

<b>Additional Notes</b> Refer to Mechanical Engineer's Details. Refer to Ecology, Aquatic and Coastal report. Flood RLs are set as prescribed by Flood Consultant. Refer to details. Refer to BCA Consultant Reports and Specifications. Note Alternate Access Consultant report. Refer to Performance Solution Report. Refer to Fire Engineering Report. Refer to Landscape Architect Design and Details. Dark Sky Plan to be reviewed and submitted.	<b>General Specification Notes</b> Termite risk management in accordance with AS3660.1-2014 Blockwork in accordance with AS3700-2018 Structural Steel in accordance with AS4100-1998 Structural Timber in accordance with AS1720.1-2010 Roof Drainage in accordance with AS/NZS3500.3-2018 Metal Sheet Roofing in accordance with AS1562.1-2018. Metal Roofing to be light coloured roof with a solar absorbance of 0.45 or less Pliable building membrane in accordance with AS/NZS 4200.1-2017 Aluminium Structures in accordance with AS/NZS 1664.1-1997 or AS/NZS 1664.2-1997 Waterproofing of wet areas in accordance with BCA Clause & Table F1.7 and AS3740-2010 Damp-proofing - Damp proof course that prevents moisture from the ground from reaching the lowest timber elements of the building, and walls above damp-proof course in accordance with AS/NZS 2904-1995 or AS3660.1- 2014
<b>Section 4- Compliance</b> <b>Part J1 - BUILDING FABRIC - Cafe/Office Building</b> <b>Part J3 - BUILDING SEALING - Cafe/Office Building</b> <b>Part J5 - A/C &amp; VENTILATION SYSTEMS - Cafe/Office Building</b> <b>Part J6 - ARTIFICIAL LIGHTING &amp; POWER - Cafe/Office Building</b> <b>RELEVANT NCC/BCA CLAUSE</b> Clause J1.3 - Roof Construction Clause J1.5 - Glazing and Clause J1.6 - Floor Construction <b>DTS Non-Compliance</b> Refer to Consultant Report re: Clause J1.3, Clause J1.5 and Clause J1.6 <b>RELEVANT PERFORMANCE REQUIREMENTS</b> Clause JP1 - Energy Use <b>ASSESSMENT METHOD (by Consultant)</b> NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section JV3 Verification using a reference building Thermal insulation (Floor, Roof and Walls) is to be in accordance with BCA Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and JV3 Report	

**Flooding**  
In order to protect property and occupants from flood risk the following is required:  
**Building Components and Structural Soundness – B1**  
All new development below the Flood Planning Level of shall be designed and constructed as flood compatible buildings in accordance with Reducing Vulnerability of Buildings to Flood Damage: Guidance on Building in Flood Prone Areas, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).  
**Building Components and Structural Soundness – B2**  
All new development must be designed to ensure structural integrity up to the Probable Maximum Flood level of 2.93m AHD, taking into account the forces of floodwater, wave action, flowing water with debris, buoyancy and immersion.  
**Building Components and Structural Soundness – B3**  
All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be waterproofed and/or located above the Flood Planning Level. All existing electrical equipment and power points located below the Flood Planning Level must have residual current devices installed to cut electricity supply during flood events.

**Fencing – F1**  
New fencing (including pool fencing, boundary fencing, balcony balustrades and accessway balustrades) shall be open to allow for the unimpeded movement of flood waters. It must be designed with a minimum of 50% open area from the natural ground level up to the 1% AEP flood level. Openings should be a minimum of 75mm x 75mm.  
**Storage of Goods – G1**  
Storage areas for hazardous or potentially polluting materials shall not be located below the Flood Planning Level unless adequately protected from floodwaters in accordance with industry standards.

**Flood Proofing**  
The floor levels of the Boat Hire General Storage and Bin Room must be wet flood proofed up to the Probable Maximum Flood level of 2.93m AHD.  
Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.  
Reason: To reduce the impact of flooding and flood liability on owners and occupiers of flood-prone property and reduce public and private losses in accordance with Council and NSW Government requirements.

