SCOTT AND JESS SHEPHERD

PROPOSED NEW DWELLING, INCLUDING NEW POOL AND LANDSCAPING

#### 67 WOOLGOOLGA STREET NORTH BALGOWLAH SYDNEY NSW

#### DA DOCUMENTATION SCHEDULE

DWG NO.	SUBSET	TITLE	SCALE	REV.	DATE	STATUS
DA-000	COVER & SITE INFORMATION	COVER PAGE & DRAWING SCHEDULES		02	06/06/23	DA - ADDITIONAL INFORMATION
DA-001	COVER & SITE INFORMATION	SITE PLAN	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-100	GENERAL ARRANGEMENT PLANS	LOWER GROUND FLOOR	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-101	GENERAL ARRANGEMENT PLANS	GROUND FLOOR	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-102	GENERAL ARRANGEMENT PLANS	FIRST FLOOR	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-300	ELEVATIONS	SHEET 01	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-301	ELEVATIONS	SHEET 02	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-400	SECTIONS	SHEET 01	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-500	SITE STRATEGY PLANS	LANDSCAPE CONCEPT PLANS	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-501	SITE STRATEGY PLANS	SITE ANALYSIS PLANS	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-502	SITE STRATEGY PLANS	WASTE MANAGEMENT, EROSION & SEDIMENT CONTROL PLAN	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-503	SITE STRATEGY PLANS	PROPOSED HARD & SOFT LANDSCAPING AREAS	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-800	POOL DETAILS	POOL DETAILS	1:100	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-900	SHADOW DIAGRAMS	SHADOW DIAGRAM 9am	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-901	SHADOW DIAGRAMS	SHADOW DIAGRAM 12pm	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION
DA-902	SHADOW DIAGRAMS	SHADOW DIAGRAM 3pm	1:200	02	06/06/23	DA - ADDITIONAL INFORMATION

### **EXTERNAL FINISHES**



2. External Cladding- Neutral Grey/Green Tone



3. Windows & Doors - Light Steel Doors



ood Timber Pergola and Battens



5. Native Gardens & Landscaping

6. External Hard Surface





#### WATER COMMITMENTS

Landscape The applicant must plant indigenous or low water use species of vegetation throughout 440 square metres of the site.

Fixtures The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. The applicant must install taps with a minimum rating of 6 star in the kitchen in the

development.

bathroom in the development.

rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 220 square metres of the roof area of the development (excluding the area of the

roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to:

- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with
- a tap that is located within 10 metres of the swimming pool in the development.

Swimming Pool The swimming pool must not have a volume greater than 38.83 kilolitres.

- 2. Minimum R2.0 insulation to all lightweight external walls
- 3. R2.0 insulation rumpus external walls & walls adjacent to earth

- 9. Foil + R1.0 insulation blanket underside of roof
- 10. Light/Medium walls & medium roof colours
- 11. Default floor coverings used in NatHERS rating
- 13. Recessed downlights have been included in the NatHERS rating(to be sealed

system 403 m2 9 m2 28 m2 Mezzanine area 0 m2 Construction Concrete slab on ground 179 m2 Suspended open subfloor 0 m2 Suspended floor above garage 22 m2 Loads Heating Load 397 18.1 Cooling Load

face - Recycled Brick/Cotto Paving	7. Fine Metal Baulstrade Light Paint Finish	8. Roofing - Pale Eucalypt Sheeting	
	KEY:		PROJECT: PROPOSED NEW DWELLING, INCLUDING NEW NEW LANDSCAPING AND POOL
	DENOTES AREA O	OF SOFT LANDSCAPING	
	DENOTES AREA C	OF SWIMMING POOL	CLIENT: SCOTT AND JESS SHEPHERD
		IG STRUCTURE TO BE DEMOLISHED	
CONSTRUCTION. FOR DA APPROVAL ONLY	DENOTES PROPO	SED NEW STRUCTURE	LOCATION:

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE N.C.C. 2019 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASK REQUIREMENTS

ES PROPOSED NEW STRUCTURE	

## ENERGY COMMITMENTS

Hot Water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

Cooling System The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: - 1-phase air-conditioning; Energy rating: 6 Star (old label)

entilation

development:

Natural Lighting

swimming pool.

development.

The applicant must install basin taps with a minimum rating of 6 star in each

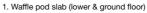
#### Rainwater Tank

The applicant must install a rainwater tank of at least 2500 litres on the site. This

- potable water supply.)

The swimming pool must have a pool cover. The swimming pool must be outdoors.

#### THERMAL COMFORT COMMITMENTS







4. R5.0 insulation to ceilings (excluding garage)

#### 5. R2.0 insulation to walls between house & garage

#### 6 B2 0 insulation to ceiling/floor between house & garage

7. R2.0 insulation to ceiling/floor between ground & first floor

- 8. Weatherseals to all external doors including internal access to garage

#### 12. Insulation must be installed in accordance with NCC and relevant Australian

Standards.

LED downlights & covered by insulation) 14. All windows & glazed doors to be single glazed clear with aluminium frame(Less than or = to U 6.70, within 10% of SHGC 0.70/0.57) 15. Skylight to be double glazed clear Floor and Wall Construction Floor Areas Conditioned floor area Unconditioned floor area Garage floor area

the dwelling. development part of the development.

4. Hardw

LOCATION: 67 WOOLGOOLGA STREET, NORTH

BALGOWLAH.

SYDNEY, NSW

DRAWING TITLE

COVER & SITE INFORMATION & DRAWING SCHED

DA - ADDITIONAL INFO

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom:

1-phase air-conditioning; Energy rating: 6 Star (old label)

<u>Heating System</u> The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: - gas fixed flued heater; Energy rating: 5 star

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air-conditioning; Energy rating: 6 Star (old label)

The applicant must install the following exhaust systems in the

At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual on / timer off Kitchen: no mechanical ventilation (ie. natural) Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial Lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED)

lamps: - At least 6 of the bedrooms / study; dedicated - At least 3 of the living / dining rooms; dedicated - The kitchen; dedicated All bathrooms/toilets; dedicated The laundry: dedicated All hallways; dedicated

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 2 bathroom(s)/ toilet(s) in the development for natural lighting.

Swimming Pool The development must not incorporate any heating system for the

The applicant must install a timer for the swimming pool pump in the

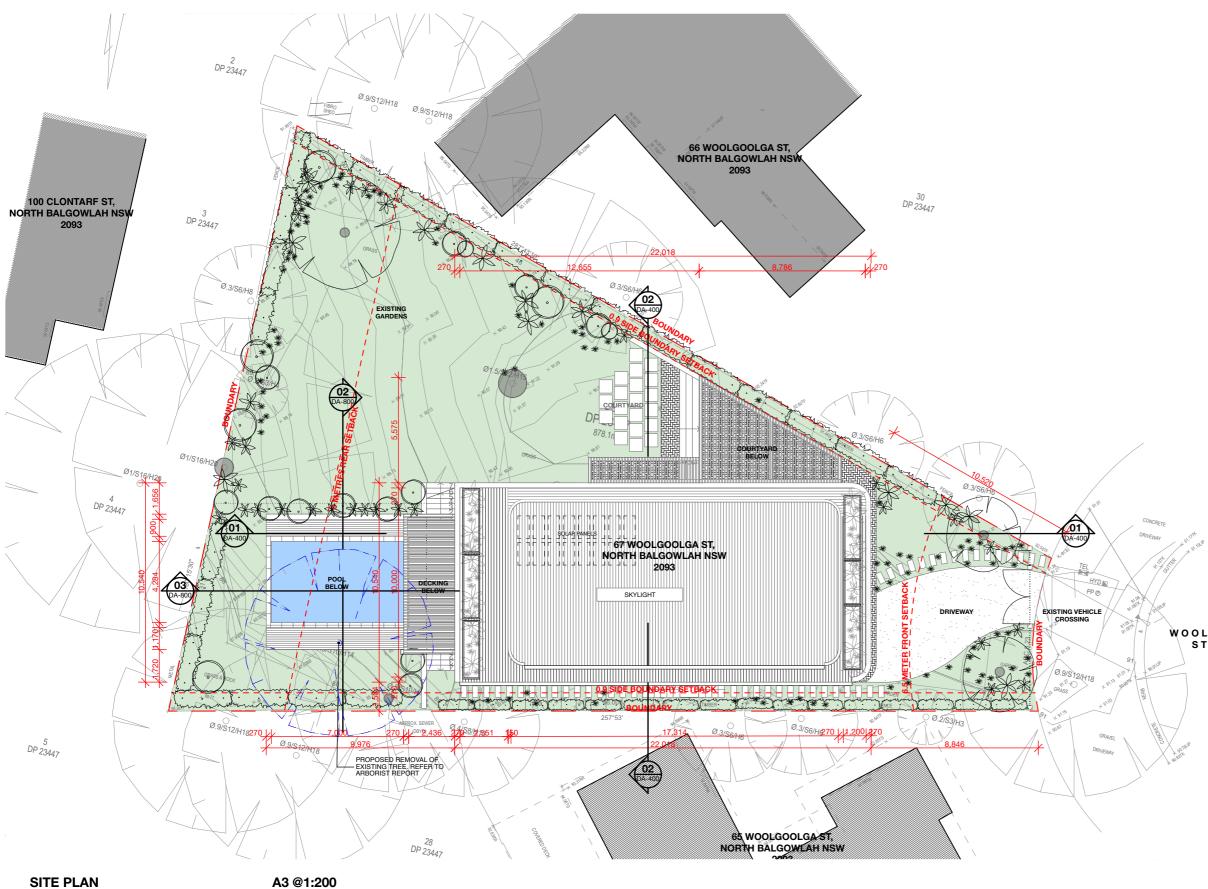
Alternative Energy The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the developments electrical

