



















Certificate number: 1082279S

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 159.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Comfort Commitments			
	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	83.0 square metres
floor - suspended floor/open subfloor	12.0 square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study;		✓	✓

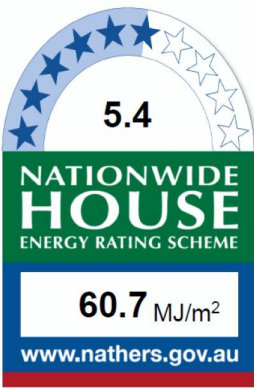
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> • at least 3 of the living / dining rooms; • the kitchen; • all bathrooms/toilets; • the laundry; • all hallways; 		    	    
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.			
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
The applicant must install a fixed outdoor clothes drying line as part of the development.			

QUOTE	DATE	QUOTE NUMBER	REV
KITCHEN			-
ELECTRICAL			-
TILES			-
CARPET			-
ZURCORP			-
EH1			-
AIR CONDITIONING			-
STAIRS			-
LANDSCAPE			
HYDRAULICS			
ENGINEER			
PEG OUT			-

F	16.03.20	EXTERNAL COLOURS	M.H.
E	02.03.20	DA DRAWINGS, HYDRAULICS CO-ORDINATED	PG/MH
D	25.02.20	BASIX AMENDMENTS	M.H.
C	20.02.20	PCV1	PG.JS
B	04.02.20	CONTRACT DRAWINGS	PG.
A	26.11.19	TENDER	BG
REV	DATE	AMENDMENTS	BY

<u>REAS</u>	
ITE:	411.30 m ²
GROUND FLOOR:	94.21 m ²
FIRST FLOOR:	121.06 m ²
ORAGE:	28.22 m ²
ORCH:	7.76 m ²
ALCONY:	5.32 m ²
LFRESCO:	10.80 m ²
	m ²
TOTAL:	267.37 m ²

2.5	NEIGHBOUR NOTIFICATION PLAN
2.4	ELEVATION SHADOW DIAGRAM
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION




Certificate no.: 0004615894
Assessor Name: Ian Fry
Accreditation no.: VIC/BD/AV/12/1441
Certificate date: 25 Feb 2020
Dwelling Address:
129 Wyadra Avenue
North Manly, NSW
2100

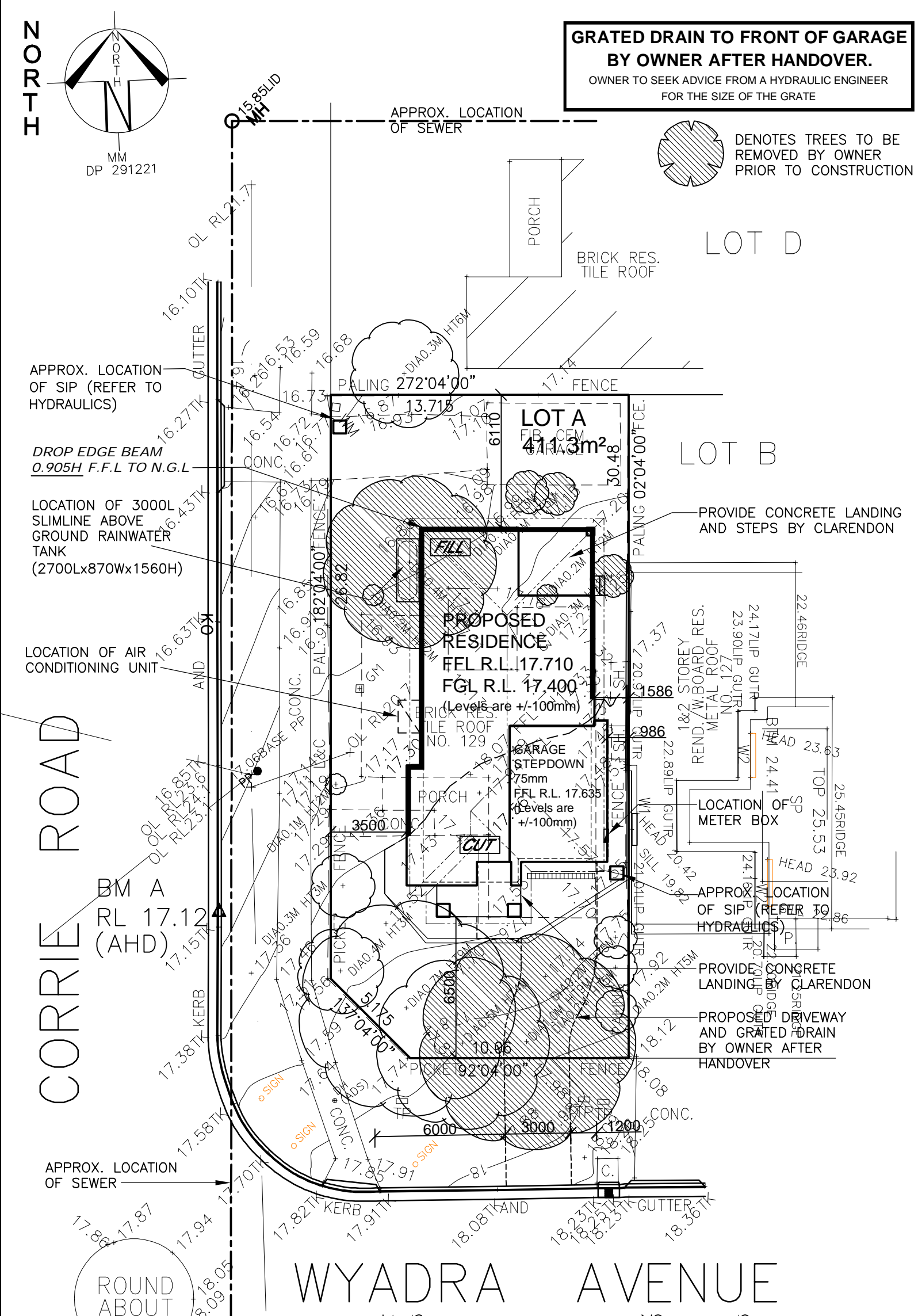


www.nathers.gov.au



CLIENT'S SIGNATURE: _____ DATE: _____

 <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</p>	<p>PRODUCT:</p> <p>PADDINGTON 29 MKII Hamptons R/H Garage</p> <p>Sapphire Specification</p> <p>Master Issued: 22.08.19 Revision: C</p>	<p>CLIENT:</p> <p>Mrs. ALEXANDER</p>	<p>DA DRAWINGS</p>		
			<p>SITE ADDRESS:</p> <p>Lot A No.129 D.P: 22055</p> <p>Wyadra Avenue</p> <p>NORTH MANLY 2100</p>	<p>DRAWN:</p> <p>PG.</p>	<p>DATE:</p> <p>12.12.19</p>	<p>Rev:</p> <p>F</p>
			<p>RATIO @ A3:</p> <p>N/A</p>	<p>CHECKED:</p> <p>MCA</p>		
			<p>SHEET:</p> <p>1</p>	<p>JOB No:</p> <p>29913993</p>	<p>NSW</p>	



**GRATED DRAIN TO FRONT OF GARAGE
BY OWNER AFTER HANDOVER.**
OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER
FOR THE SIZE OF THE GRATE

LOT A
D.P: 22055
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	411.3 m²
ROOF AREA	159.6 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	202.4 m²
(MIN. DIMENSION OF 2.0m)	49.2 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	99.6 m²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 5.0m AT BOUNDARY	

SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	159.6m²
DRIVEWAY/ PAVED AREAS:	25.5m²
TOTAL:	185.1m²
	45.0 %
MAX SITE COVERAGE FOR OSD:	40%

Maximum 1000mm CUT
DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "M "

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
STREET VIA
RAINWATER TANK**
REFER TO HYDRAULIC DETAILS

SITE PLAN

SCALE 1:200
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

DRIVEWAY GRADIENT PROFILE

SCALE-N.T.S

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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IN PREFERENCE TO SCALING.

PRODUCT:
PADDINGTON 29 MKII
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mrs. ALEXANDER

SITE ADDRESS:
Lot A No.129 D.P: 22055
Wyadra Avenue
NORTH MANLY 2100

DA DRAWINGS

DRAWN: BG	DATE: 26.11.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913993	NSW

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION
TAP X GARDEN TAP LOCATION
L.O.B. LIFT OFF HINGES
⊗ EXHAUST FAN
SP ○ STEEL POST
TSP ○ TELESCOPIC STEEL POST