**Flooring Notes**  
Floor Coverings to NCC 2019 Vol 1 C1.10  
Slip Ratings to SA HB 198:2014 and AS 4663-2013 Tables 3(a) and 3(b)  
Particleboard structural flooring in accordance with AS1860.2-2006  
Flooring and Decking in accordance with AS1684 Parts 2, 3 or 4-2010  
Sub-floor ventilation in accordance with BCA Clause F1.12 and Table F1.12

**Fire Response**  
Refer to design and Design Certificate by Fire Consultant for lighting and Fire extinguisher layout and specifications  
Fire precautions during construction with a Fire extinguisher at each exit (temporary) from each storey



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All new and altered works to relevant BCA and AS/NZ standards.



**CLIENT: LONDON LAKES PARTNERSHIP**  
  
THE BOATHOUSE  
PALM BEACH

Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Café/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

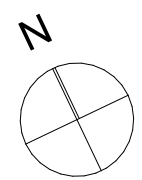
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Roslyn Toia  
NSW REG. 3463 BARCH (VOMIS)  
roslyn@canvasarch.com.au 0405 60 11 30

Drawing Name  
**SITE PLAN**

Drawing Scale  
**1:200**  
  
Drawn  
RT

Layout ID  
**CC02-B**  
11/05/23 Section 4.55 Certificate

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
  
MOD2023/0415





**Additional Notes**  
Refer to Mechanical Engineer's Details.  
Refer to Ecology, Aquatic and Coastal report.  
Flood RLs are set as prescribed by Flood Consultant. Refer to details.  
Refer to BCA Consultant Reports and Specifications.  
Note Alternate Access Consultant report.  
Refer to Performance Solution Report.  
Refer to Fire Engineering Report.  
Refer to Landscape Architect Design and Details.  
Dark Sky Plan to be reviewed and submitted.

**Section J Compliance**  
Part J1 - BUILDING FABRIC - Cafe/Office Building  
Part J3 - BUILDING SEALING - Cafe/Office Building  
Part J5 - A/C & VENTILATION SYSTEMS - Cafe/Office Building  
Part J6 - ARTIFICIAL LIGHTING & POWER - Cafe/Office Building  
**RELEVANT NCC/BCA CLAUSE**  
Clause J1.3 - Roof Construction  
Clause J1.5 - Glazing and  
Clause J1.6 - Floor Construction  
**DTS Non-Compliance**  
Refer to Consultant Report re: Clause J1.3, Clause J1.5 and Clause J1.6  
**RELEVANT PERFORMANCE REQUIREMENTS**  
Clause JF1 - Energy Use  
**ASSESSMENT METHOD (by Consultant)**  
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section Jv3 Verification using a reference building  
Thermal Insulation (Floor, Roof and Walls) is to be in accordance with BCA Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and Jv3 Report