The applicant must install a gas cooktop & electric oven in the kitchen of

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. The applicant must install a fixed outdoor clothes drying line as part of the

The applicant must install a fixed indoor or sheltered clothes drying line as

PROJECT STAGE: DDITIONAL INFORMATION	<b>DATE OF ISSUE:</b> 6/6/23	r a m a
DRAWING TITLE: TE INFORMATION: COVER PAGE DRAWING SCHEDULES	DRAWING NO. DA-000	nominsted architect Thomas Martin new reg. #108A3 6 / 20 AWLON PARADE AVALON BEACH, NSW 2107 www.amaarchitect.com
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## WOOLGOOLGA STREET

SITE CALCULATIONS	
TOTAL SITE AREA	878m <sup>2</sup>
PROPOSED	
LOWER GROUND FLOOR - GROSS FLOOR AREA	77.2m <sup>2</sup>
GROUND FLOOR - GROSS FLOOR AREA	167.95 m <sup>2</sup>
FIRST FLOOR - GROSS FLOOR AREA	142.3 m <sup>2</sup>
TOTAL - GROSS FLOOR AREA	387.45 m <sup>2</sup>
GARAGE AND STORAGE - AREA	26.1 m <sup>2</sup>
ROOF - AREA	264.1m <sup>2</sup>
HARD SURFACE CALCULATION - AREA	302.29m²/34.4%
SOFT LANDSCAPING CALCULATION - AREA	461.35m²/52.5%
POOL - VOLUME	38.83m <sup>3</sup>

DATE OF ISSUE: 6/6/23

DRAWING NO. DA-001

Thomas Martin nsw reg. #10383

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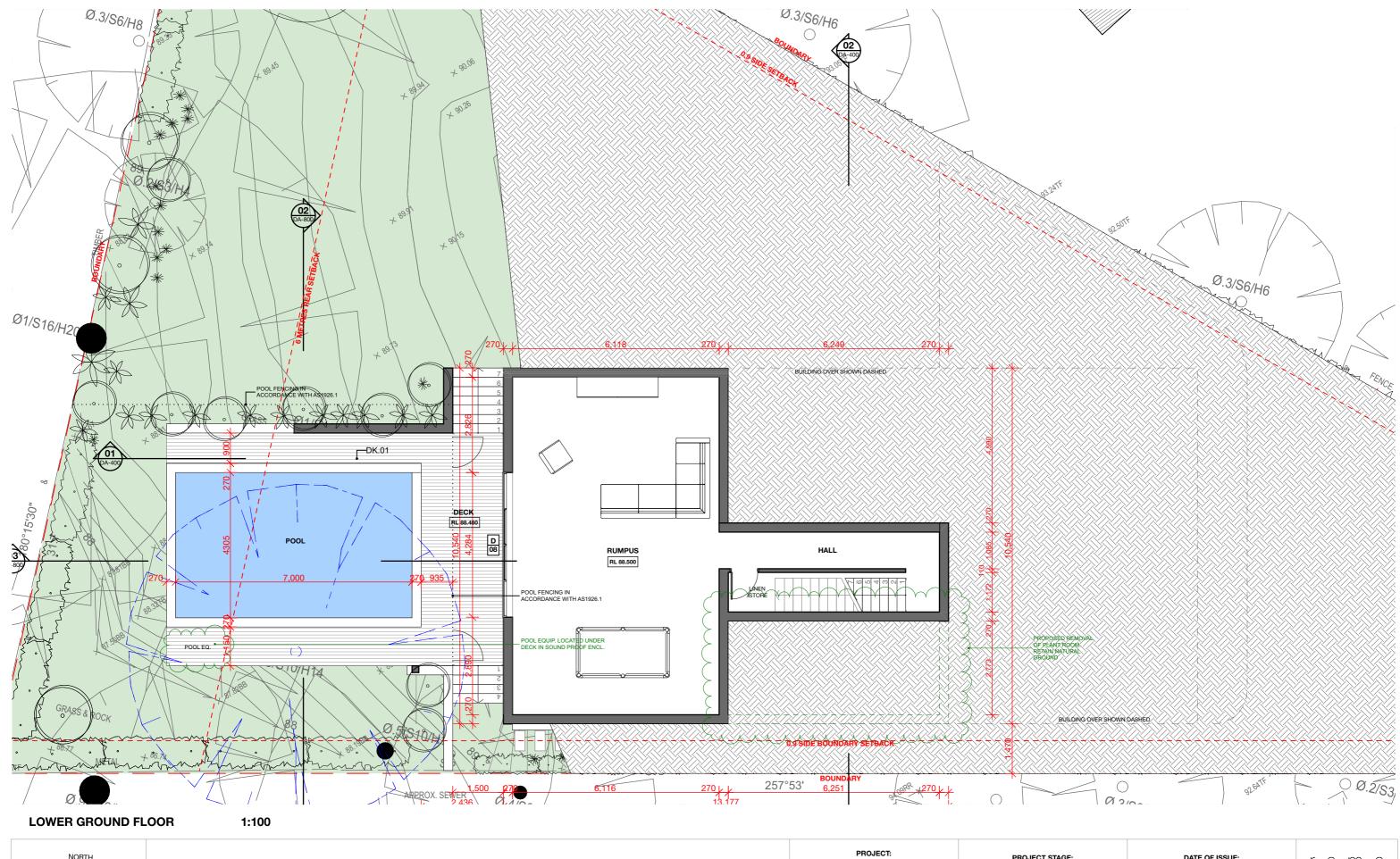
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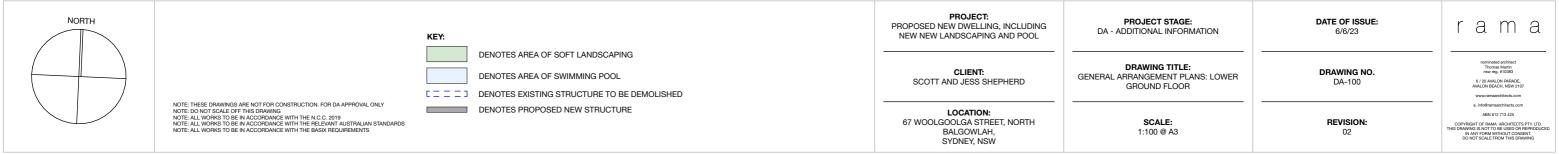
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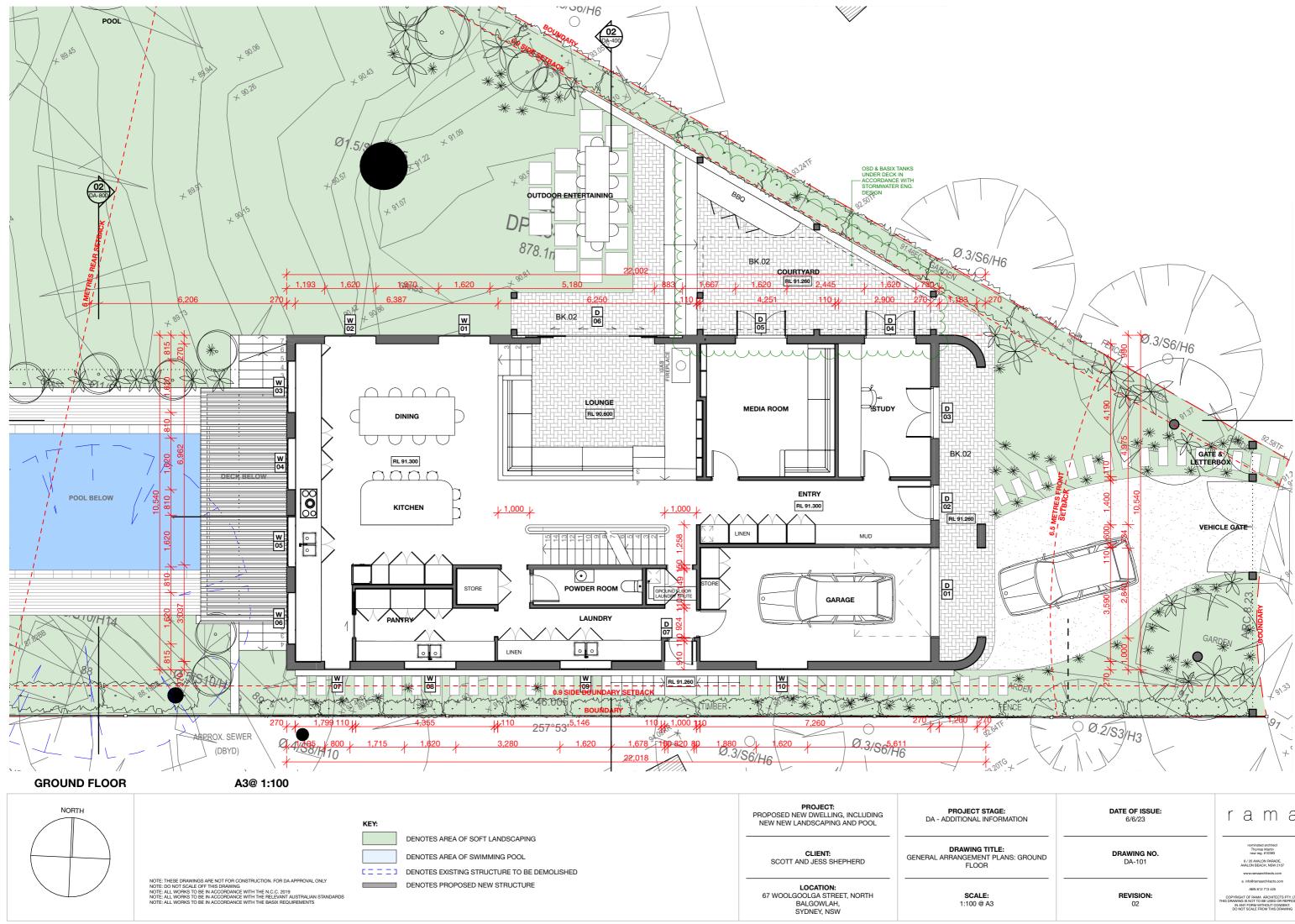
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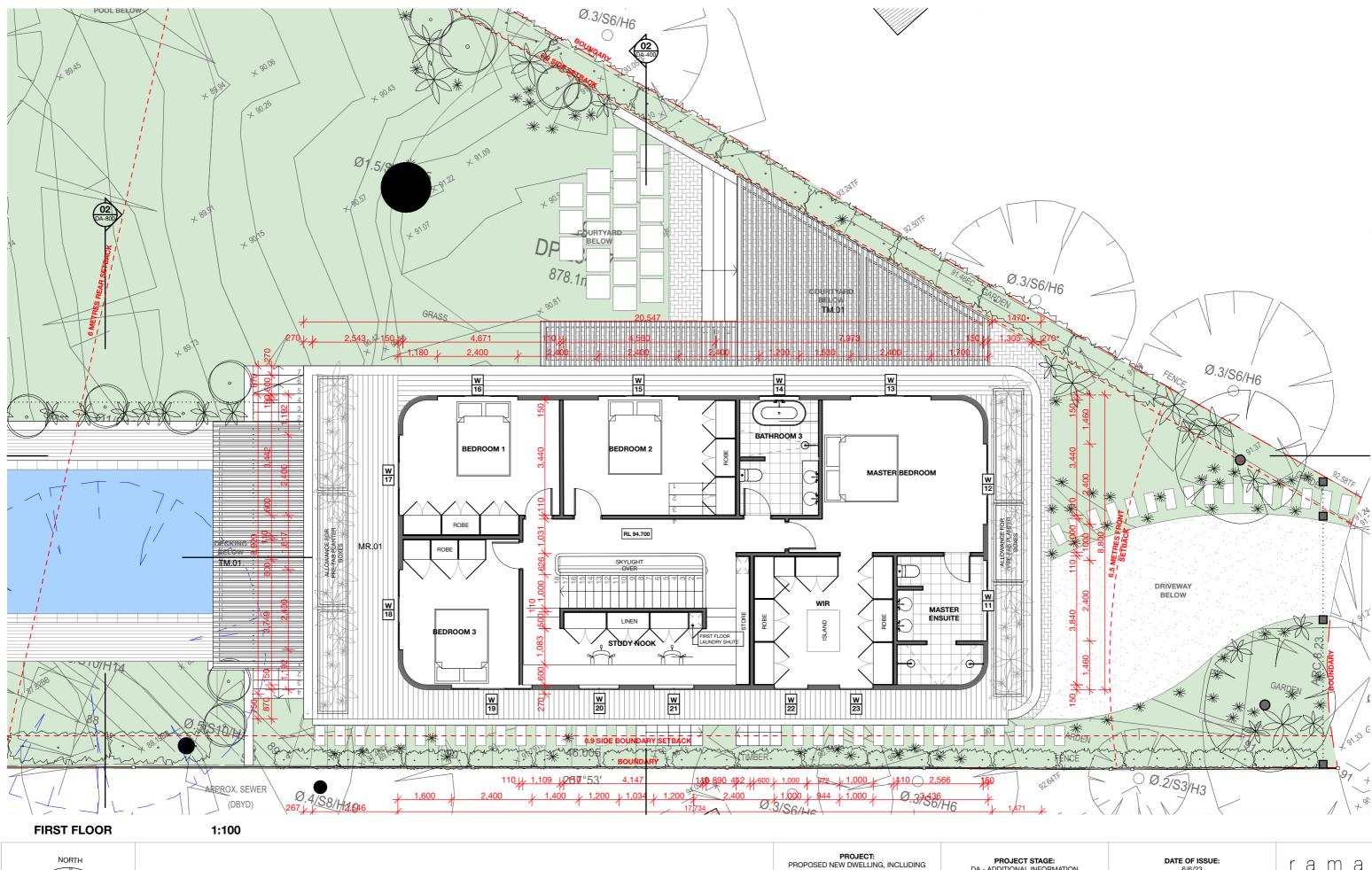