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

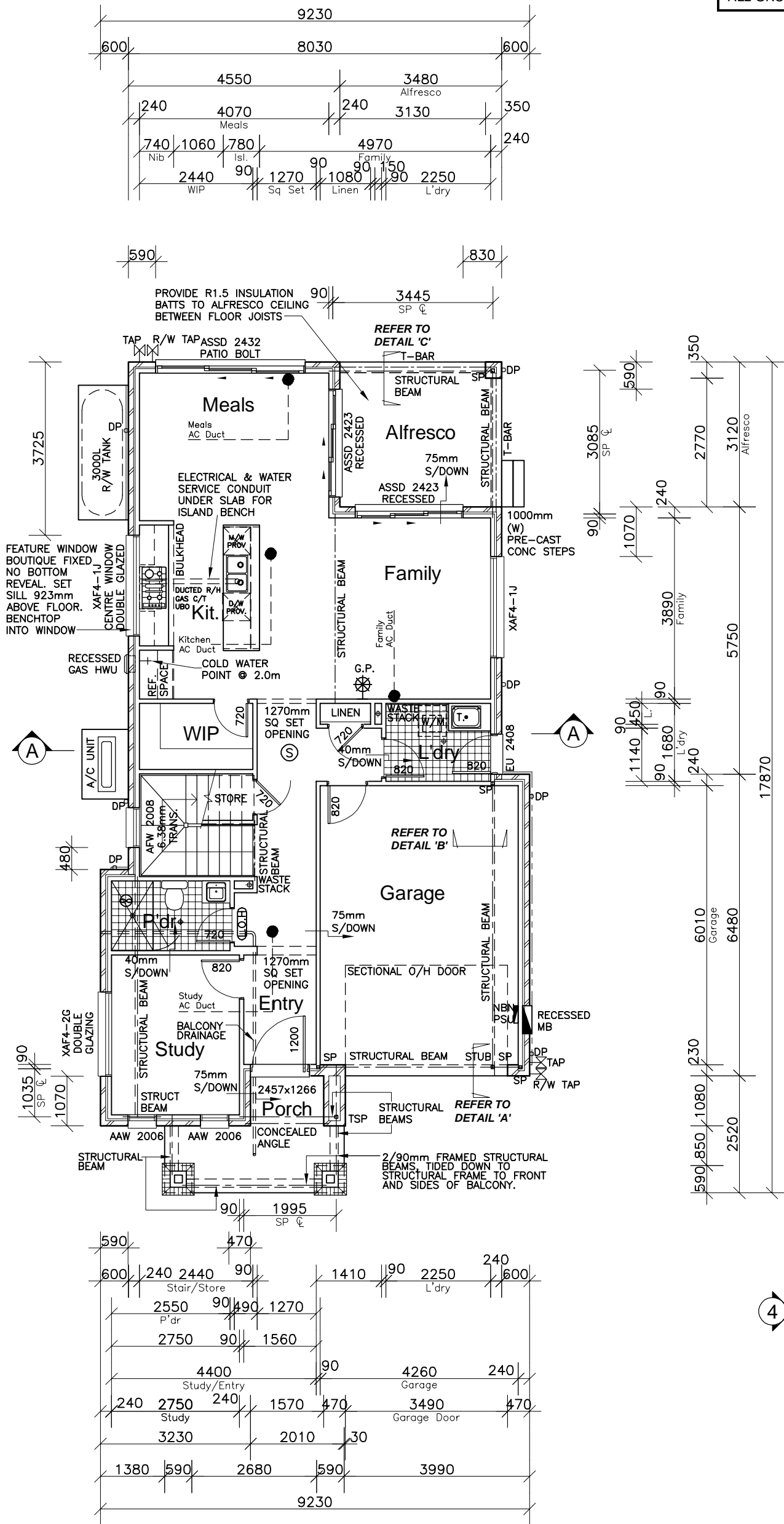
NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE
SHELVING TO W.I.P

NOTE:
PROVIDE 40MM RECESSED FLOORS
ALL GROUND FLOOR WET AREAS

NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

GROUND FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

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PADDINGTON 29 MKII
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mrs. ALEXANDER

SITE ADDRESS:
Lot A No.129 D.P: 22055
Wyadra Avenue
NORTH MANLY 2100

DA DRAWINGS

DRAWN: PG.	DATE: 12.12.19	Rev: F
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 3	JOB No: 29913993	NSW

SMOKE ALARM

AIR CONDITIONING DUCT

DOWN PIPE LOCATION

GARDEN TAP LOCATION

LIFT OFF HINGES

STEEL POST

TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

EXHAUST FAN

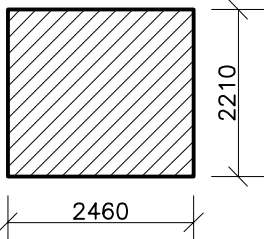
NOTE:
PROVIDE 40MM RECESSED FLOORS
ALL FIRST FLOOR WET AREAS

NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

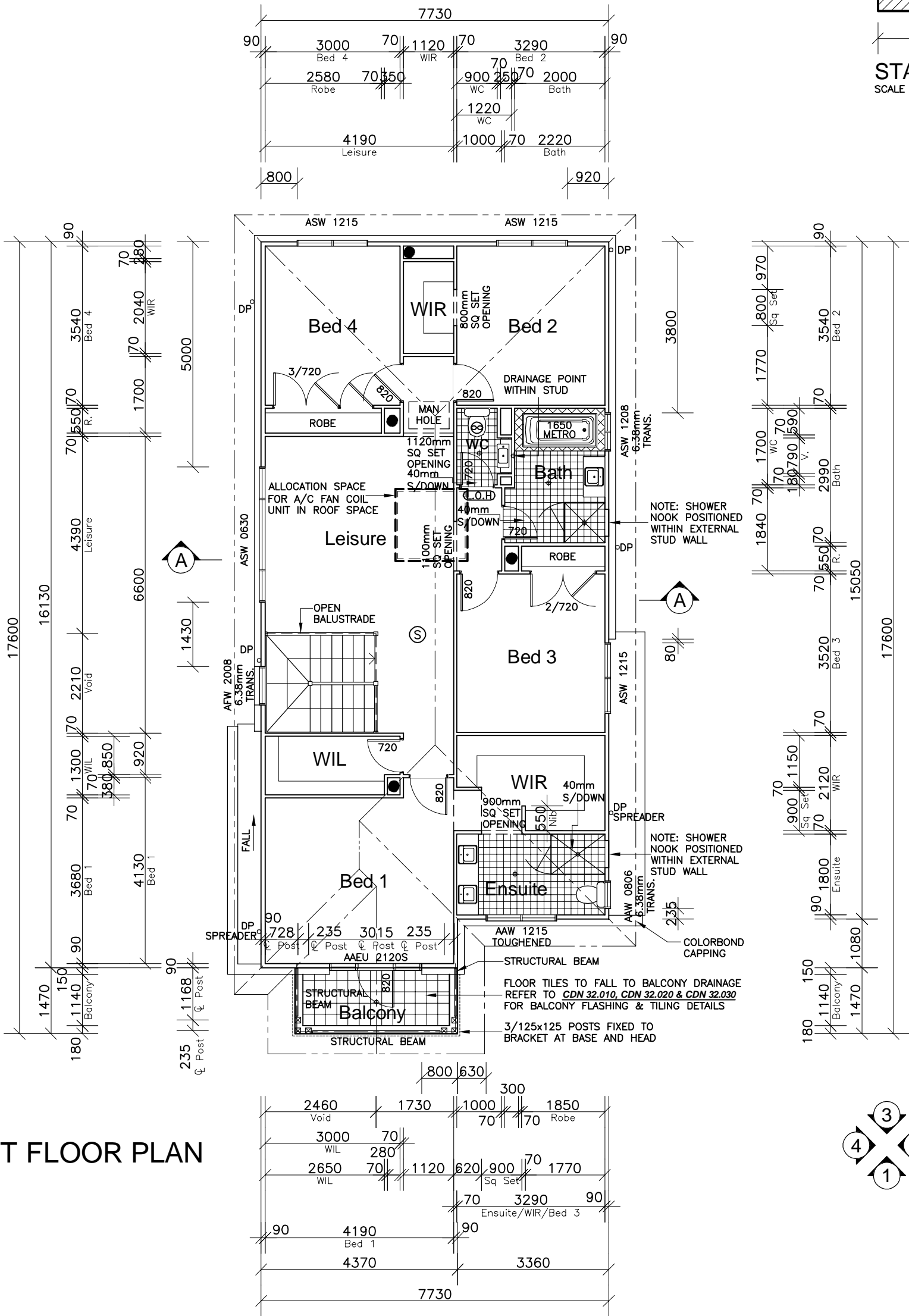
NOTE:
ALL FIRST FLOOR BEDROOM & LIVING
WINDOWS TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT
WITH PART 3.9.2.5 OF THE B.C.A -
PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.240 & SHEET 10 FOR DETAILS



STAIR CUTOUT
SCALE 1:100

FIRST FLOOR PLAN



CLIENT'S SIGNATURE:

DATE:

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PADDINGTON 29 MKII
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mrs. ALEXANDER


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Lot A No.129 D.P: 22055
Wyadra Avenue
NORTH MANLY 2100