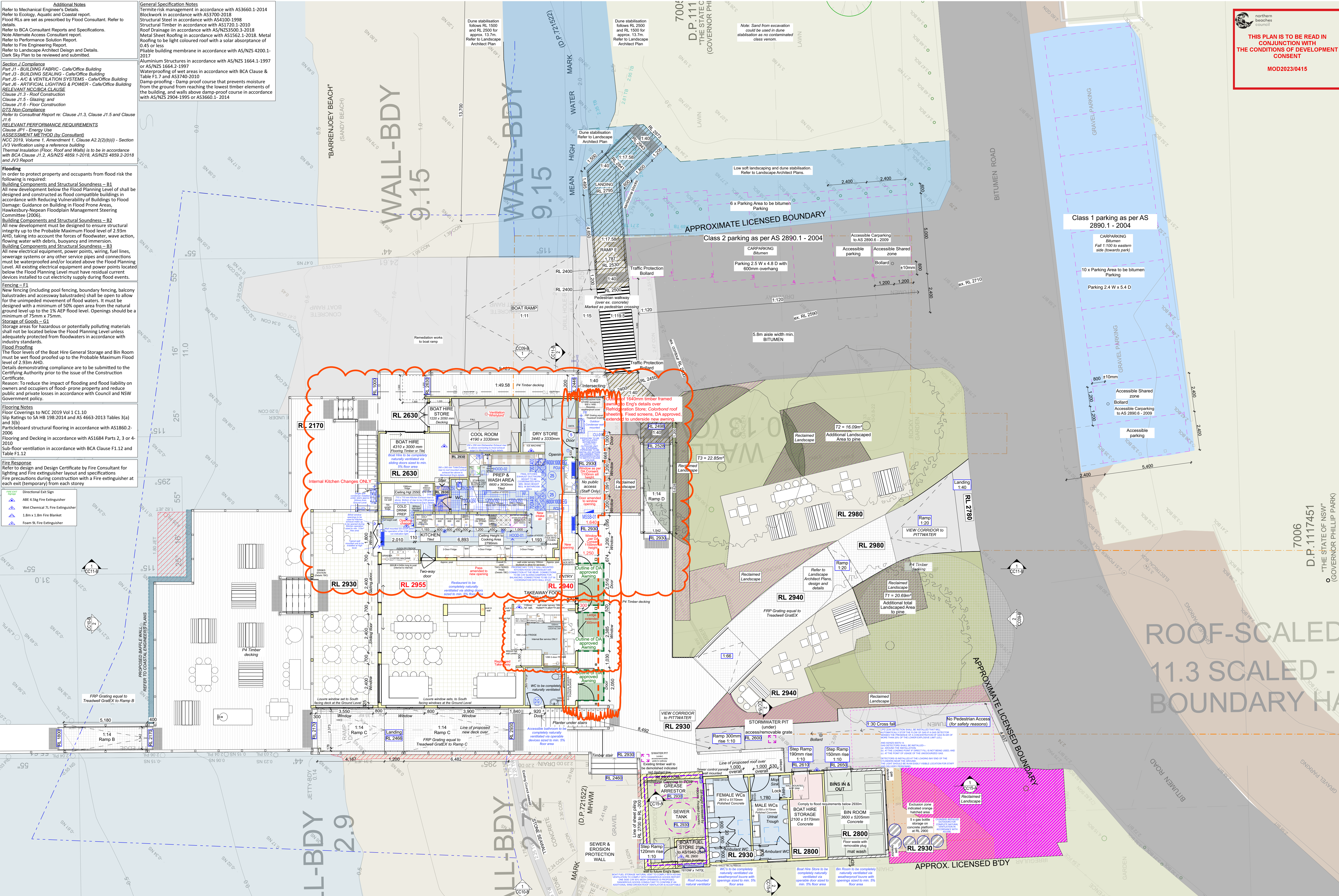
**Flooding**  
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**Building Components and Structural Soundness – B1**  
All new development below the Flood Planning Level of shall be designed and constructed as flood compatible buildings in accordance with Reducing Vulnerability of Buildings to Flood Damage: Guidance on Building in Flood Prone Areas, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).  
**Building Components and Structural Soundness – B2**  
All new development must be designed to ensure structural integrity up to the Probable Maximum Flood level of 2.93m AHD, taking into account the forces of floodwater, wave action, flowing water with debris, buoyancy and immersion.  
**Building Components and Structural Soundness – B3**  
All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be waterproofed and/or located above the Flood Planning Level. All existing electrical equipment and power points located below the Flood Planning Level must have residual current devices installed to cut electricity supply during flood events.  
**Fencing – F1**  
New fencing (including pool fencing, boundary fencing, balcony balustrades and accessory balustrades) shall be open to allow for the unimpeded movement of flood waters. It must be designed with a minimum of 50% open area from the natural ground level up to the 1% AEP flood level. Openings should be a minimum of 75mm x 75mm.  
**Storage of Goods – G1**  
Storage areas for hazardous or potentially polluting materials shall not be located below the Flood Planning Level unless adequately protected from floodwaters in accordance with industry standards.  
**Flood Proofing**  
The floor levels of the Boat Hire General Storage and Bin Room must be wet flood proofed up to the Probable Maximum Flood level of 2.93m AHD.  
Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.  
Reason: To reduce the impact of flooding and flood liability on owners and occupiers of flood-prone property and reduce public and private losses in accordance with Council and NSW Government policy.