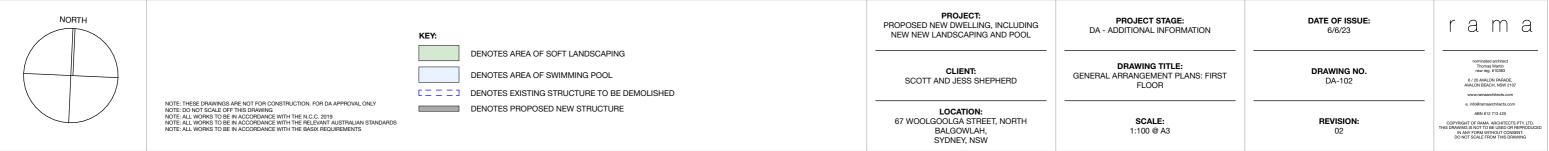


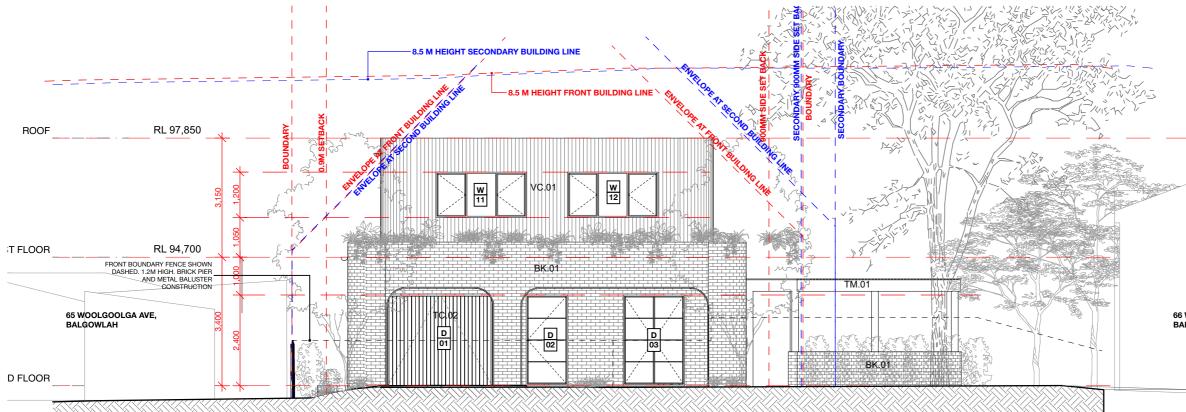


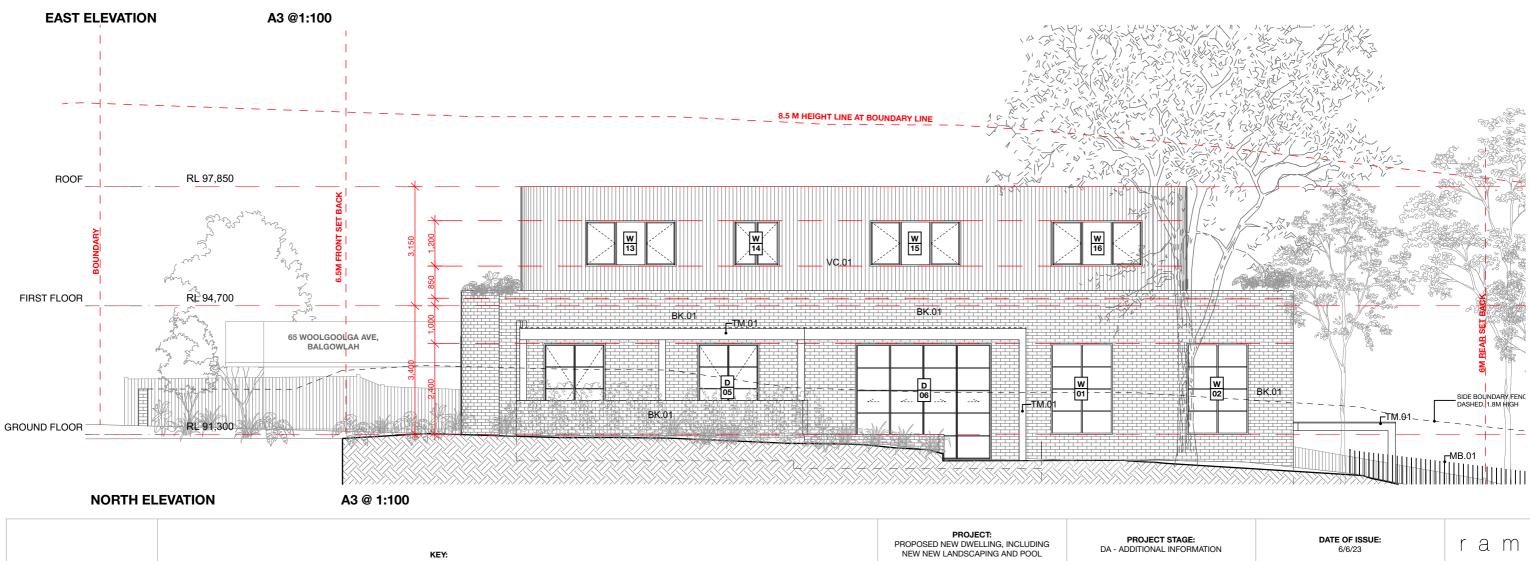


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E: LANS: GROUND	DRAWING NO. DA-101	nominited architect Thomas Martin new me, #10583 6 / 20 AWLON PARADE AVALON BEACH, NSW 2107 www.armaarchitect.com
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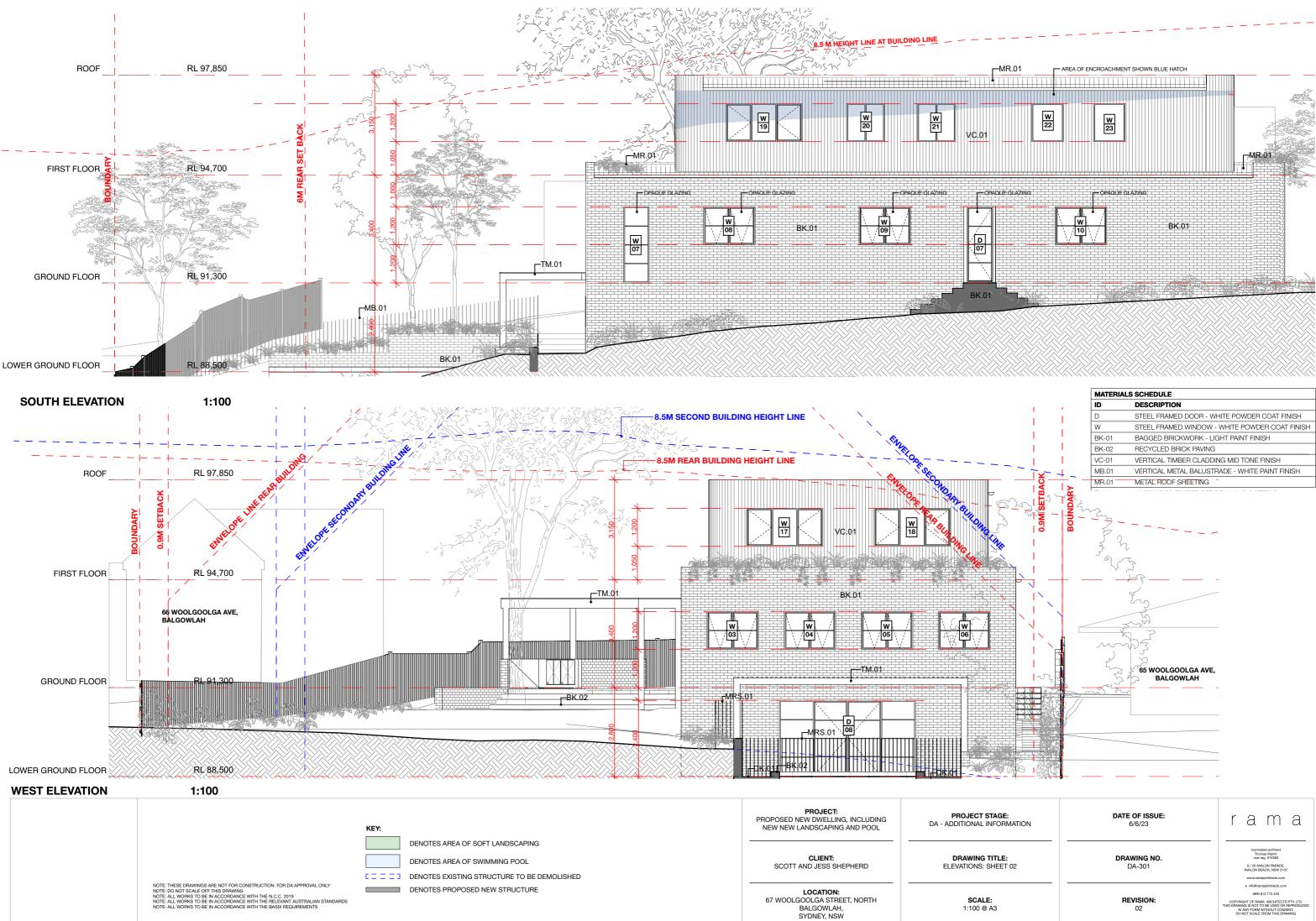






MATERIA	MATERIALS SCHEDULE					
ID	DESCRIPTION					
D	STEEL FRAMED DOOR - WHITE POWDER COAT FINISH					
W	STEEL FRAMED WINDOW - WHITE POWDER COAT FINISH					
BK-01	BAGGED BRICKWORK - LIGHT PAINT FINISH					
BK-02	RECYCLED BRICK PAVING					
VC-01	VERTICAL TIMBER CLADDING MID TONE FINISH					
MB.01	VERTICAL METAL BALUSTRADE - WHITE PAINT FINISH					
MR.01	METAL ROOF SHEETING					
TM 01						