DA DRAWINGS

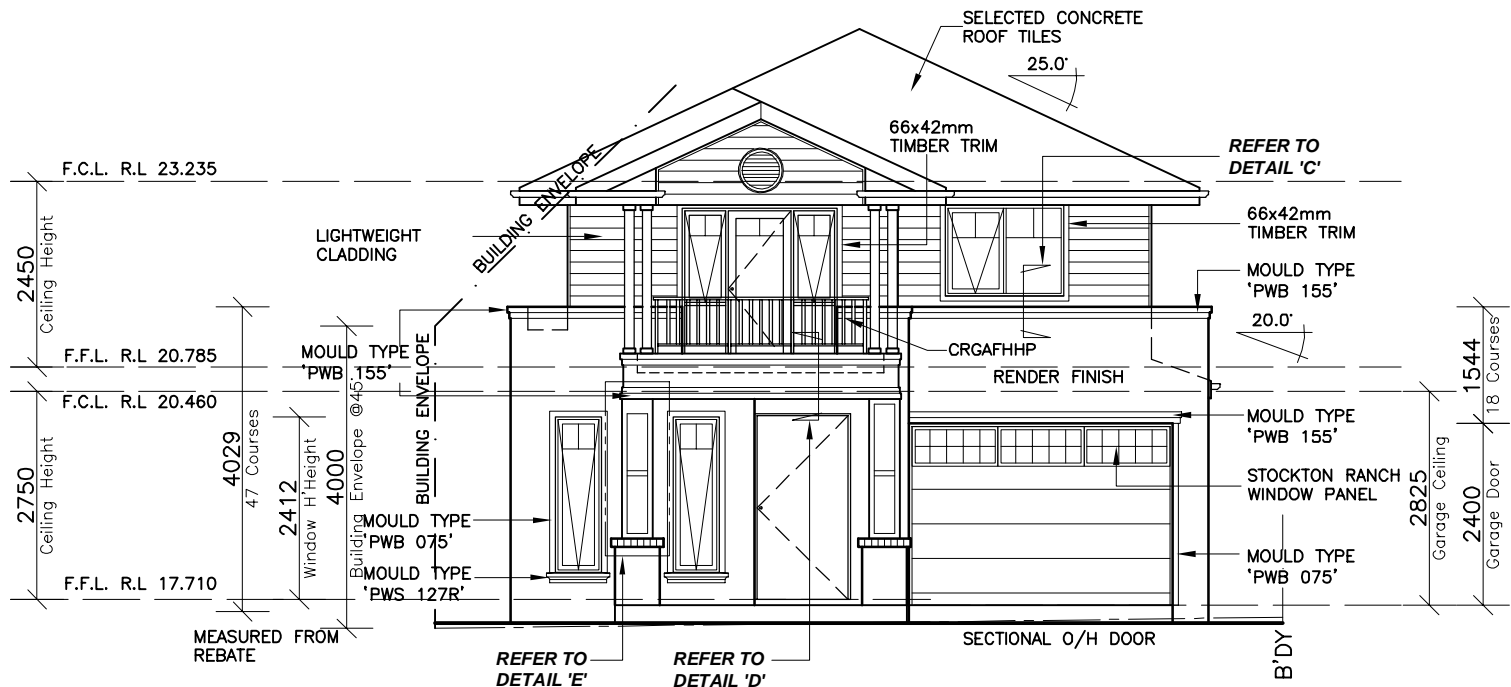
DRAWN: PG.	DATE: 12.12.19	Rev: F
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 4	JOB No: 29913993	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

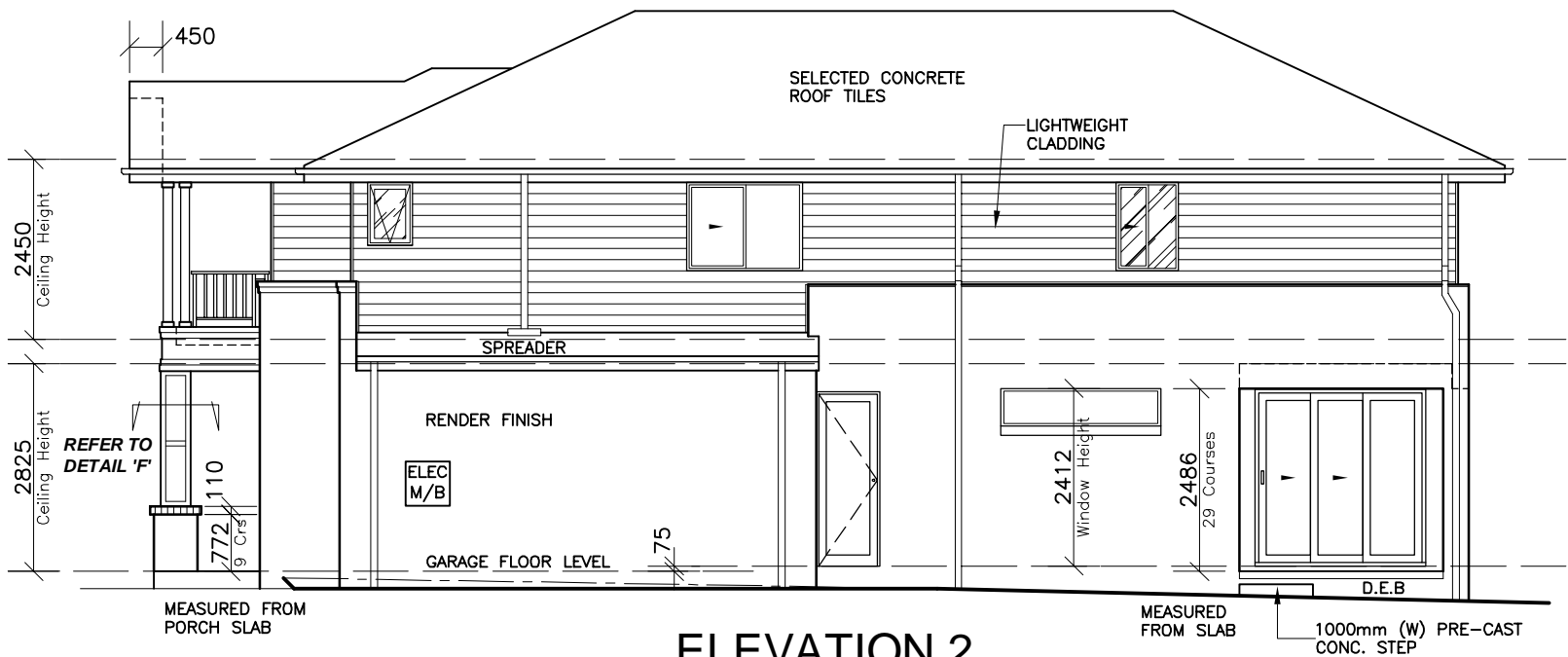
NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

 DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
LAMINATED GLAZING

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 1
-SOUTH-



ELEVATION 2
-EAST-

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
PADDINGTON 29 MKII
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mrs. ALEXANDER


SITE ADDRESS:
Lot A No.129 D.P: 22055
Wyadra Avenue
NORTH MANLY 2100

DA DRAWINGS

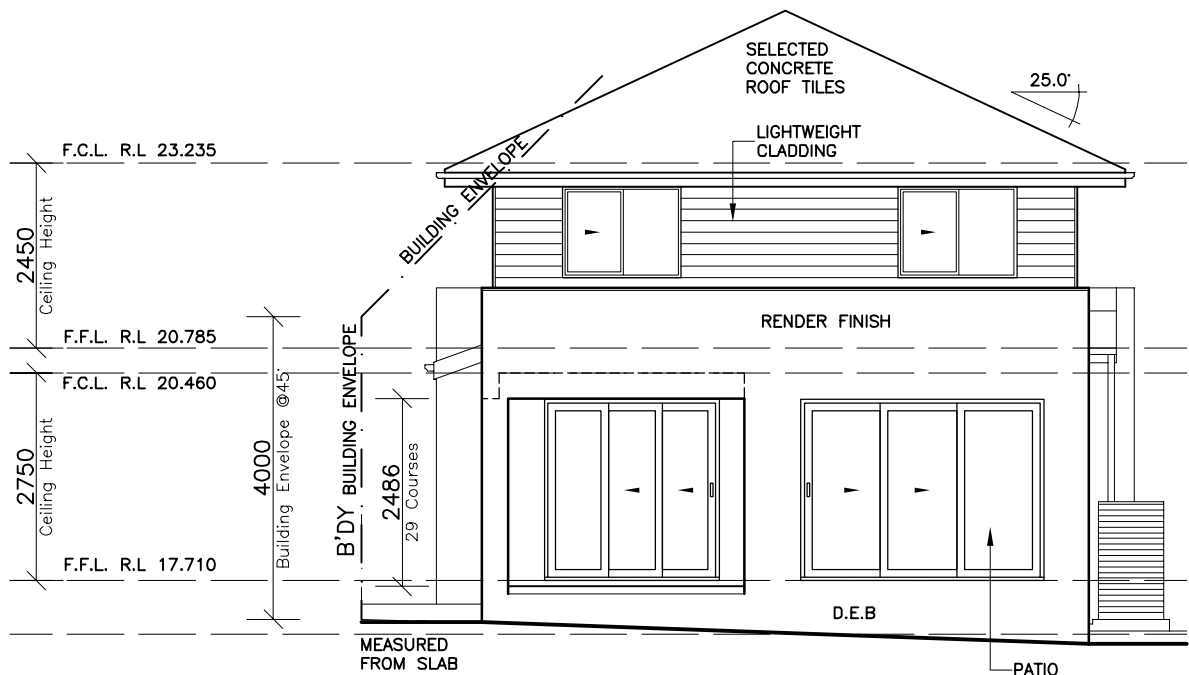
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RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 5	JOB No: 29913993	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

