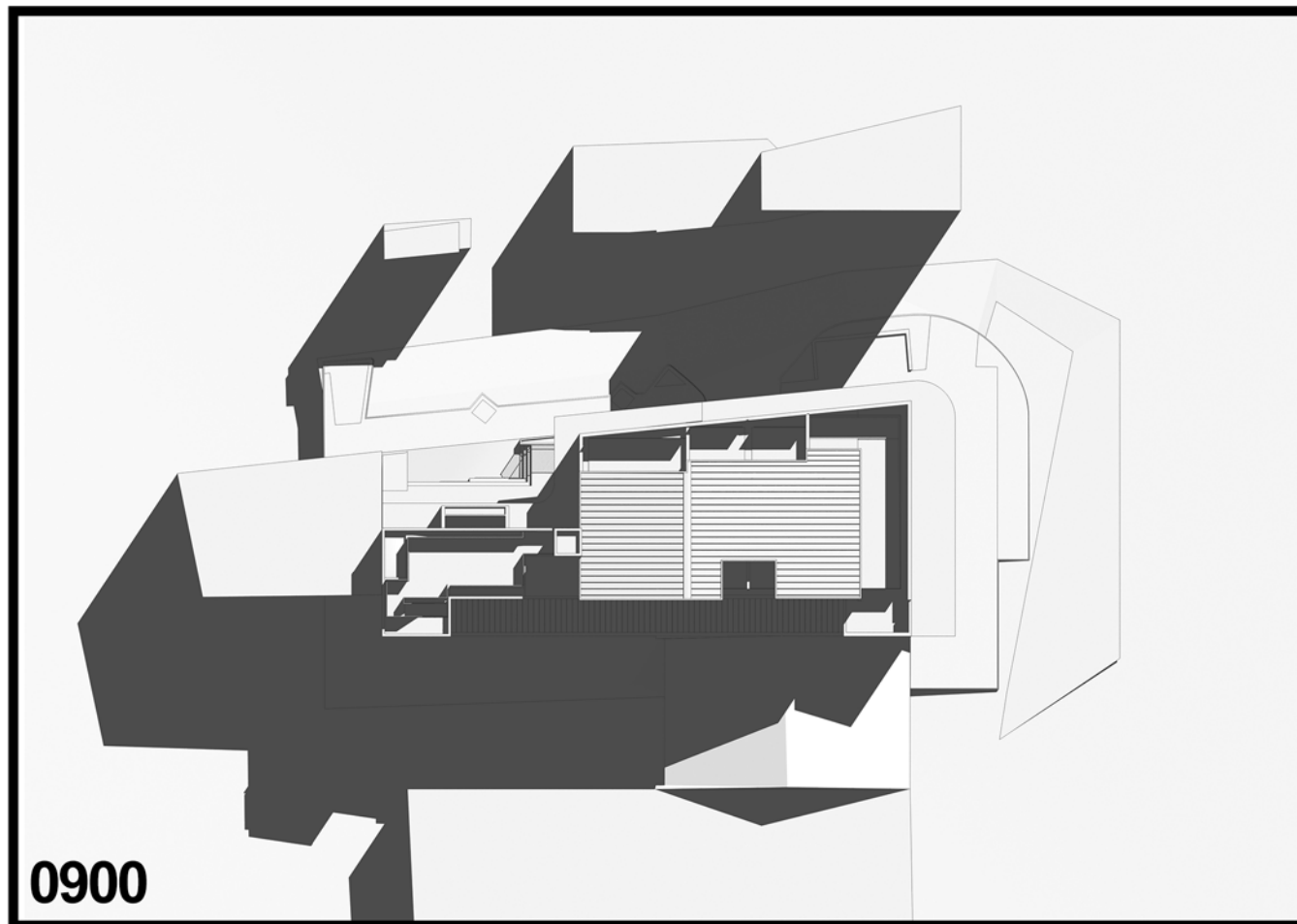




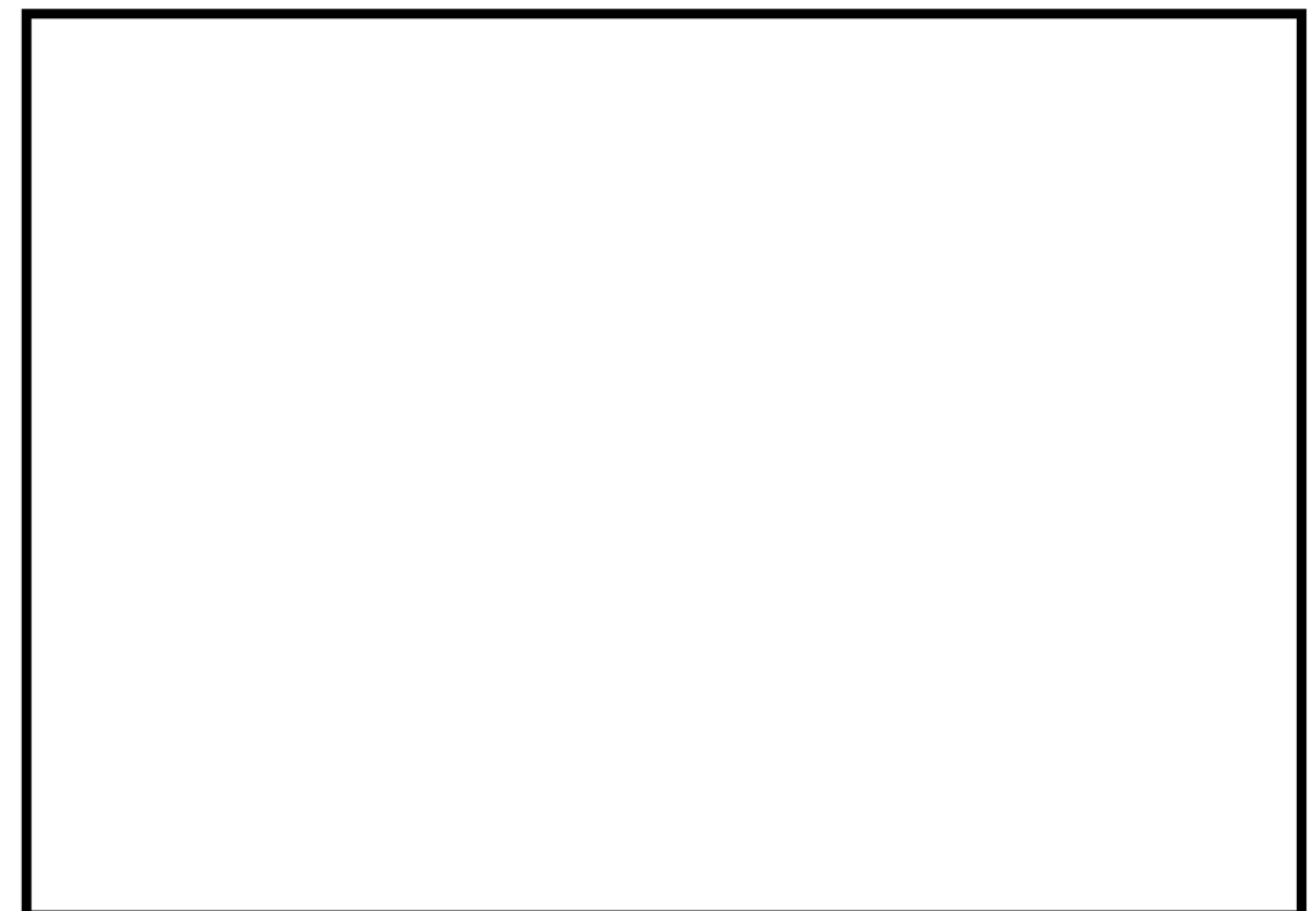
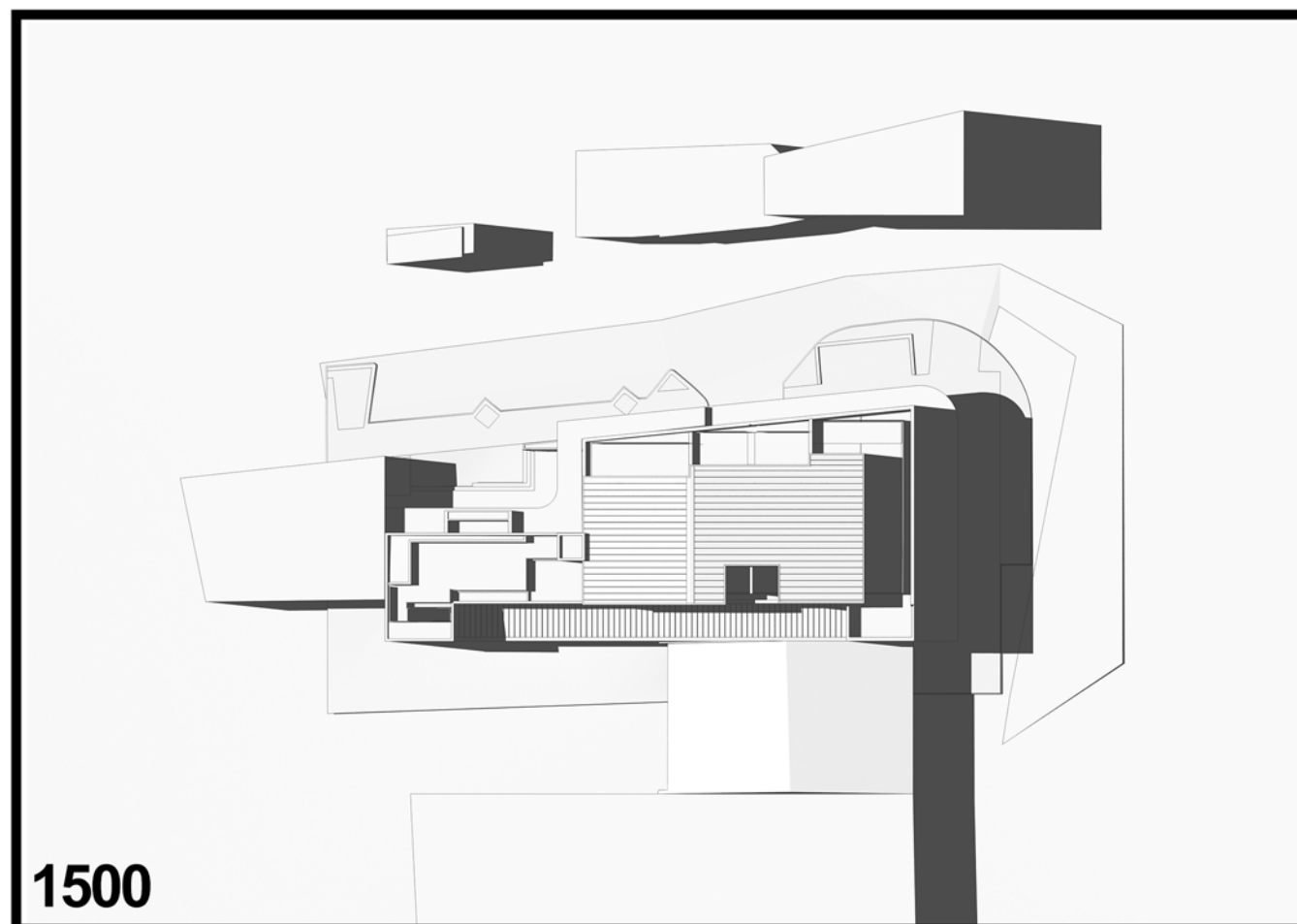
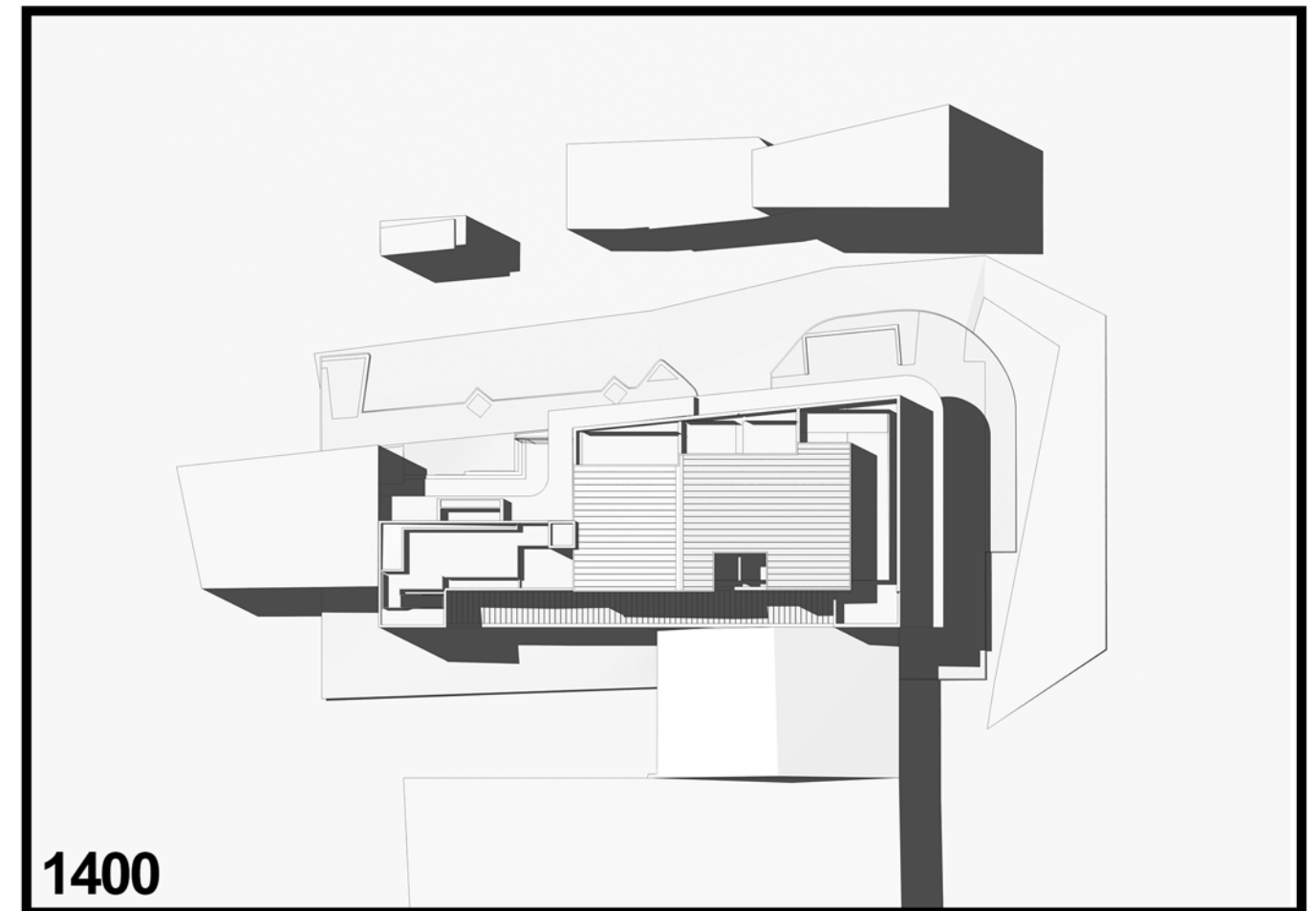
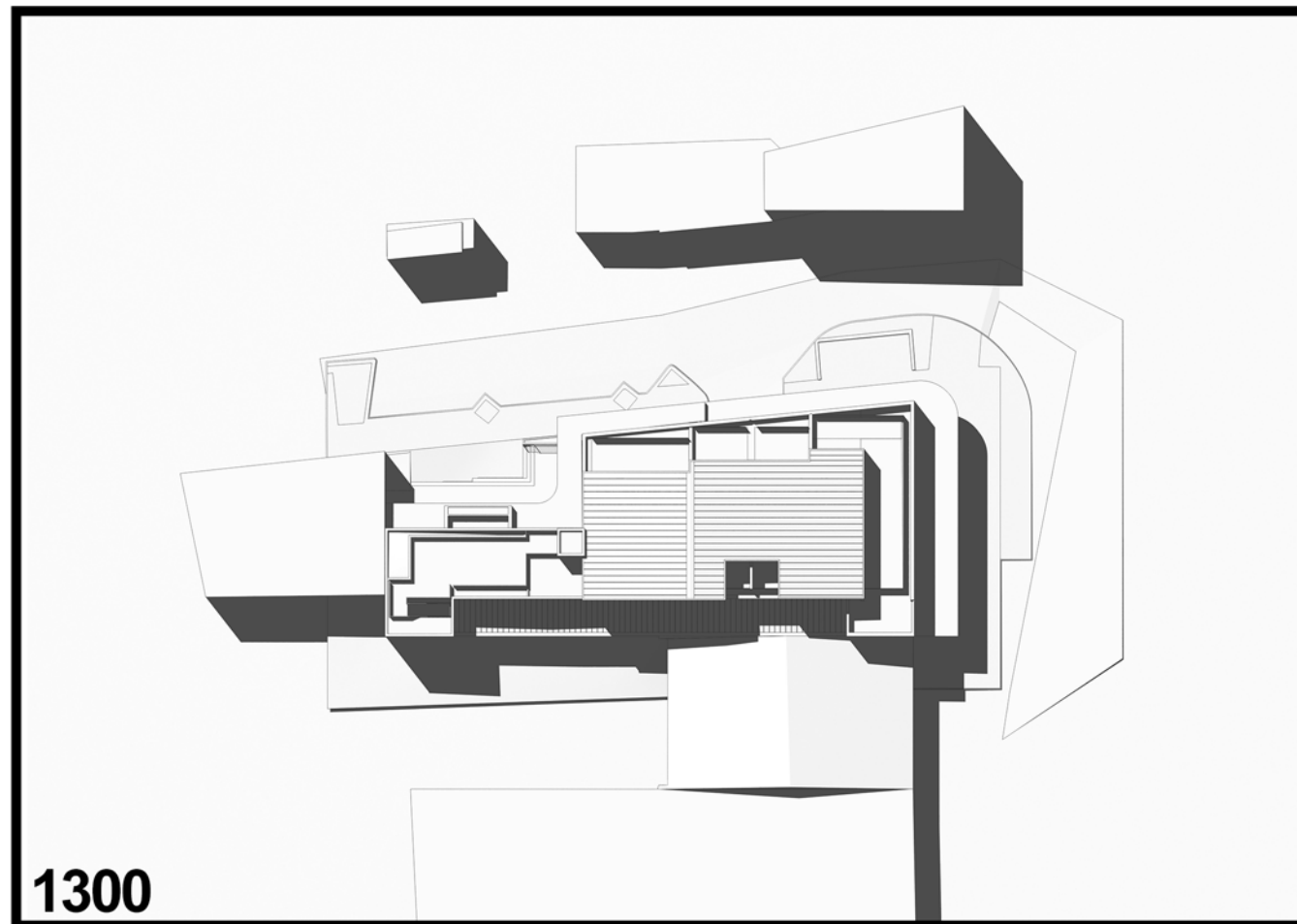




