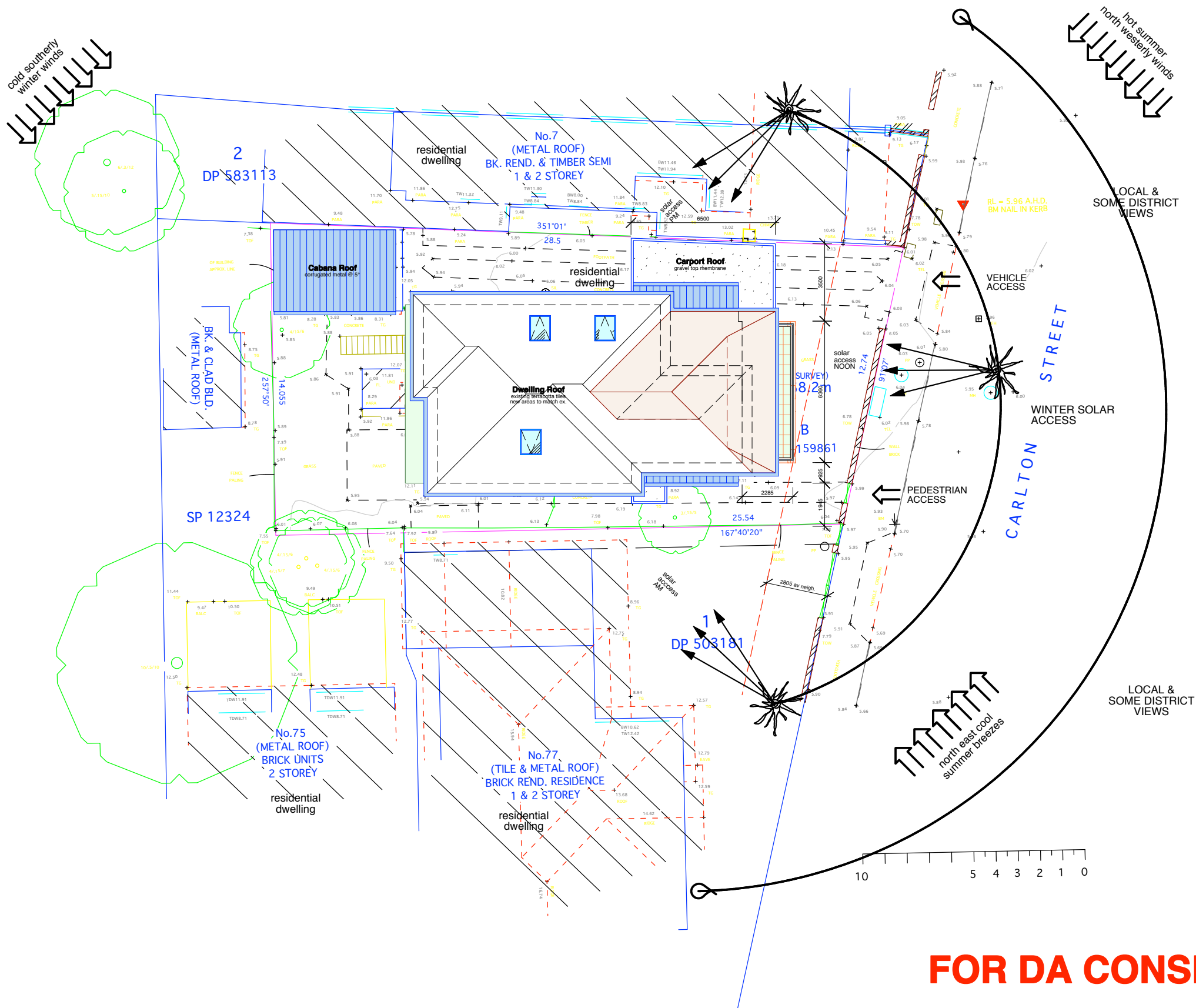
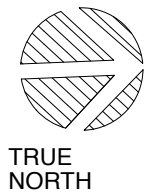




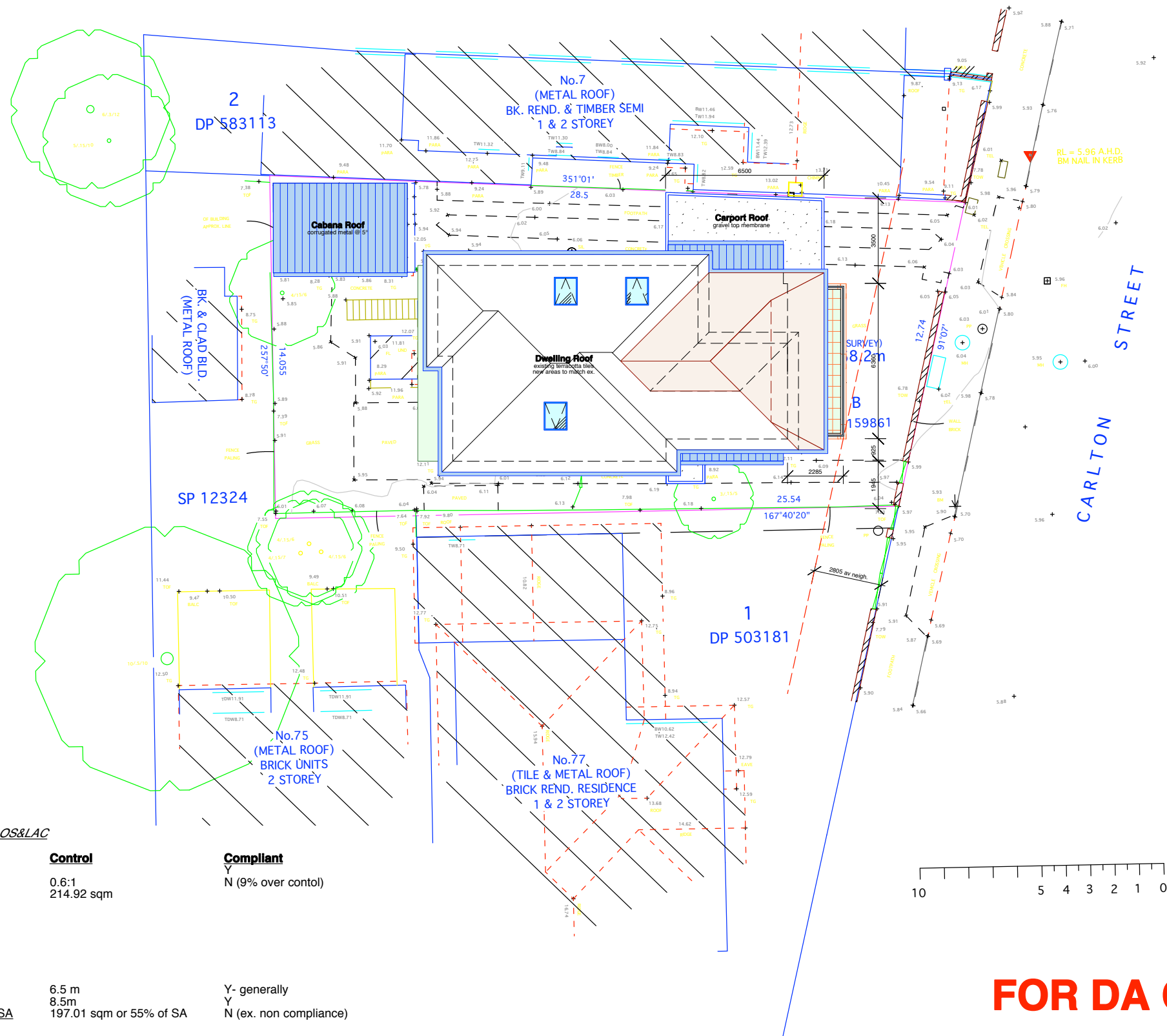
Notes	Issue	Amendment	Date
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	2	Front balcony roof deleted	17.04.23
	3	Cabana amended	02.05.23

mass design
211 Eastern Valley Way
MIDDLE COVE NSW 2068
mob: 0402 777 384
E: massdesign@optusnet.com.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



Site Analysis Plan		JOB REF: CARL
TITLE:	SCALE: 1:200 @ A3	DRAWING NO: A00
DATE: Dec 2022		ISSUE: 3
DRAWN: MTS		



COMPLIANCE SCHEDULE- refer also to architectural drawings and OS&LAC

	Existing	Proposed	Control	Compliant
Site Area	358.2 sqm			Y
Floor Space Ratio	0.47:1	0.598:1	0.6:1	N (9% over contol)
Gross Floor Area (Dwelling)	167.8 sqm	214.33 sqm	214.92 sqm	
existing ground	83.9 sqm			
new ground		9.19 sqm		
existing upper	83.9 sqm			
new upper		21.19 sqm		
Gross Floor Area (Ancillary)				
ex garage	0 sqm			
convert to cabana		16.15 sqm		
Wall Height	6.035 m	6.035 m	6.5 m	Y- generally
Building Height	8.475 m	8.475 m	8.5m	Y
Open Space	104.48 sqm	153.31 sqm or 43% of SA	197.01 sqm or 55% of SA	N (ex. non compliance)
OS at ground	104.48	133.17		
OS above ground	0	20.14		
Landscaping (planting)	90.14 sqm	99.77 sqm or 50% of OS	68.95 sqm or 35% of OS	Y
Private Open Space	> 18 sqm	> 18 sqm	18 sqm	Y
Car space	1	1	2	N (ex. non compliance)