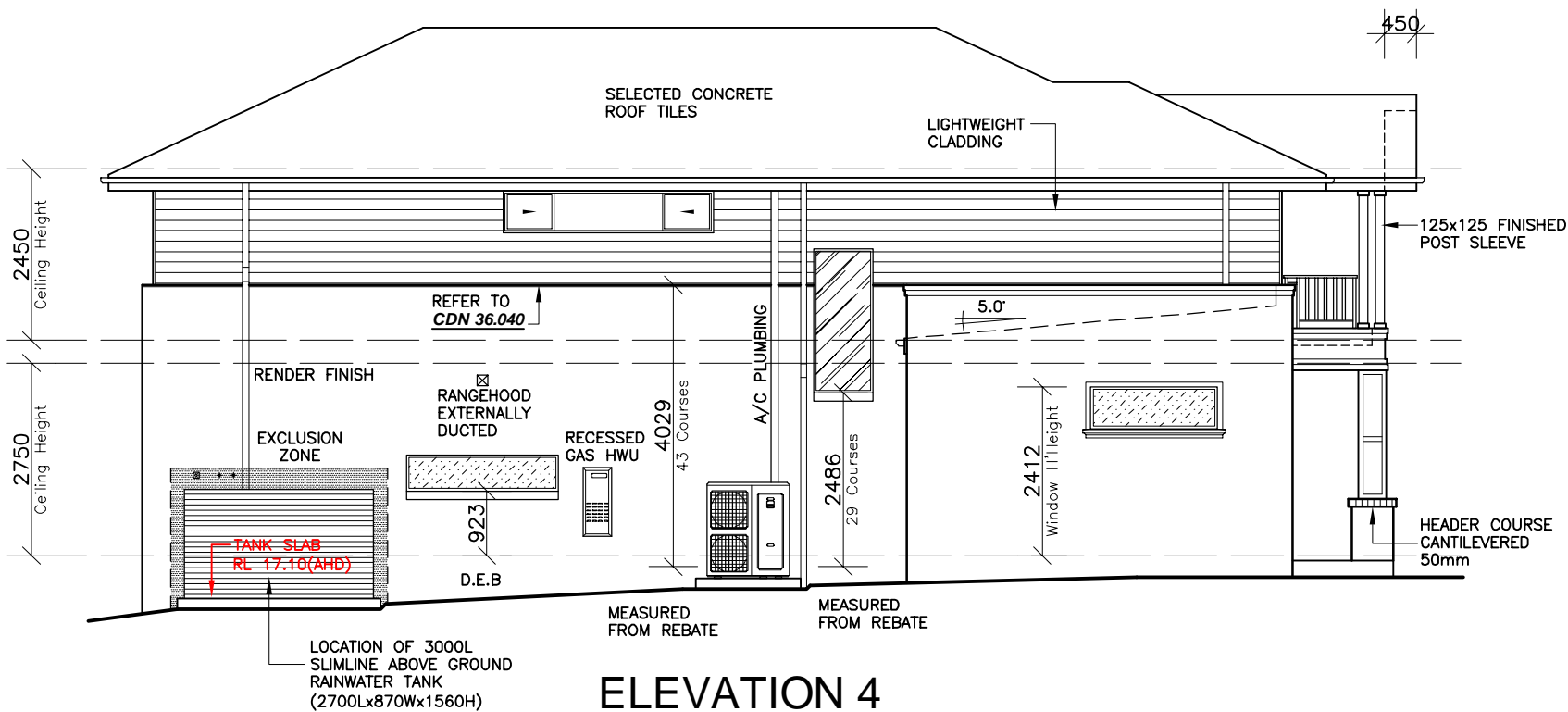
NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

 DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
LAMINATED GLAZING

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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PRODUCT:
PADDINGTON 29 MKII
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mrs. ALEXANDER

SITE ADDRESS:
Lot A No.129 D.P: 22055
Wyadra Avenue
NORTH MANLY 2100

DA DRAWINGS

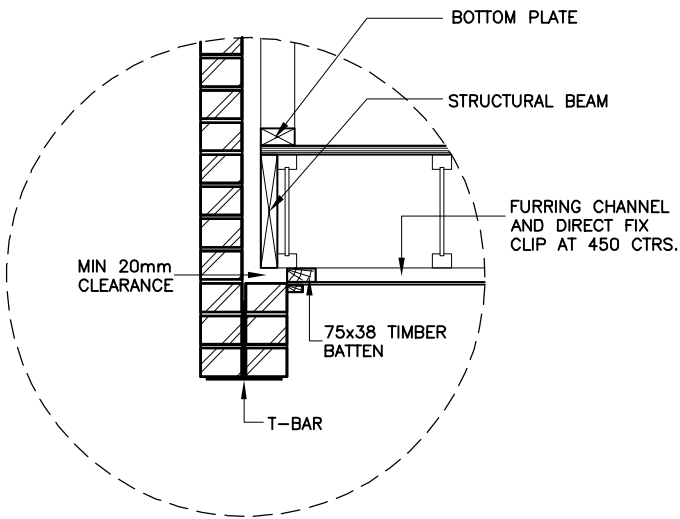
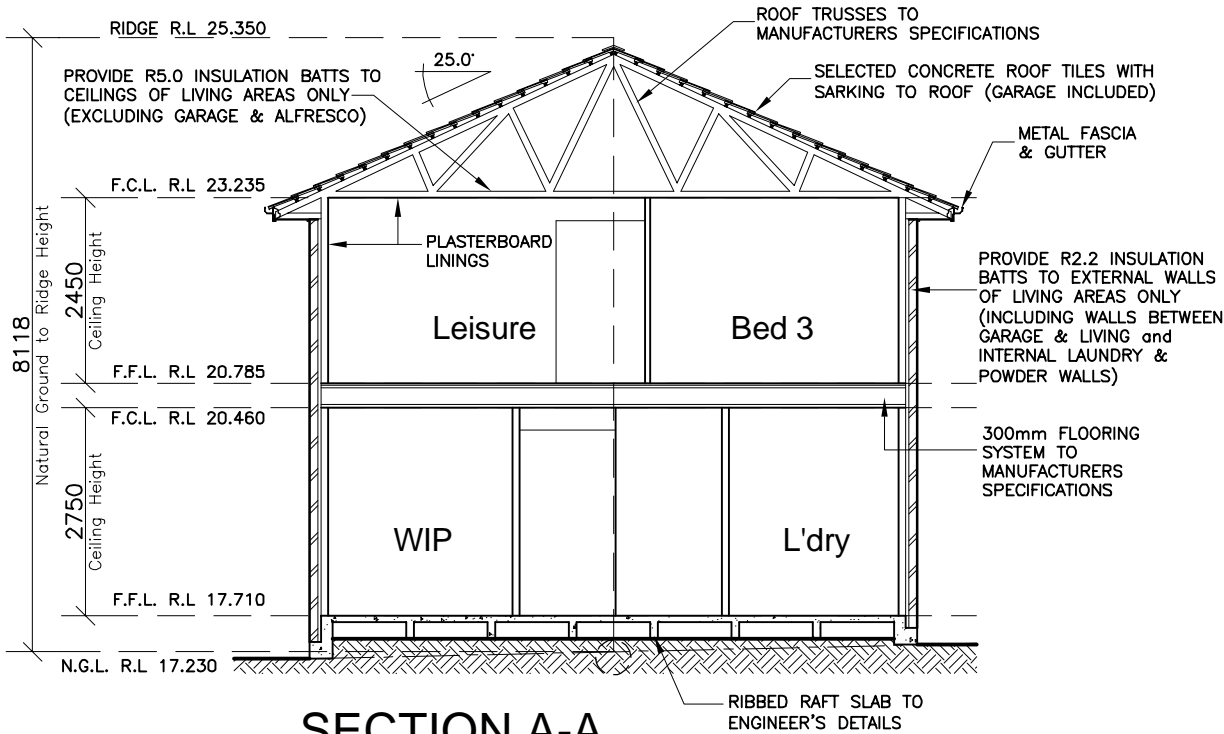
DRAWN: PG.	DATE: 12.12.19	Rev: F
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 6	JOB No: 29913993	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS


NOTES:
FOR DROP-OFF's REFER TO FRAMING DETAILS
CDN 21.010-21.080

PROVIDE R2.2 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR and PORCH & FIRST FLOOR CANTILEVER (BED 1)




DETAIL 'C'

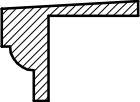
SCALE: 1:20



'PWB 075'
SCALE 1:10



'PWB 155'
SCALE 1:10



'PWS 127R'
SCALE 1:10

HAMPTONS MOULDING PROFILES

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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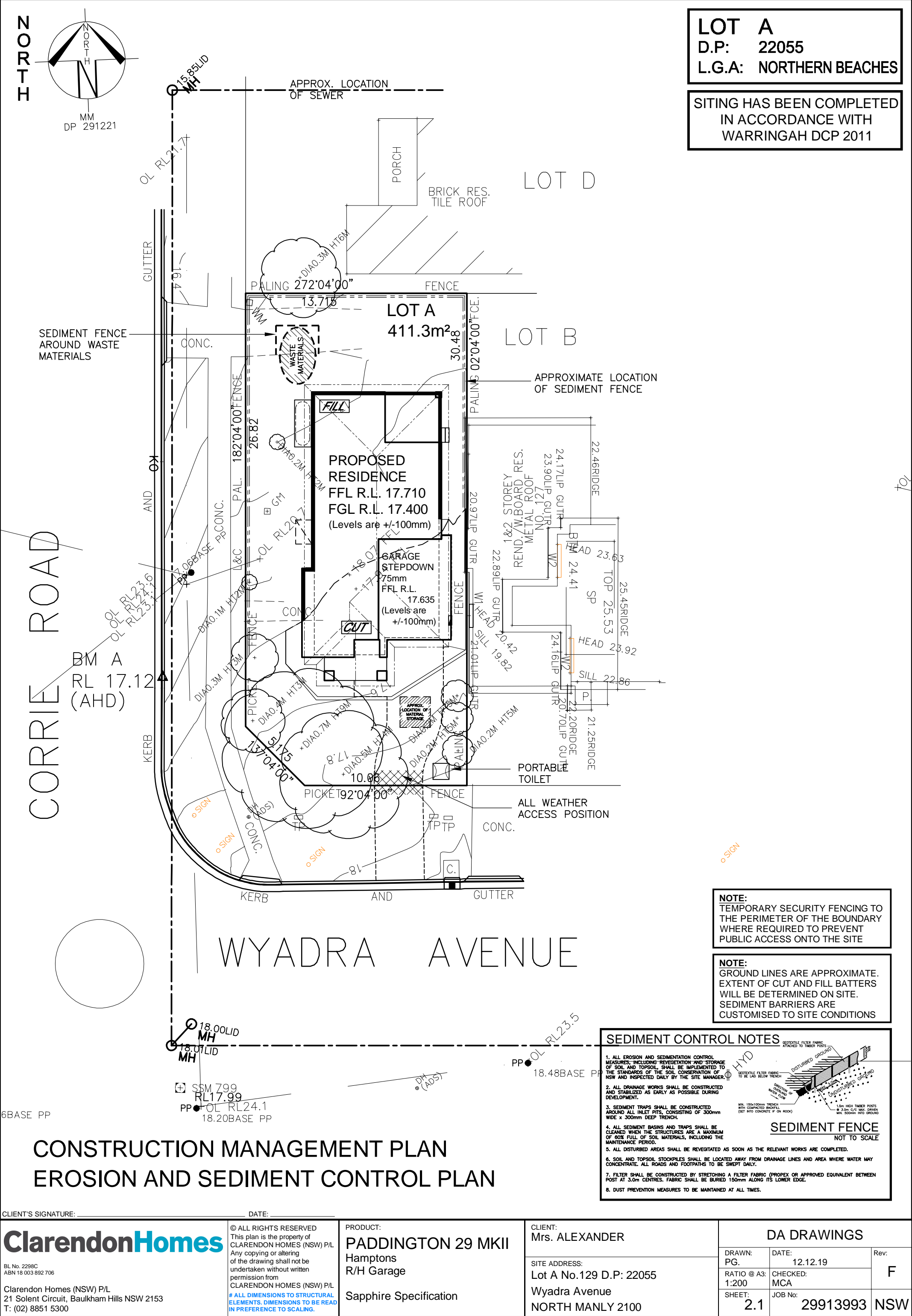
PRODUCT:
PADDINGTON 29 MKII
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mrs. ALEXANDER

