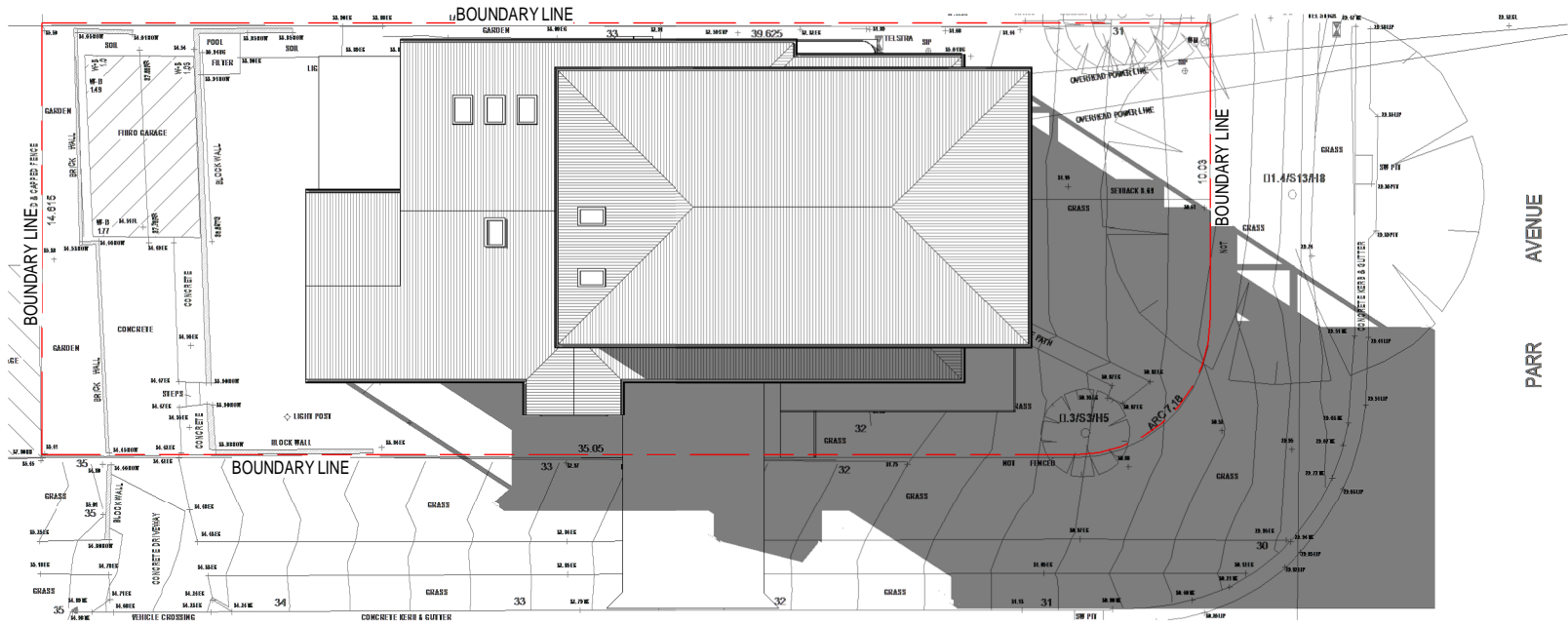
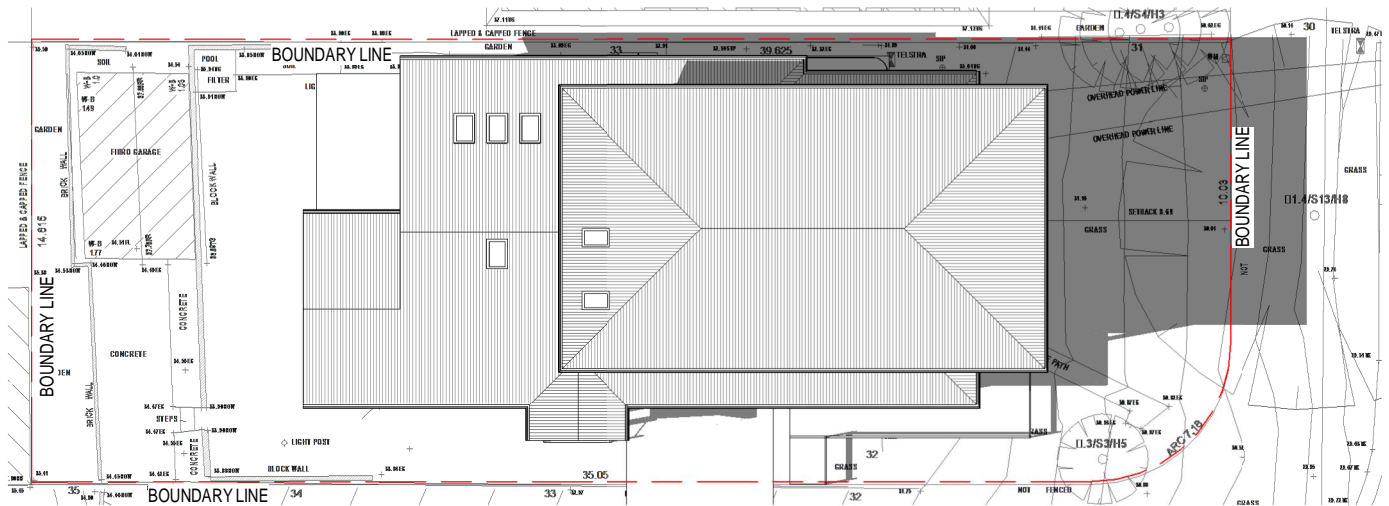