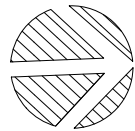
FOR DA CONSENT

Notes	Issue	Amendment	Date
- Verify all dimensions on site before commencement - Figured dimensions take precedence over scaling - Contractor to report any discrepancies to Architect - All work to comply with BCA & LGA requirements - All workmanship to be best practice and tradesmanlike - Copyright reserved by the Architect - This document remains the property of the Architect - Not to be reproduced in whole or part without written consent - Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	20.12.22
	2	Area schedule figures adjusted	06.01.23
	3	Front balcony roof deleted	17.04.23
	4	Cabana amended	02.05.23

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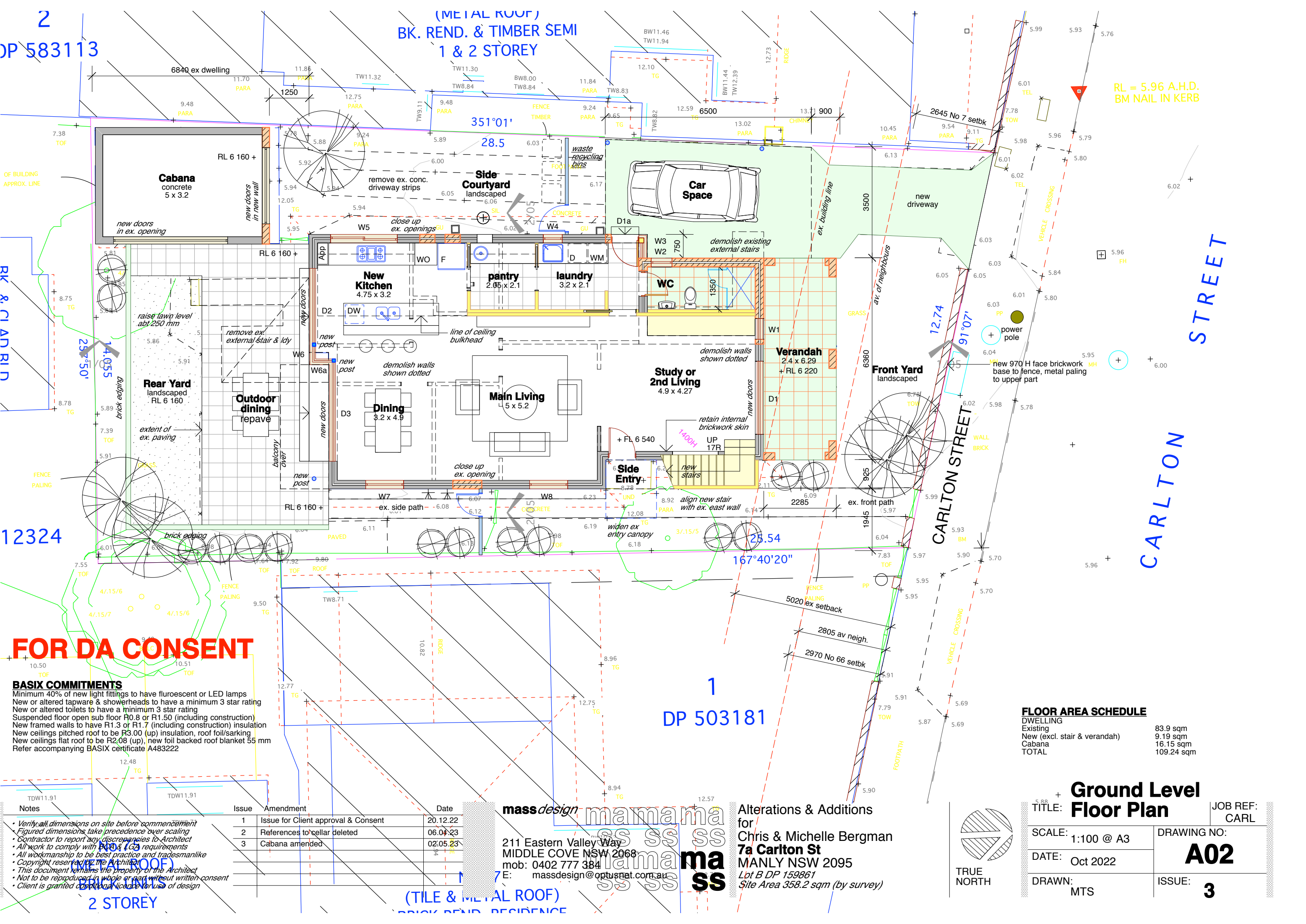
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mob: 0402 777 384
E: massdesign@optusnet.com.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



TRUE
NORTH

TITLE: Site Plan	JOB REF: CARL
SCALE: 1:200 @ A3	DRAWING NO: A01
DATE: Oct 2022	ISSUE: 4
DRAWN: MTS	



2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB

CARLTON STREET

12324

1
DP 503181

FOR DA CONSENT

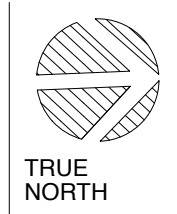
BASIX COMMITMENTS
Minimum 40% of new light fittings to have fluorescent or LED lamps
New or altered tapware & showerheads to have a minimum 3 star rating
New or altered toilets to have a minimum 3 star rating
Suspended floor open sub floor R0.8 or R1.50 (including construction)
New framed walls to have R1.3 or R1.7 (including construction) insulation
New ceilings pitched roof to be R3.00 (up) insulation, roof foil/sarking
New ceilings flat roof to be R2.08 (up), new foil backed roof blanket 55 mm
Refer accompanying BASIX certificate A483222

FLOOR AREA SCHEDULE	
DWELLING	83.9 sqm
Existing	9.19 sqm
New (excl. stair & verandah)	16.15 sqm
Cabana	16.15 sqm
TOTAL	109.24 sqm

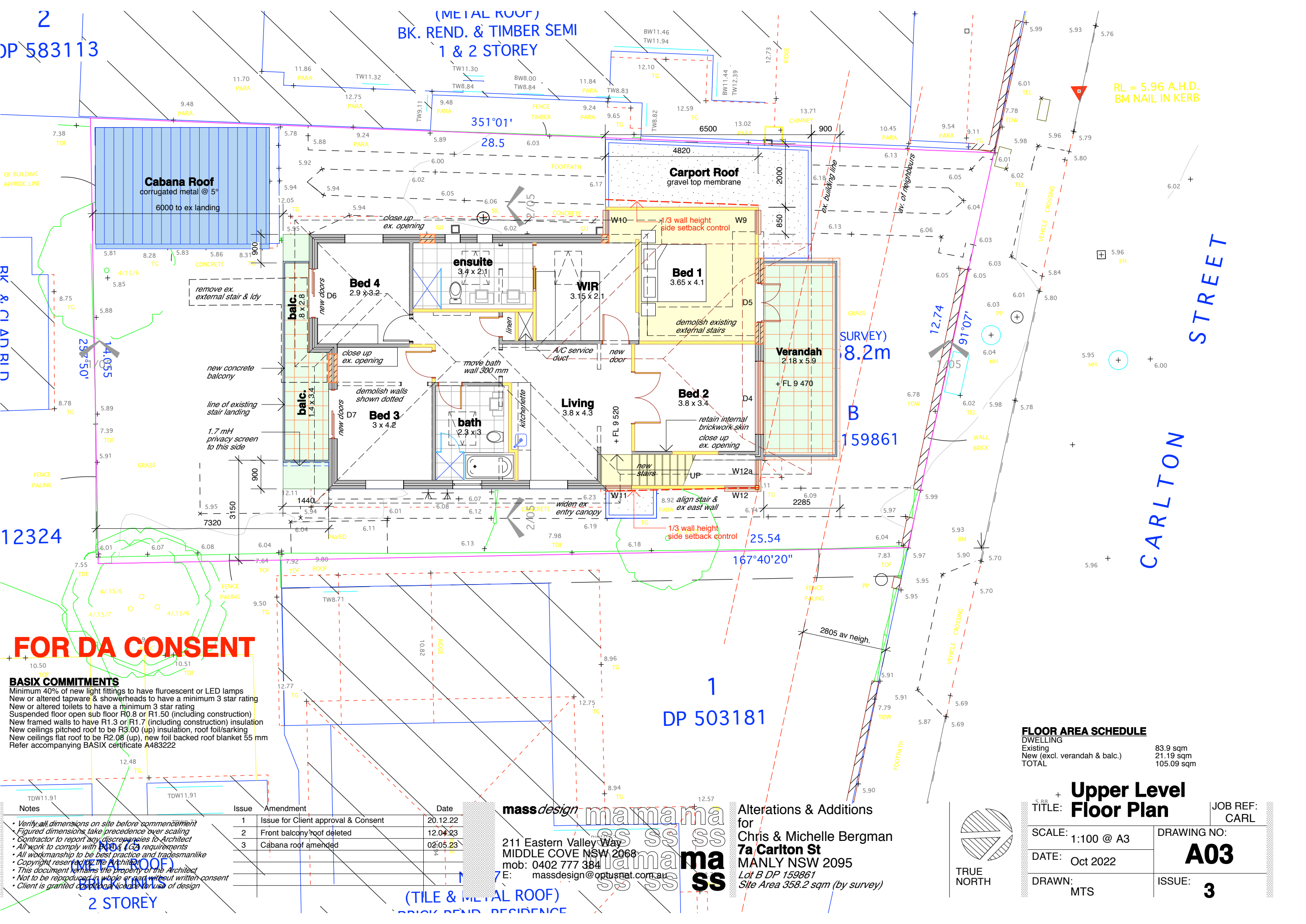
Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with BASIX requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional license for use of design	1	Issue for Client approval & Consent	20.12.22
	2	References to cellar deleted	06.04.23
	3	Cabana amended	02.05.23

mass design
211 Eastern Valley Way
MIDDLE COVE NSW 2068
mob: 0402 777 384
E: massdesign@optusnet.com.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