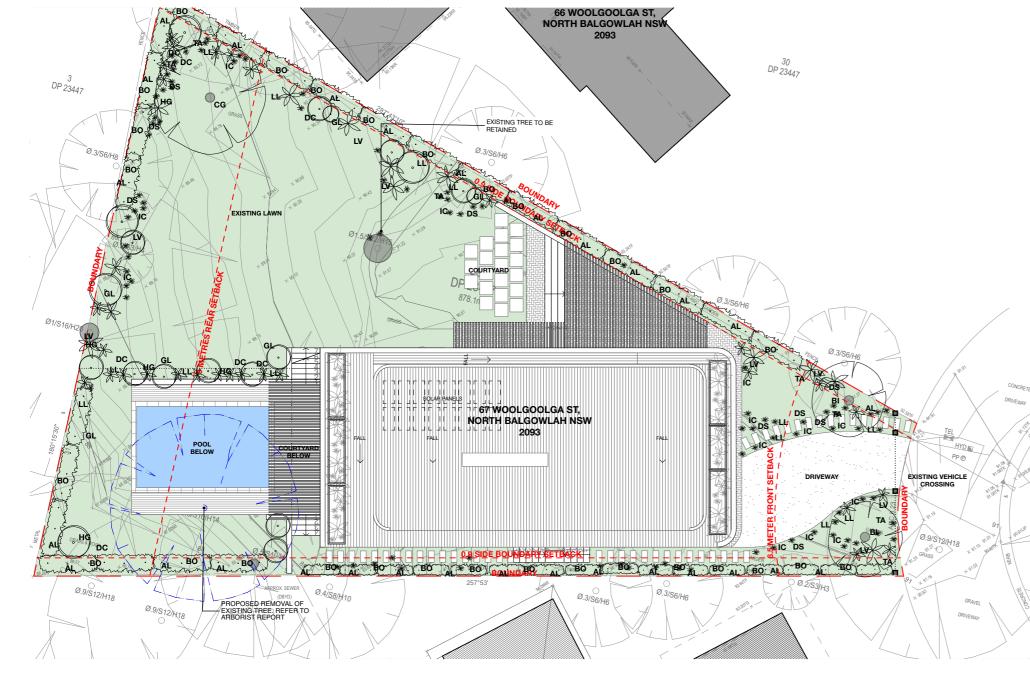
66 WOOLGOOLGA AVE, BALGOWLAH



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### LANDSCAPE PLAN

1:200

TOTAL SITE AREA	878m <sup>2</sup>	TOTAL SITE AREA	878m <sup>2</sup>
EXISTING		PROPOSED	
LOWER GROUND FLOOR - GROSS FLOOR AREA	N/A	LOWER GROUND FLOOR - GROSS FLOOR AREA	77.2m <sup>2</sup>
GROUND FLOOR - GROSS FLOOR AREA	N/A	GROUND FLOOR - GROSS FLOOR AREA	167.95 m <sup>2</sup>
FIRST FLOOR - GROSS FLOOR AREA	N/A	FIRST FLOOR - GROSS FLOOR AREA	142.3 m <sup>2</sup>
TOTAL - GROSS FLOOR AREA	N/A	TOTAL - GROSS FLOOR AREA	387.45 m <sup>2</sup>
GARAGE AND STORAGE - AREA	N/A	GARAGE AND STORAGE - AREA	26.1 m <sup>2</sup>
ROOF - AREA	N/A	ROOF - AREA	2246.7m <sup>2</sup>
HARD SURFACE - AREA	N/A	HARD SURFACE CALCULATION - AREA	302.29m²/34.4%
SOFT LANDSCAPE - AREA	N/A	SOFT LANDSCAPING CALCULATION - AREA	461.35m²/52.5%
POOL - VOLUME	N/A	POOL - VOLUME	38.83m <sup>3</sup>

PLANT	LANT SCHEDULE						
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE			
TREES							
CG	1	CORYMBIA GUMMIFERA	RED BLOODWOOD	100L			
BI	2	BANKSIA INTERGRIFOLIA	COAST BANKSIA	100L			
SCREEM	NING PLANTS						
AL	36	ACACIA LINIFOLIA	FLAX LEAVED WATTLE	300MM			
BO	47	BANKSIA OBLONGIFOLIA	FERN LEAFED BANKSIA	300MM			
SHRUB	S/ACCENTS						
LV	30	LEPIDOSPERMA VISCIDUM	STICKY SWORD-SEDGE	300MM			
GL	4	GRAVILLIEA LINIARIFLORA	WHITE SPIDER FLOWER	300MM			
LL	16	LEPTOSPURNAM LAEVIGITUM	COASTAL TEA TREE	200M			
HG	16	HAKEA GIBBOSA	NEEDLE BRUSH HAKEA	500MM			
GRASSE	ES/GROUND COV	ERS					
DC	28	DANIELLA CAERULLA	BLUE FLAX LILY	150MM			
TA	10	THEMEDA AUSTRALIS	KANGAROO GRASS	150MM			
DS	18	DICHELACHNE SP.	PLUME GRASS	150MM			
IC	38	IMPYRADA CYLINDRICA	BLADY GRASS	140MM			
LL	24	LOMANDRA LONGIFOLIA	SPINY HEADED MAT-RUSH	140MM			



#### LANDSCAPE CONSTRUCTION NOTES

SUBSOIL

TOPSOIL

manufacturer

MULCHING

FERTILISER

DRAINAGE

RETAINING WALLS

TREE PROTECTION All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the TPZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunneling within the PZ of any retained trees if required. Keep the area within the enclosure fee or construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind- blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use handsaw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Tim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the uncer (100mm lawer of the subsoil). incorporate into the upper 100mm layer of the subsoil.

Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turt Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for

planting. Spread topsoil to the following typical depths: Planting beds: 300mm Grass areas: 100mm

PLANTING PLANTING trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole. shrubs/ground covers: excavate a hole big enough for the plant plus 100mm all round, provide plants which have large healthy root systems, with no evidence of root curl, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species or variety; and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site. Trees: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified. Label at leads noe plant of each species or variety in a bacth using a durable, readable tag, do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rini, no ther than sandy solis, suspend excavation when the soil is wet, or during frost periods, when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball. ensure that the root ball is moist and place in the final position, in the hole and plumb, with the tops oil level of the plant root ball evel with the finished surface of the surrounding soli, or 75mm below paving level to allow placement of much, backfill with topsoil mixture. lightly tamp and water to eliminate air pockets, ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container. Thoroughy water plants before planting and immediately after planting. In planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.

All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks. Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates

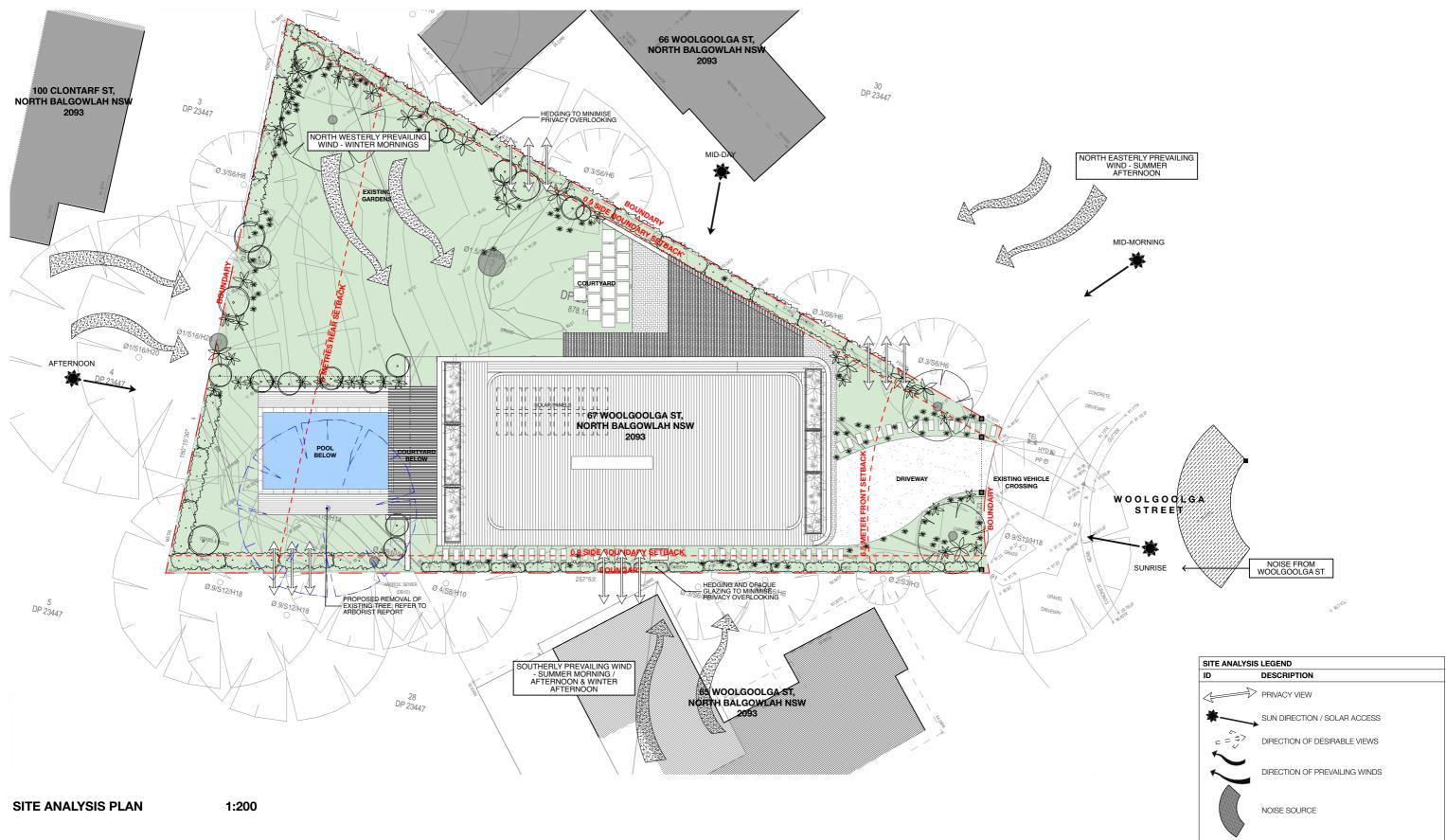
Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining. walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