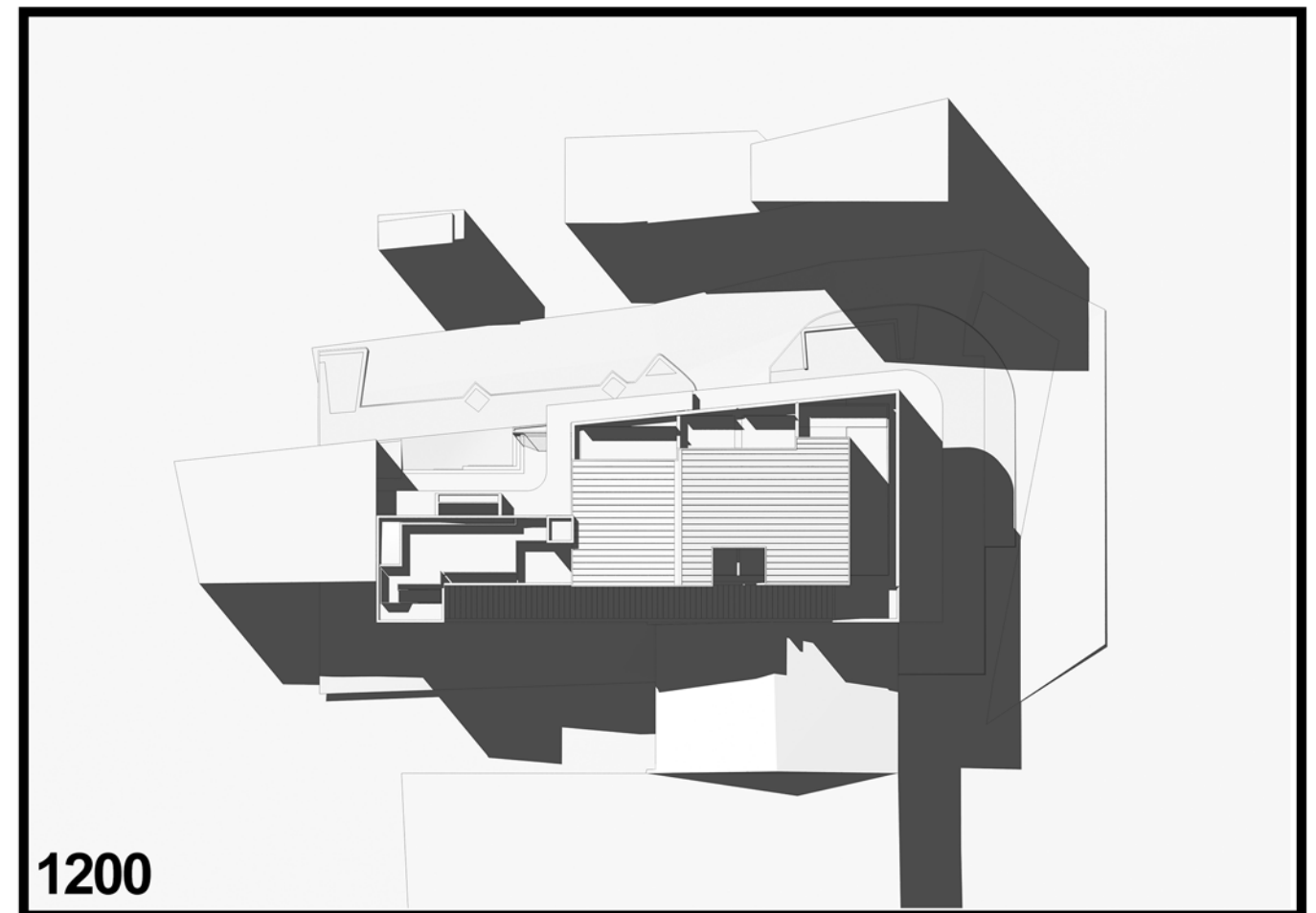
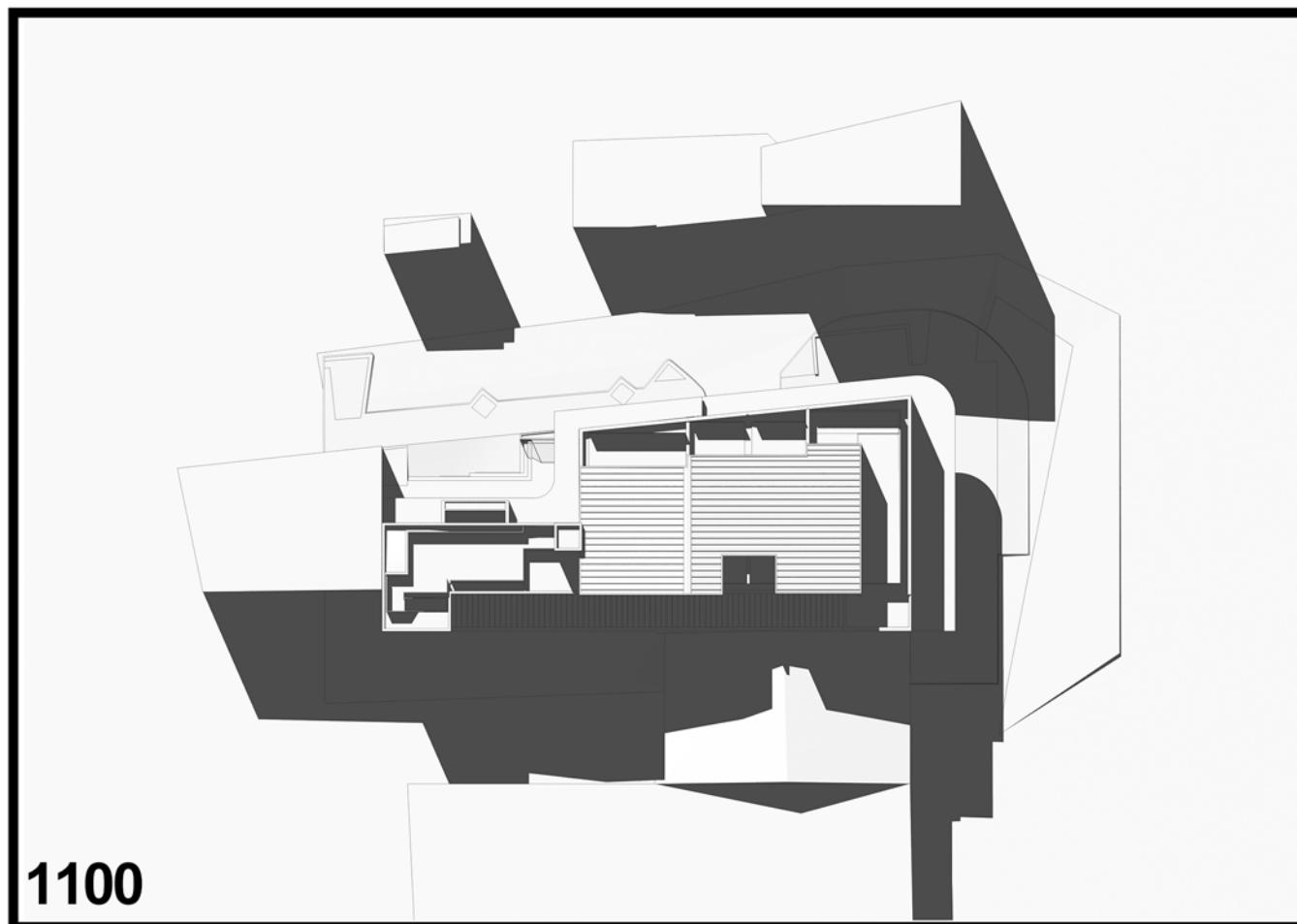
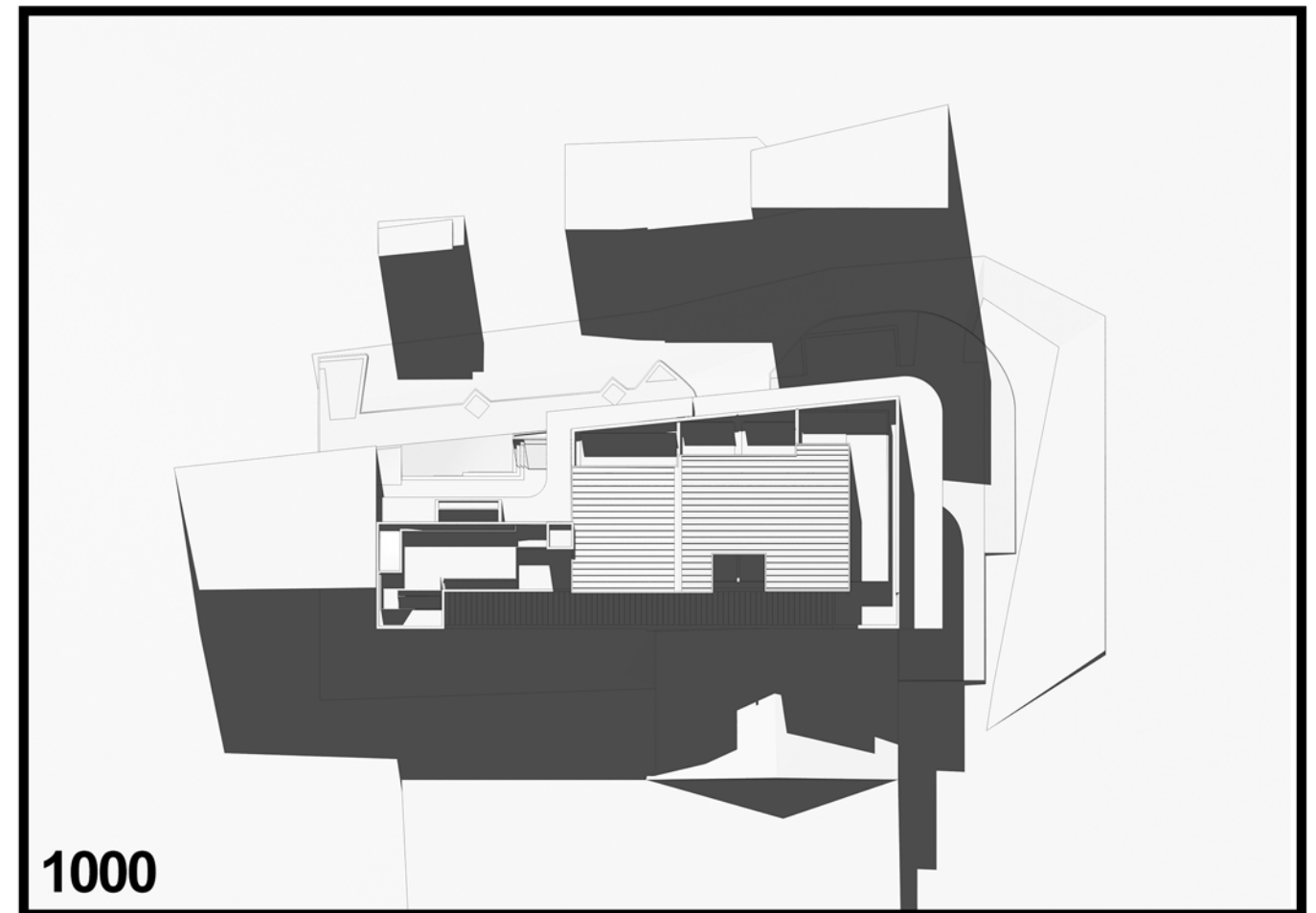
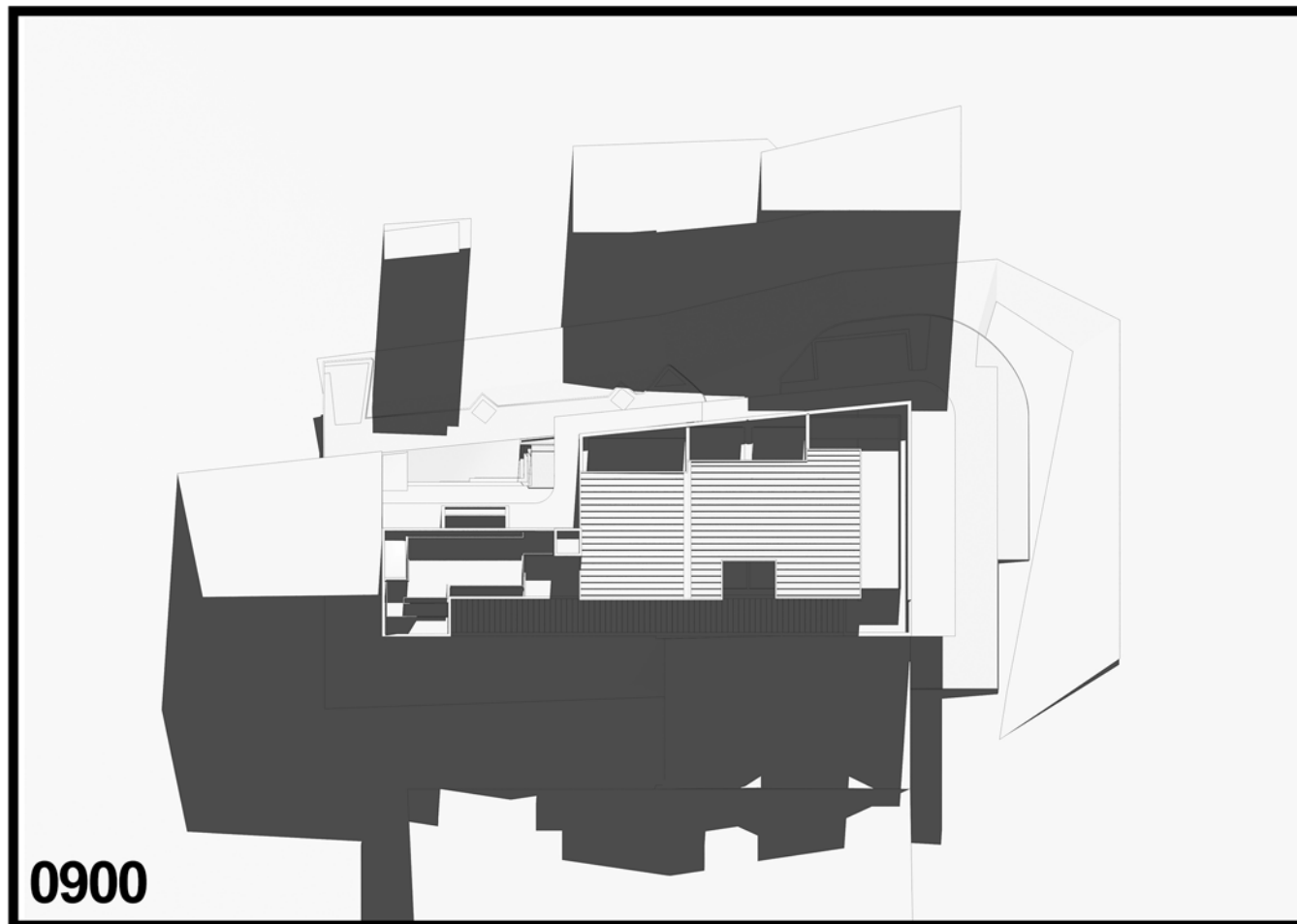




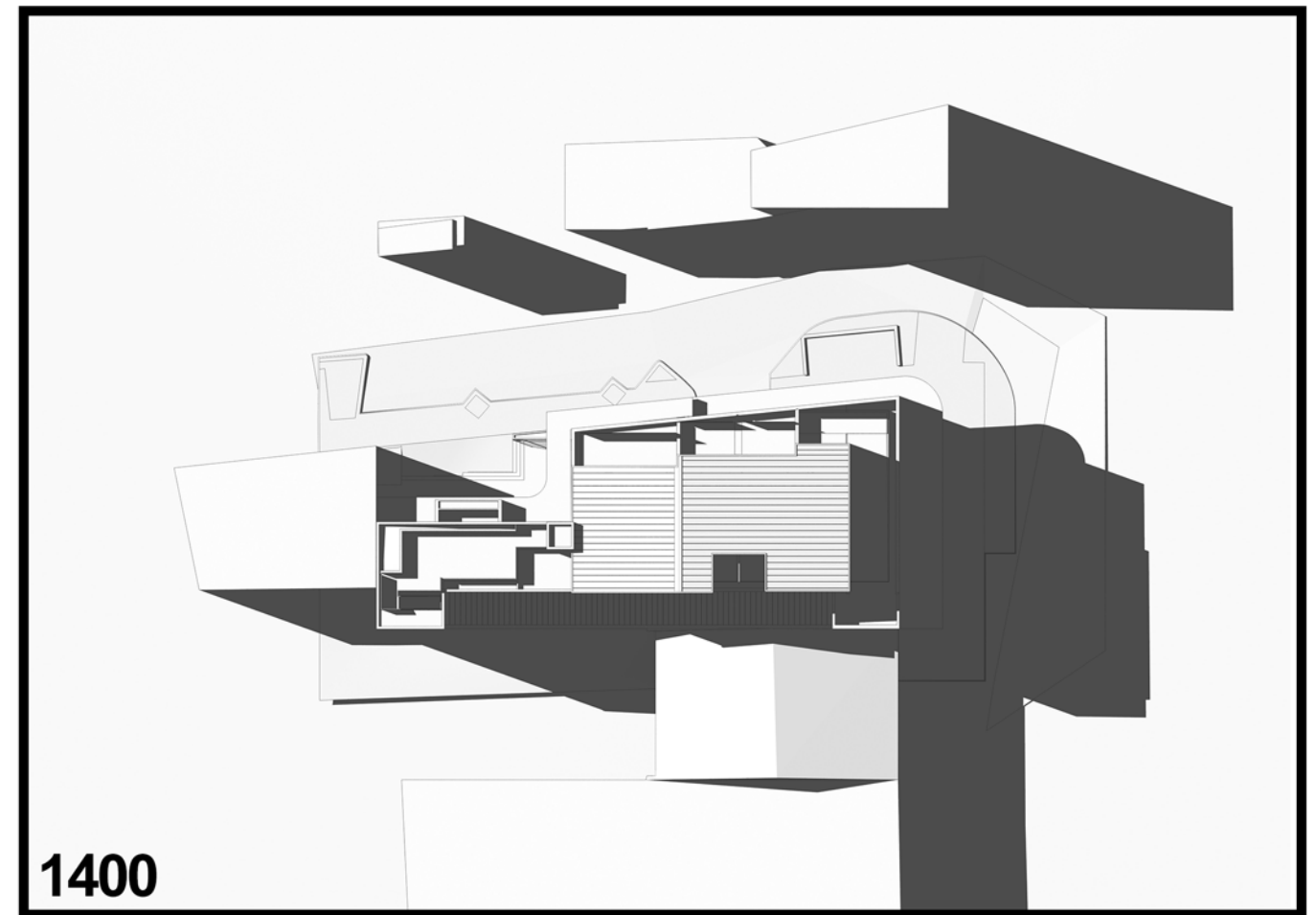
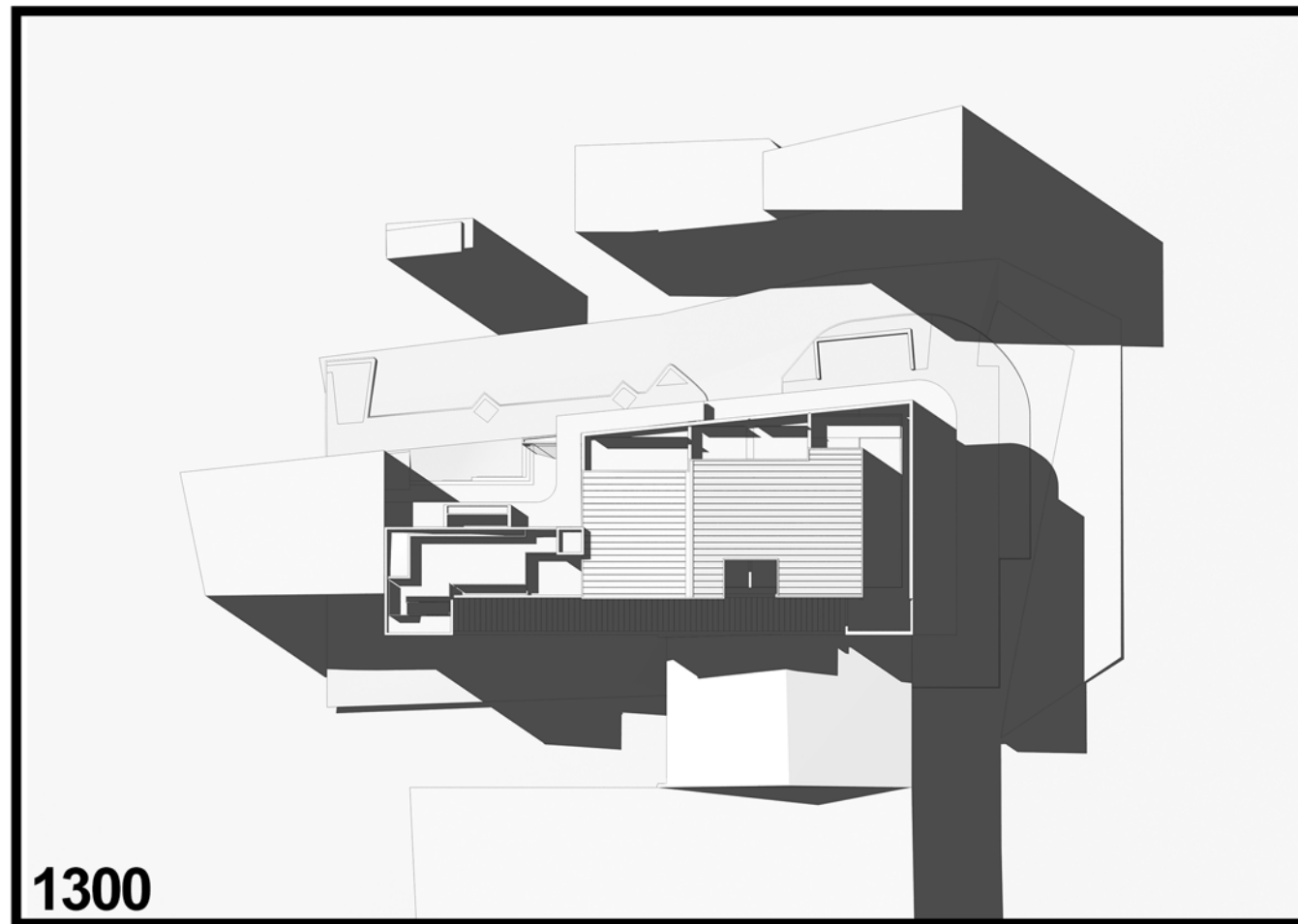