SITE ADDRESS:
Lot A No.129 D.P: 22055
Wyadra Avenue
NORTH MANLY 2100

DA DRAWINGS			
DRAWN: PG.	DATE: 12.12.19	Rev: F	
RATIO @ A3: 1:100	CHECKED: MCA		
SHEET: 7	JOB No: 29913993	NSW	



LOT A

D.P: 22055

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

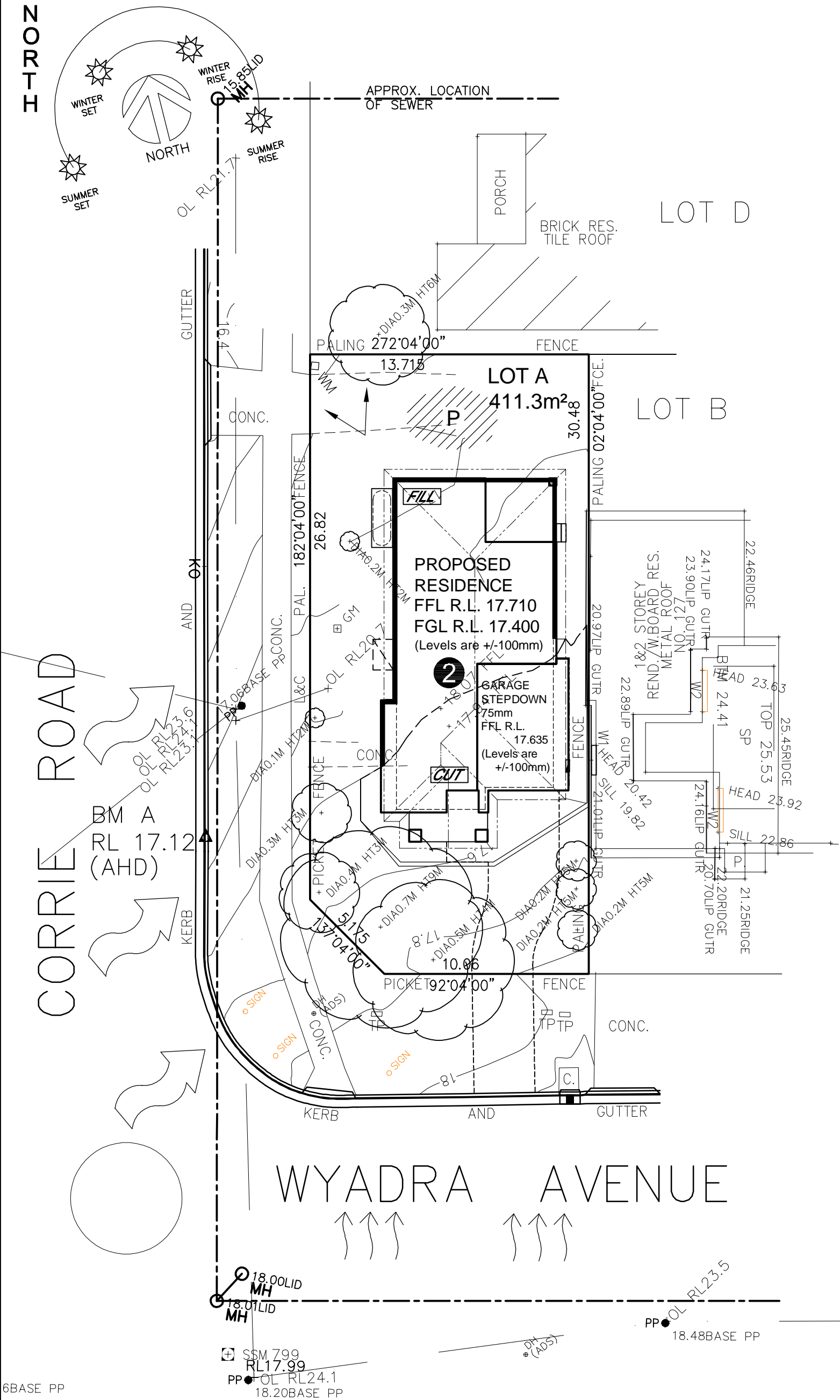
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE

NOT TO SCALE

CLIENT'S SIGNATURE: _____		DATE: _____				DA DRAWINGS			
<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>		<div>© ALL RIGHTS RESERVED</div> <div>This plan is the property of CLARENDON HOMES (NSW) P/L</div> <div>Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</div> <div># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>		<div>PRODUCT:</div> <div>PADDINGTON 29 MKII Hamptons R/H Garage</div> <div>Sapphire Specification</div>		CLIENT:		Mrs. ALEXANDER	
						SITE ADDRESS:		Lot A No.129 D.P: 22055 Wyadra Avenue NORTH MANLY 2100	
						DRAWN:	DATE:	Rev:	
						PG.	12.12.19		
						RATIO @ A3:		CHECKED:	
						1:200		MCA	
						SHEET:		JOB No:	
						2.1		29913993	
								NSW	



LOT A
D.P: 22055
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011




- DENOTES EXISTING TREES TO BE RETAINED
- NUMBER OF STOREYS
- PRINCIPAL PRIVATE OPEN SPACE
- MAIN VIEWS
- NOISE IMPACT
- PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____		DATE: _____				DA DRAWINGS			
<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>		<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>		<div>PRODUCT:</div> <div>PADDINGTON 29 MKII Hamptons R/H Garage</div> <div>Sapphire Specification</div>		CLIENT:		Mrs. ALEXANDER	
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						1:200		MCA	
						SHEET:		JOB No:	
						2.2		29913993	
								NSW	

SITING HAS BEEN COMPLETED
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WARRINGAH DCP 2011



	SHADOW CAST AT 9.00am ON JUNE 21st
	SHADOW CAST AT 12.00pm ON JUNE 21st
	SHADOW CAST AT 3.00pm ON JUNE 21st

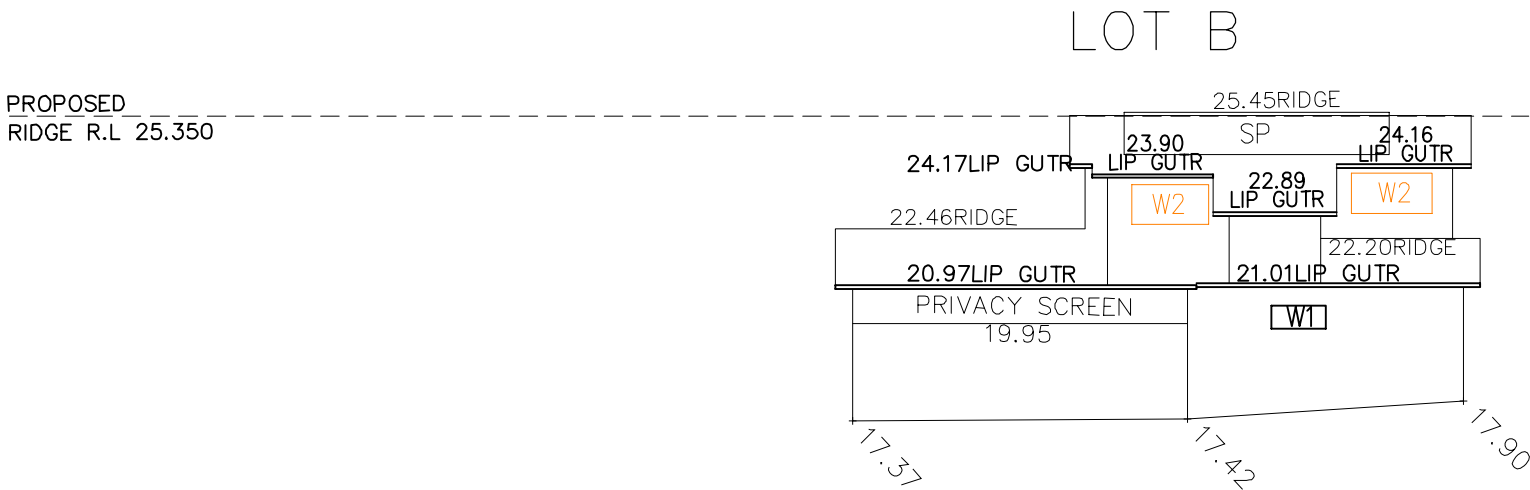
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<div><div><div>ClarendonHomes</div></div><div>BL No. 2298C ABN 18 003 892 706</div><div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div></div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT: PADDINGTON 29 MKII Hamptons R/H Garage Sapphire Specification</div>	<div>CLIENT: Mrs. ALEXANDER</div>	DA DRAWINGS		
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			<div>RATIO @ A3: 1:200</div>	<div>CHECKED: MCA</div>	<div>F</div>	
			<div>SHEET: 2.3</div>	<div>JOB No: 29913993</div>	<div>NSW</div>	