Retaining walls to be constructed as per Engineer's details

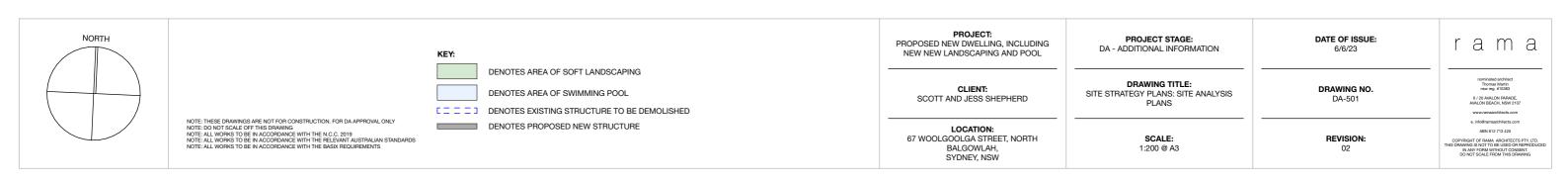
CONCRETE WORKS All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mit concrete to AS1379 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete paving installation. te and

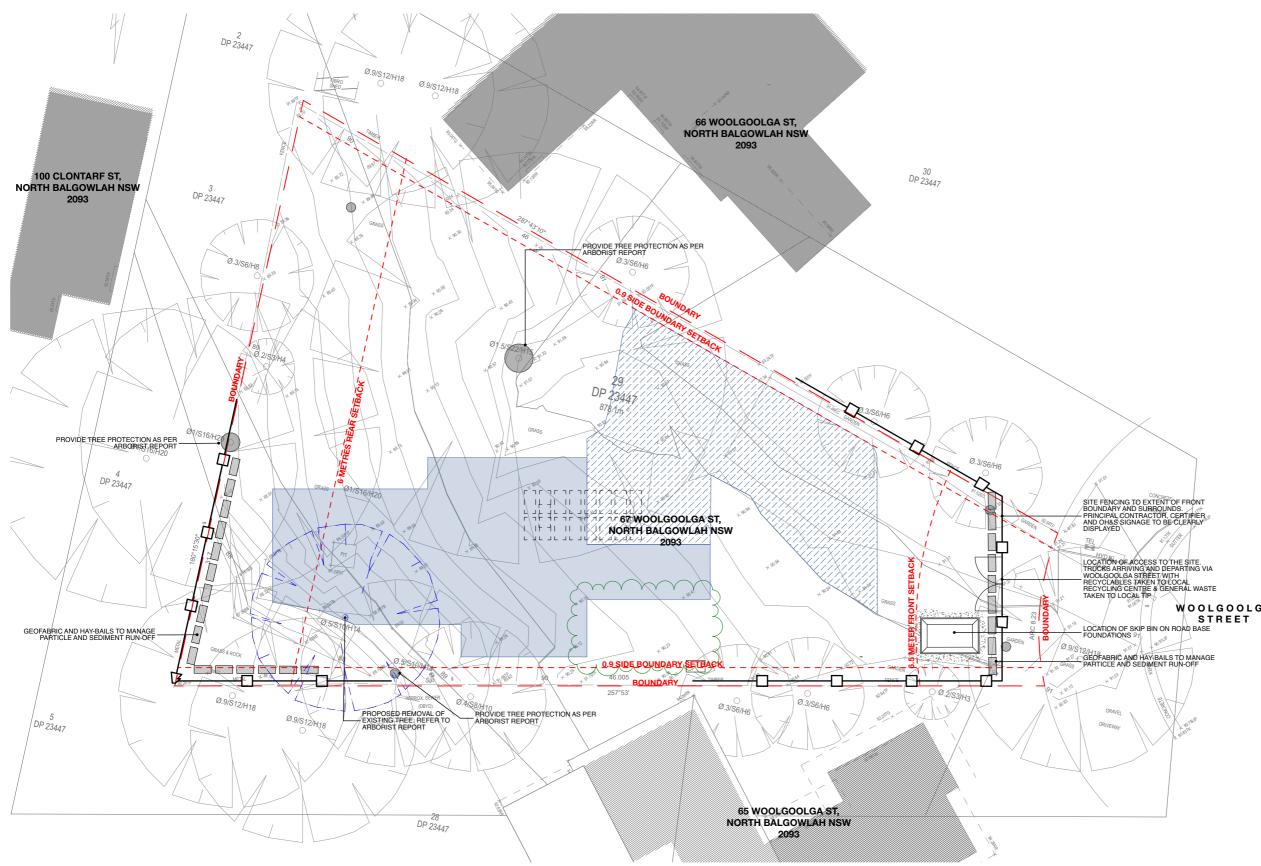
MAINTENANCE Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, ferilising, perst and disease control, reseeding, returting, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

LAND	SCAPE LEGEND			
ID		DESCRIPTION		
	$\bigcirc$	PROPOSED FEATURE TREE		
5	mon	PROPOSED SCREENING PLANT	S	
	$\bigcirc$	PROPOSED SHRUBS & ACCENT	S	
	×	PROPOSED ACCENTS		
	**	PROPOSED GRASSES AND GRO	OUNDS COVERS	
		PROPOSED LANDSCAPED AREA	Ą	
		PROPOSED POOL AREA		
N		DATE OF ISSUE: 6/6/23	r a m	n a
CAPE		DRAWING NO. DA-500	nominated archite Thomas Martin nsw reg. #10383 6 / 20 AVALON PARA AVALON BEACH, NSW www.ramaarchitects.	NDE, / 2107
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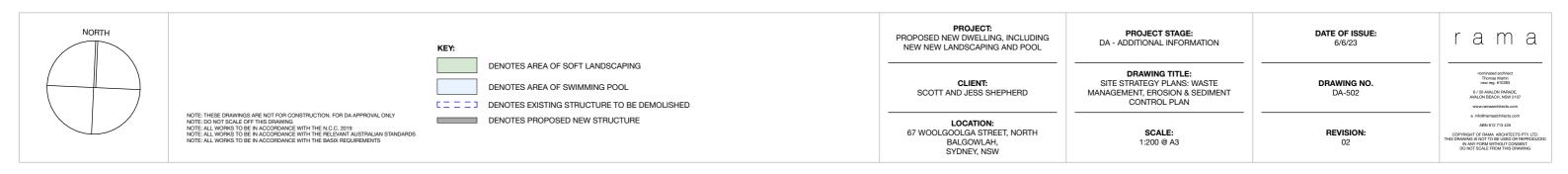






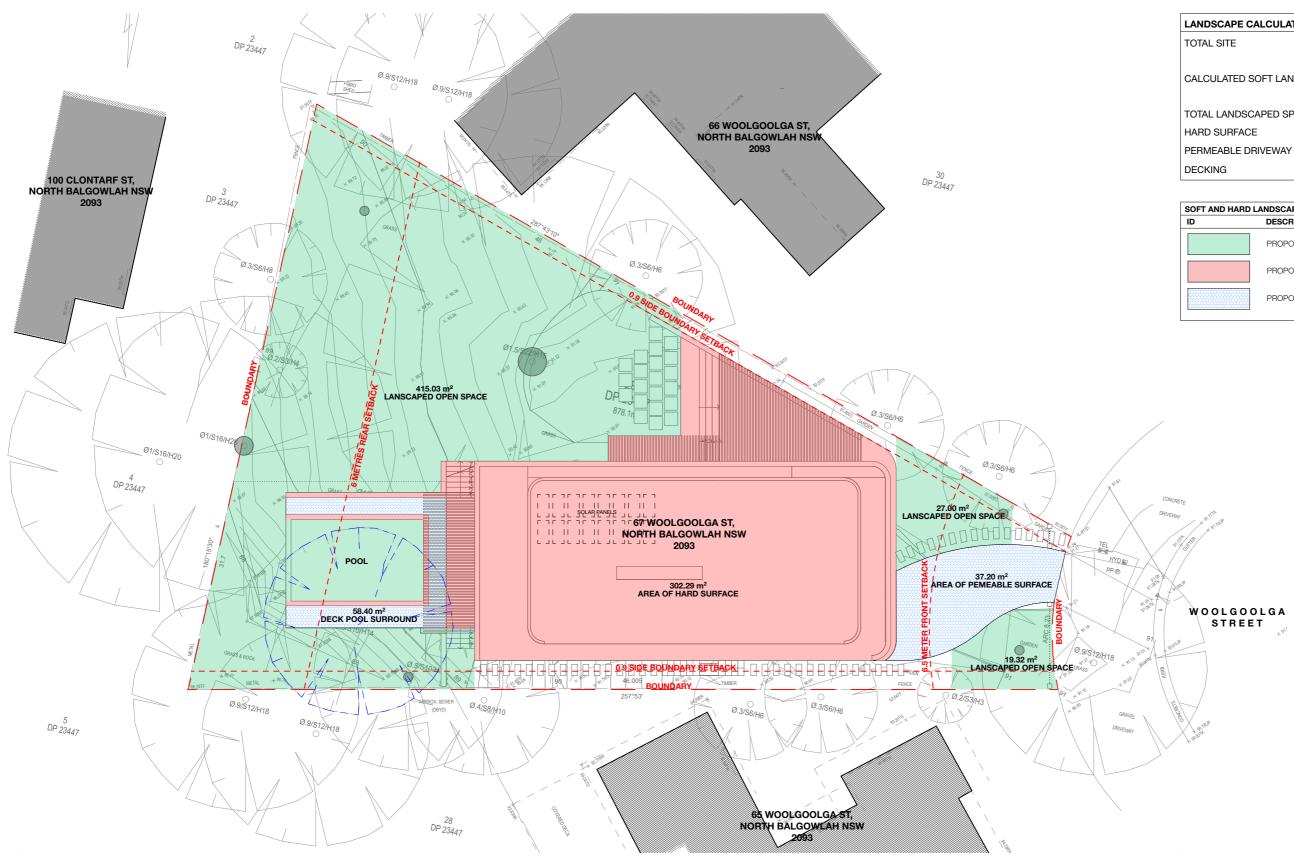
**SEDIMENT CONTROL & EROSION PLAN** 

1:200



# WOOLGOOLGA

SEDIMENT EROSION CONTROL LEGEND		
ID	DESCRIPTION	
	HAY BAIL AND GEOFABRIC	
	SKIP BIN ON ROAD BASE FOUNDATIONS	
-00-	SECURE SITE FENCING	
	LOWER GROUND & POOL EXCAVATION	
	GROUND FLOOR EXCAVATION	