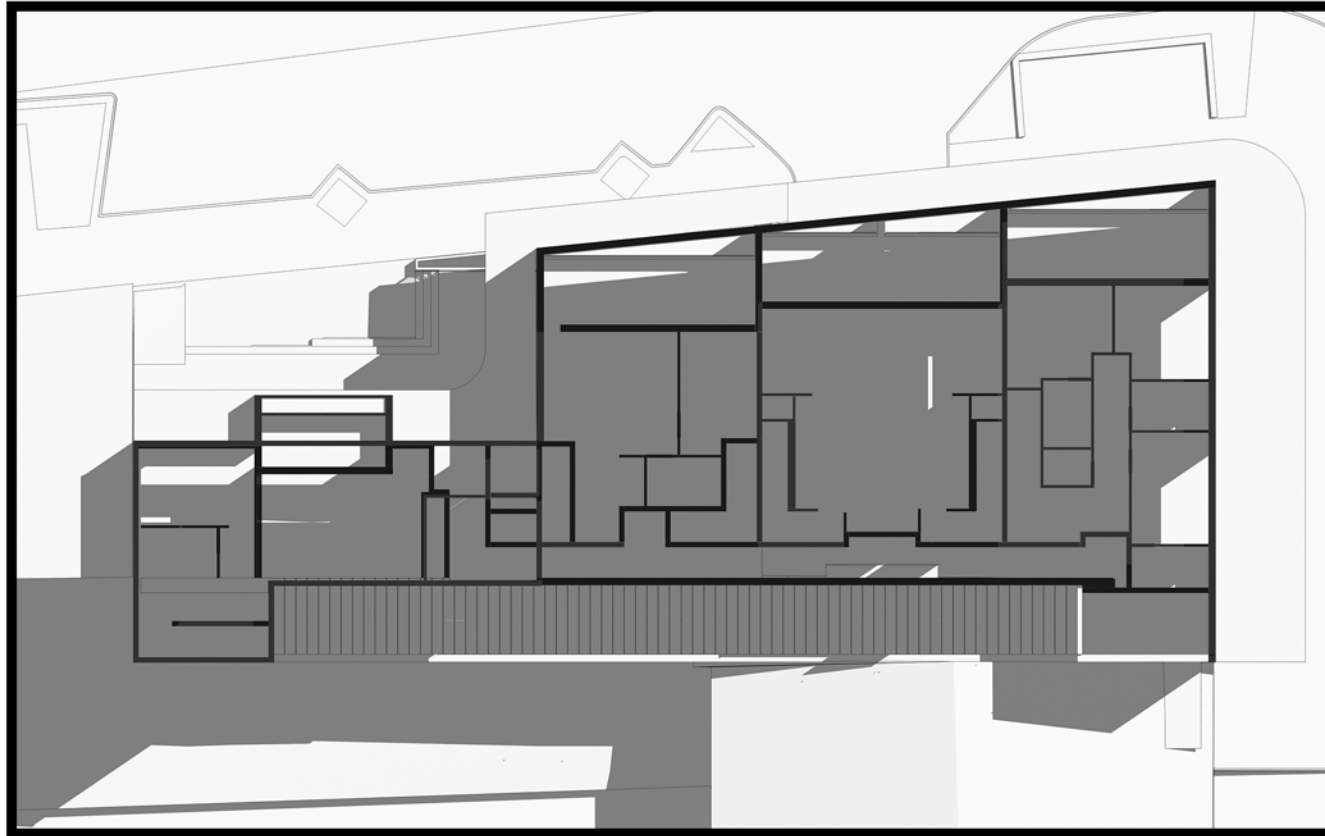




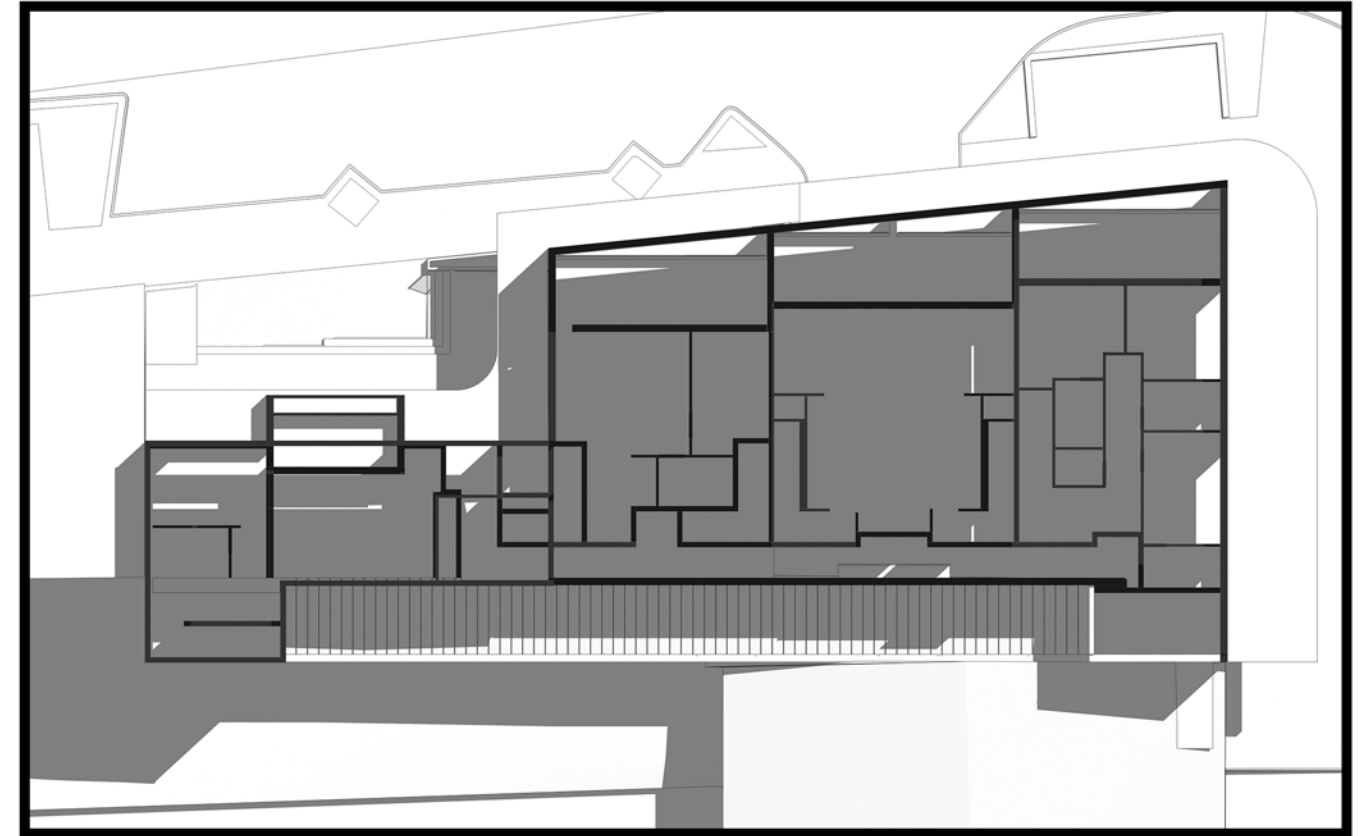




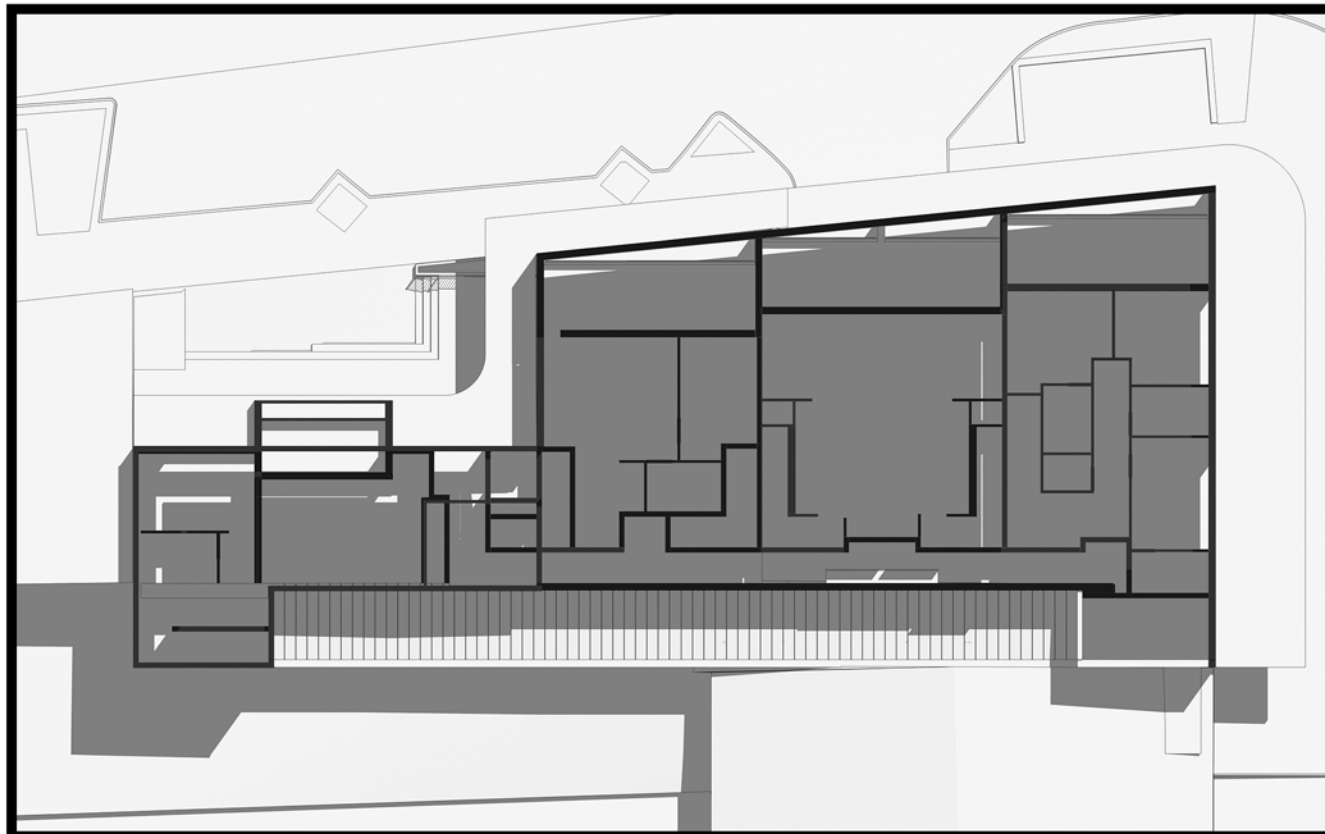




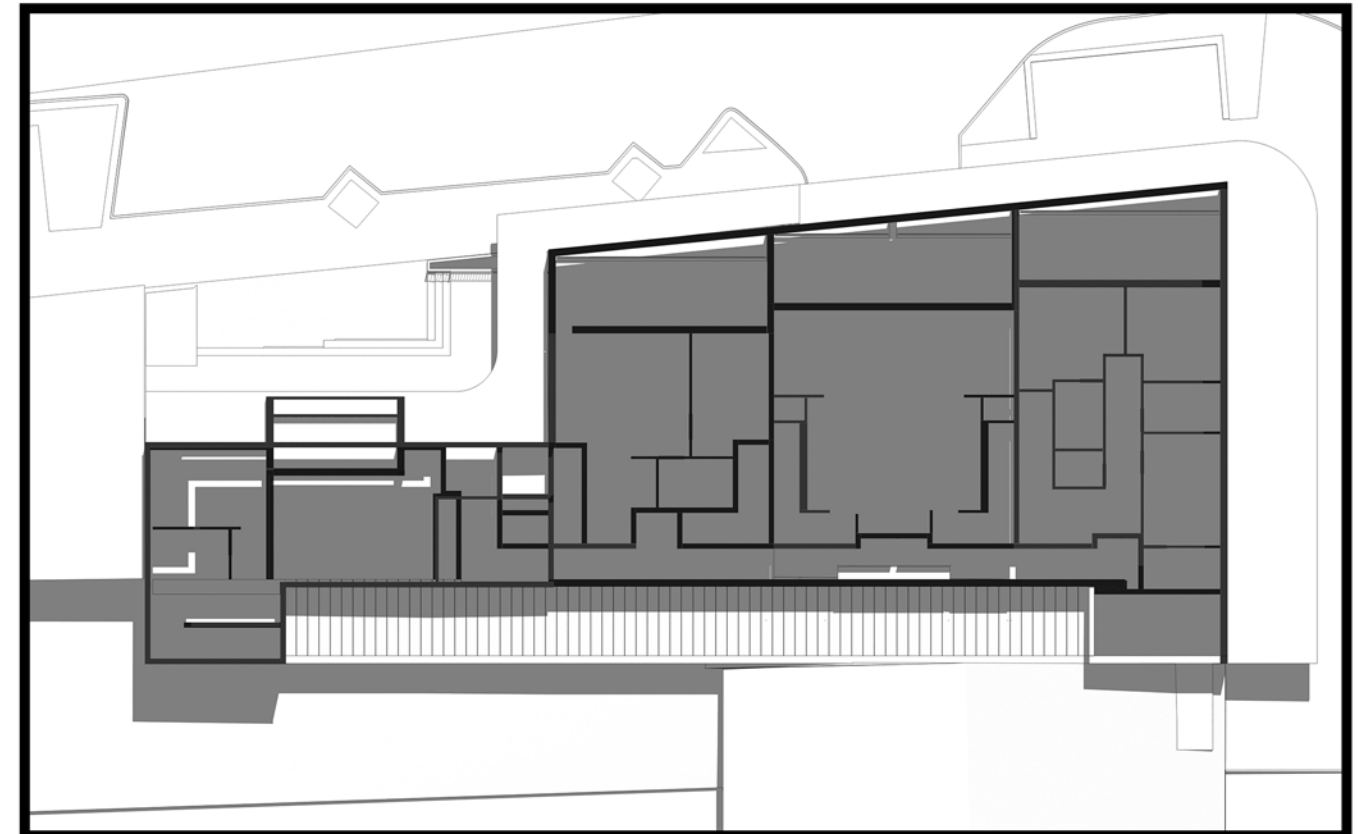
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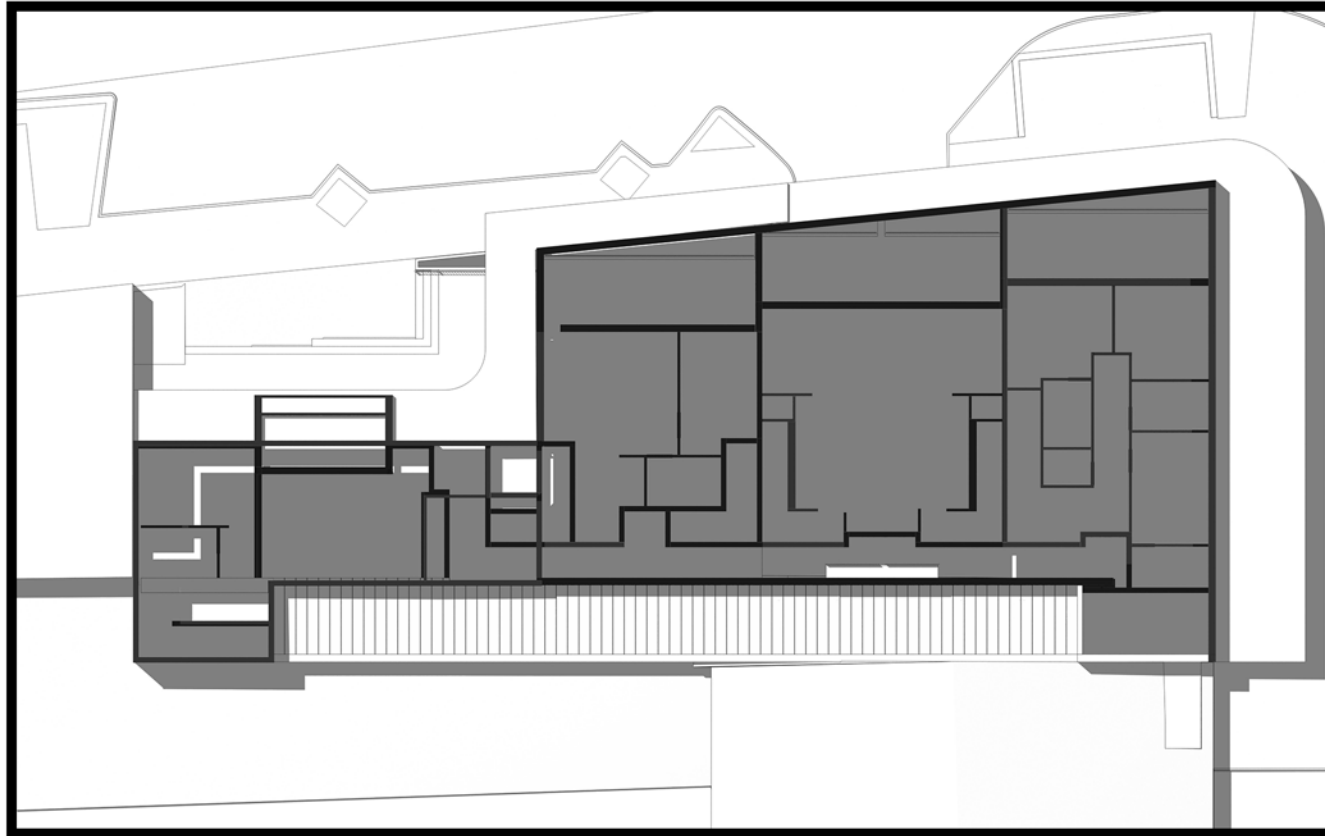


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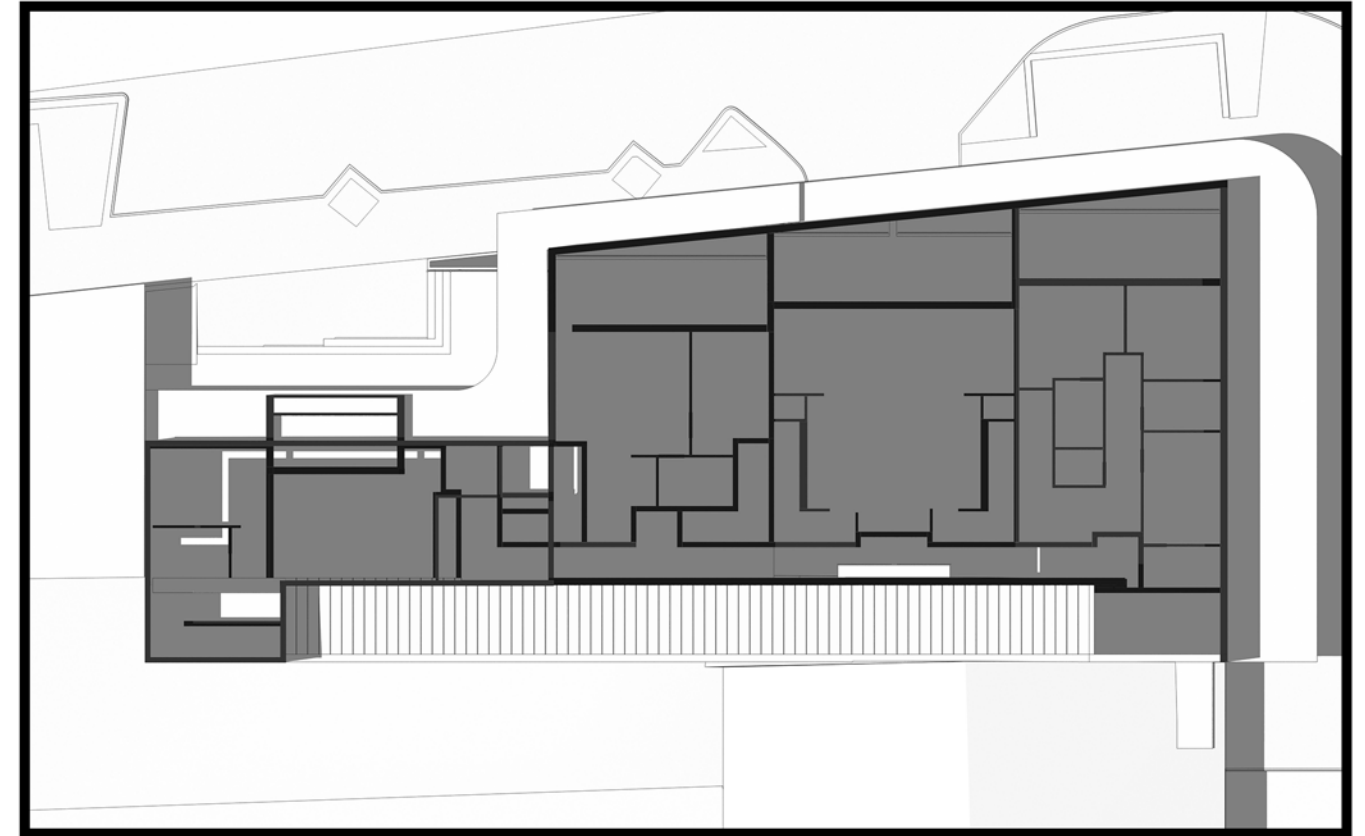