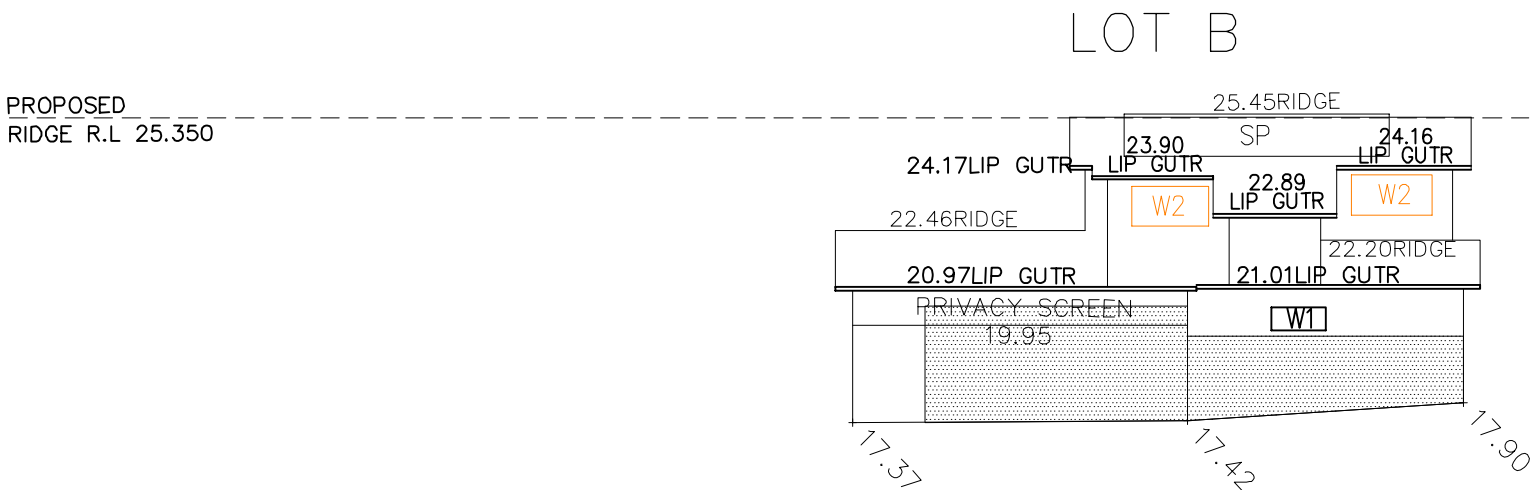
NORTH

LOT A
D.P: 22055
L.G.A: NORTHERN BEACHES

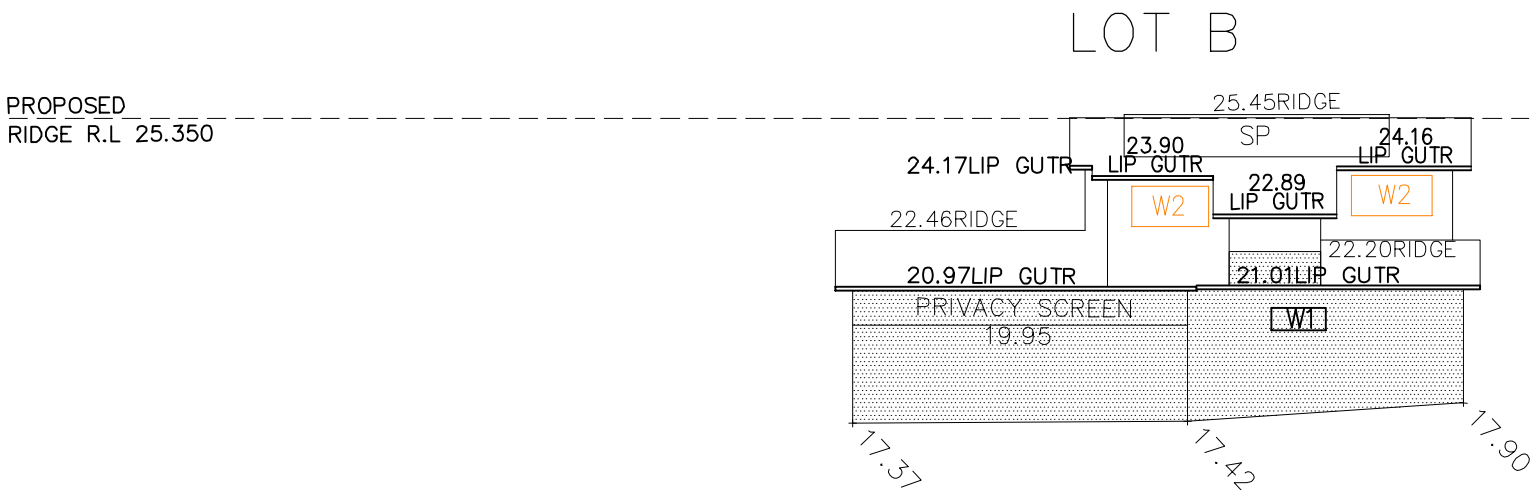
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



Shadow outline for JUN21-9.00am



Shadow outline for JUN21-12.00pm



Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

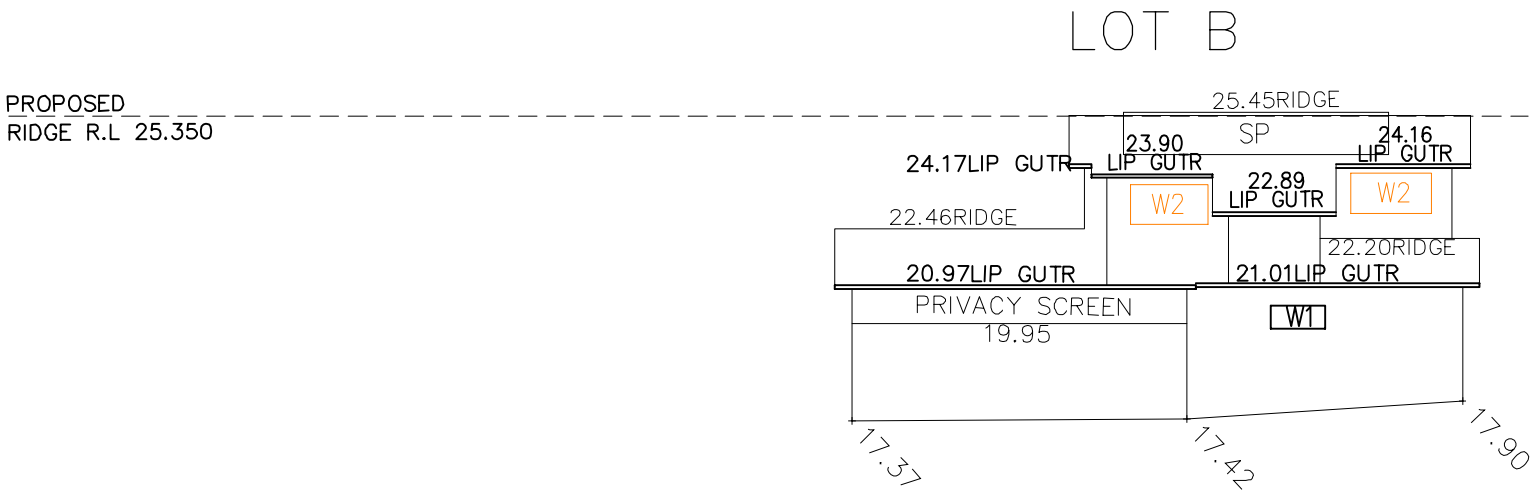
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				SHEET: 2.4	JOB No: 29913993	NSW