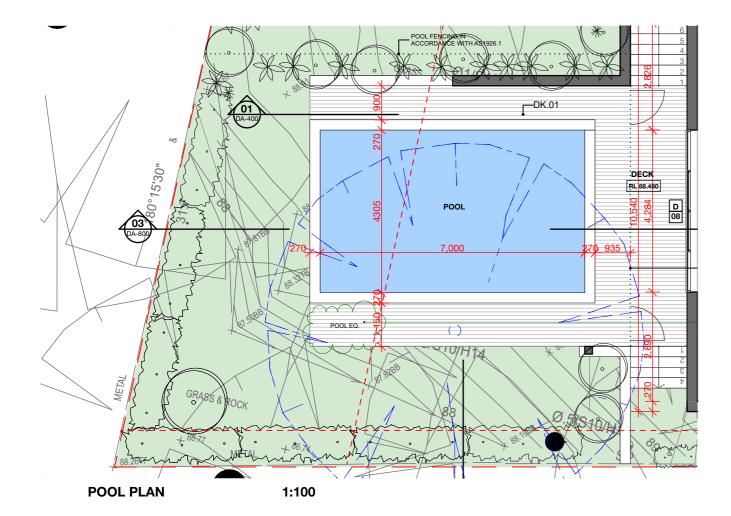
## PROPOSED HARD & SOFT LANDSCAPING 1:200

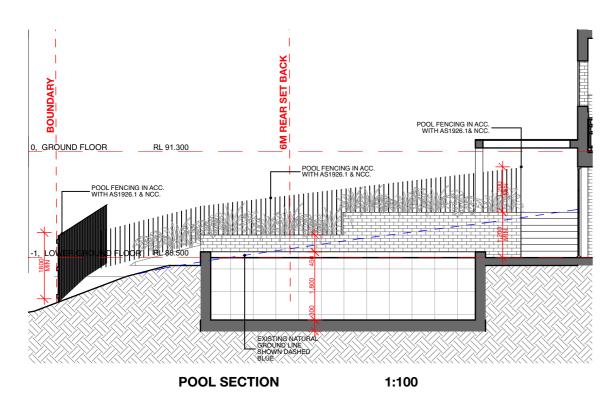


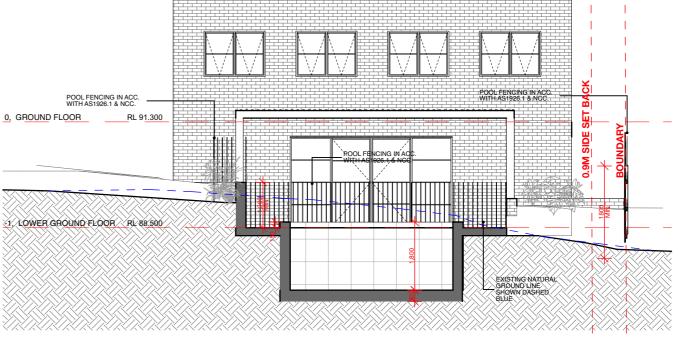
2.5%
4.7%
4.4%
2%
7%
2

SOFT AND HARD LANDSCAPE LEGEND			
ID	DESCRIPTION		
	PROPOSED SOFT LANDSCAPED AREA		
	PROPOSED HARD SURFACE AREA		
	PROPOSED PERMEABLE AREA		

1	DATE OF ISSUE: 6/6/23	r a m a
IARD &	DRAWING NO. DA-503	nominated architect Thomas Martin new reg. # 10383 6 / 20 AWLON RIPADE ANALON BERCH, NEW 2107 www.amaarchitects.com
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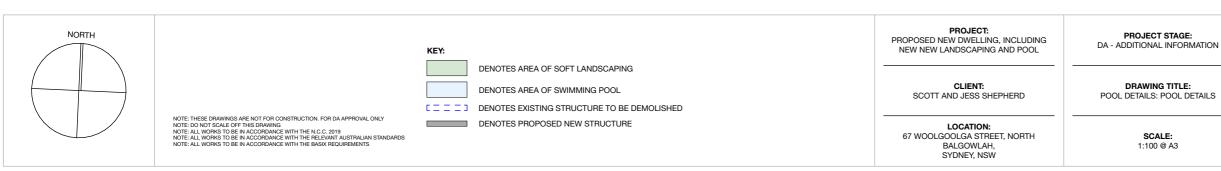