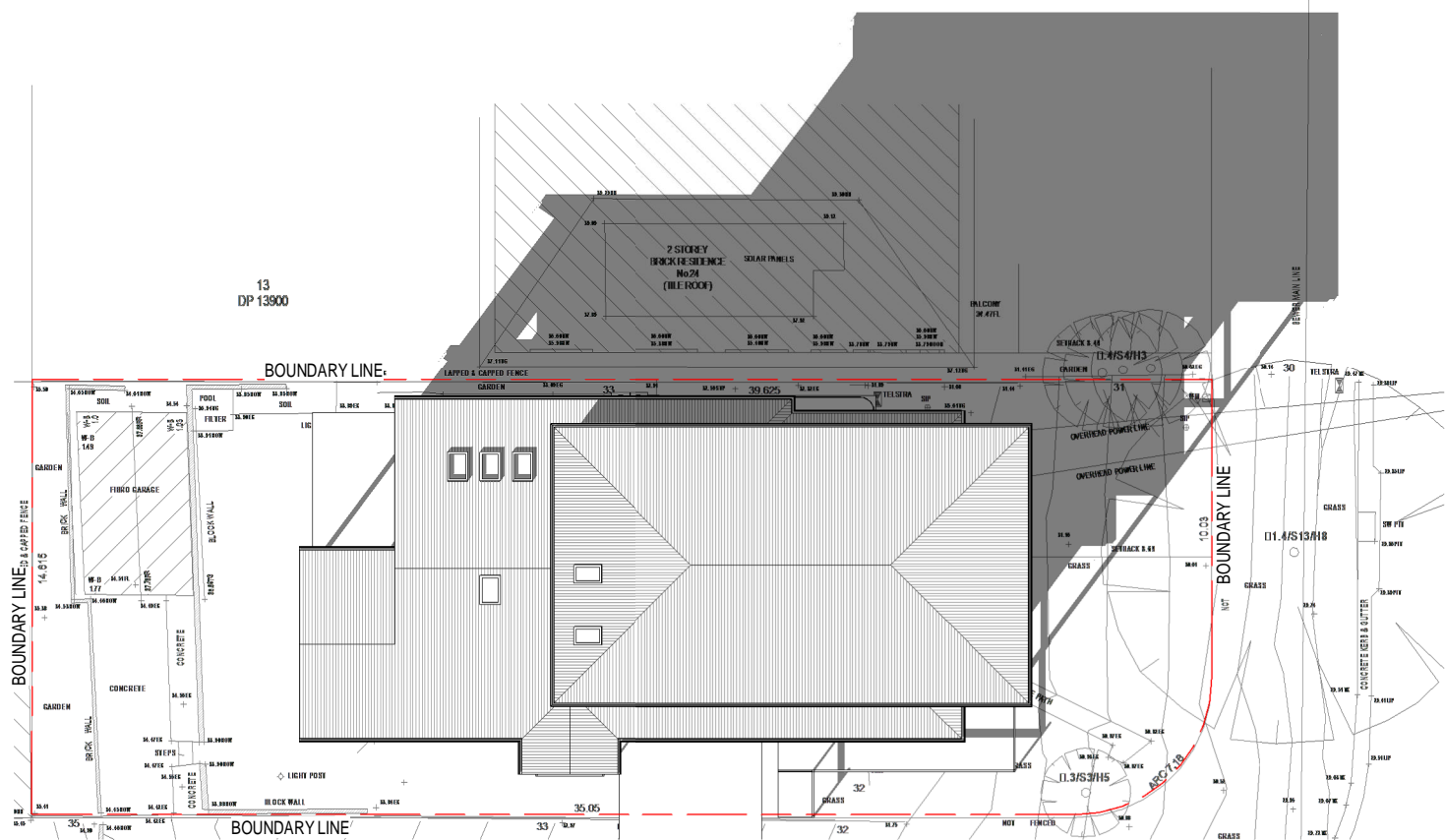
1 SHADOW DIAGRAM 9AM
1 : 250



2 SHADOW DIAGRAM 12PM
1 : 250



3 SHADOW DIAGRAM 3PM
1 : 250



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/11/2018
B	CHANGES TO GARAGE RL, FRONT DOOR, BALCONY DOOR, BUTTLERS, LAUNDRY, BATH & BED 1	28/11/2018
C	CHANGES TO RL'S; CHANGE ALFRESCO DOOR HEIGHTS; CHANGE WINDOWS TO DOUBLE HUNG; ADD FIRE PROOFING WALL; ADJUST GARAGE DOOR; ADD TUB TO BATHROOM.	10/12/2018
D	CHANGES TO ALL WALLS, BUTTLERS, BATH, BED 1, DINING, PORCH, BALCONY, DRY, WINDOWS IN LIVING ROOM & ALL STAIRS. ADDED RAMP	13/12/2018
E	CHANGE FLAT BATH LAYOUT; MORE SLIDING DOOR; CAVITY SLIDER TO STUDY	17/12/2018
F	ADD RAMP FROM FOOTPATH	24/01/2019
G	CHANGES TO GABLE ROOF. ADDED SKYLIGHT, WATER TANK, AC & HWU. UPDATED TO FULL SET FOR DA ISSUE	11/02/2019
H	ADDED BASIX COMMITMENT	28/03/2019
J	CHANGES TO BATH IN GRANNY FLAT, STAIRS, POSITION OF WATER TANK, A/C, HWS & RAMP. ADDED POWER BOX & A/C.	04/04/2019
K	ADDED SKYLIGHTS TO KITCHEN AREA	08/04/2019

PARR AVENUE

SHADOW DIAGRAM LEGEND: (21st JUNE)

- 9AM shadow
- 12PM shadow
- 3PM shadow

SPECIFICATION:
The specification overrides drawings

STRUCTURAL DESIGN:
This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

COPYRIGHT GJ GARDNER 2015