TITLE: Ground Level Floor Plan		JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A02	
DATE: Oct 2022	ISSUE: 3	
DRAWN: MTS		



2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB

CARLTON STREET

12324

FOR DA CONSENT

BASIX COMMITMENTS
Minimum 40% of new light fittings to have fluorescent or LED lamps
New or altered tapware & showerheads to have a minimum 3 star rating
New or altered toilets to have a minimum 3 star rating
Suspended floor open sub floor R0.8 or R1.50 (including construction)
New framed walls to have R1.3 or R1.7 (including construction) insulation
New ceilings pitched roof to be R3.00 (up) insulation, roof foil/sarking
New ceilings flat roof to be R2.08 (up), new foil backed roof blanket 55 mm
Refer accompanying BASIX certificate A483222

Notes
• Verify all dimensions on site before commencement
• Figured dimensions take precedence over scaling
• Contractor to report any discrepancies to Architect
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Issue	Amendment	Date
1	Issue for Client approval & Consent	20.12.22
2	Front balcony roof deleted	12.04.23
3	Cabana roof amended	02.05.23

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MIDDLE COVE NSW 2068
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E: massdesign@optusnet.com.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

FLOOR AREA SCHEDULE	
DWELLING	
Existing	83.9 sqm
New (excl. verandah & balc.)	21.19 sqm
TOTAL	105.09 sqm

Upper Level
Floor Plan

SCALE: 1:100 @ A3

DATE: Oct 2022

DRAWN: MTS

DRAWING NO:
A03

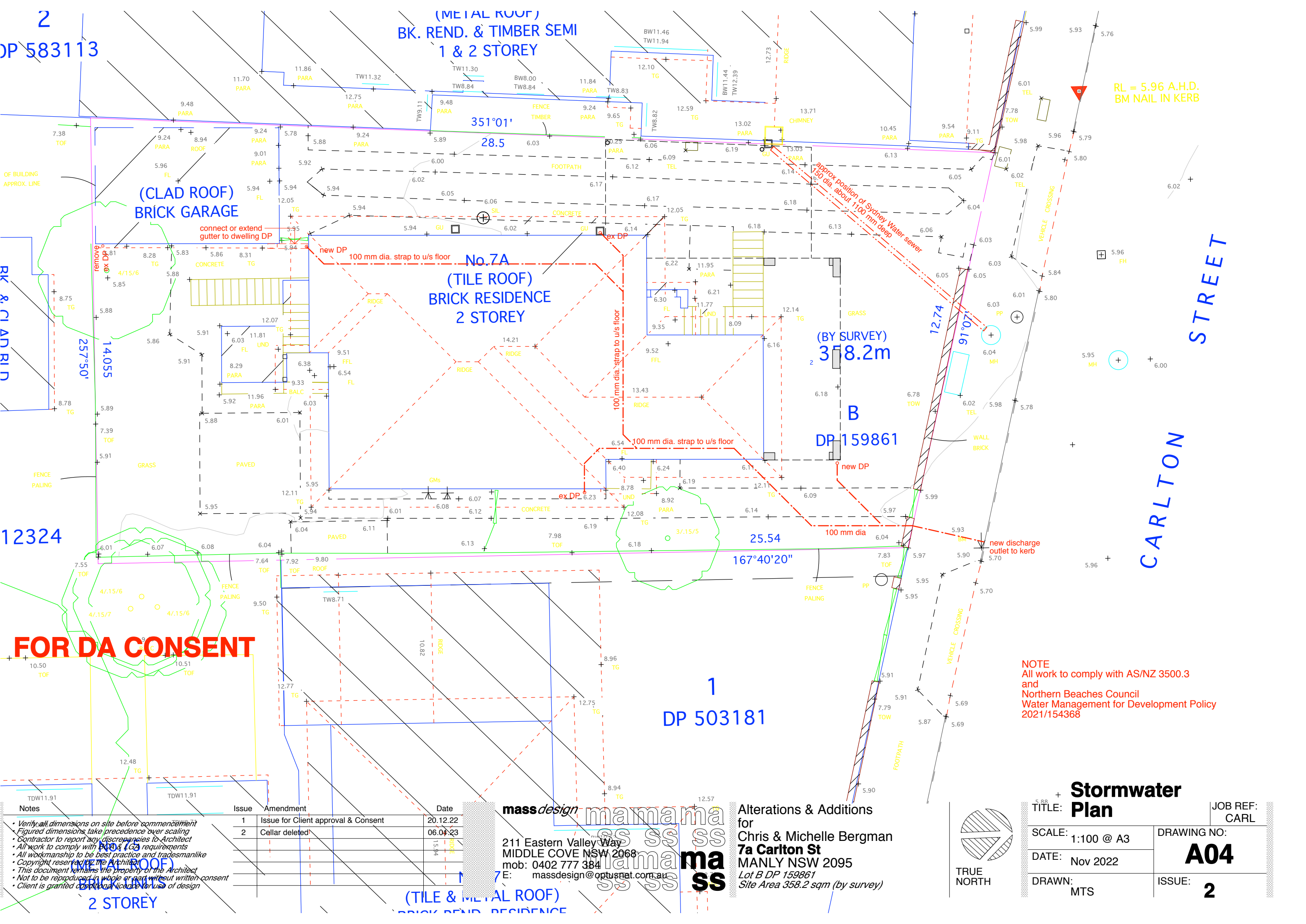
ISSUE:
3

JOB REF:
CARL

TRUE NORTH

2 STOREY

(TILE & METAL ROOF)
BRICK REND. RESIDENCE



2
DP 583113

RL = 5.96 A.H.D.
BM NAIL IN KERB

CARLTON STREET

12324

FOR DA CONSENT

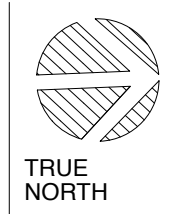
1
DP 503181

NOTE
All work to comply with AS/NZ 3500.3
and
Northern Beaches Council
Water Management for Development Policy
2021/154368

Notes	Issue	Amendment	Date
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	2	Cellar deleted	06.04.23

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MIDDLE COVE NSW 2068
mob: 0402 777 384
E: massdesign@optusnet.com.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



Stormwater Plan

TITLE: **Stormwater Plan**

SCALE: 1:100 @ A3

DATE: Nov 2022

DRAWN: MTS

JOB REF: CARL

DRAWING NO: **A04**

ISSUE: **2**

2
OP 583113

CARLTON STREET

Carport Roof
gravel top membrane



crank hip

p

FOR DA CONSENT

All glazing to modified/new windows
& doors to be single clear
except W5, 9, 11, 12 & 12a to be pyrolytic low E
Skylights to be low E int./argon fill/clear ext.
Refer accompanying BASIX certificate A483222

TITLE: **Roof Plan**

SCALE: 1:100 @ A3

DATE: Oct 2022

DRAWN: MTS

DRAWING NO:

A05

ISSUE:

4

JOB REF:
CARL

NO:

Issue	Amendment	Date
1	Issue for Client approval & Consent	20.12.22
2	Notes & dims added	06.04.23
3	Front balcony roof deleted, main roof amend.	12.04.23
4	Cabana roof amended	02.05.23

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211 Eastern Valley Way
MIDDLE COVE NSW 2068
mob: 0402 777 384
E: massdesign@optusnet.net.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

FOR DA CONSENT

BASIX COMMITMENTS

Minimum 40% of new light fittings to have fluorescent or LED lamps
New or altered tapware & showerheads to have a minimum 3 star rating
New or altered toilets to have a minimum 3 star rating
Suspended floor open sub floor R0.8 or R1.50 (including construction)
New framed walls to have R1.3 or R1.7 (including construction) insulation
New ceilings pitched roof to be R3.00 (up) insulation, roof foil/sarking
New ceilings flat roof to be R2.08 (up), new foil backed roof blanket 55 mm
Refer accompanying BASIX certificate A483222

2. CROSS SECTION

Notes	Issue	Amendment	Date
- Verify all dimensions on site before commencement - Figured dimensions take precedence over scaling - Contractor to report any discrepancies to Architect - All work to comply with BCA & LGA requirements - All workmanship to be best practice and tradesmanlike - Copyright reserved by the Architect - This document remains the property of the Architect - Not to be reproduced in whole or part without written consent - Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	20.12.22
	2	Cellar deleted	06.01.23
	3	Front balcony roof deleted	17.04.23
	4	Cabana amended	02.05.23