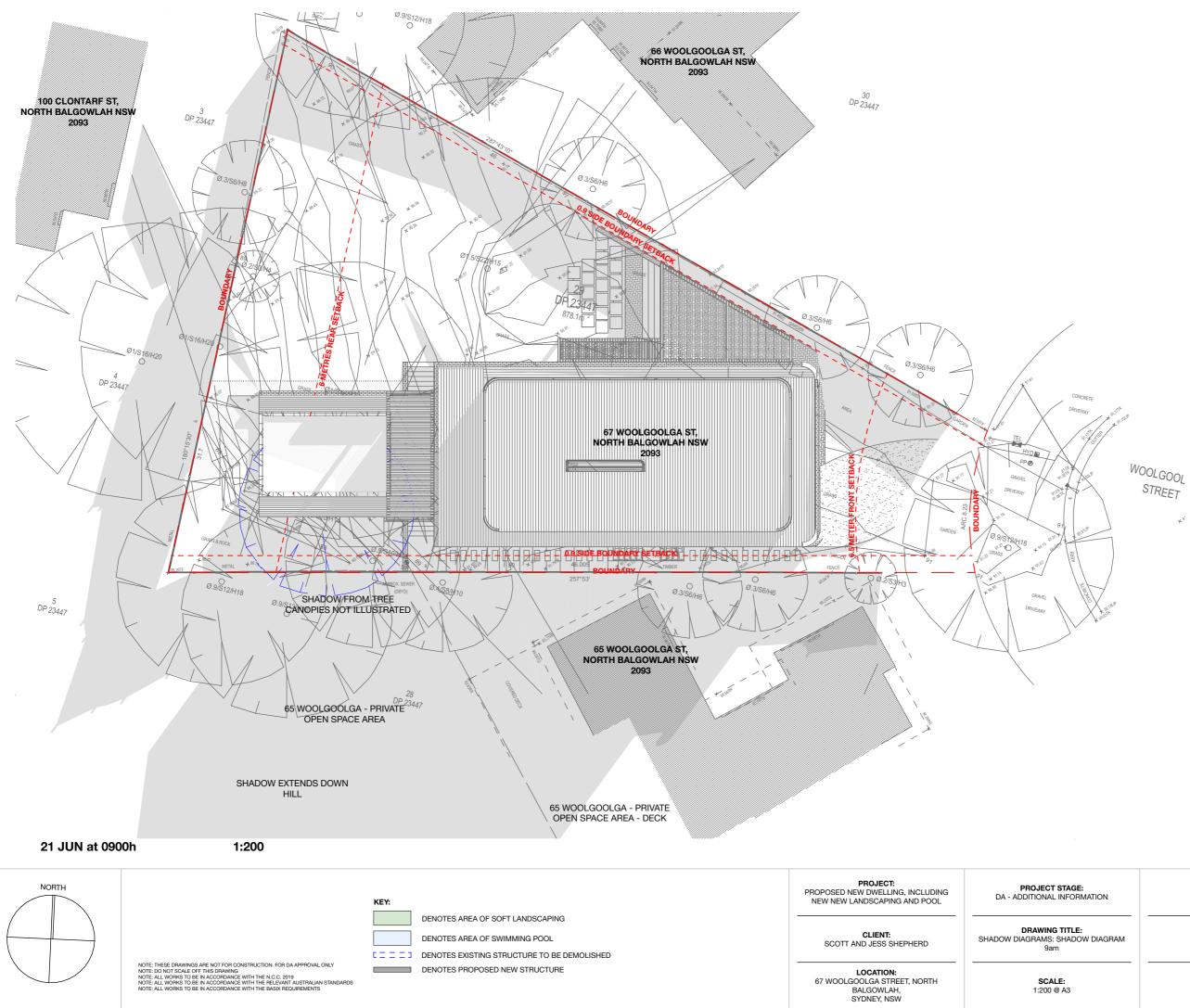


POOL SECTION

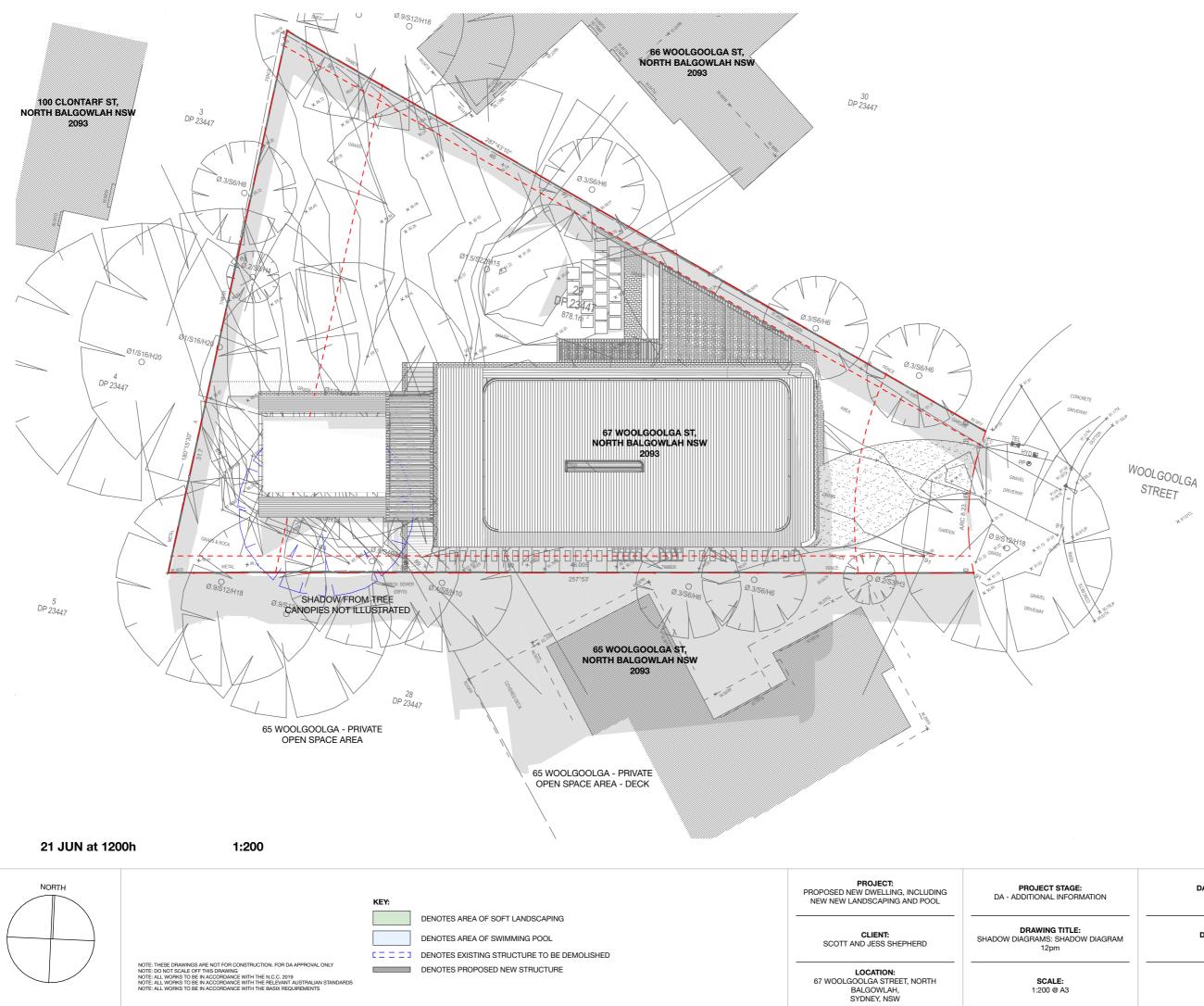
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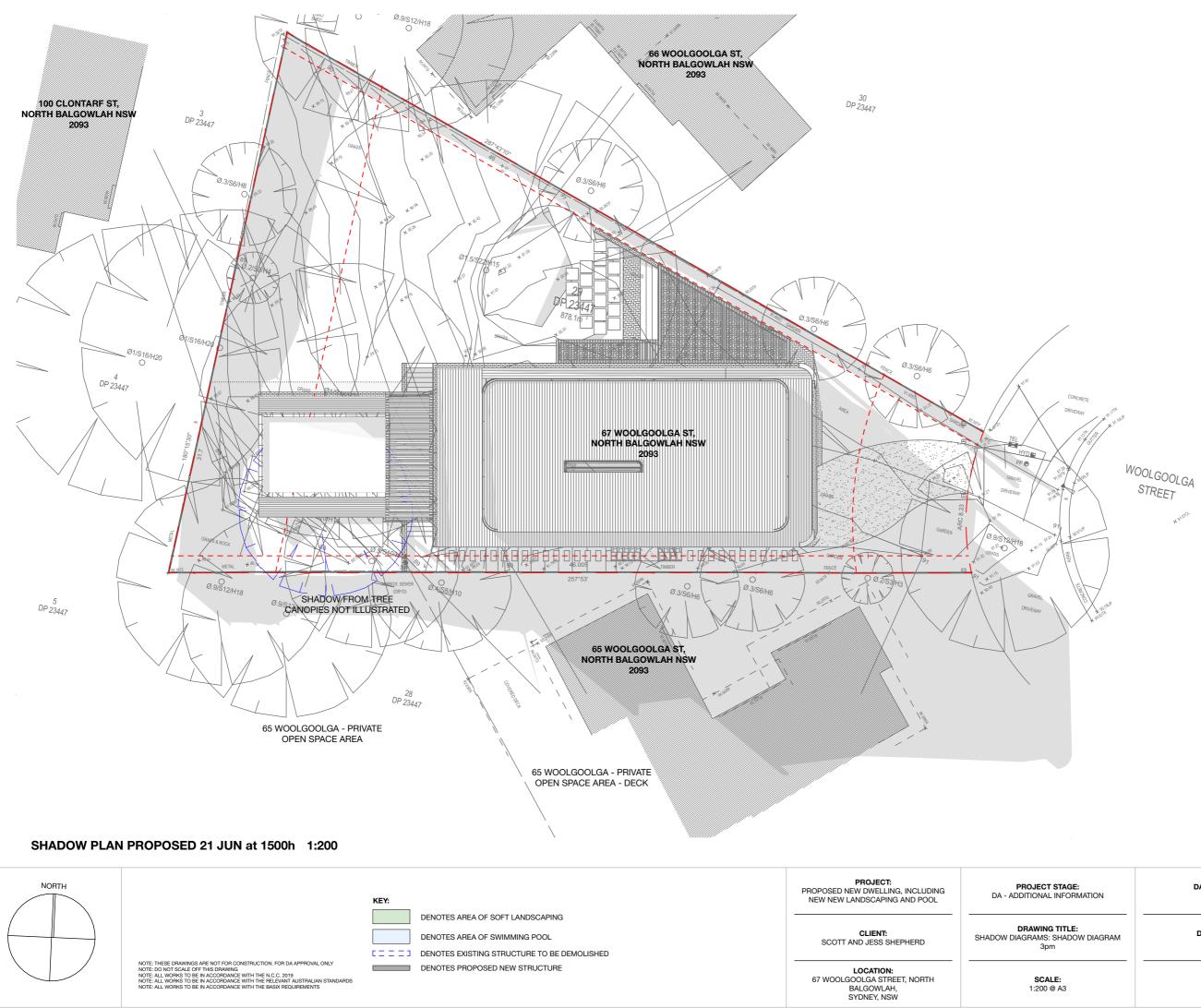


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## External Montage

Proposed New Residential Dwelling Including Swimming Pool & Associated Landscaping 67 Woolgoolga Street, Balgowlah

r a m a



1. External Wall - Light Bagged Brick



2. External Cladding- Neutral Grey/Green Tone



3. Windows & Doors - Light Steel Doors



4. Hardwood Timber Pergola and Battens



5. Native Gardens & Landscaping



6. External Hard Surface - Recycled Brick/Cotto Paving



7. Fine Metal Baulstrade Light Paint Finish



8. Roofing - Pale Eucalypt Sheeting

External Finishes Proposed New Residential Dwelling Including Swimming Pool & Associated Landscaping

67 Woolgoolga, Balgowlah