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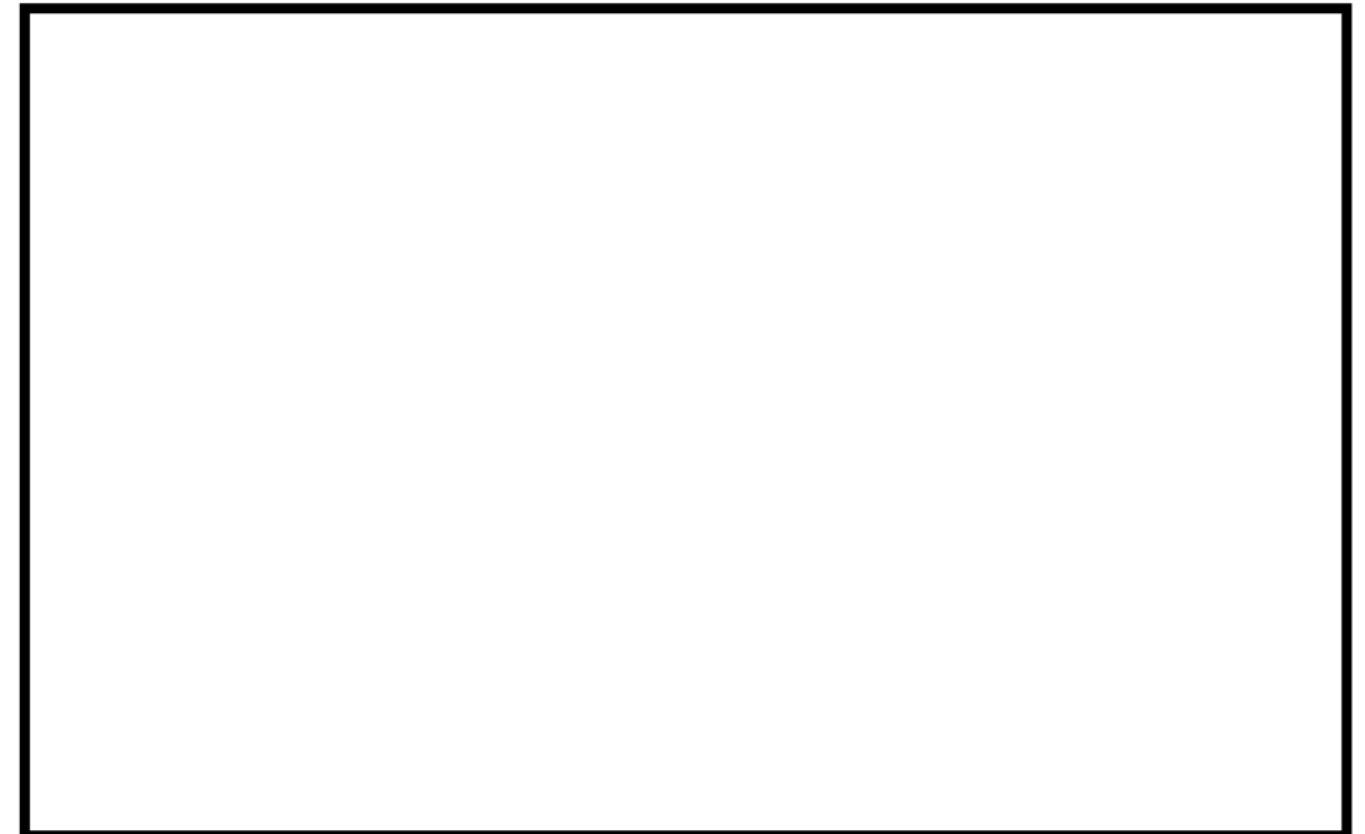
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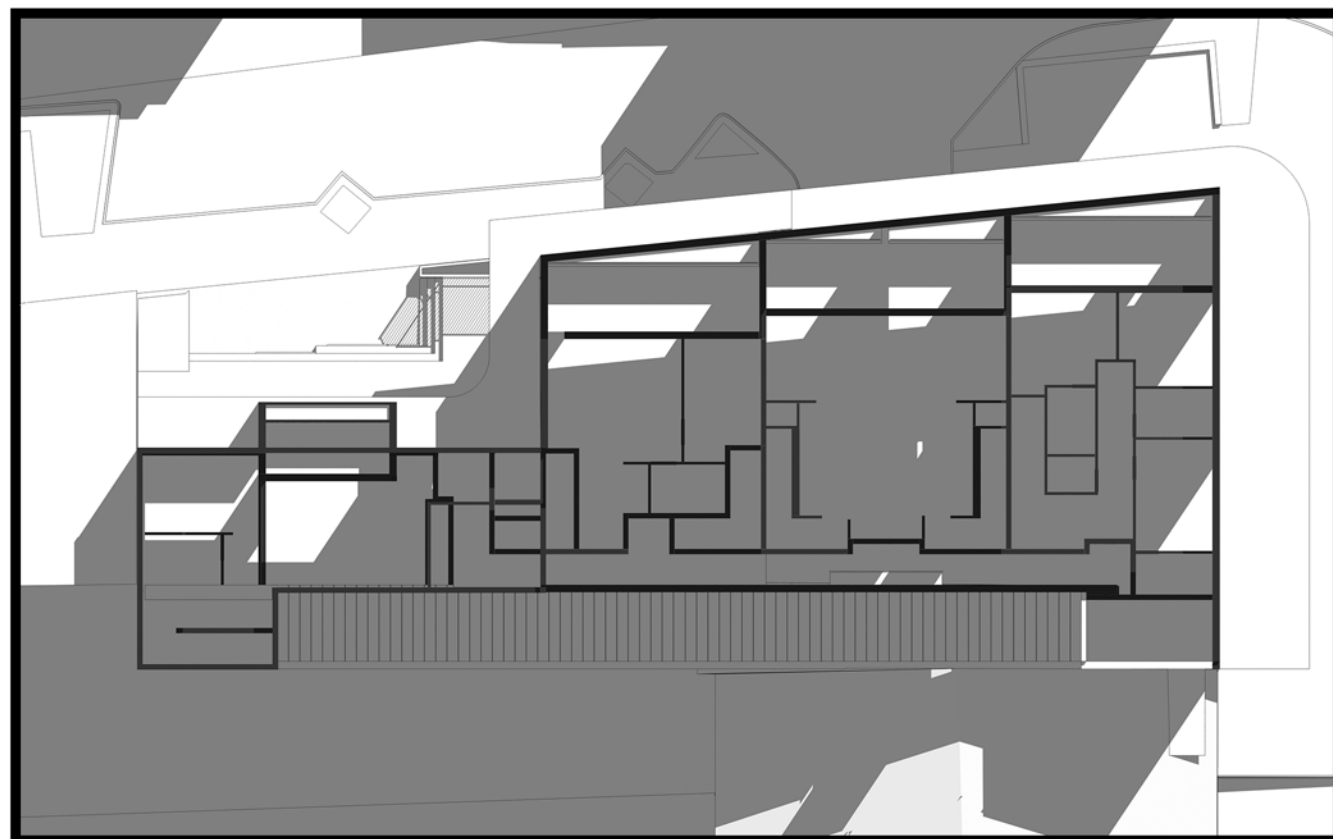
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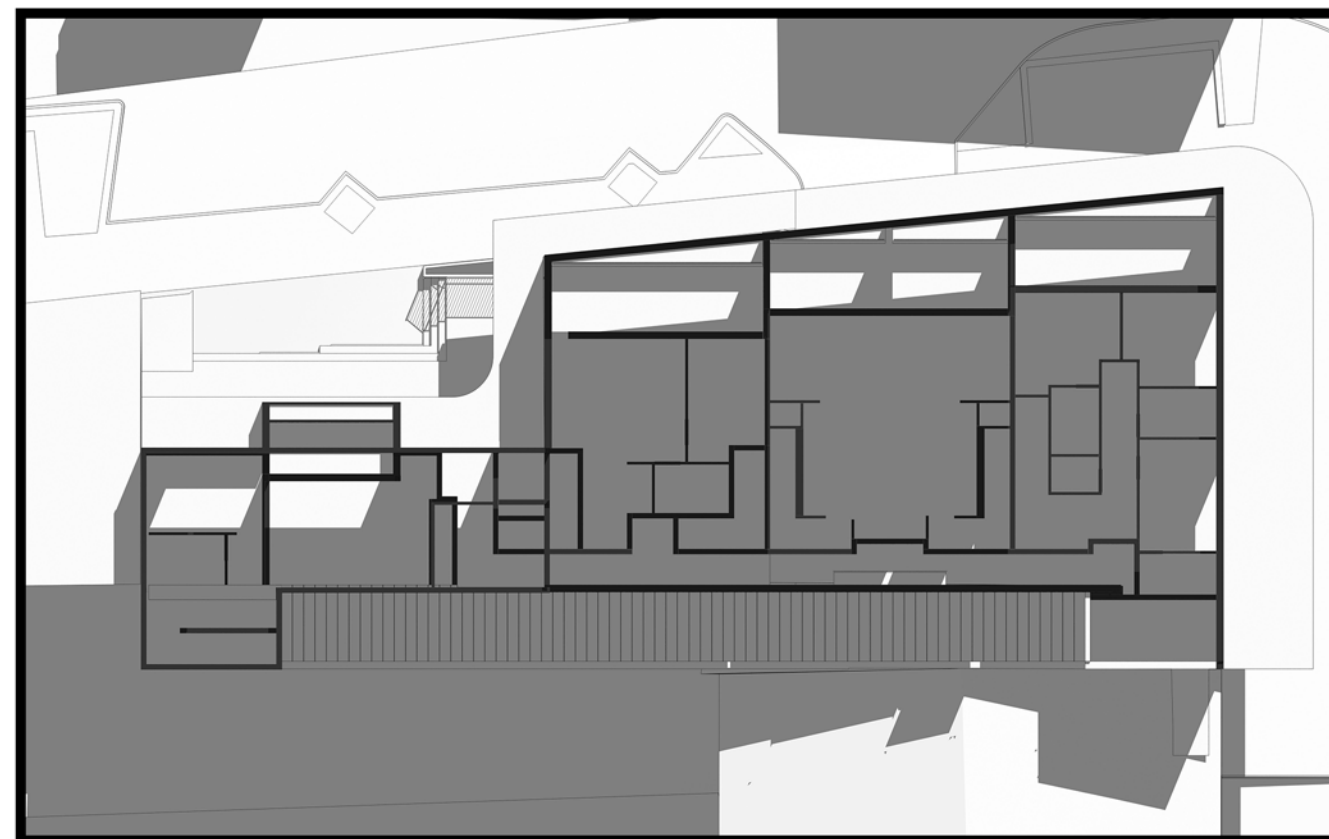
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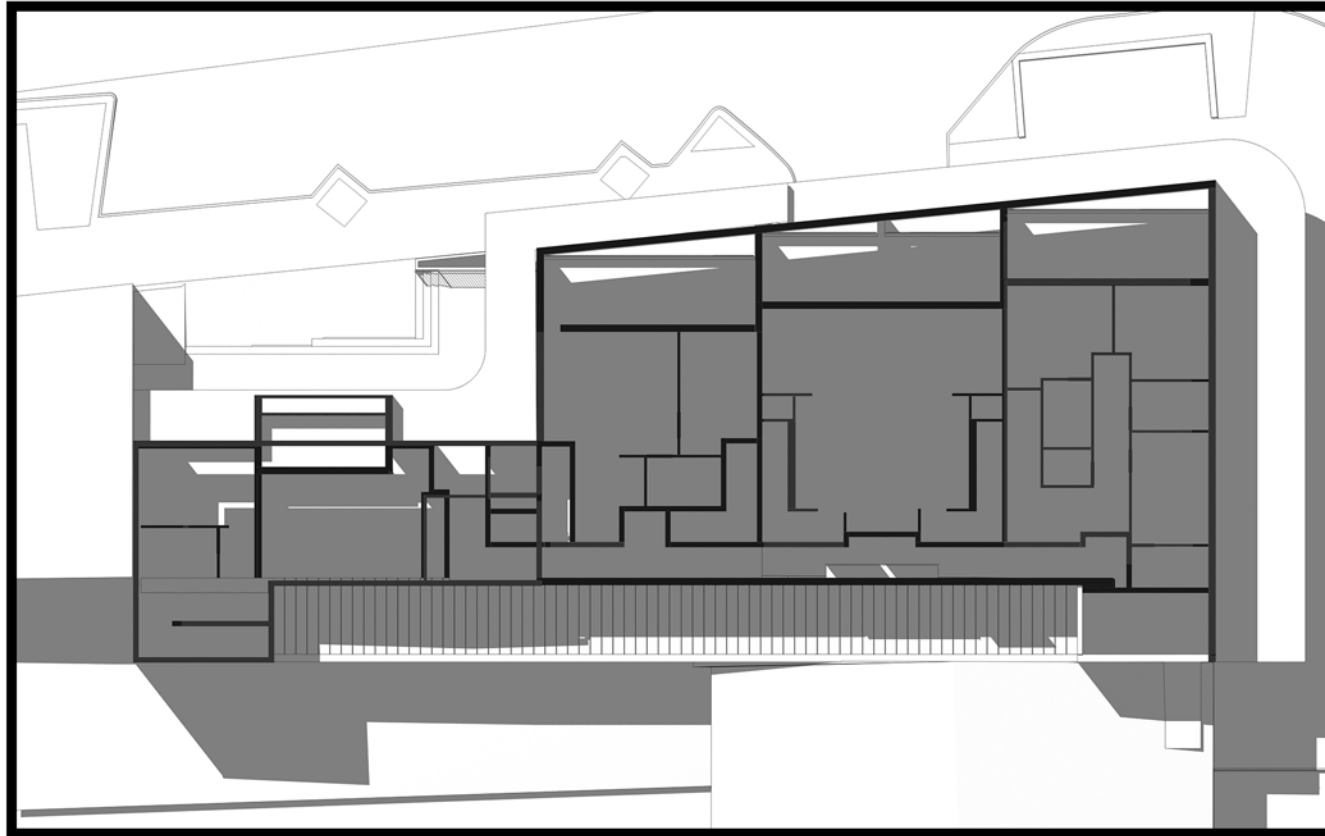


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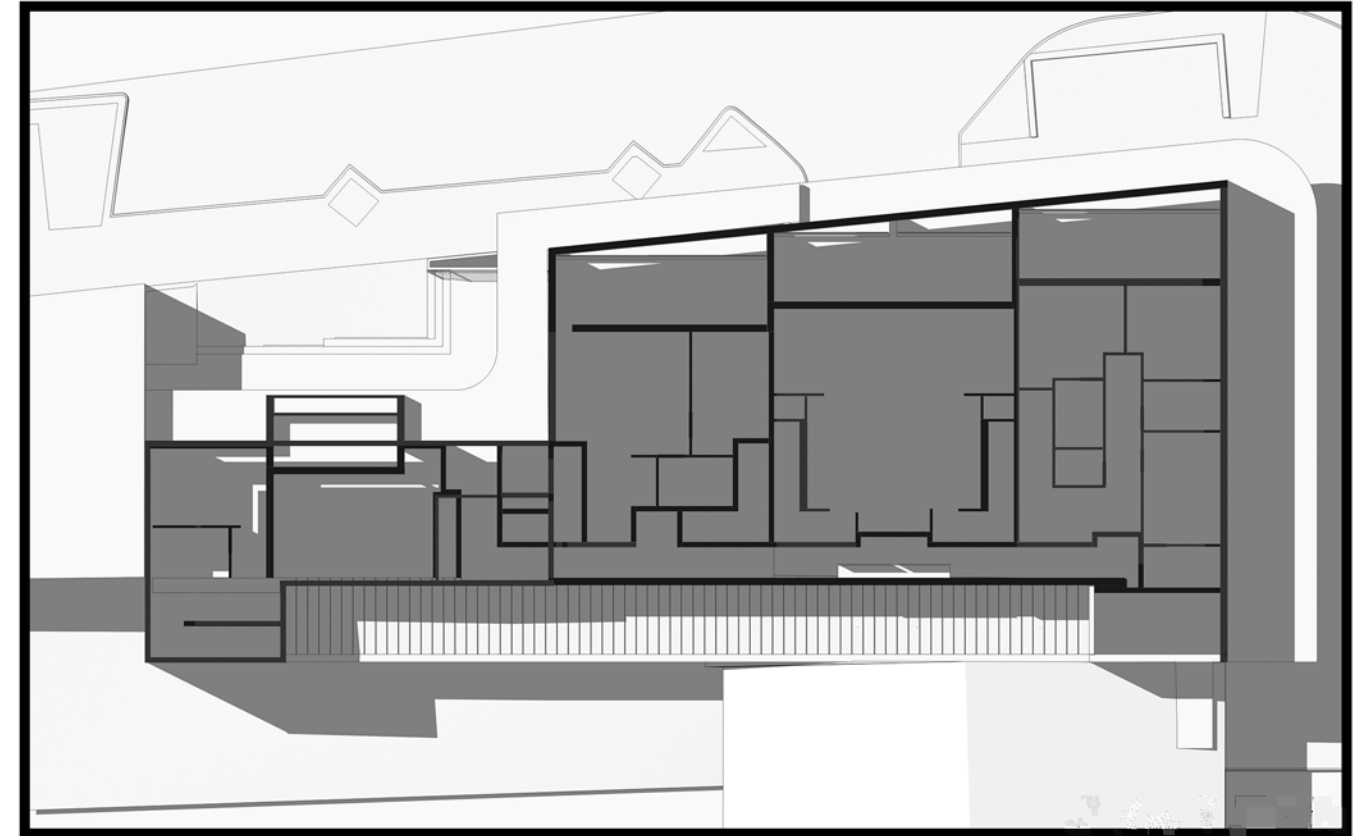


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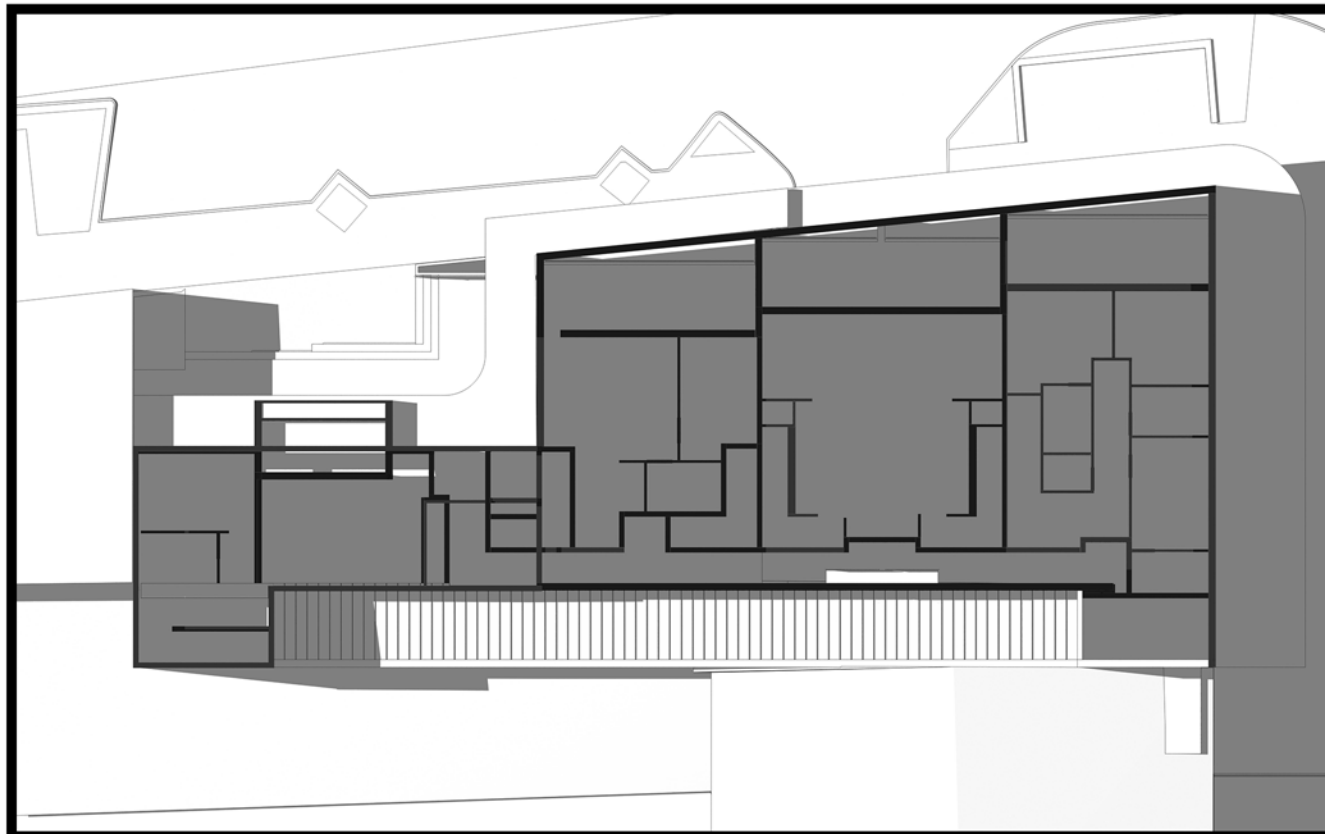




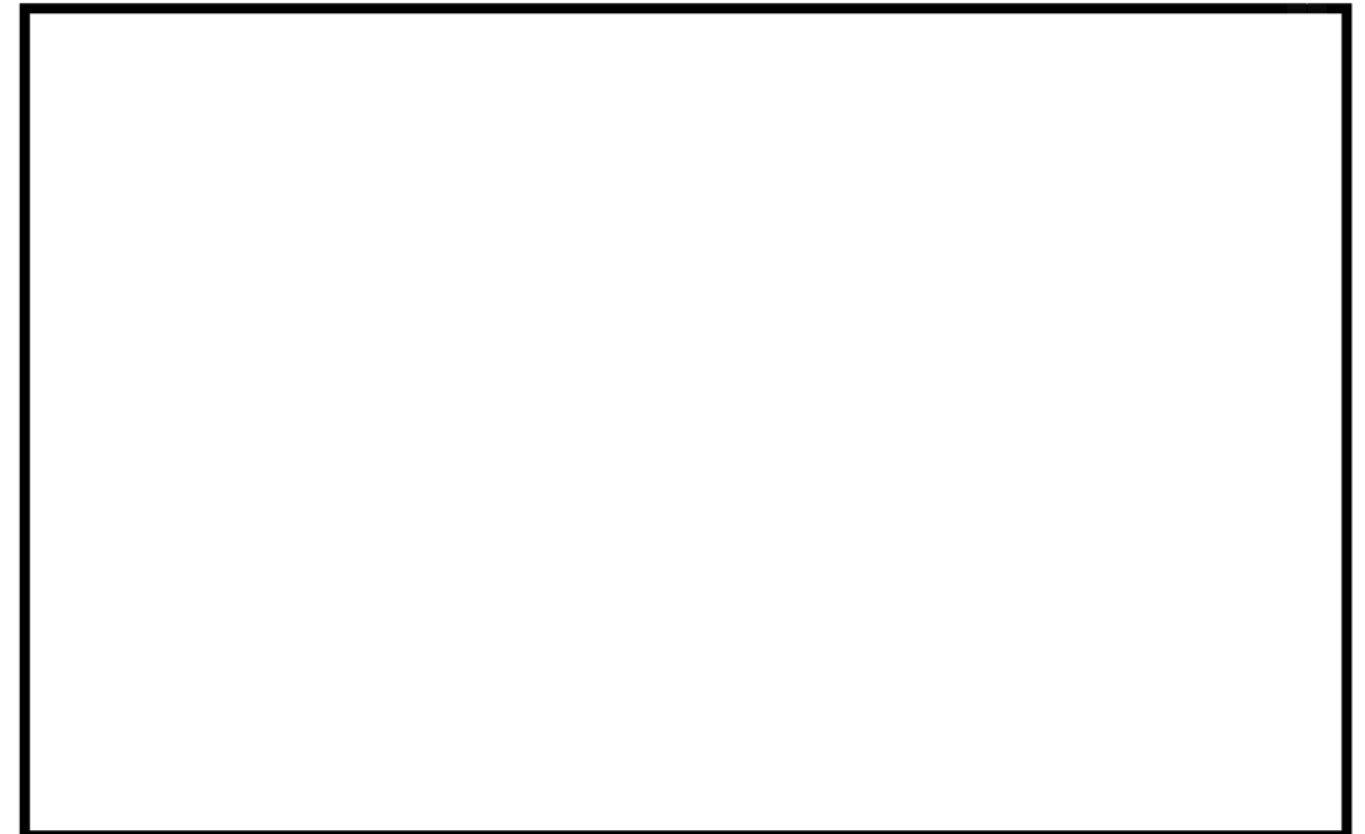
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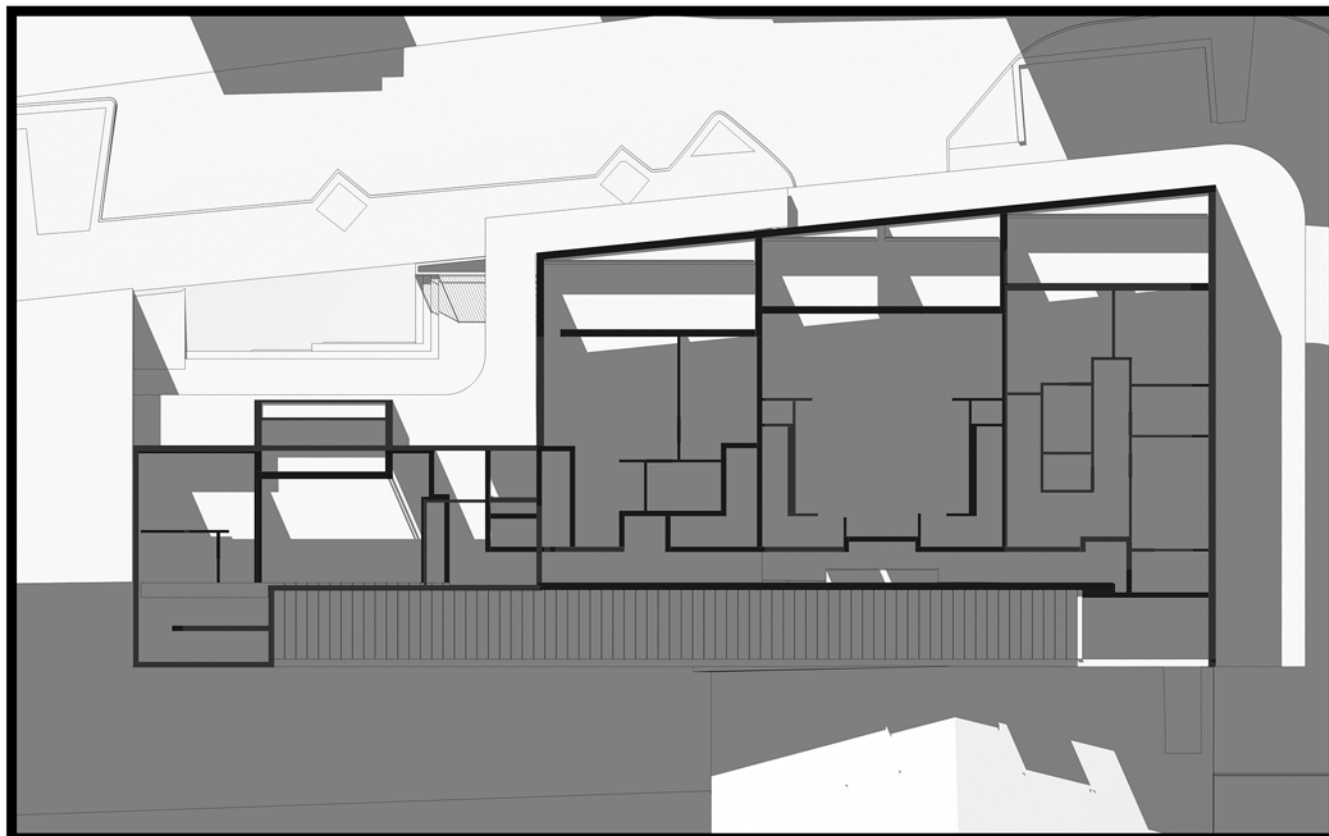