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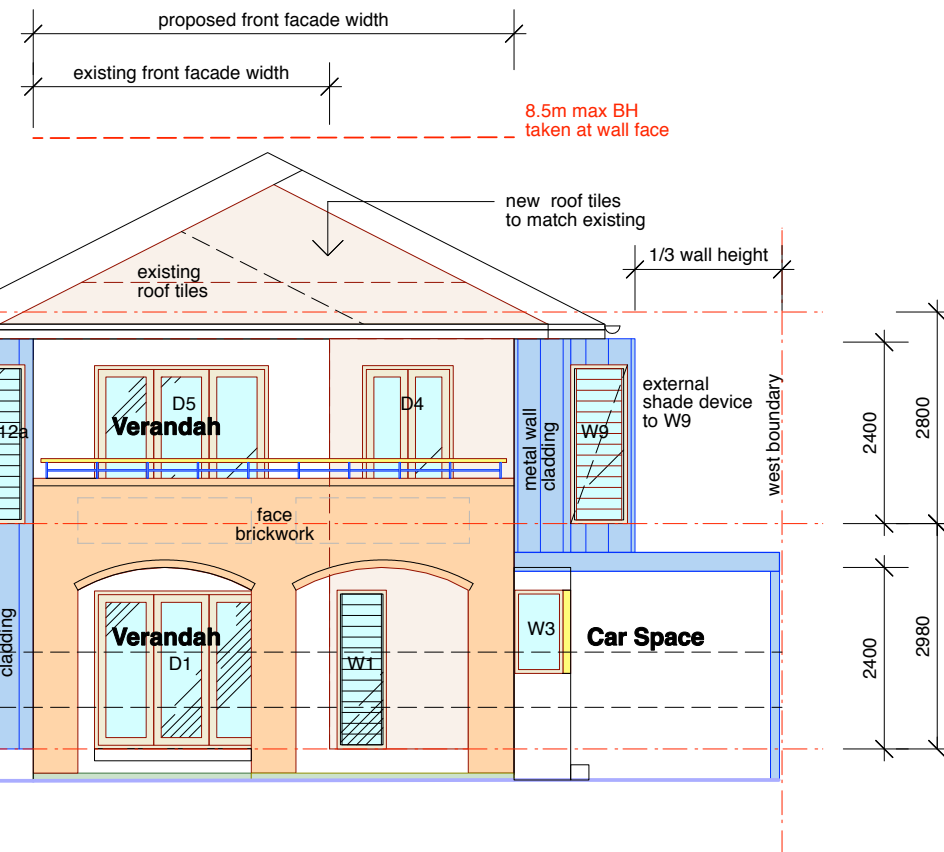
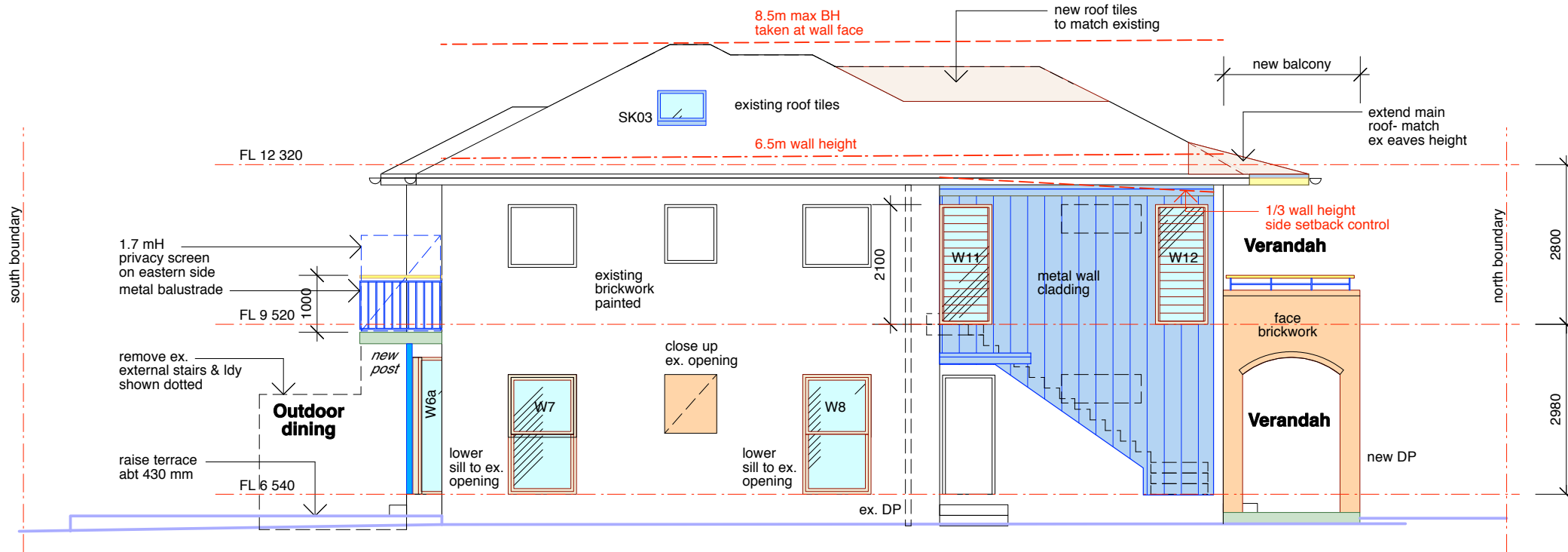
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE: Sections	JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A06
DATE: Oct 2022	ISSUE: 4
DRAWN: MTS	

FOR DA CONSENT

1. EAST ELEVATION

CABANA NOT SHOWN FOR CLARITY



2. NORTH/STREET ELEVATION

CABANA NOT SHOWN FOR CLARITY

BASIX COMMITMENTS

All glazing to modified/new windows & doors to be single clear except W5, 9, 11, 12 & 12a to be pyrolytic low E Skylights to be low E int./argon fill/clear ext. Refer accompanying BASIX certificate A483222

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement	1	Issue for Client approval & Consent	20.12.22
• Figured dimensions take precedence over scaling	2	Front balcony roof deleted	17.04.23
• Contractor to report any discrepancies to Architect			
• All work to comply with BCA & LGA requirements			
• All workmanship to be best practice and tradesmanlike			
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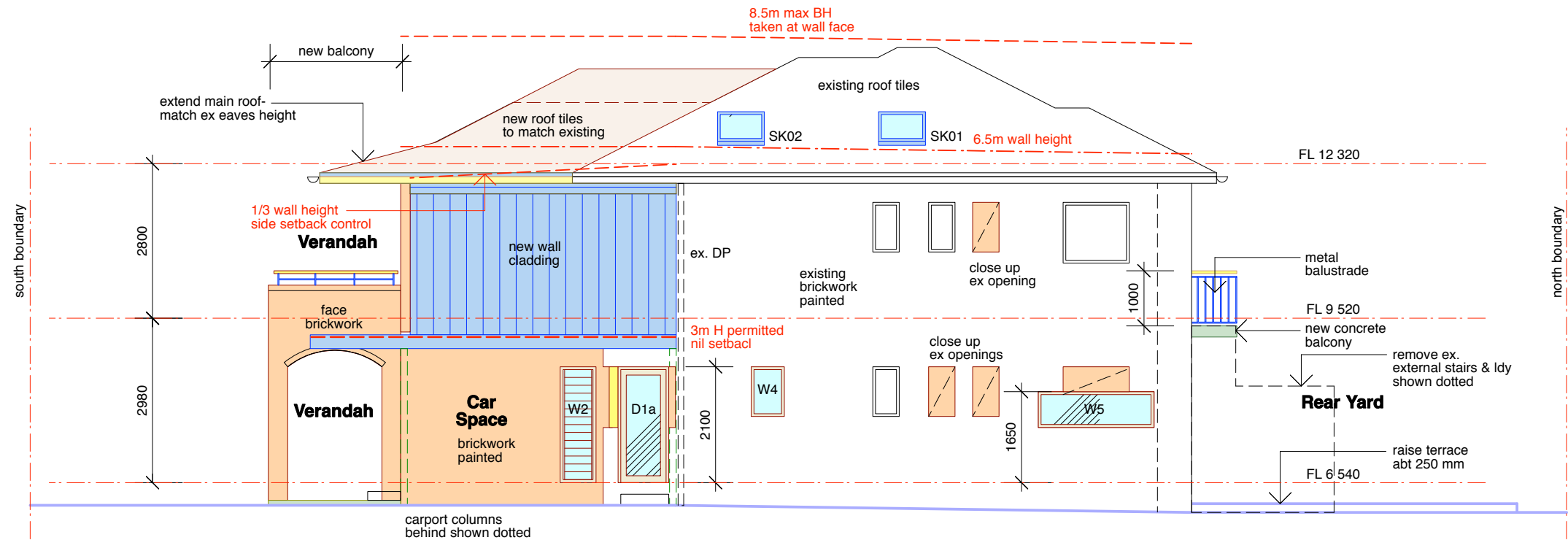
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

North & East Elevations

TITLE:	JOB REF:
SCALE: 1:100 @ A3	CARL
DATE: Oct 2022	DRAWING NO:
DRAWN: MTS	ISSUE:

A07

2



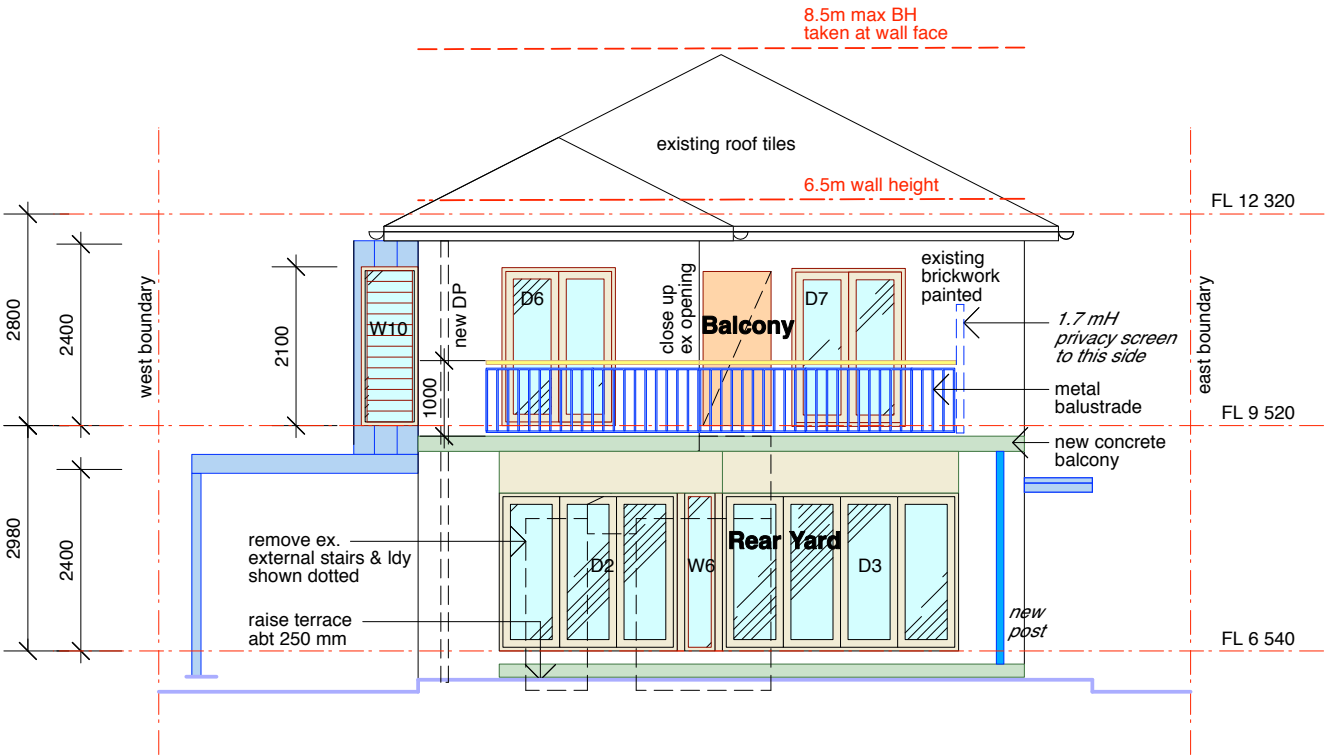
1. WEST ELEVATION

CABANA NOT SHOWN FOR CLARITY

FOR DA CONSENT

BASIX COMMITMENTS

All glazing to modified/new windows & doors to be single clear except W5, 9, 11, 12 & 12a to be pyrolytic low E Skylights to be low E int./argon fill/clear ext. Refer accompanying BASIX certificate A483222



2. SOUTH ELEVATION

CABANA NOT SHOWN FOR CLARITY

Notes	Issue	Amendment	Date
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	2	Front balcony roof deleted	17.04.23

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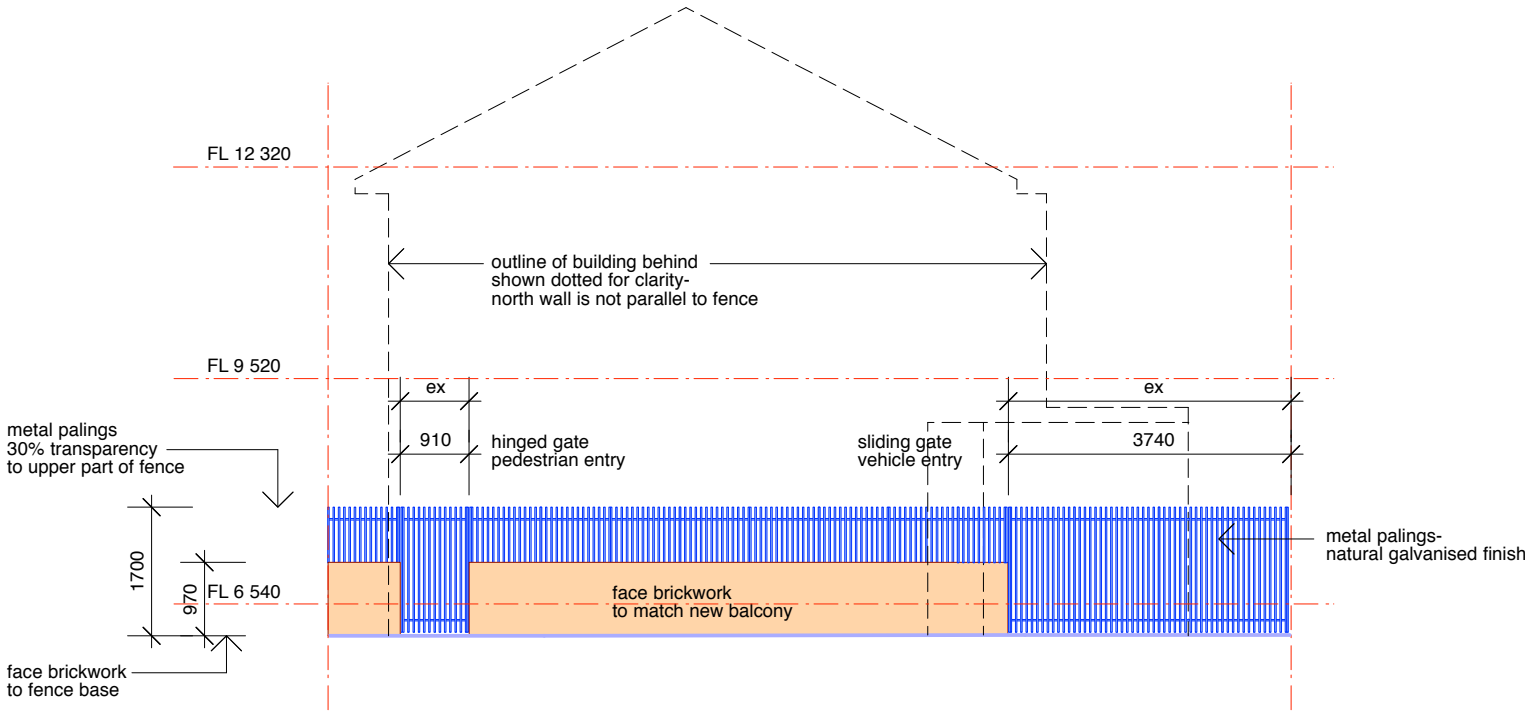
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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

South & West Elevations

TITLE:	JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A08
DATE: Oct 2022	ISSUE: 2
DRAWN: MTS	

FOR DA CONSENT



Notes	Issue	Amendment	Date
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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE:

Front Fence

JOB REF:

CARL

SCALE:

1:100 @ A3

DATE:

Oct 2022

DRAWING NO:

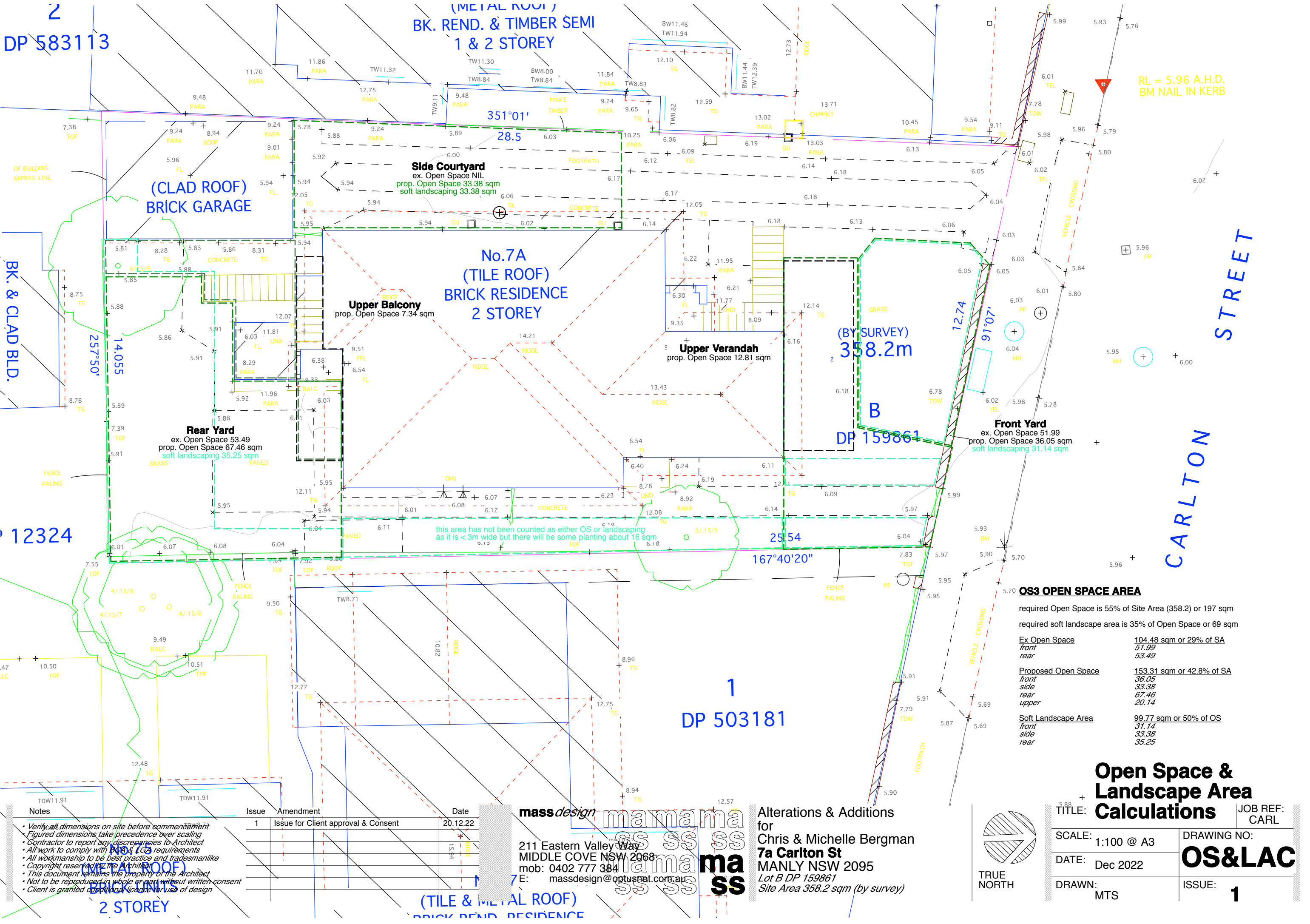
A10

ISSUE:

1

DRAWN:

MTS



DP 583113 2 DP 503181 1 DP 159861 2 DP 12324			Notes • Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with LGA requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional licence for use of design			Issue 1 Amendment Issue for Client approval & Consent			Date 20.12.22 15.04			mass design 211 Eastern Valley Way MIDDLE COVE NSW 2068 mob: 0402 777 384 E: massdesign@optusnet.com.au			Alterations & Additions for Chris & Michelle Bergman 7a Carlton St MANLY NSW 2095 Lot B DP 159861 Site Area 358.2 sqm (by survey)			TRUE NORTH			OS3 OPEN SPACE AREA required Open Space is 55% of Site Area (358.2) or 197 sqm required soft landscape area is 35% of Open Space or 69 sqm Ex Open Space 104.48 sqm or 29% of SA front 51.99 rear 53.49 Proposed Open Space 153.31 sqm or 42.8% of SA front 36.05 side 33.38 rear 67.46 upper 20.14 Soft Landscape Area 99.77 sqm or 50% of OS front 31.14 side 33.38 rear 35.25			Open Space & Landscape Area Calculations TITLE: 7a Carlton St SCALE: 1:100 @ A3 DATE: Dec 2022 DRAWN: MTS JOB REF: CARL DRAWING NO: OS&LAC ISSUE: 1		
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9.30 AM EXISTING



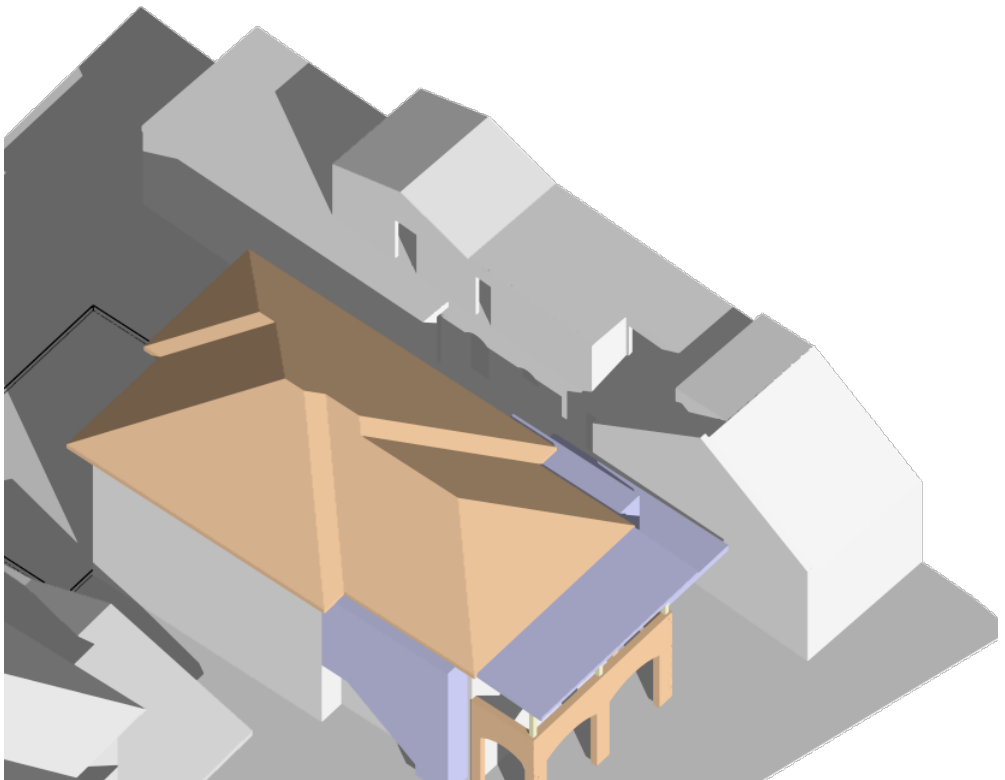
9.45 AM EXISTING



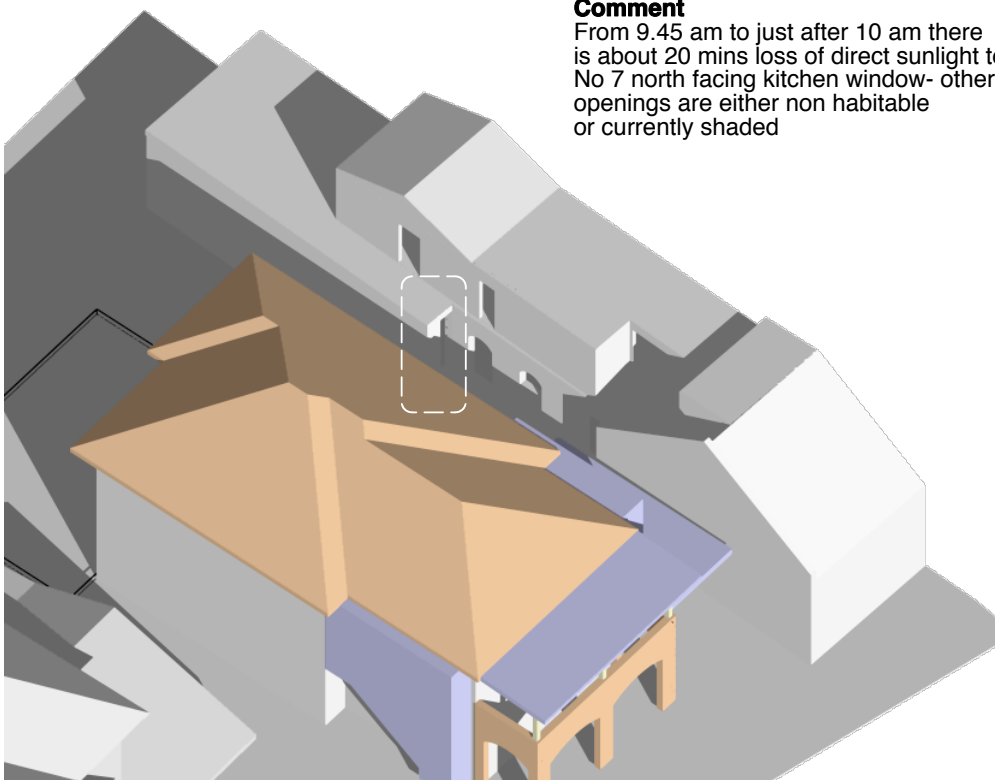
10 AM EXISTING



9.45 AM PROPOSED

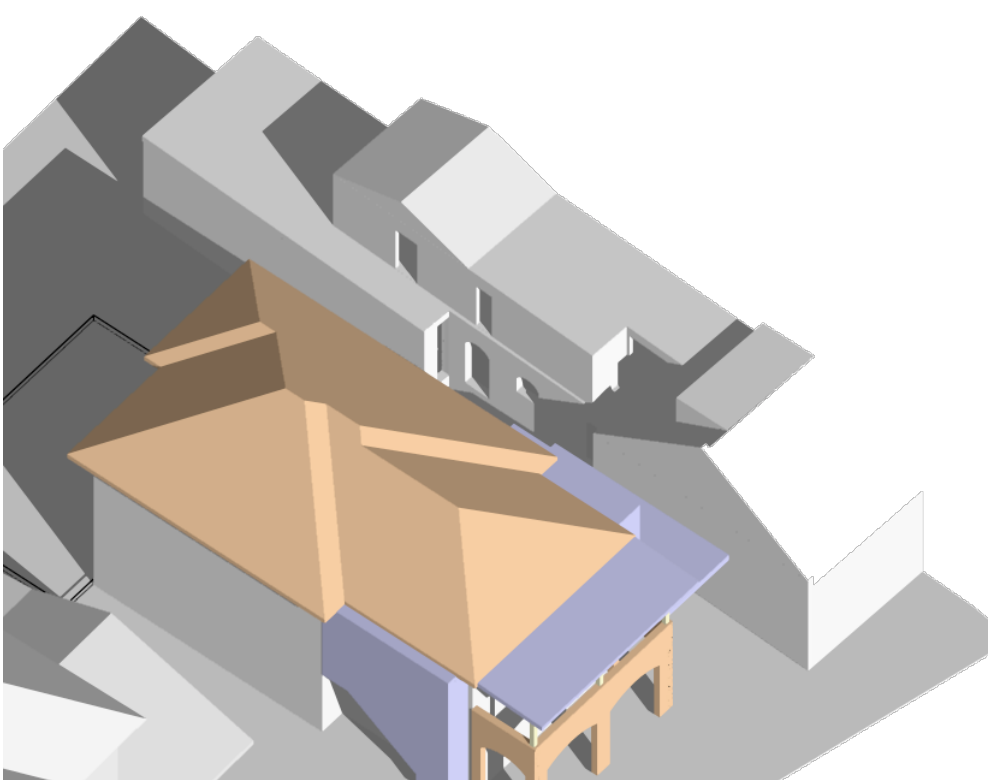


10 AM PROPOSED



Comment
From 9.45 am to just after 10 am there is about 20 mins loss of direct sunlight to No 7 north facing kitchen window- other openings are either non habitable or currently shaded