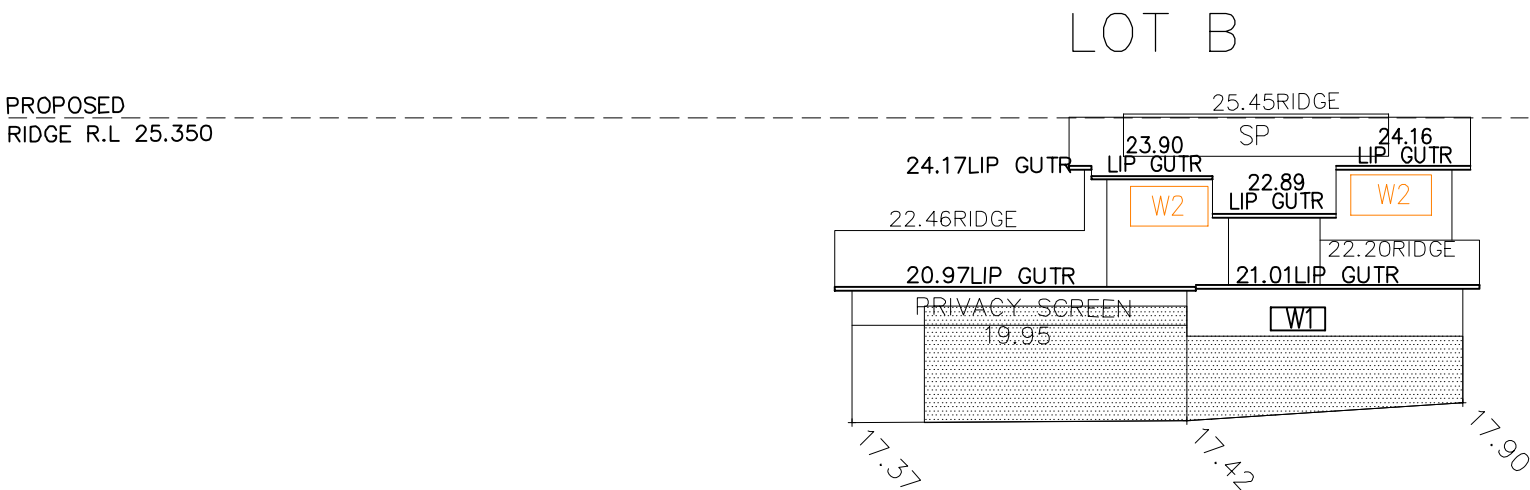
NORTH

LOT A
D.P: 22055
L.G.A: NORTHERN BEACHES

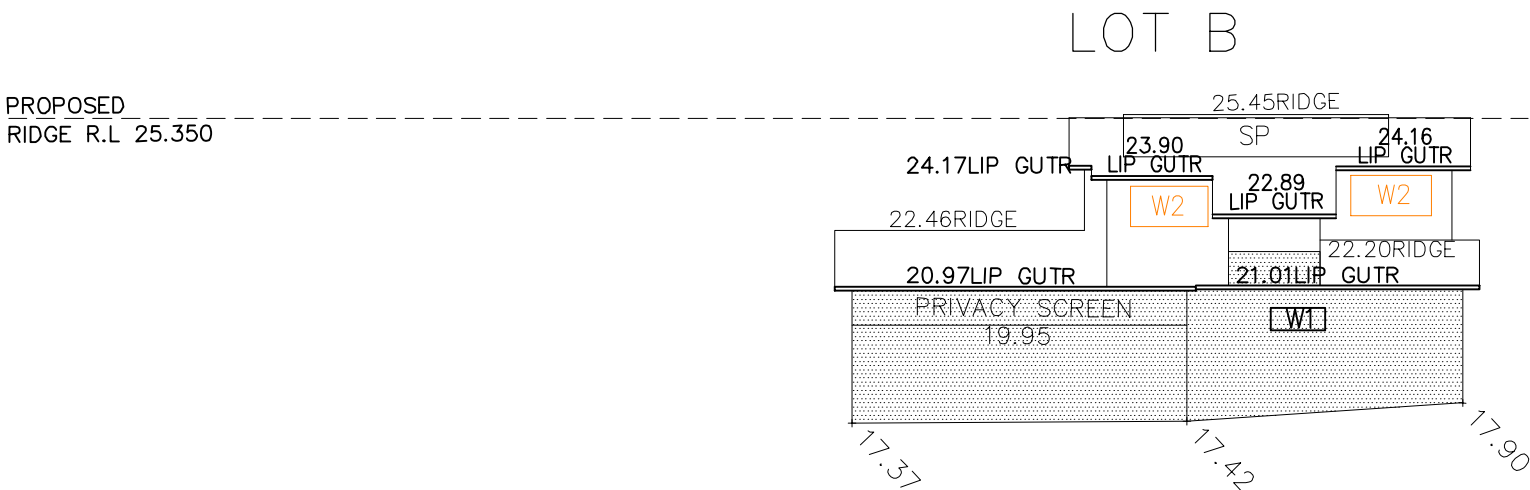
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



Shadow outline for JUN21-9.00am



Shadow outline for JUN21-12.00pm



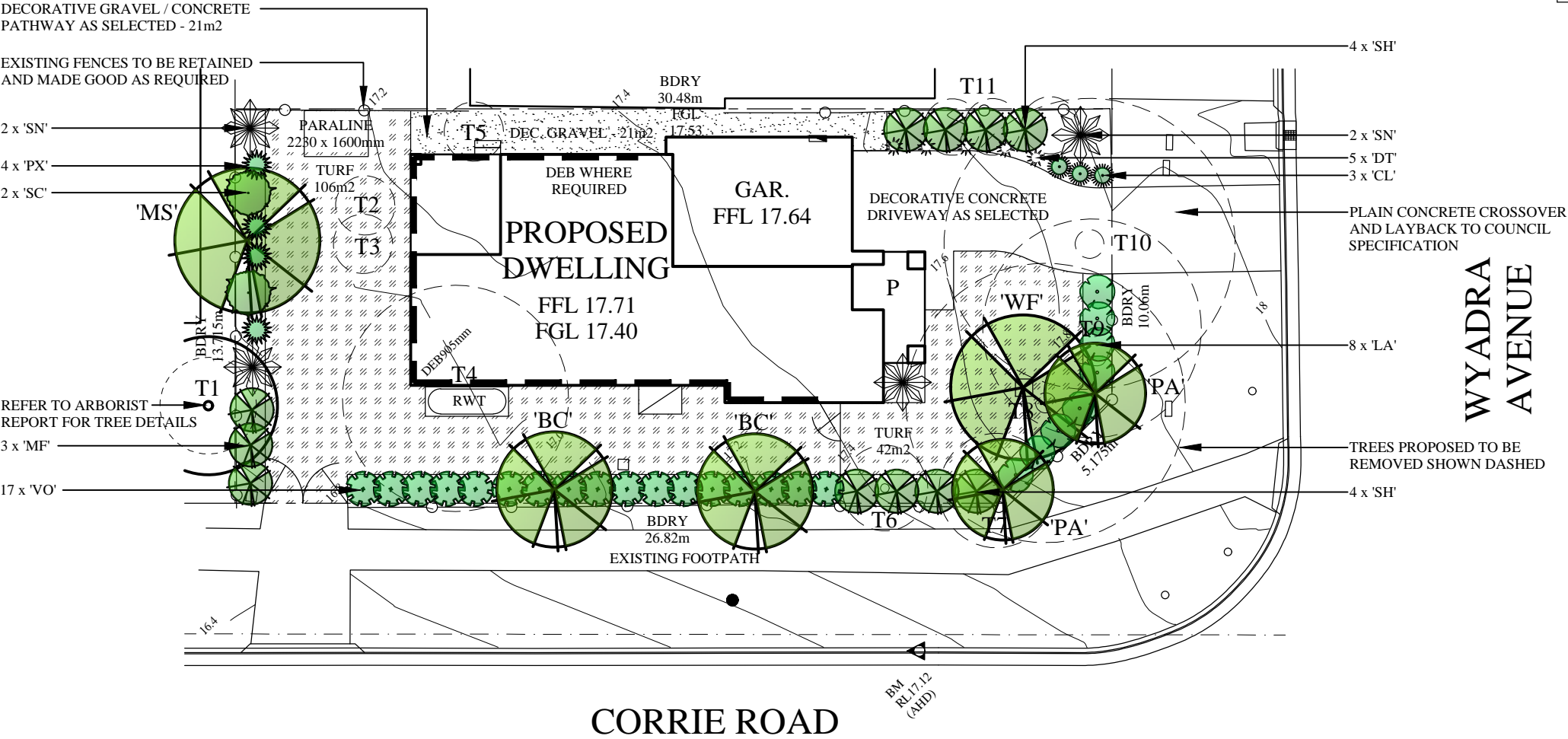
Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

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				RATIO @ A3: 1:200	CHECKED: MCA	
				SHEET: 2.5	JOB No: 29913993	NSW

STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS. THE METHODS OF TREE PROTECTION SHALL COMPLY WITH AUSTRALIAN STANDARD 4970-2009 - 'PROTECTION OF TREES ON DEVELOPMENT SITES' (IF NO DETAILED ARBORICULTURAL IMPACT REPORT IS REQUIRED).



PLANT SCHEDULE

BOTANIC NAME	KEY	QTY	POT SIZE	HT (M)
TREES				
BACKHOUSIA CITRIODORA (LEMON MYRTLE)*	BC	2	45L	5-10
MAGNOLIA SOULANGEANA (MAGNOLIA)	MS	1	45L	>10
PLUMERIA ACUTIFOLIA (FRANGIPANI)	PA	2	45L	4
WATERHOUISA FLORIBUNDA (WEEPING LILLY PILLY)*	WF	1	45L	>10
SHRUBS				
CALLISTEMON 'LITTLE JOHN' (BOTTLEBRUSH)*	CL	3	200MM	0.5
DIANELLA 'TASRED' (FLAX LILY)*	DT	5	150MM	0.3
LUMA APICULATA (CHILEAN MYRTLE)	LA	8	200MM	TRIM
METROSIDEROS 'FIJI FIRE' (NZ XMAS BUSH)*	MF	3	200MM	3
PHILODENDRON 'XANADU' (PHILODENDRON)	PX	4	150MM	0.5
STRELITZIA NICOLAI (GIANT BIRD OF PARADISE)	SN	4	200MM	3
SYZYGium 'CASCADE' (POWDER PUFF LILLY PILLY)*	SC	2	200MM	2
SYZYGium 'HINTERLAND GOLD' (LILLY PILLY)*	SH	8	200MM	2
VIURNUM ODORATISSIMUM (SWEET VIBURNUM)	VO	17	200MM	TRIM

* = NATIVE SPECIES

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UNAUTHORISED USAGE, REPRODUCTION OR STORAGE SHALL BE TAKEN AS AN ACCEPTANCE OF A USAGE FEE OF \$2200 PER PLAN / SHEET OR PART THEREOF FOR EACH AND EVERY USE.



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email: paul@monaco.net.au

PROJECT:
PROPOSED DWELLING

ADDRESS:
129 WYADRA AVENUE
NORTH MANLY

CLIENT:
ALEXANDER AND BEAUMONT

TITLE:
**DA
LANDSCAPE CONCEPT**

DATE: 12 MAR 20	SCALE: 1 : 200 - A3	SHEET No: 1 OF 2
JOB No. 5464	DRAWN: CJ / PM	

LANDSCAPE PLANS
ARBORICULTURAL REPORTS
VEGETATION MANAGEMENT PLANS

TYPICAL PLANT SELECTION CRITERIA - AS2303-2015
TREE STOCK FOR LANDSCAPE USE' FOR FULL SPEC.