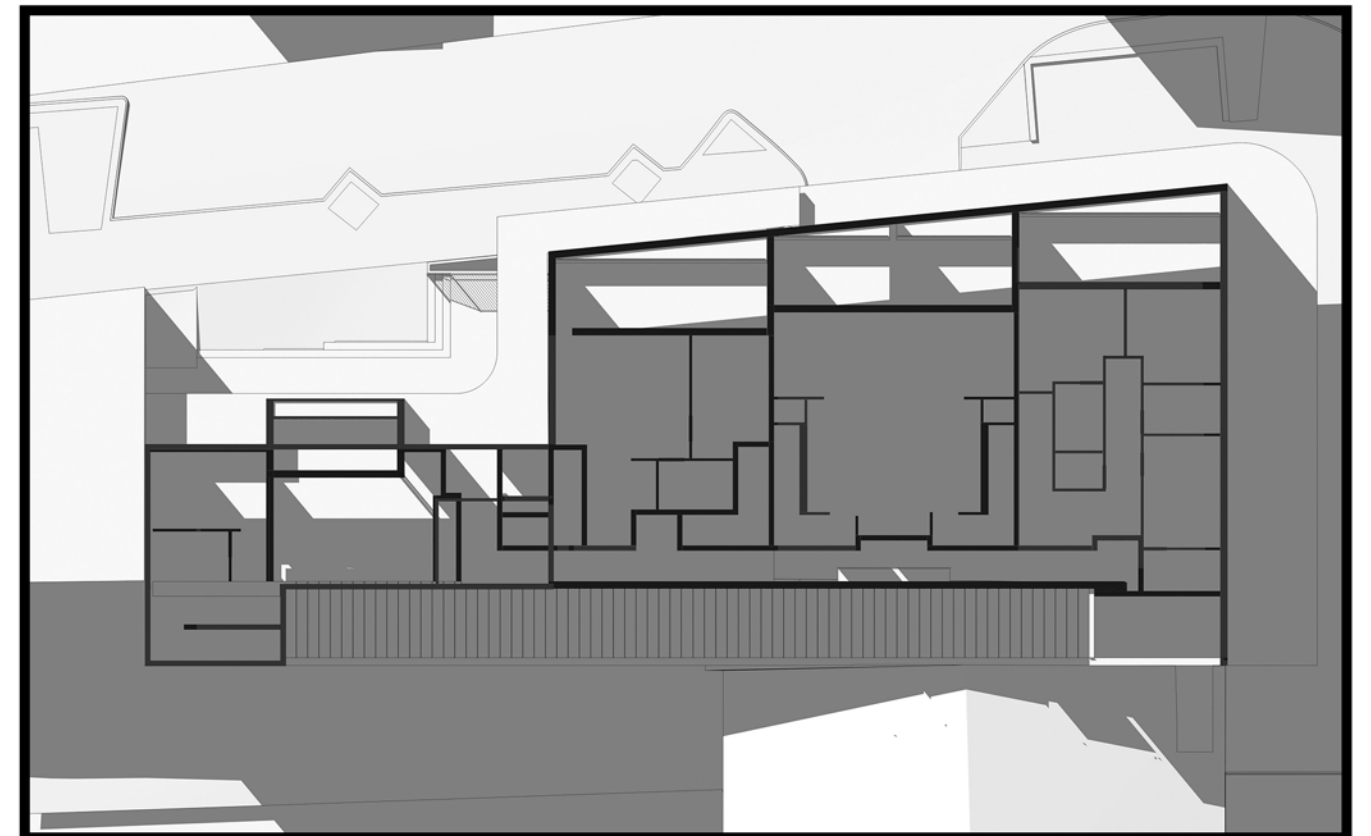
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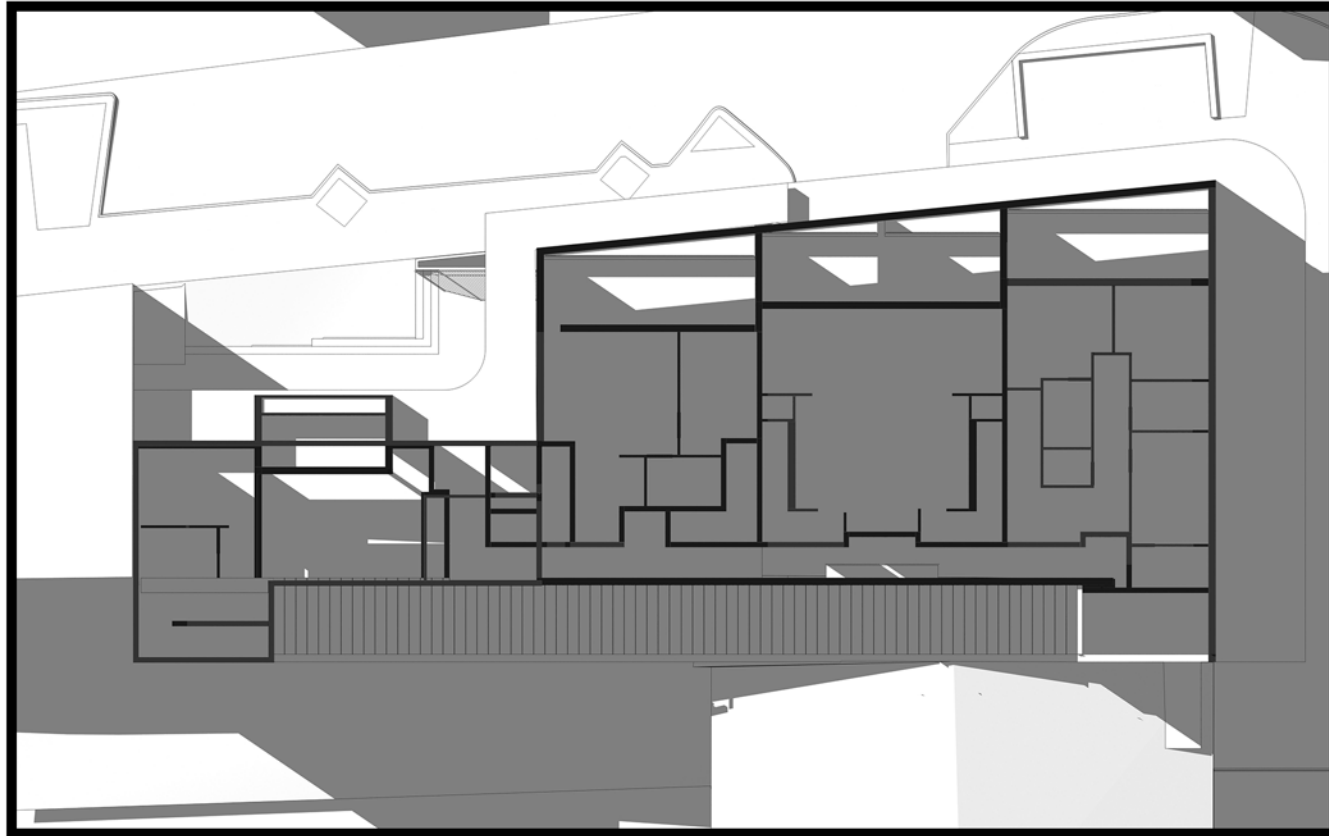


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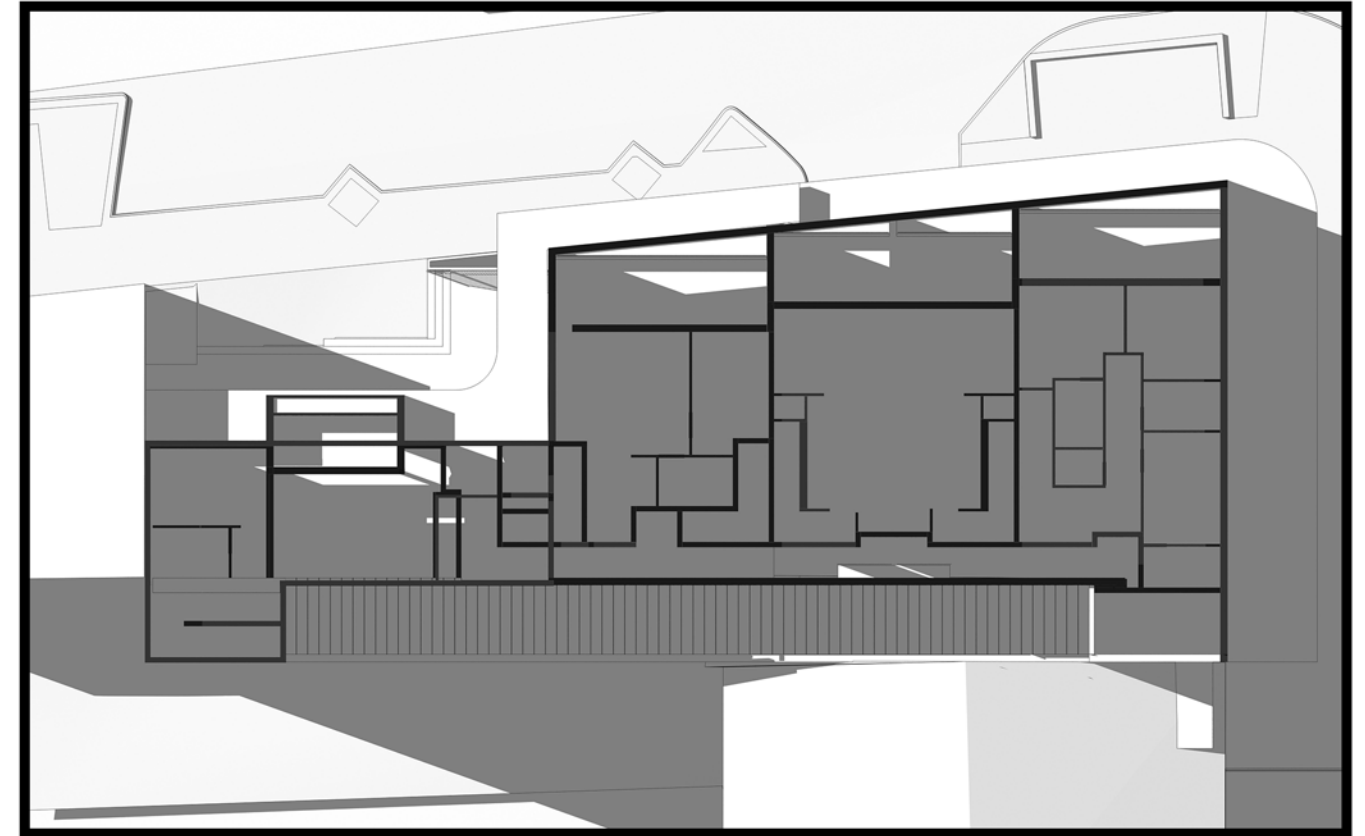


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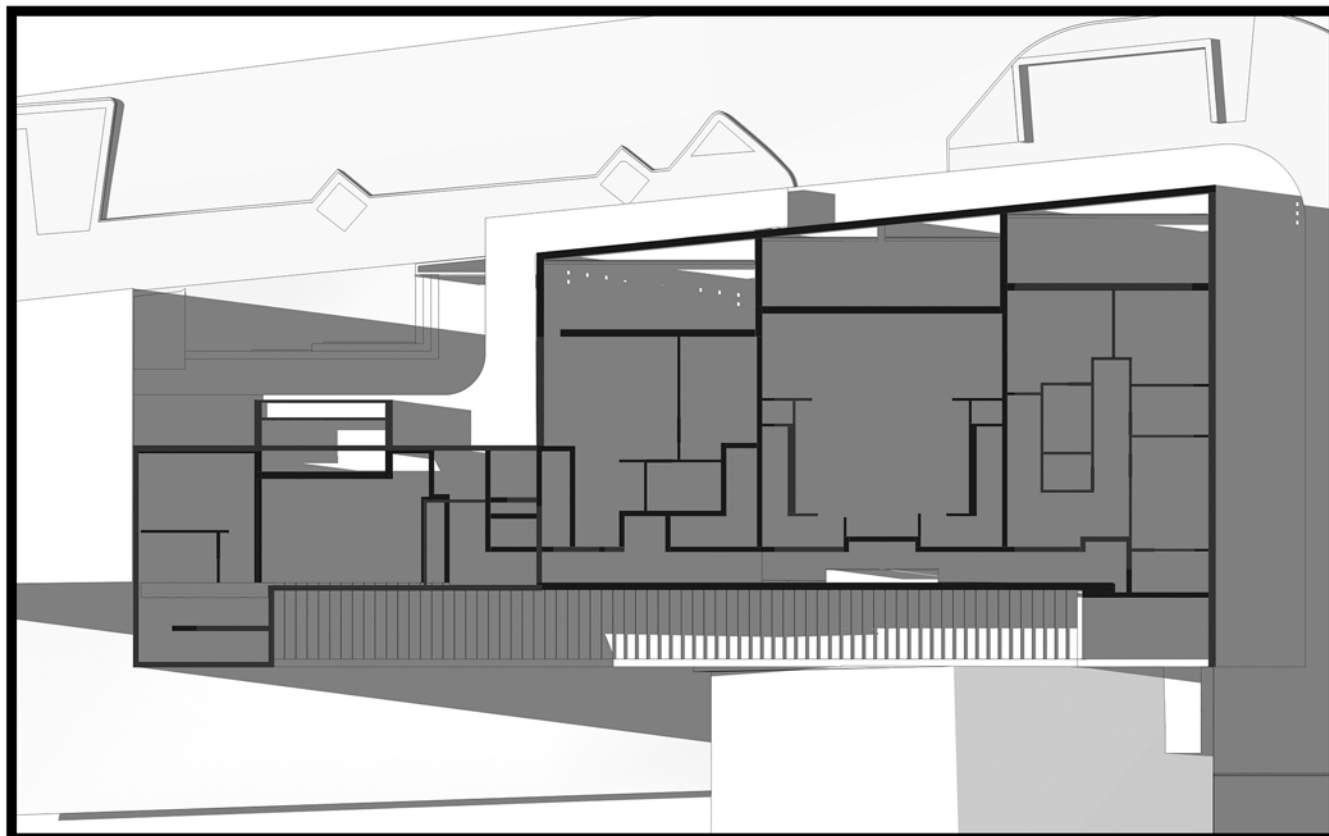