This design remains the property of GJ Gardner Homes (Sydney North) and may not be reproduced in whole or part without written consent.

General notes
Use figured dimensions only.
Do not scale from drawings.
All ground lines are approximate.
Window and door sizes shown are nominal.
All work to be carried out in accordance with local Council codes, BCA, Australian Standards and any relevant authorities.
Wind rating, refer to framing manufacturers specifications.

FINAL SIGNED COPY
I / We accept that these plans are the final working drawings. They supercede any preliminary plan and I / We have checked that all alterations and additions are shown. I / We are aware these plans form part of our contract between GJ Gardner Homes (Sydney North).

Owner(s) signature

Builders signature

Date

G.J. Gardner. HOMES

SYDNEY NORTH

Unit 2, 28 - 30 Orchard Rd, Brookvale
Sydney, NSW, 2100
Phone 9939 3339 Fax 9939 4442
www.gjgardner.com.au

Drafted By: **KJR** DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
PHONE: (02) 8883 4344
EMAIL: kjrdrafting@kjr.net.au

Project
DOUBLE STOREY DWELLING
Project address
26 PARR AVE NORTH CURL CURL
NSW 2099

Client
IAN HAINE & NARELLE MOSS
Stage
DA

Drawing title
SHADOW DIAGRAM

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale As indicated

Job No 230240 - GJGN079

True North Drawing No Rev

GJG-A11 K