10.30 AM PROPOSED



Notes	Issue	Amendment	Date
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mob: 0402 777 384
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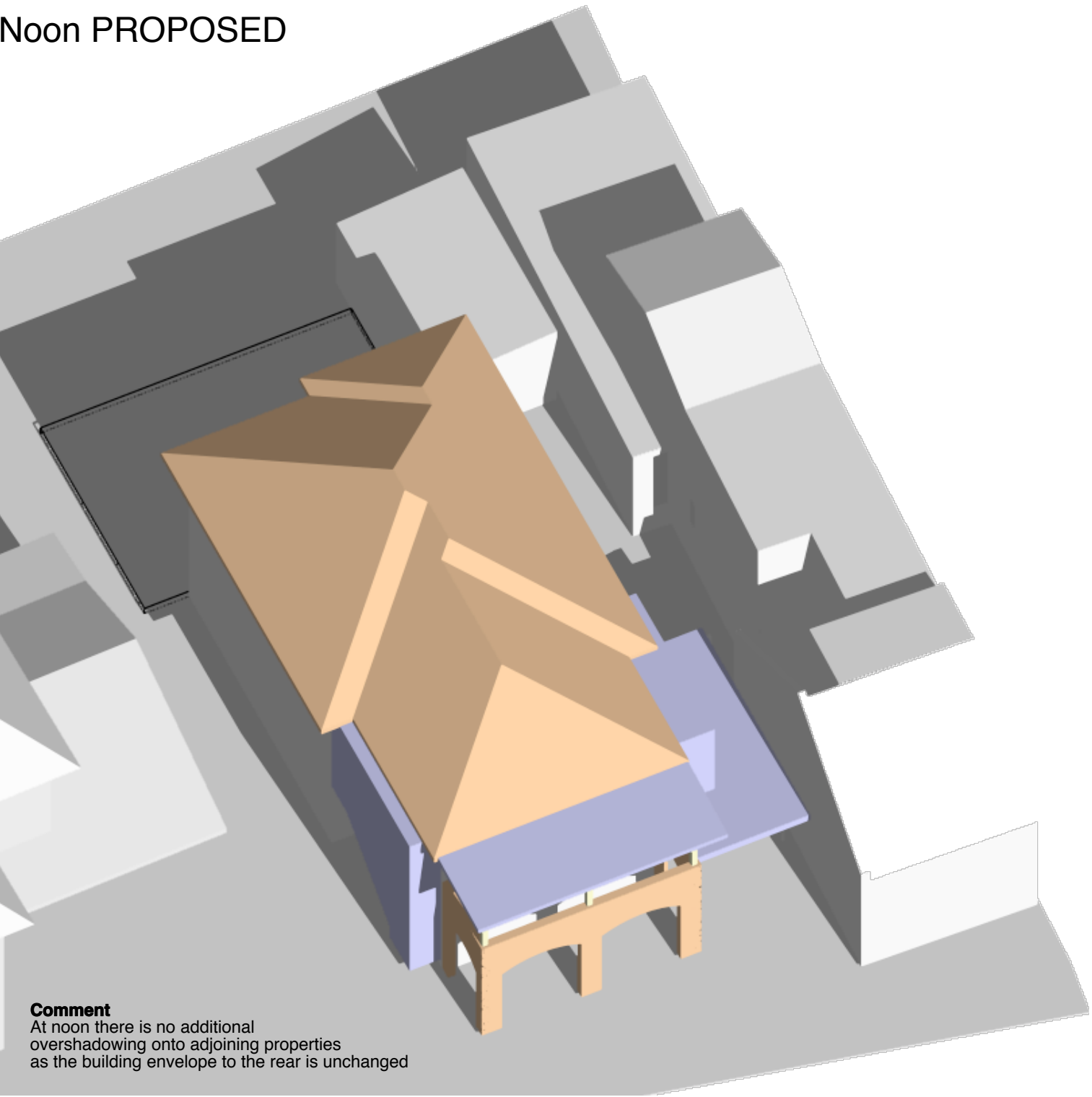
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE:	AM 21 June	JOB REF:	CARL
SCALE:	NTS @ A3	DRAWING NO:	SH01
DATE:	Dec 2022	ISSUE:	1
DRAWN:	MTS		

Noon EXISTING



Noon PROPOSED



Comment
At noon there is no additional
overshadowing onto adjoining properties
as the building envelope to the rear is unchanged

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with BCA & LGA requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	21.12.22