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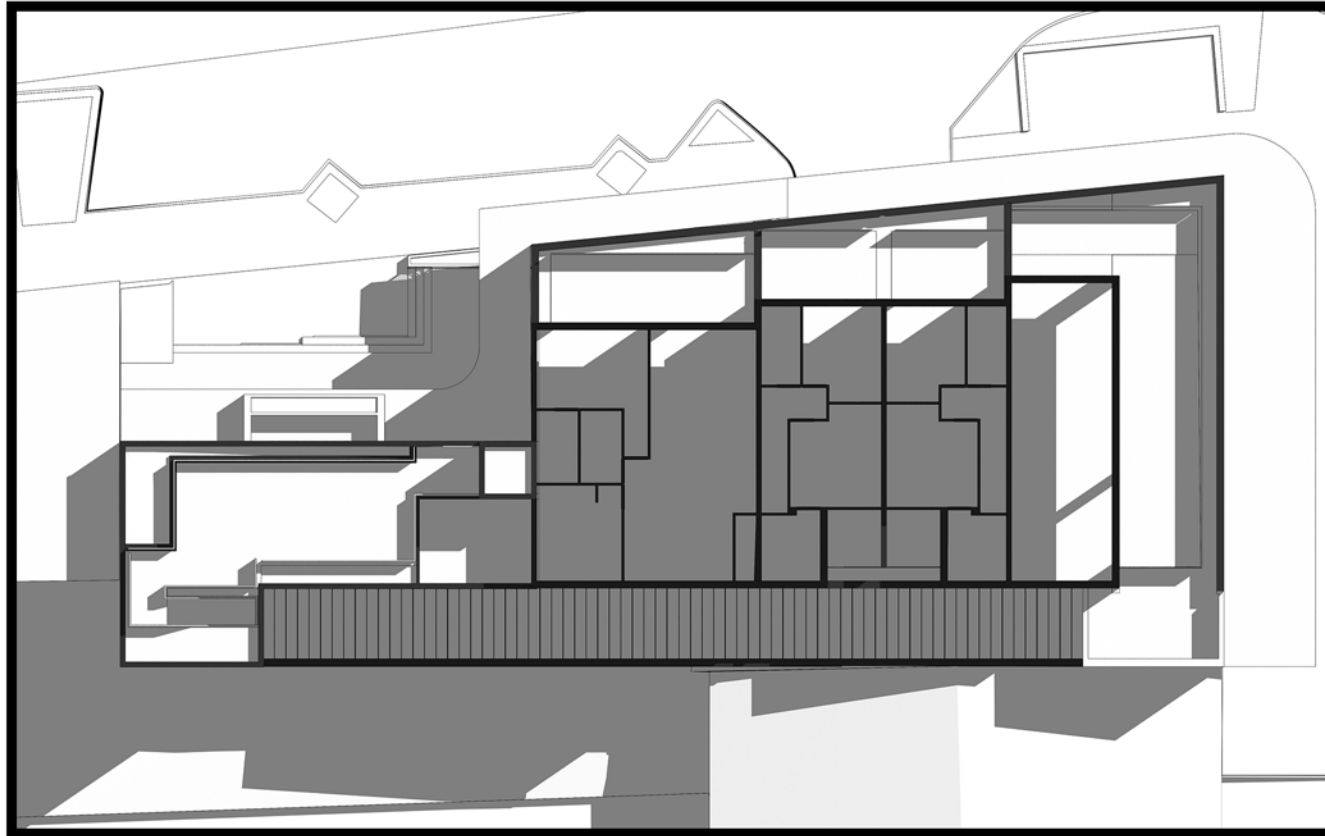
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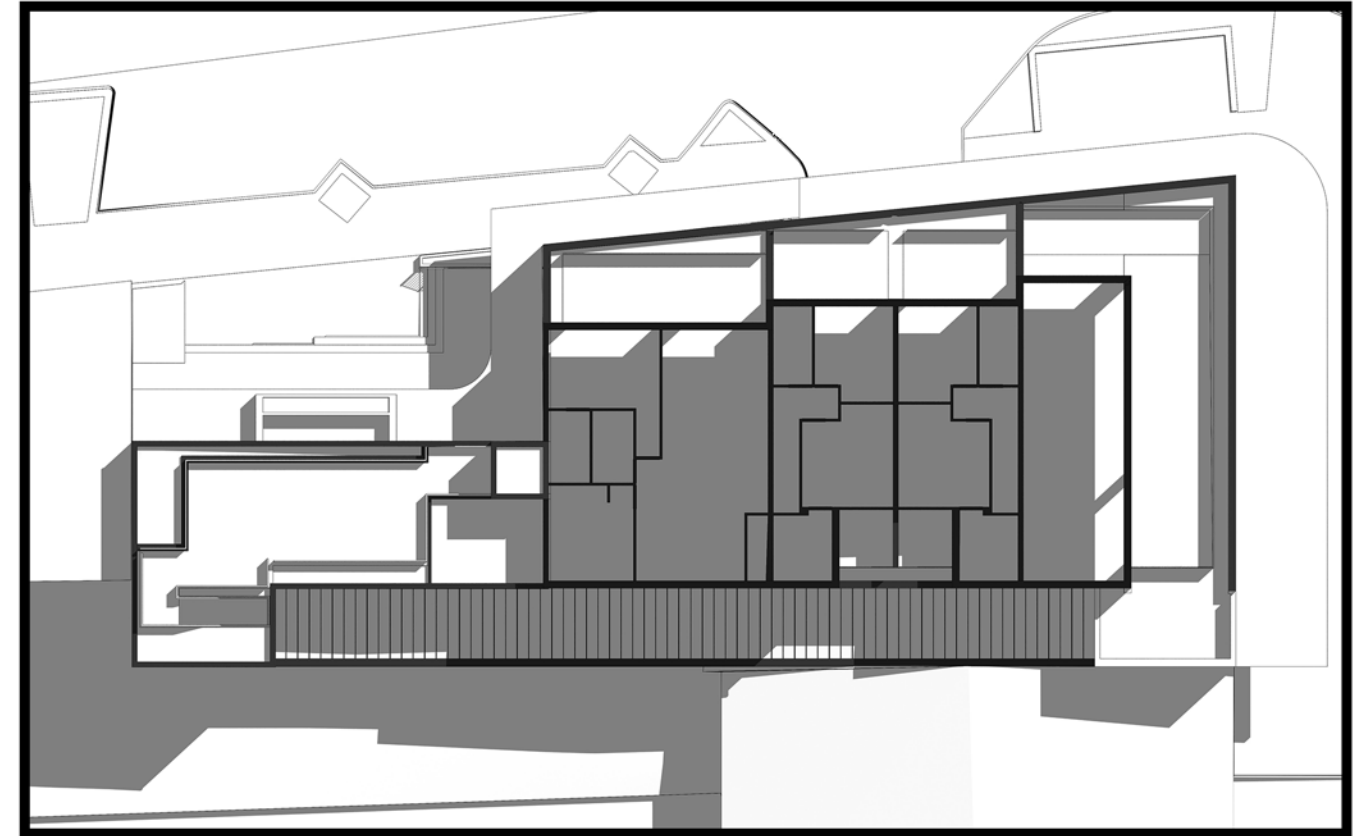
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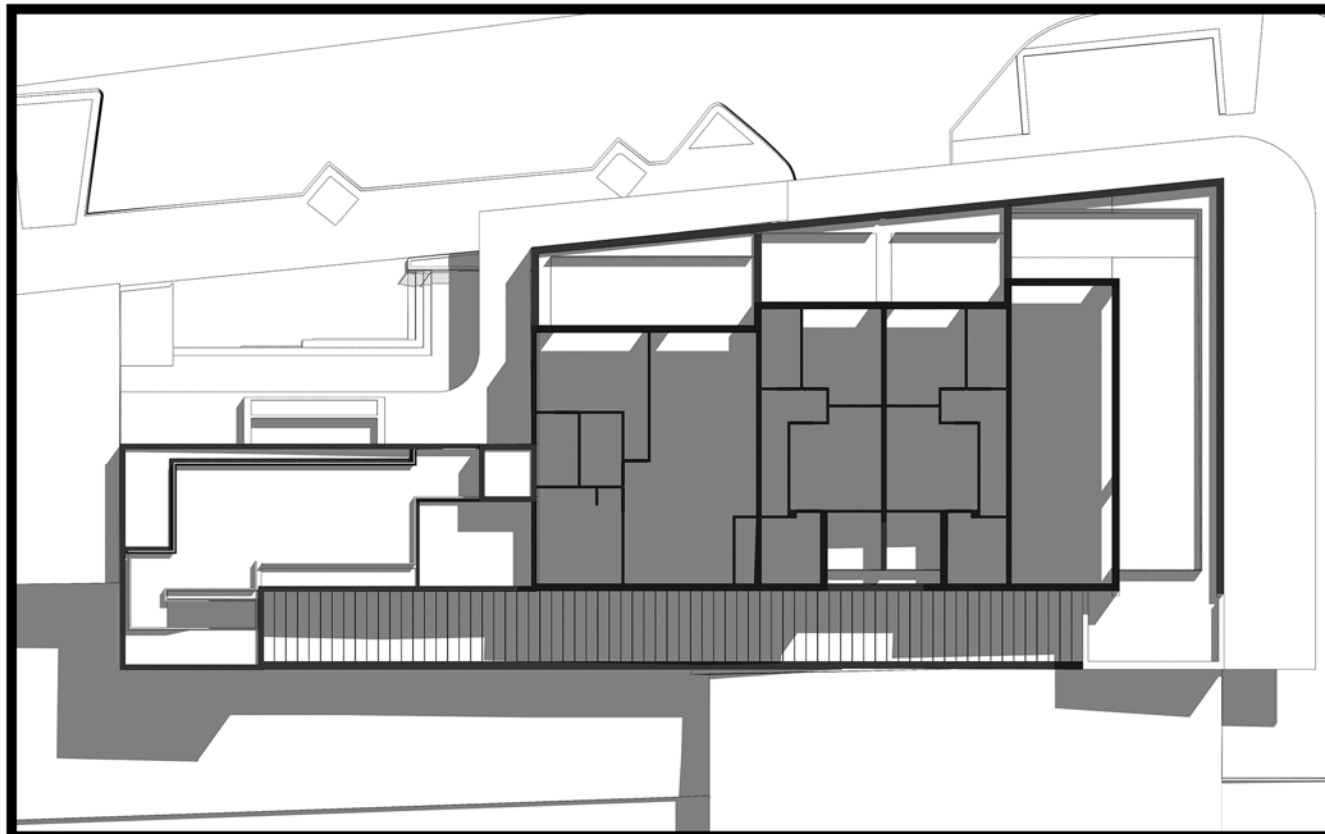




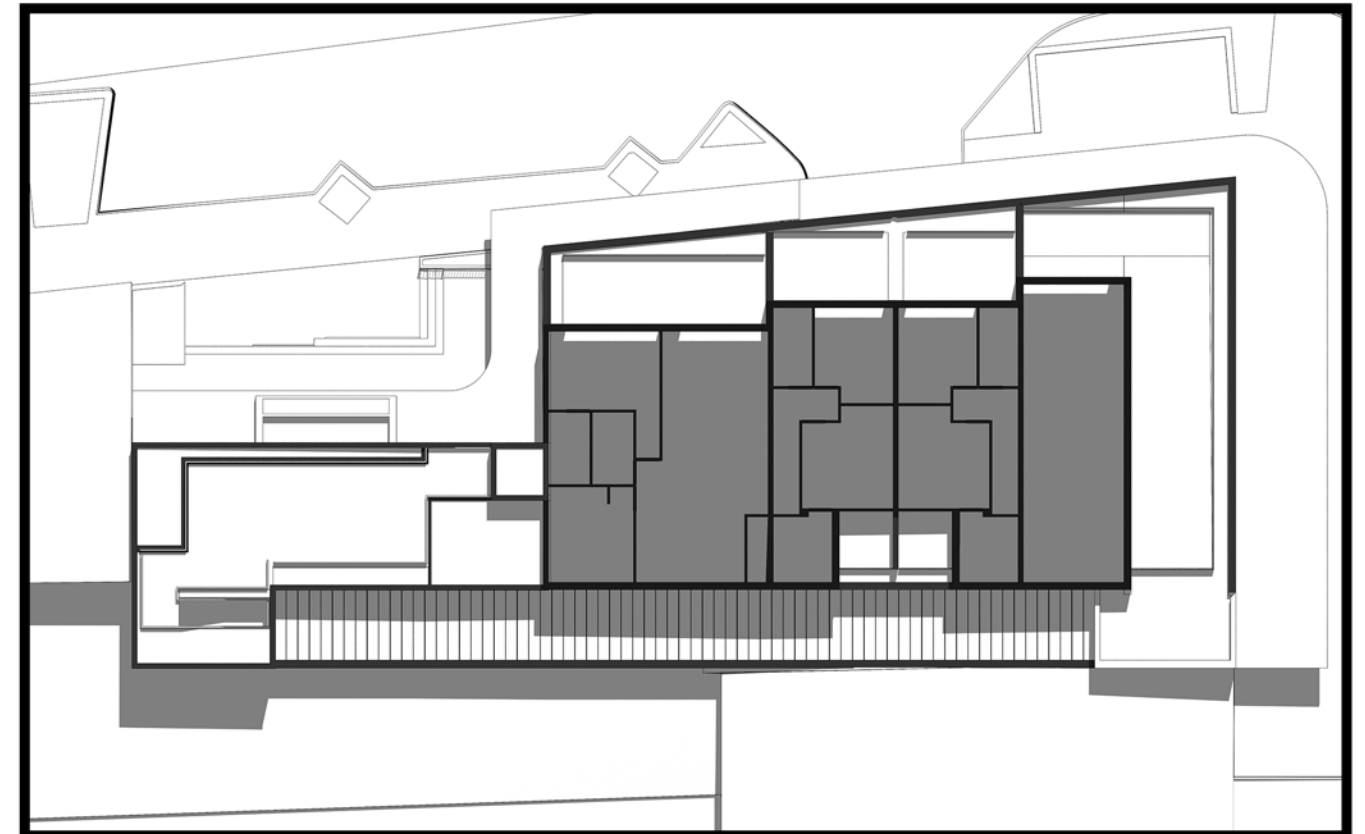
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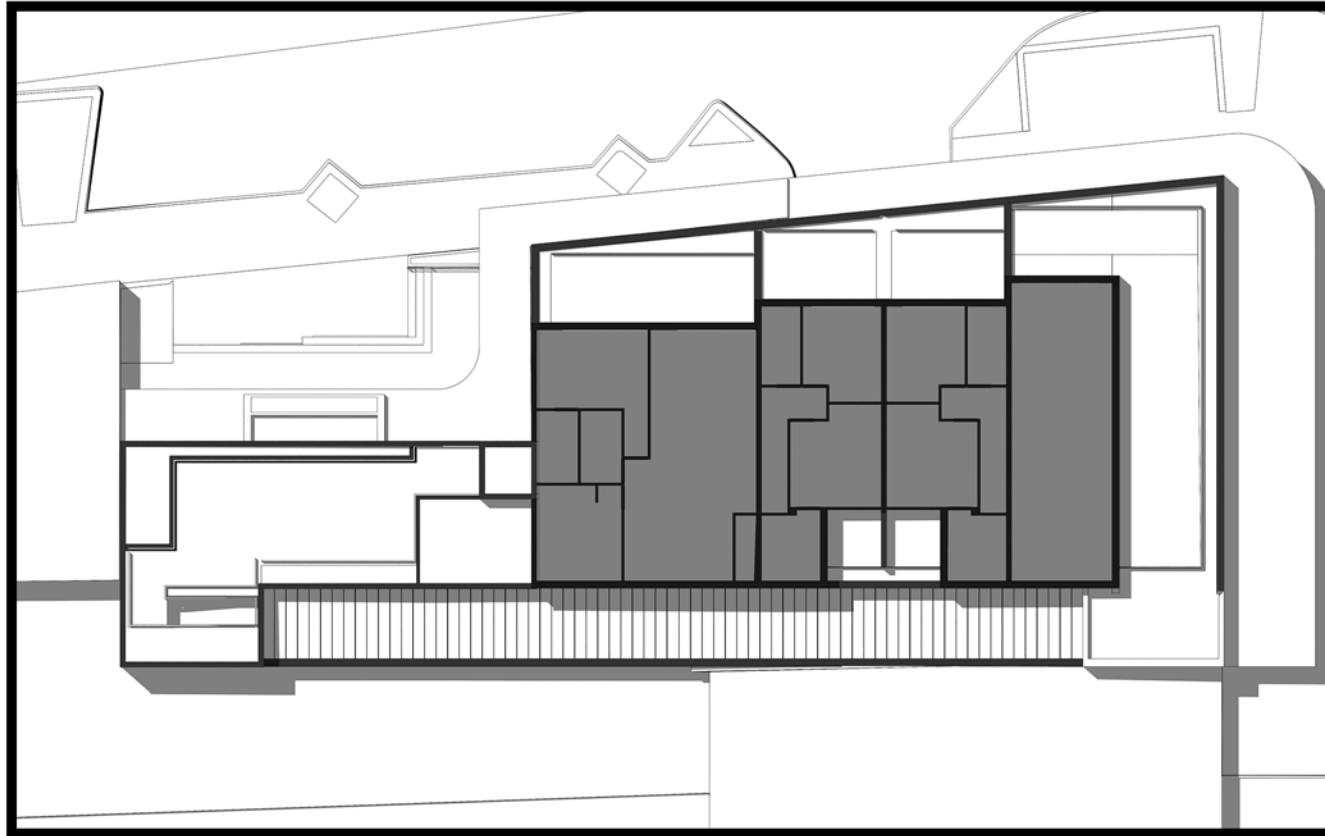


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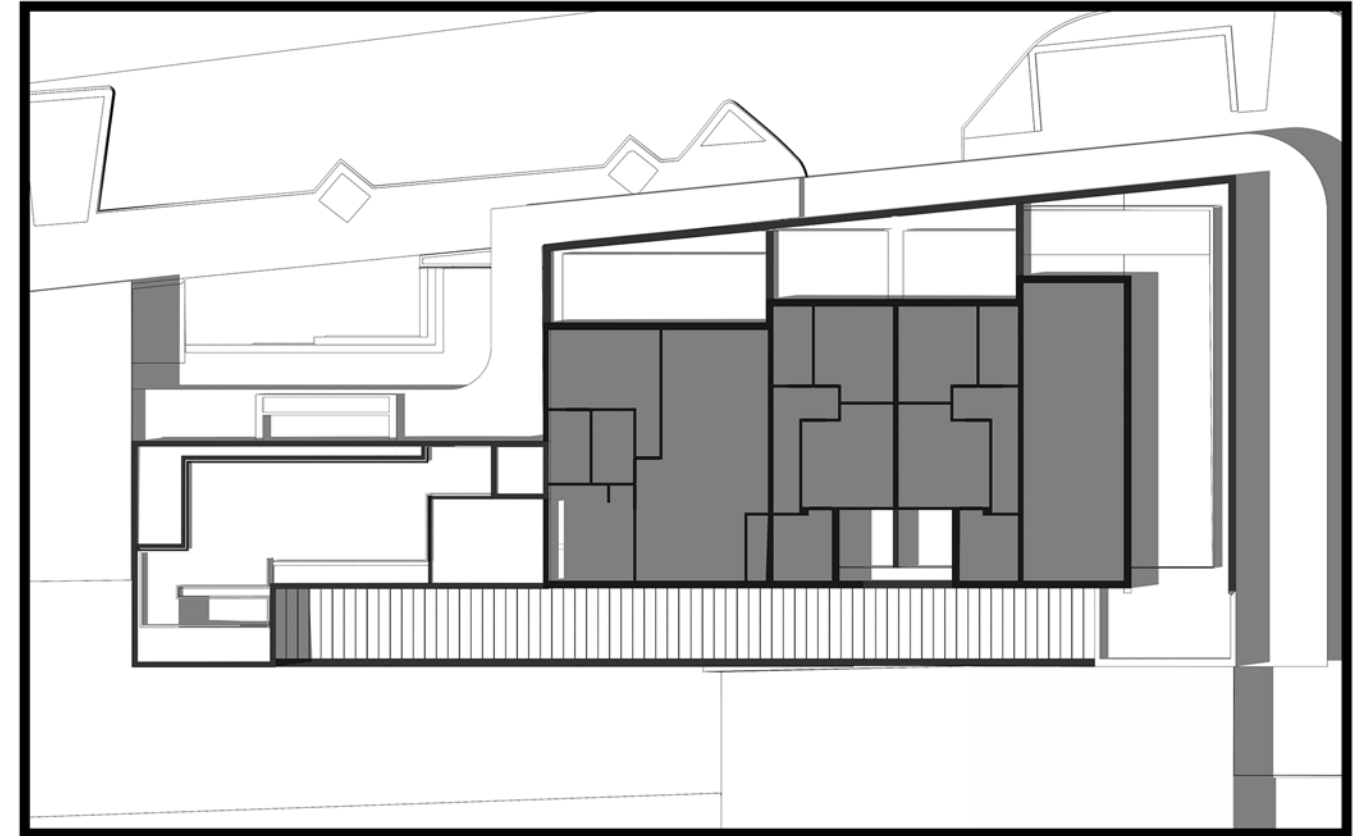