ENSURE GOOD HEALTH AND VIGOUR. ENSURE
FREEDOM FROM PESTS, DISEASES AND INJURY.

SPECIMENS SHOULD BE SELF SUPPORTING AT TIME OF
PLANTING - STAKING ONLY TO BE USED WHEN
NECESSARY- 1 GROWING SEASON MAX.

ENSURE EVIDENCE OF STEM TAPER - (INCREASE IN
CALIPER DOWN THE STEM).

PRUNING:-
*ENSURE CLEAN STEM HEIGHT DOES NOT EXCEED
40% OF PLANT HEIGHT.
*ENSURE CUTS ARE AT BRANCH COLLAR ARE CLEAN
WITH NO TEARS.

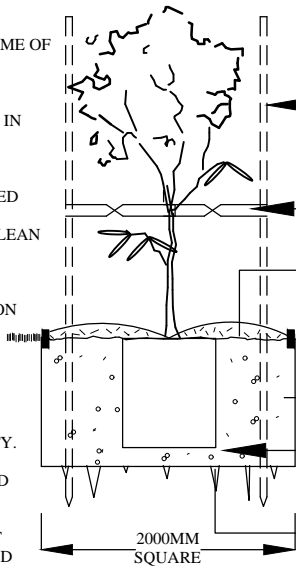
ENSURE APICAL DOMINANCE FOR TREES WITH
TYPICAL EXCURRENT FORM - LEADER DEVIATION
<15%.

ENSURE GOOD CROWN SYMMETRY AND SOUND
STEM JUNCTIONS - NO INCLUDED BARK.

ENSURE SPECIMENS / BATCHES ARE CLEARLY
LABELED - NOTING SPECIES CULTIVAR / VARIETY.

ENSURE SPECIMENS ARE FREE OF GIRDLING AND
SUCKERING ROOTS.

ENSURE TRUNK POSITION IS WITHIN 10% OF POT
CENTRE. IF TREE IS GRAFTED ENSURE SCION AND
ROOTSTOCK ARE SOUND.



TYPICAL PLANTING CRITERIA

*SEEK ADVICE BEFORE SUBSTITUTING SPECIES
*REPLACEMENTS TO BE MADE WITHIN 12 MONTHS

3 x 40MM HARDWOOD STAKES AS REQUIRED. DON'T PIERCE ROOT BALL

(NOTE:- ONLY REQUIRED IN WINDY ENVIRONMENTS, VERY
SANDY SOIL AND VERY WET CLAY - IF STAKING REQUIRED -
REMOVE AS SOON AS PRACTICALLY POSSIBLE).

50MM WIDE JUTE WEBBING - TWIST ONCE AND GAL. STAPLE
TO OUTSIDE OF STAKE. ENSURE TREE HAS AMPLE MOVEMENT

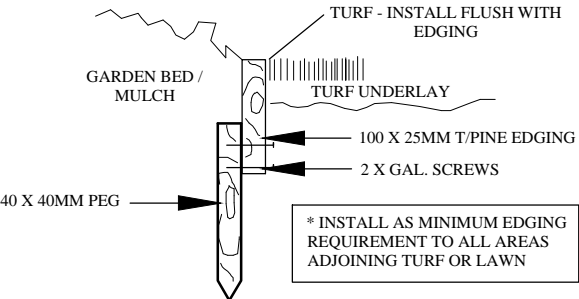
75 - 100MM SELECTED MULCH - DISH AROUND
BASE OF TRUNK. TOP OF ROOT BALL TO FINISH
FLUSH WITH TOP OF SOIL

SELECTED EDGING - REFER TO DETAIL

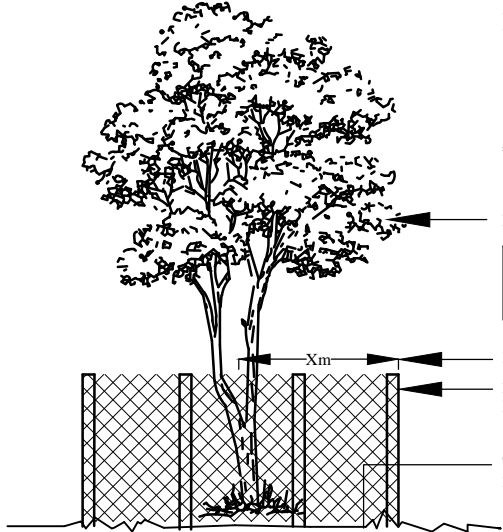
EXCAVATE HOLE AND INCORPORATE SOIL
AMENDMENTS TO 30% MAX. IF REQUIRED.

TAMP SOIL GENTLY AROUND AND BENEATH ROOT BALL
SO ROOT BALL DOES NOT MOVE - WATER WEEKLY FOR
MINIMUM 4 WEEKS TO ESTABLISH.

SCARIFY SUB SOIL AND SIDES TO 100MM MINIMUM IN
HEAVY CLAY SOILS. MAY BE REQUIRED TO MOUND PLANT.



TYPICAL EDGING
(NTS)



REFER TO AS 4970-2009 -
'PROTECTION OF TREES ON
DEVELOPMENT SITES'

* IRRIGATION WITHIN TPZ AT
ARBORIST OR COUNCIL DISCRETION

EXISTING TREE SPECIES

TPZ BARRIER
TPZ
SRZ

DISTANCE AS SHOWN ON PLAN

1800MM TEMPORARY FENCE HIRE WITH
PLASTIC FEET - NO STAKES IN GROUND
UNLESS SPECIFIED

TPZ TO BE MULCHED WITH A MINIMUM
100MM RECYCLED LEAF LITTER MULCH

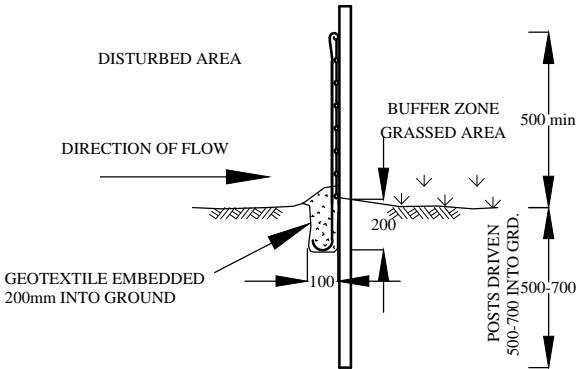
TYPICAL TREE PROTECTION
DETAIL - (NTS)
(IF NO ARBORIST REPORT REQUIRED)

GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK DA CONDITIONS AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL.
- * REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD DETAILS / FINAL LEVELS.
- * MULCHED PLANTING BEDS TO BE A MINIMUM DEPTH OF 75MM AS SELECTED.
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED.
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, ie TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEED MAT BENEATH GRAVEL PATHWAYS REQUIRED TO LIMIT MUD TRACKING.
- * PREMIUM ORGANIC GARDEN MIX TO BE USED.
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS.
- * CONTRACTOR TO MAKE GOOD TURF ON NATURE STRIP POST CONSTRUCTION.
- * DO NOT SCALE ARCHITECTURAL SETOUT FROM LANDSCAPE DRAWING.
- * EXISTING TREE SPREAD APPROXIMATE ONLY. REFER TO TREE REPORT WHEN APPLICABLE.
- * SITE SURVEY PROVIDED BY OTHERS.
- * BUFFALO TURF PREFERRED OVER KIKUYU.

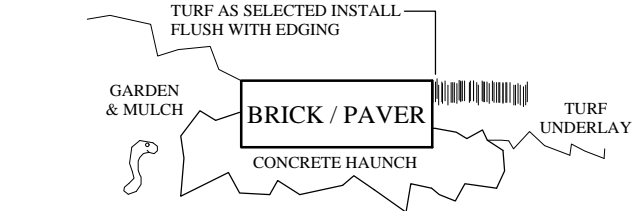
PLANTING AND MAINTENANCE NOTES:-

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED. PLANTS TO BE MOUNDED WITHIN THESE SOIL TYPES.
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE.
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
- * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED.
- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED.
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERIES CAN SUBSTITUTE).
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND.
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

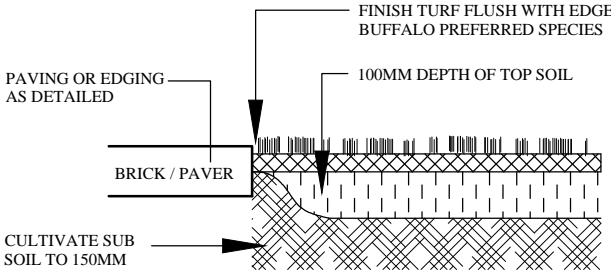


SEDIMENT BARRIER
(NTS)

(PROVIDE ON ALL DOWN HILL SLOPES - UNLESS STATED OTHERWISE)



BRICK / PAVER EDGING DETAIL
(NTS)



TURF PREPERATION DETAIL
(NTS)

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PROJECT:
PROPOSED DWELLING

ADDRESS:
129 WYADRA AVENUE
NORTH MANLY

CLIENT:
ALEXANDER AND BEAUMONT

TITLE:
LANDSCAPE DETAILS

DATE:	SCALE:	SHEET No:
12 MAR 20	1 : 200 - A3	2 OF 2
JOB No.	DRAWN:	
5464	P MONACO	

LANDSCAPE PLANS
ARBORICULTURAL REPORTS
VEGETATION MANAGEMENT PLANS