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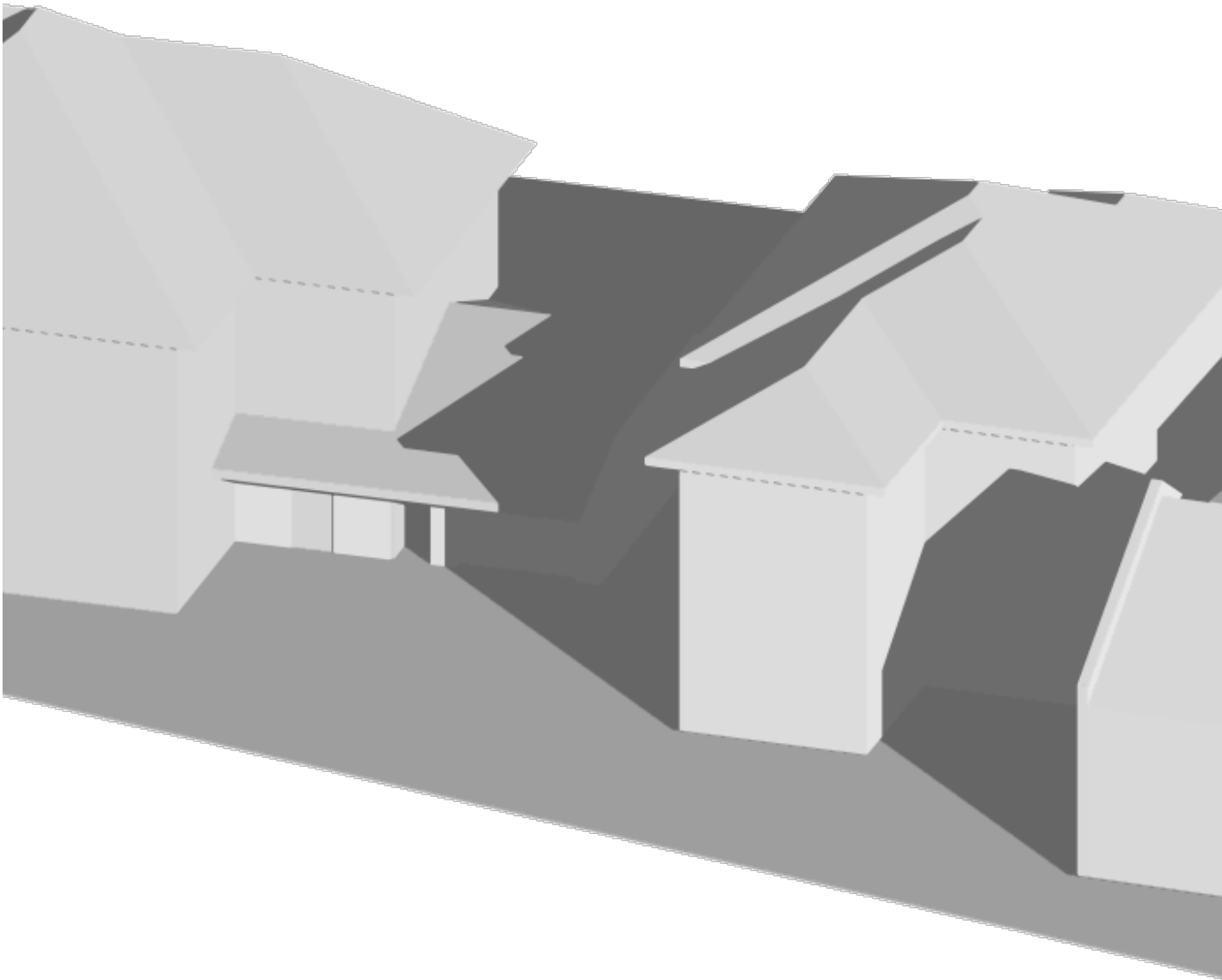
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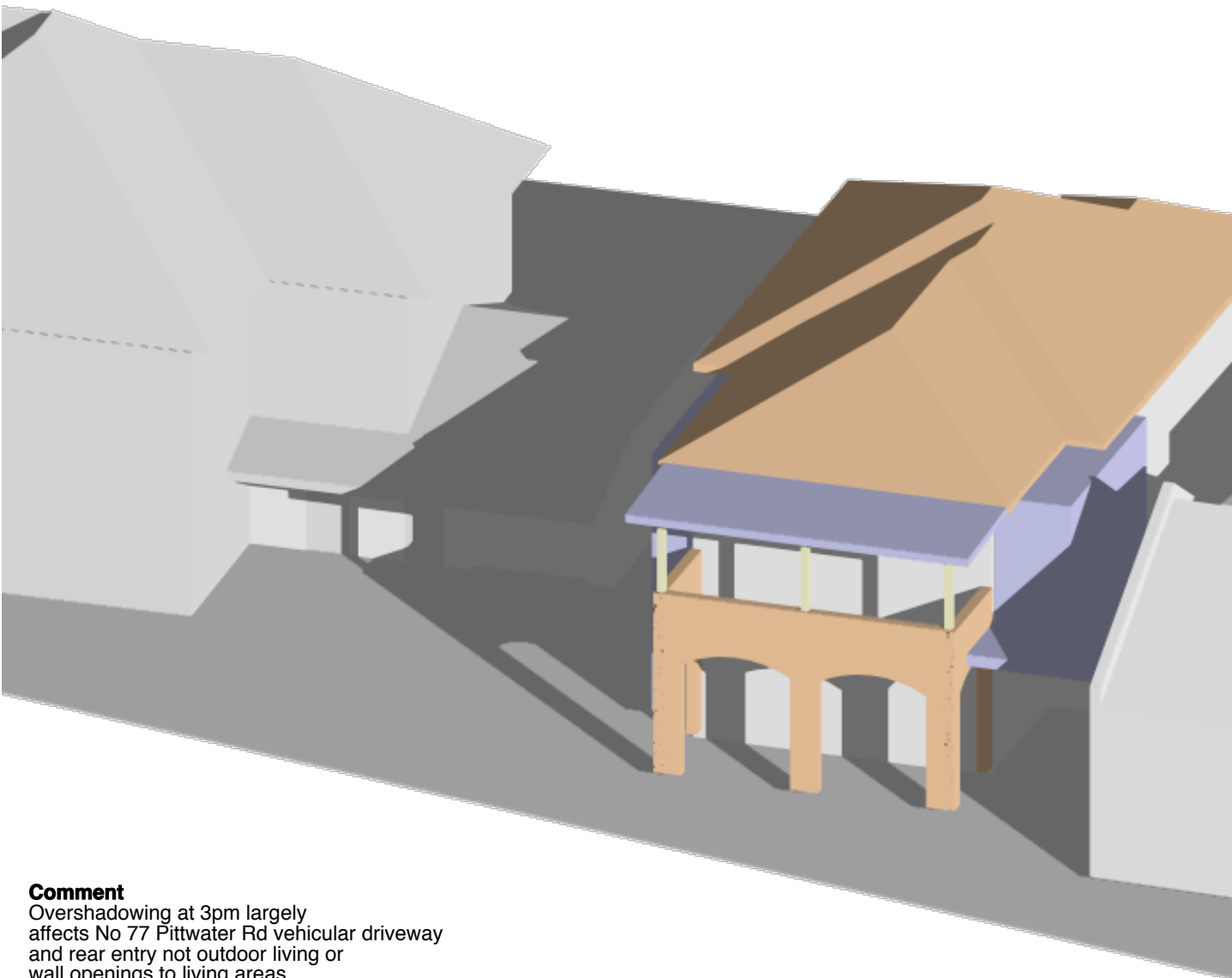
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE: Noon 21 June	JOB REF: CARL
SCALE: NTS @ A3	DRAWING NO: SH02
DATE: Dec 2022	ISSUE: 1
DRAWN: MTS	

3 PM EXISTING



3 PM PROPOSED



Comment
Overshadowing at 3pm largely affects No 77 Pittwater Rd vehicular driveway and rear entry not outdoor living or wall openings to living areas

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with BCA & LGA requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	21.12.22

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MIDDLE COVE NSW 2068
mob: 0402 777 384
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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE: 3 PM 21 June	JOB REF: CARL
SCALE: NTS @ A3	DRAWING NO: SH03
DATE: Dec 2022	ISSUE: 1
DRAWN: MTS	

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

Cabana Roof
corrugate metal @ 5

Carport Roof
gravel top membrane

hay bale barrier
in kerb gutter

council refuse & recycling bin
collection point

bale barrier
erb gutter

6.00

+

CARLTON STREET

BK. & CLAD BLD.

12324

FOR DA CONSENT

1
DP 503181

NOTE
Waste management to be in accordance with
Norther Beaches Council's
Waste Management Policy

NOTE
All work to comply with AS/NZ 3500.3
and
Northern Beaches Council
Water Management for Development Policy
2021/154368

Erosion & Sediment Control Plan

SCALE: 1:100 @ A3

DATE: Dec 2022

DRAWN:
MTS

DRAWING NO:

E&SCP

ISSUE:

BASIX COMMITMENTS

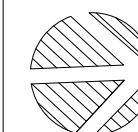
All glazing to modified/new windows
& doors to be single clear
except W5, 9, 11, 12 & 12a to be pyrolytic low E
Skylights to be low E int./argon fill/clear ext.
Refer accompanying BASIX certificate A483222

Issue	Amendment	Date
1	Issue for Client approval & Consent	20.12.2024
		15.04.2025

mass *design*

211 Eastern Valley Way
MIDDLE COVE NSW 2068
mob: 0402 777 384
E: massdesign@optusnet.com.au

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



TRUE
NORTH

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

(CLAD ROOF)
BRICK GARAGE

BK. & CLAD BLD.

Magnolia
'Teddy Bear'

'12324

No.75
(METAL ROOF)
BRICK UNITS
2 STOREY

No.77
(TILE & METAL ROOF)
BRICK REND. RESIDENCE

7A CARLTON ST

MANLY

PETRA BUHRICH
RL = 5.96 A.H.D.
DIPLOMA OF

MORTICULTURE

14th DEC 2022

DENOTE + NOT TO SCALE

amended 22 March 2023

STREET

Backhousia
citriodora

Plumeria

Crassula 'Blue Bird' x 6

Phormium tenax x 3

Alcantarea Silver Plum x 3
Giant Bromeliad

Dracaena draco x 1
'Dragon Tree'

Dracaena marginata x 1

Howea forsteriana x 1
Kentia Palm

Magnolia 'Teddy Bear' x 13

Backhousia citriodora
'Lemon myrtle' x 1

Plumeria species x 2
'Frangipani'

1
DP 503181

(x) Philodendron x 15
'Xanadu'
Alocasia 'Dwarf' x 5
Elephant Ears
Raphiolepis x 9
Snow Maiden

Raphiolepis x 18
Oriental Pearl

Dracaena draco
Crassula
'Blue Bird'
Phormium
tenax

Dracaena
marginata
underplanted with
'Xanadu'

Xanadu
Oriental
Pearl
Alocasia

Landscape Plan For.
Chris Bergman
7A Carlton Street
Manly
14 DEC 2022.

PETRA BUNRICH
DIPLOMA OF
HORTICULTURE.

amended 22 March 2023

- Philodendron 'Xanadu'
Plant every 300mm in clumps
Underplant tall feature plants
500mm high

- Alocasia 'Dwarf'
Elephant Ears
Plant every 400mm
800mm high

- Raphiolepis 'Snow Maiden'
Plant every 500mm
Up to 1m high

- Raphiolepis 'Oriental Pearl'
Plant every 800mm
up to 1m tall

- Crassula 'Blue Bird'
Plant every 300mm
400mm high

- Phormium tenax
'New Zealand Flax'
Plant every 500mm
up to 1.5m high

- Alcantarea 'Silver Plum'
Giant Bromeliad
1m x 1m

- Dracaena draco
'FEATURE'
up to 5m. Very slow

- Howea forsteriana
Kentia Palm.
'FEATURE'
Transplant existing Kentia.
up to 8m. Very slow

- Magnolia 'Teddy Bear'
Plant 1 metre apart
Up to 4 metres tall.

- Dracaena marginata
'FEATURE'
Transplant existing Dracaena.
Up to 3 metres.

- Plumeria sp.
'Frangipani'
Transplant existing trees.
Up to 5m.

- Backhousia citriodora
'^{Crepe} Myrtle' up to 10m.
Council requires 1x native tree.
Other options include
• Elaeocarpus reticulatus - 'Blueberry Ash'
6 metres.
• Elaeocarpus eumundi - up to 10 metres.

* After planting if you think
it needs a ground cover

- Zoysia tenuifolia
- Dichondra 'Silver Falls'
- Pratia pedunculata



Existing terracotta
tile roof

Natural zinc
standing seam cladding,
joinery to match

COLORBOND Shale Grey

DULUX natural white
painted walls & joinery,
including timber trim

metal work
natural galvanised

Face brickwork
AUSTRAL Porcelain

Face brickwork
AUSTRAL Porcelain

metal piling fence & gates
natural galvanised

FINISHES & COLOURS
7a Carlton St MANLY NSW 2095
December 2022



7a Carlton St MANLY NSW 2095
December 2022