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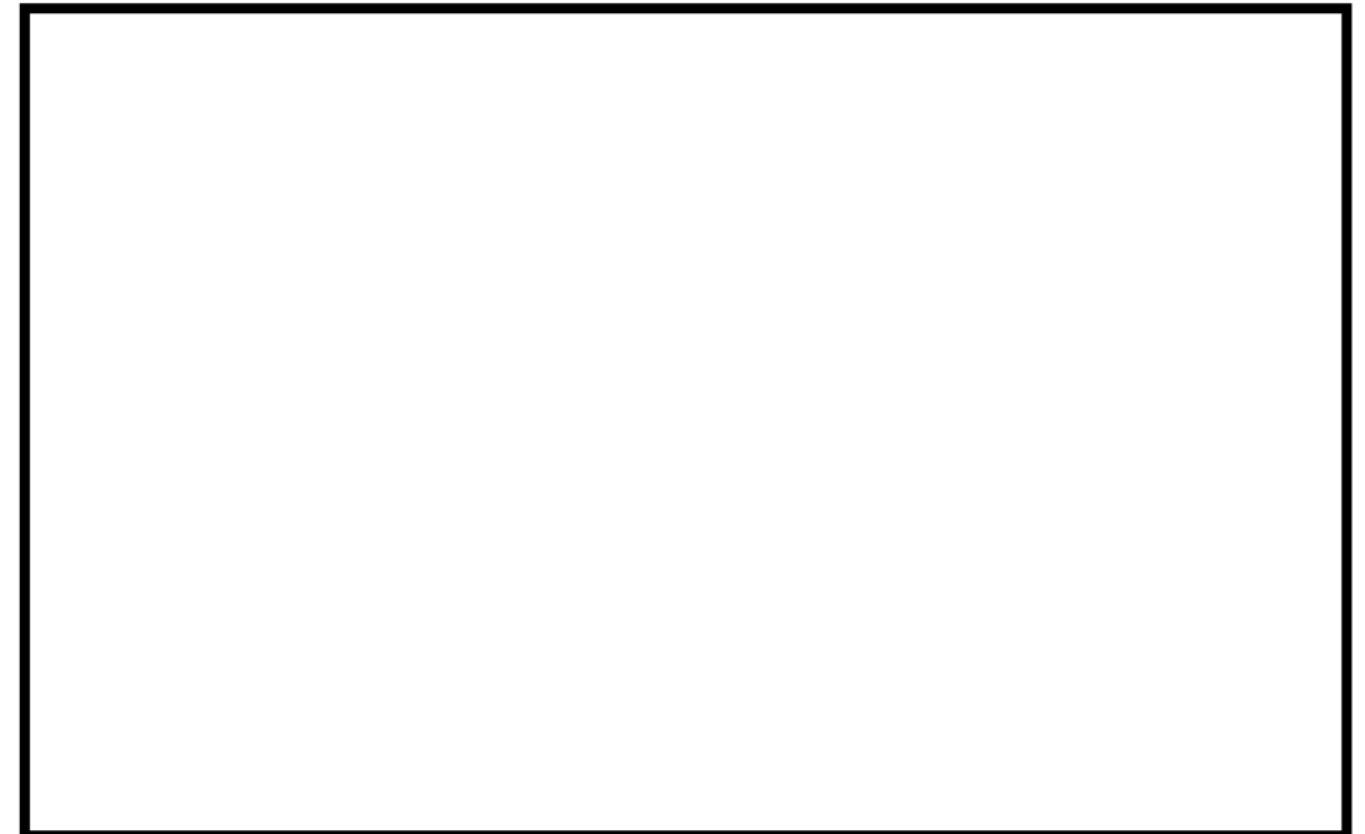
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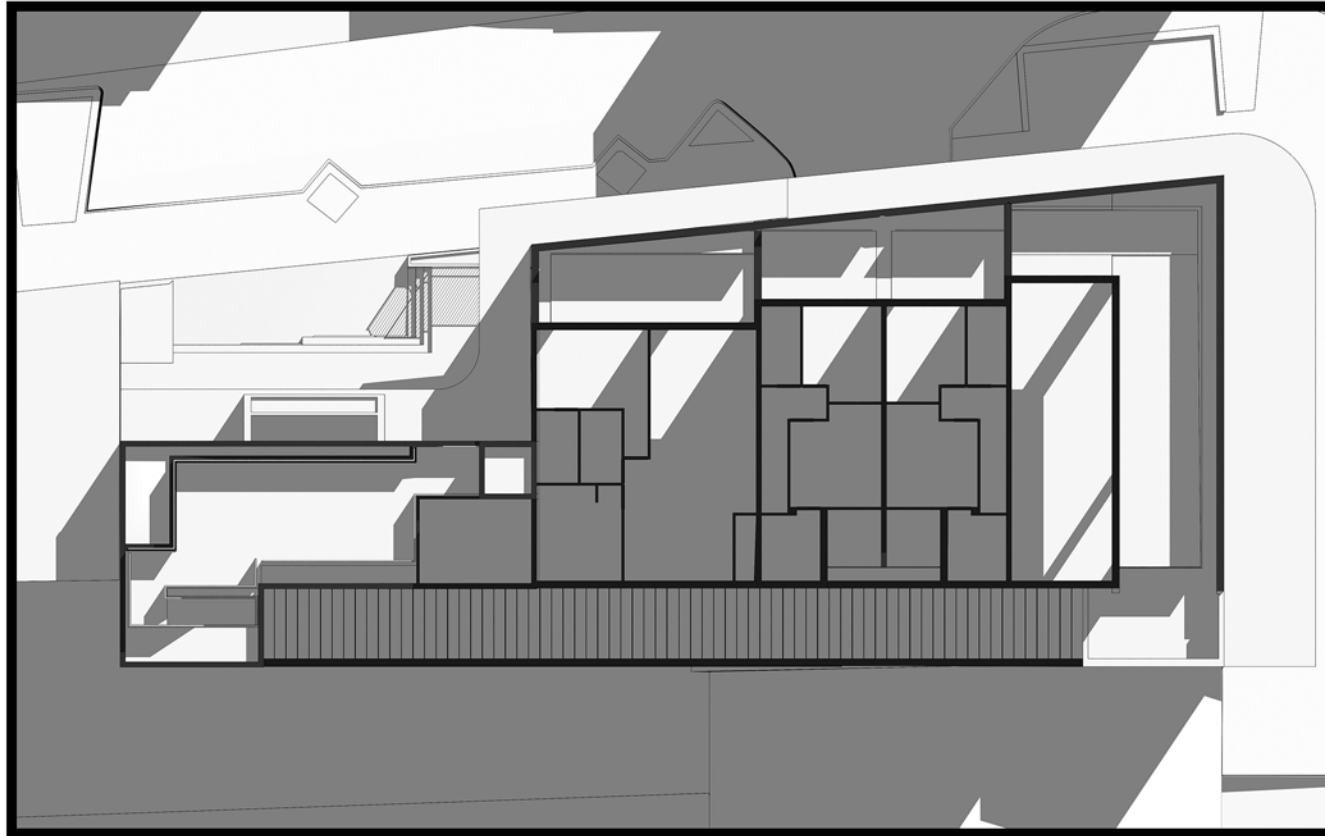
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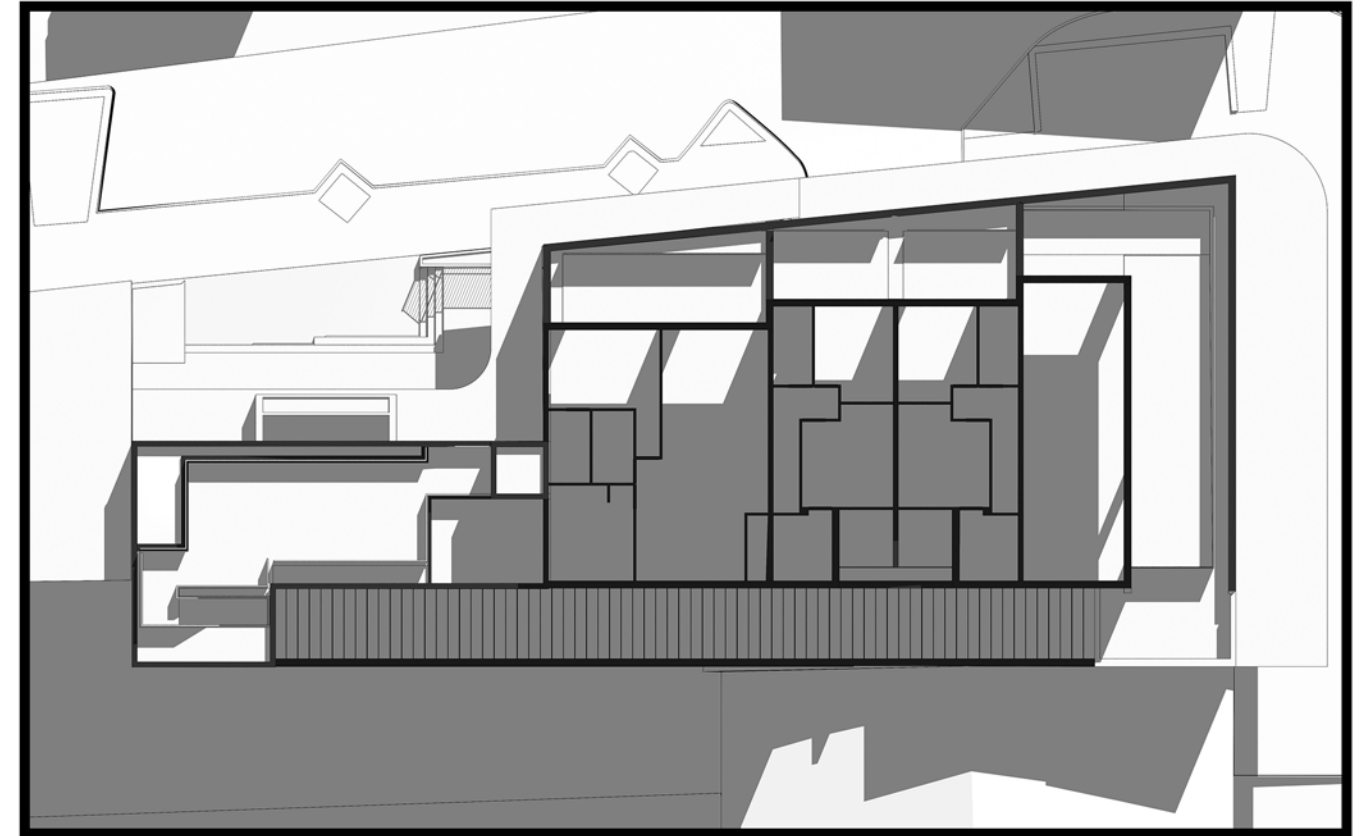
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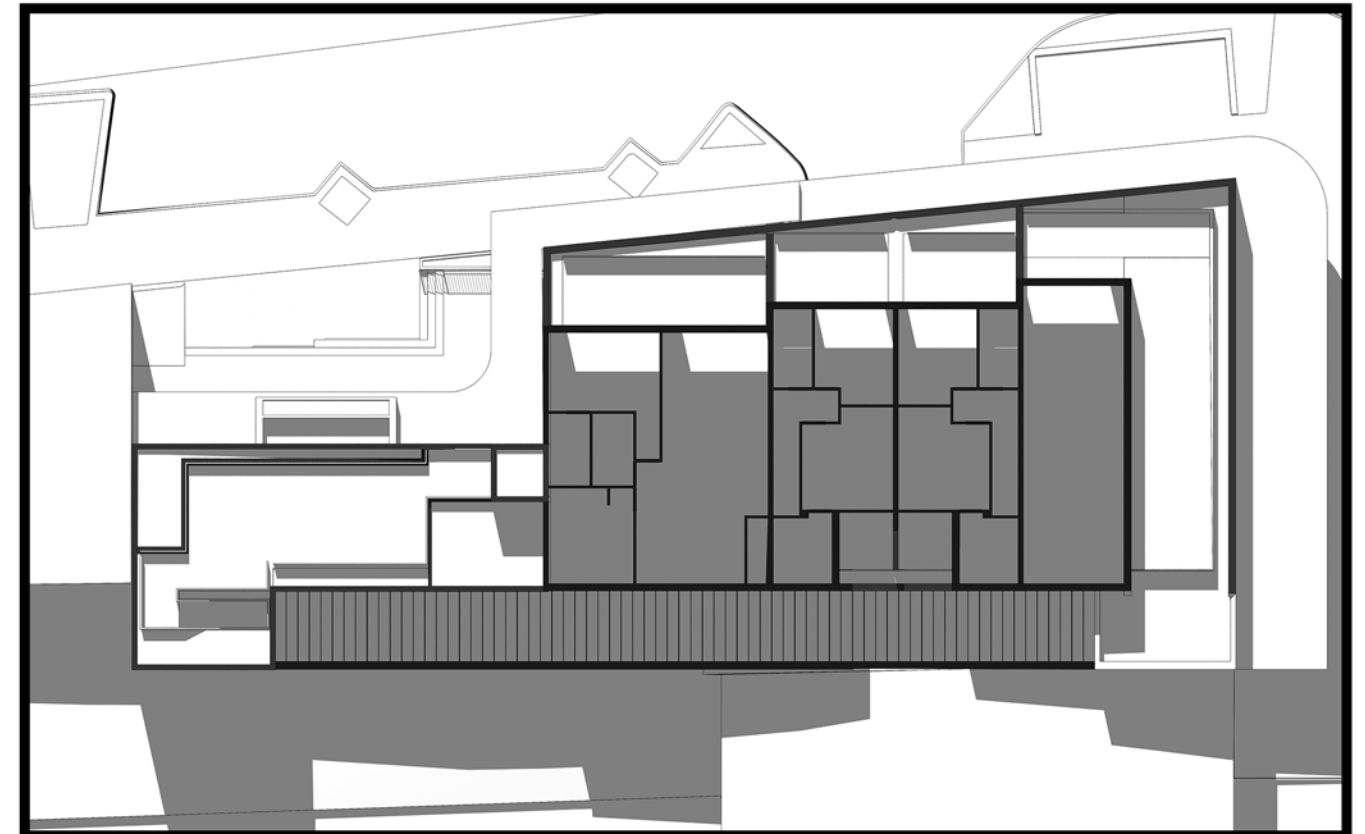
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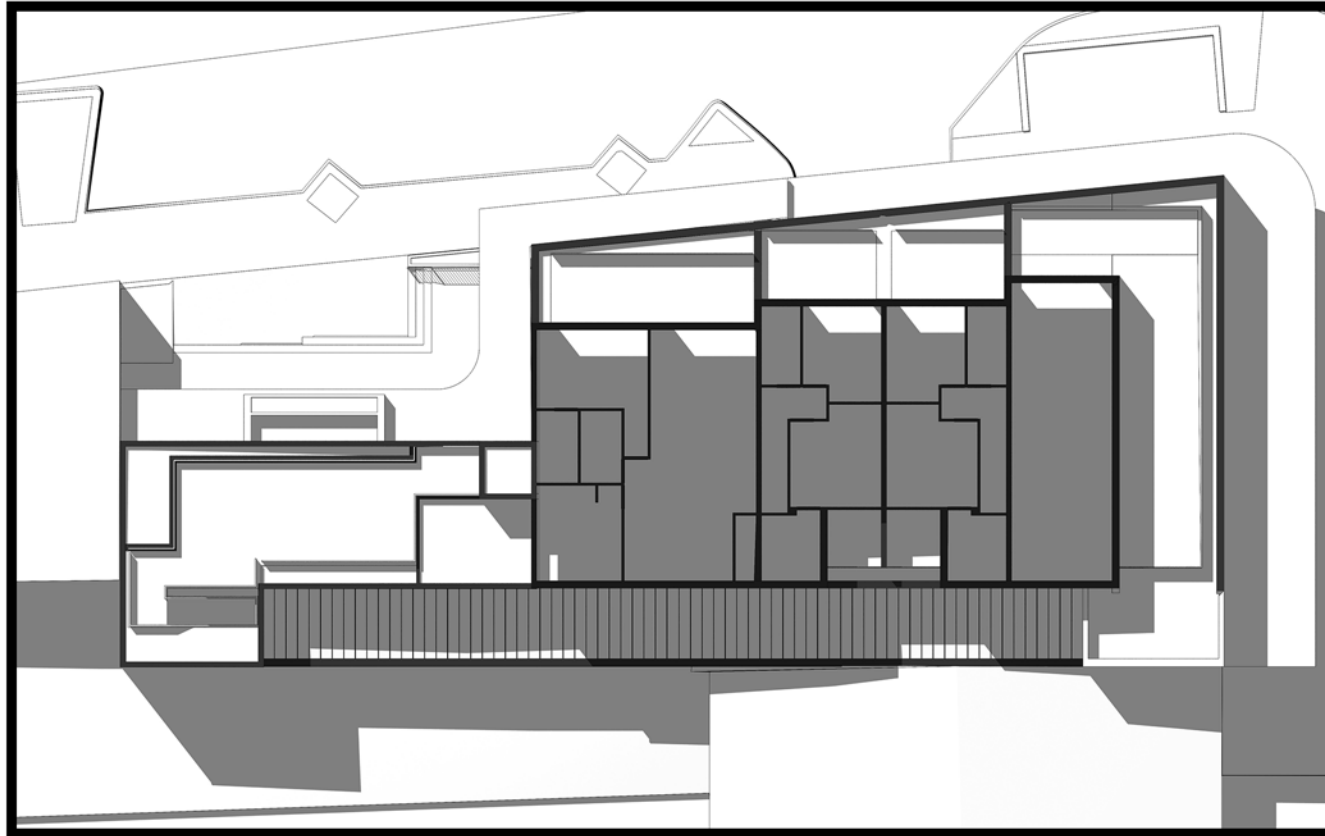


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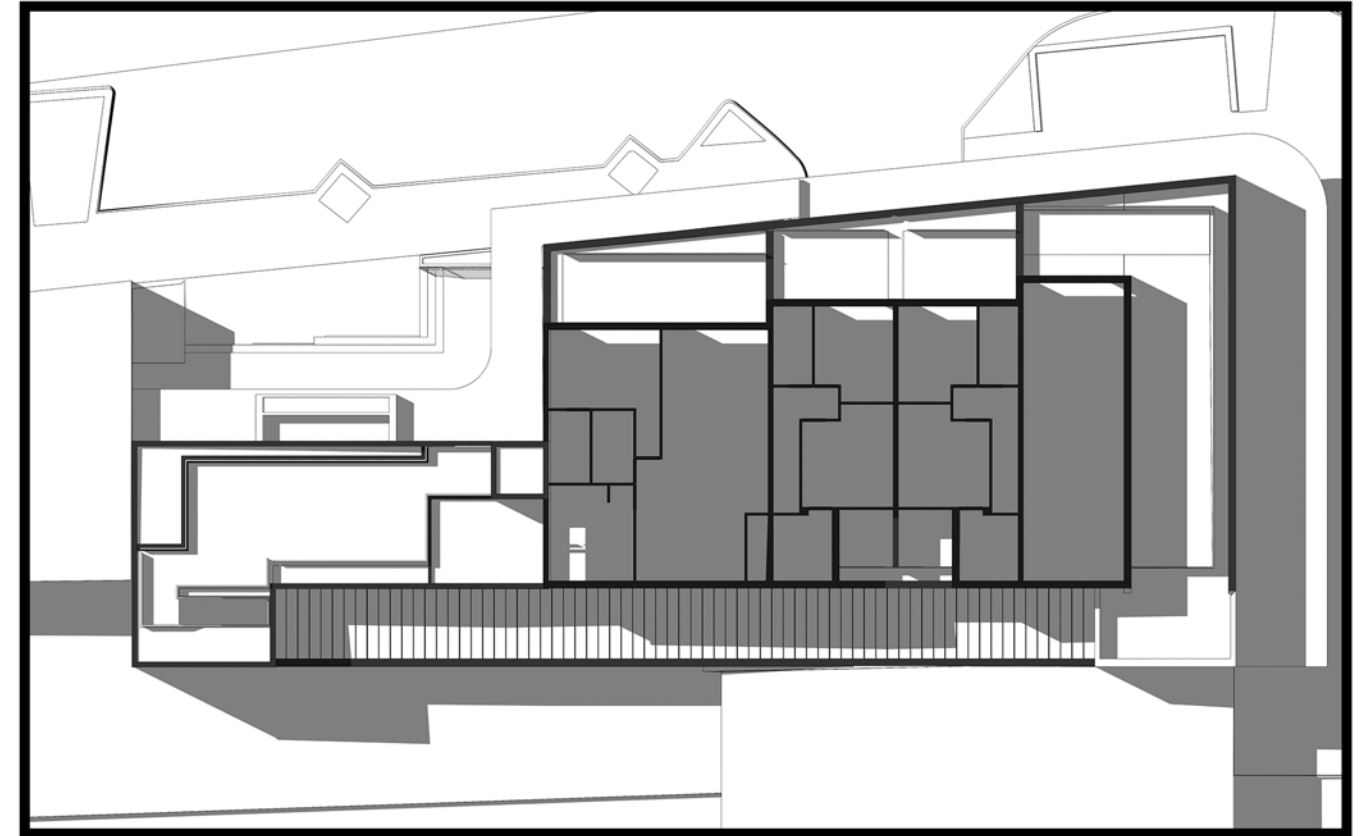


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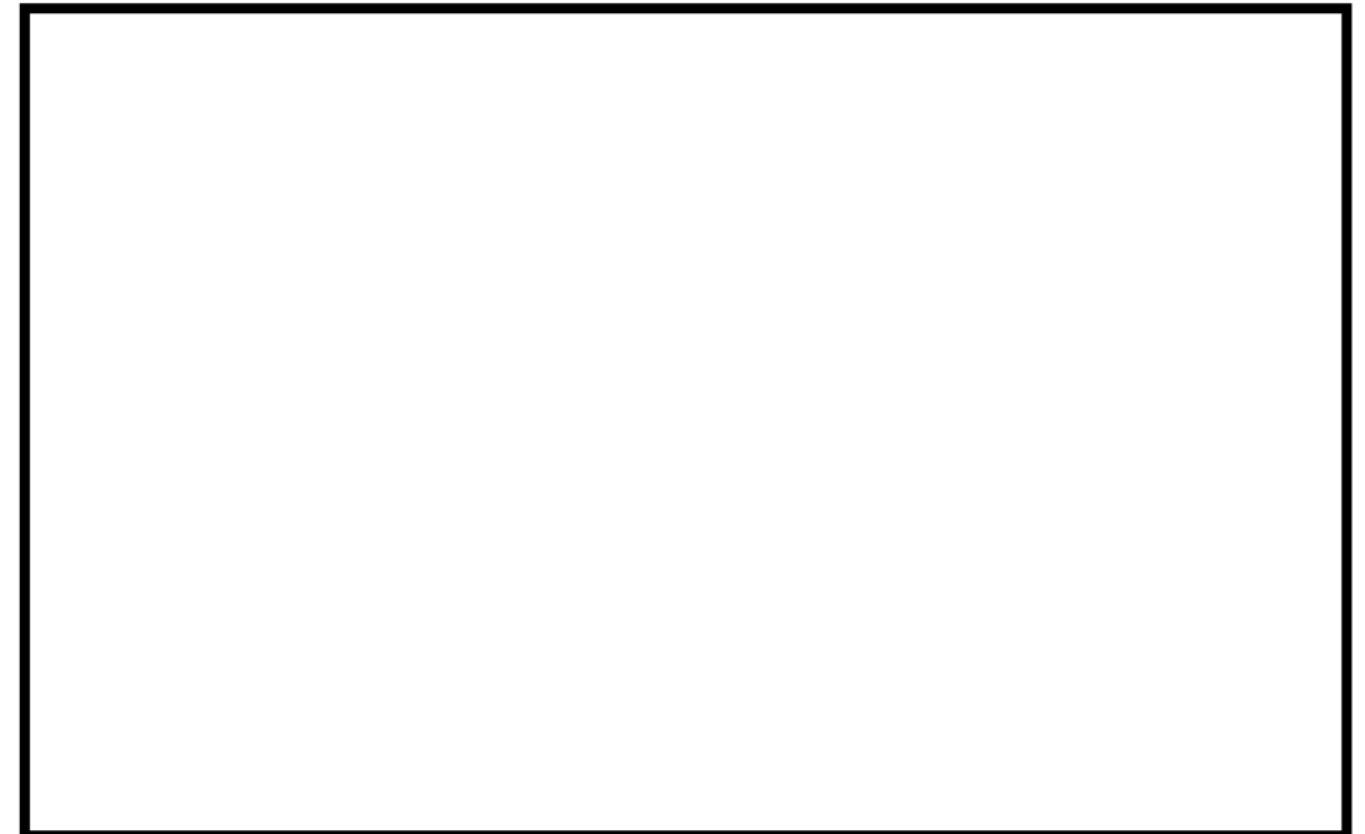
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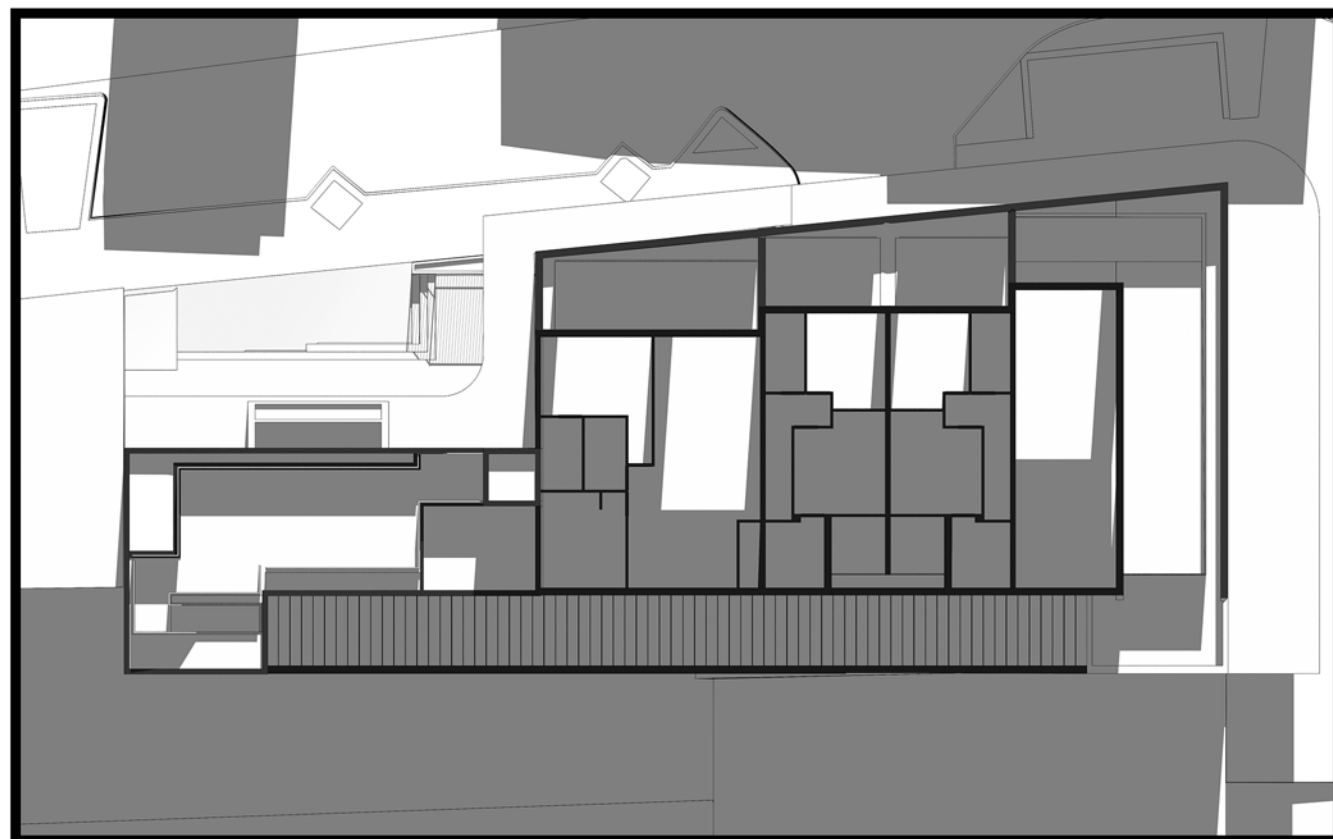
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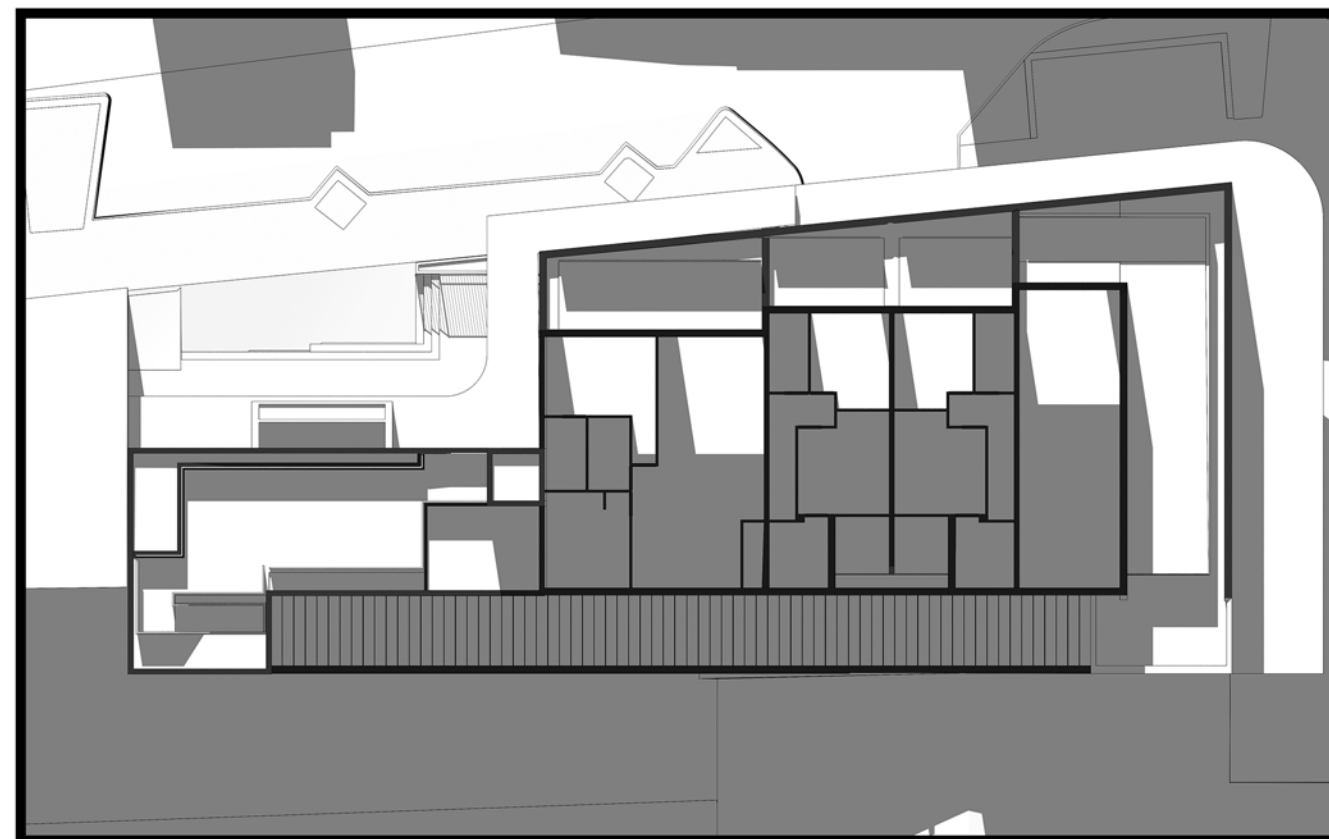
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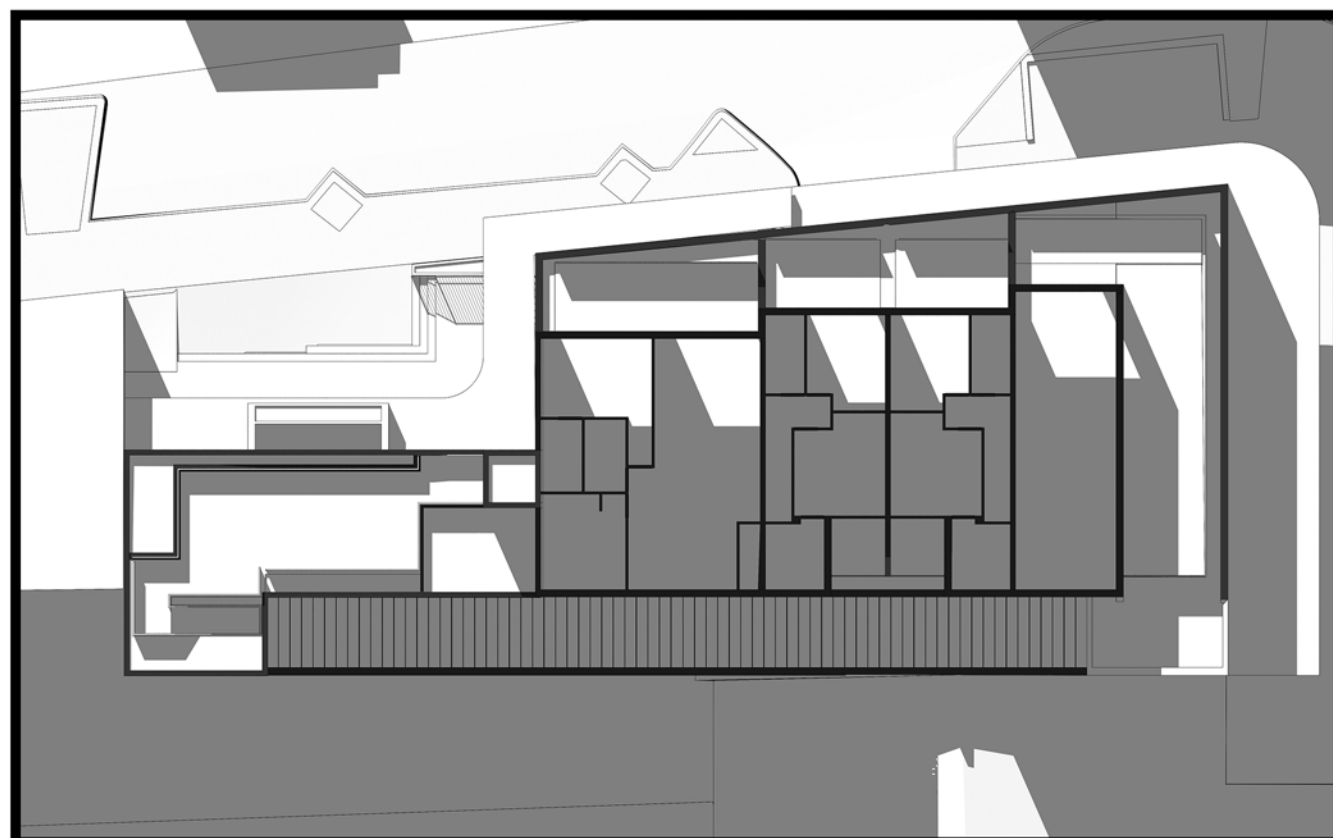




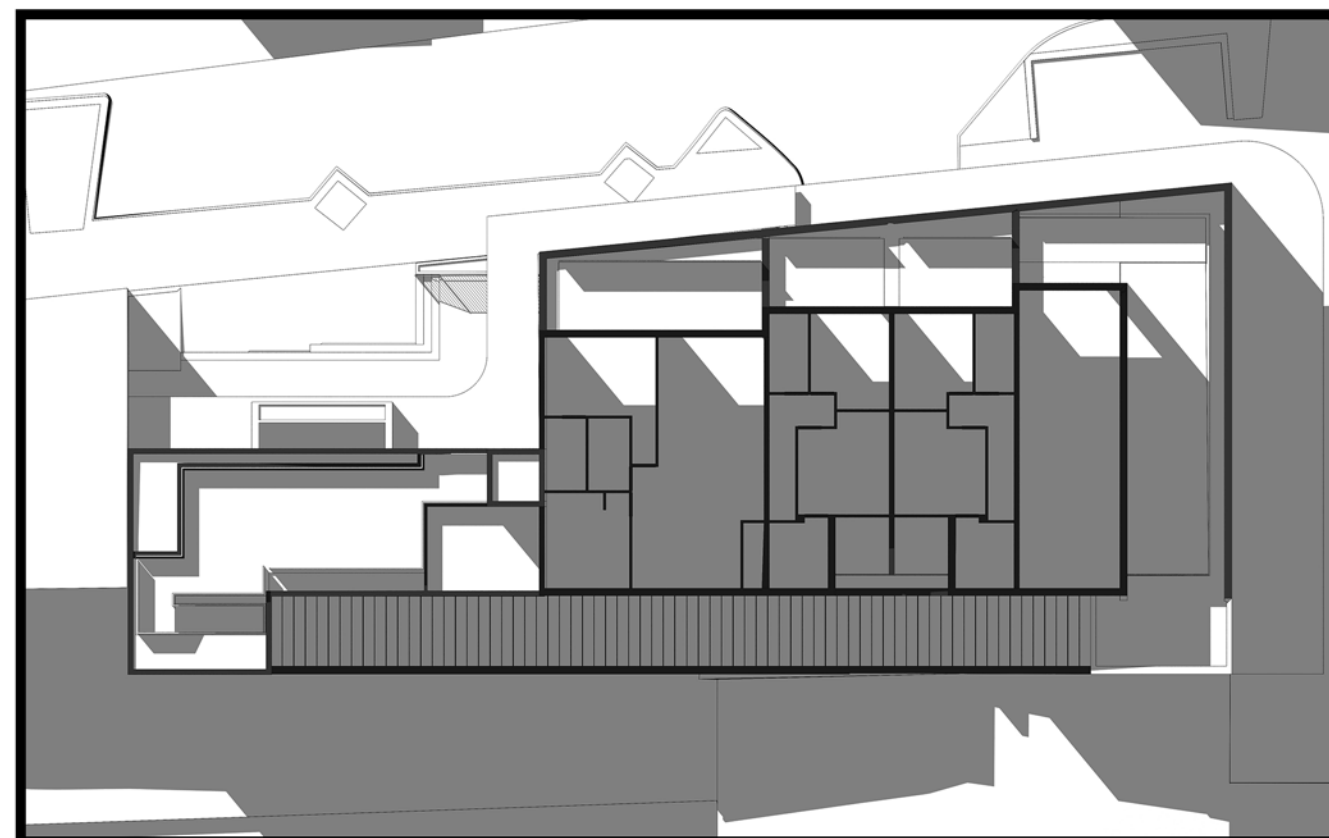
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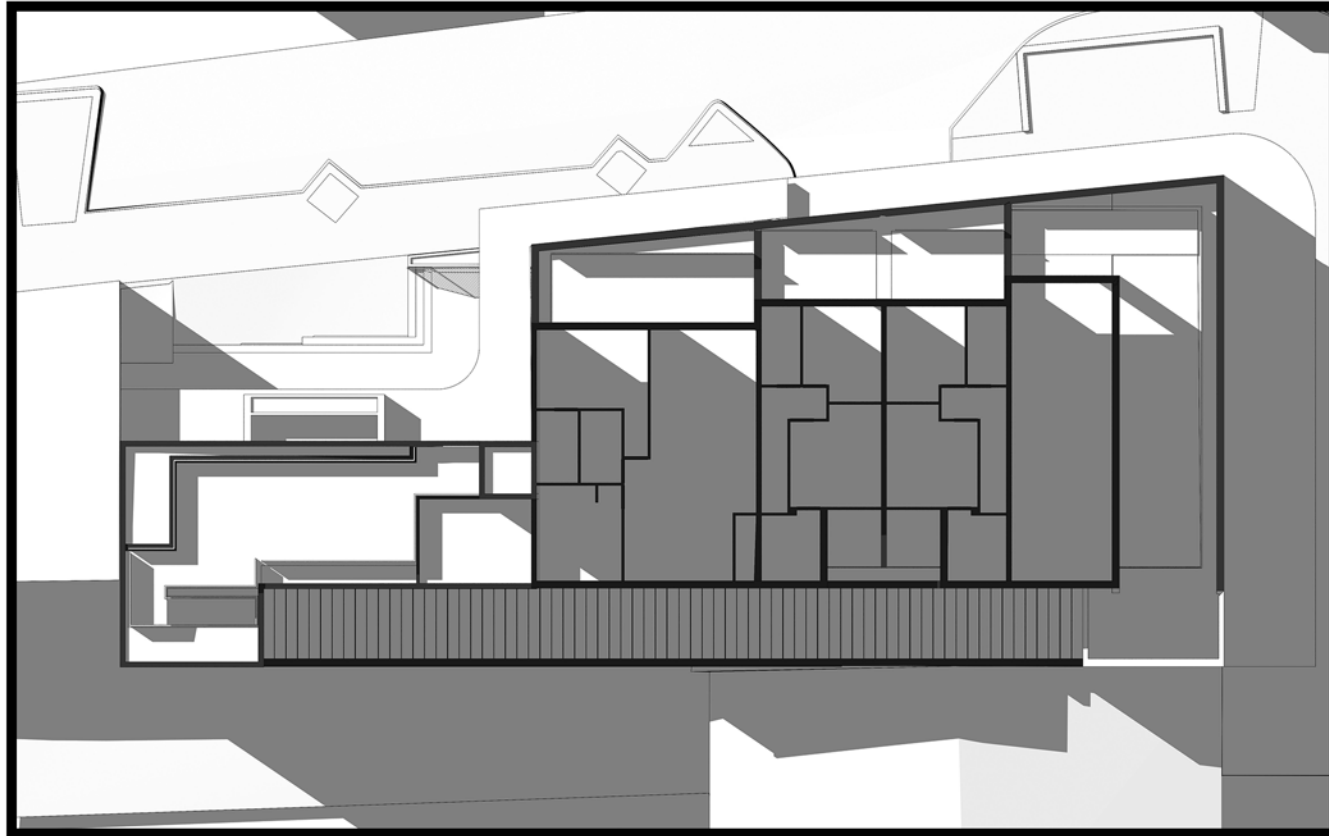


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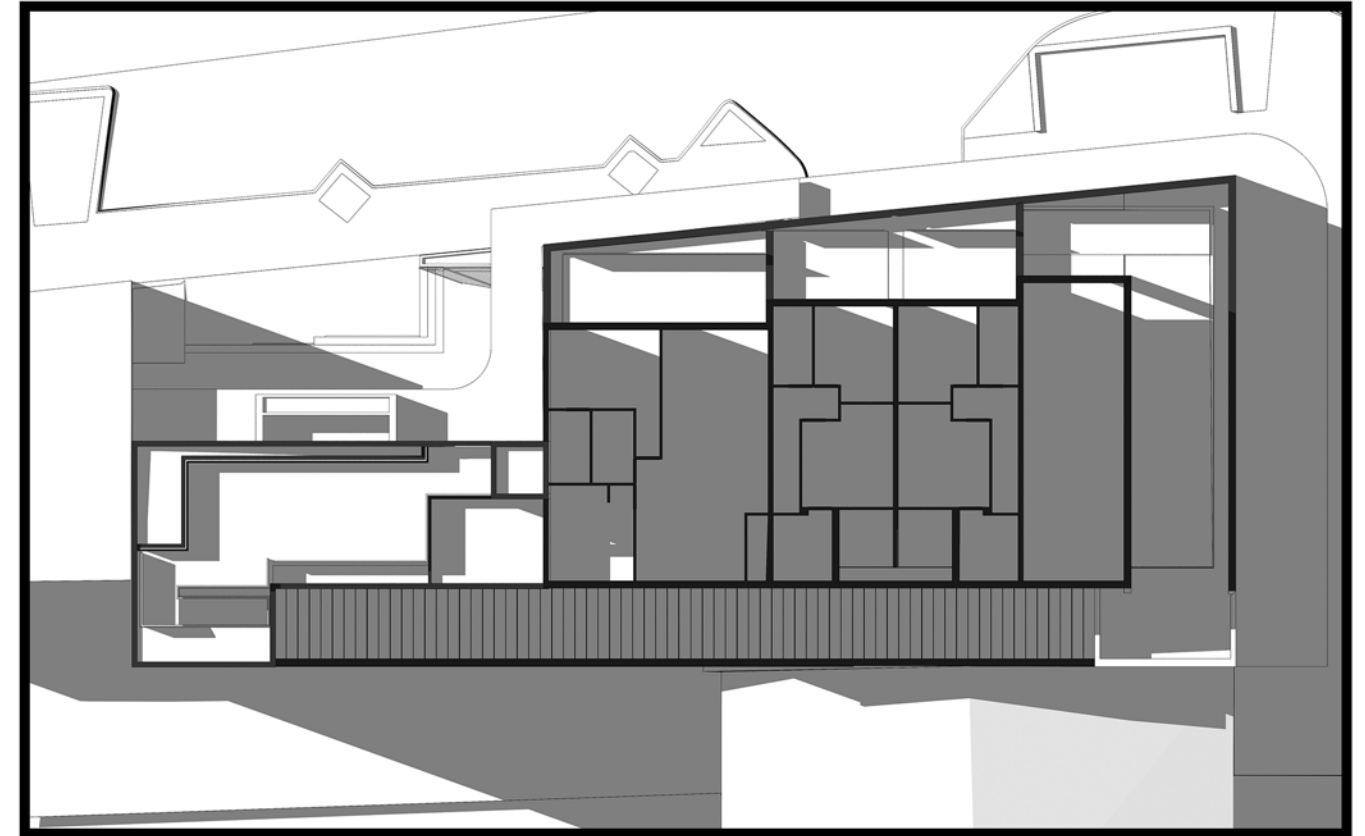


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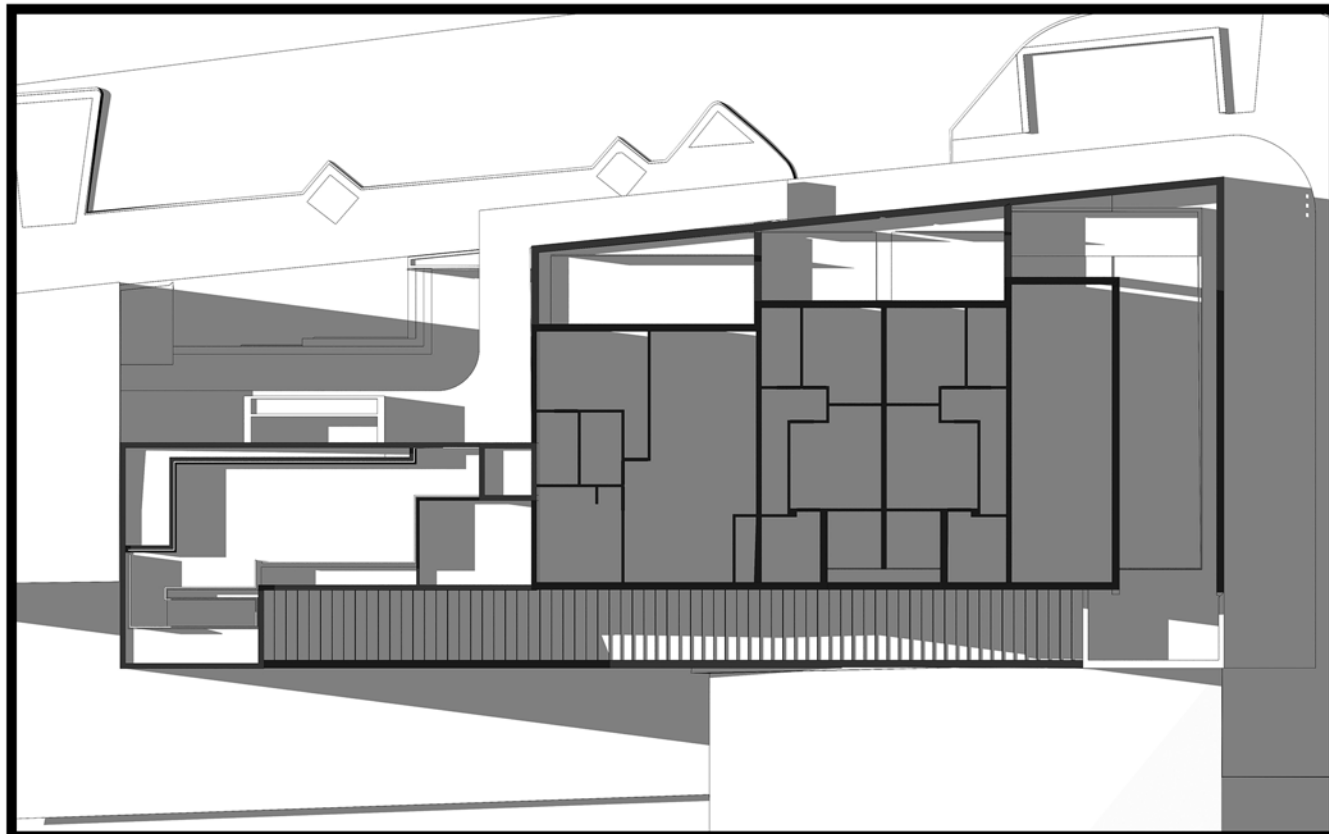




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