**Flooring Notes**  
Floor Coverings to NCC 2019 Vol 1 Cl.11.0  
Slip Ratings to SA HB 198:2014 and AS 4663-2013 Tables 3(a) and 3(b)  
Particleboard structural flooring in accordance with AS1860.2-2006  
Flooring and Decking in accordance with AS1684 Parts 2, 3 or 4-2010  
Sub-floor ventilation in accordance with BCA Clause F1.12 and Table F1.12

**Fire Response**  
Refer to design and Design Certificate by Fire Consultant for lighting and Fire extinguisher layout and specifications  
Fire precautions during construction with a Fire extinguisher at each exit (temporary) from each storey

**Directional Exit Sign**  
ABE 4.5kg Fire Extinguisher  
Wet Chemical 7L Fire Extinguisher  
1.8m x 1.8m Fire Blanket  
Foam 9L Fire Extinguisher

**General Specification Notes**  
Termite risk management in accordance with AS3660.1-2014  
Blockwork in accordance with AS3700-2018  
Structural Steel in accordance with AS4100-1998  
Structural Timber in accordance with AS1720.1-2010  
Roof Drainage in accordance with AS/NZS3500.3-2018  
Metal Sheet Roofing in accordance with AS1562.1-2018. Metal Roofing to be light coloured roof with a solar absorptance of 0.45 or less  
Pliable building membrane in accordance with AS/NZS 4200.1-2017  
Aluminium Structures in accordance with AS/NZS 1664.1-1997 or AS/NZS 1664.2-1997  
Waterproofing of wet areas in accordance with BCA Clause & Table F1.7 and AS3740-2010  
Damp-proofing - Damp proof course that prevents moisture from the ground from reaching the lowest timber elements of the building, and walls above damp-proof course in accordance with AS/NZS 2904-1995 or AS3660.1-2014



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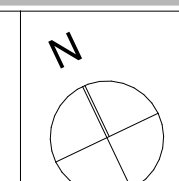
**CLIENT: LONDON LAKES PARTNERSHIP**  
THE BOATHOUSE  
PALM BEACH

**Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Café/Office Building is achieved using the performance based Jv3 Verification method using a reference building to Partners Energy Report**

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**Drawing Name**  
SITE & GROUND PLAN  
**Drawing Scale**  
1:100  
**Layout ID**  
CC04-B  
11/05/23 Section 4.55 Certificate

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
MOD2023/0415





**Additional Notes**  
Refer to Mechanical Engineer's Details.  
Refer to Ecology, Aquatic and Coastal report.  
Flood RLs are set as prescribed by Flood Consultant. Refer to details.  
Refer to BCA Consultant Reports and Specifications.  
Note Alternate Access Consultant report.  
Refer to Performance Solution Report.  
Refer to Fire Engineering Report.  
Refer to Landscape Architect Design and Details.  
Dark Sky Plan to be reviewed and submitted.

**Section J Compliance**  
Part J1 - BUILDING FABRIC - Cafe/Office Building  
Part J3 - BUILDING SEALING - Cafe/Office Building  
Part J5 - A/C & VENTILATION SYSTEMS - Cafe/Office Building  
Part J6 - ARTIFICIAL LIGHTING & POWER - Cafe/Office Building  
**RELEVANT NCC/BCA CLAUSE**  
Clause J1.3 - Roof Construction  
Clause J1.5 - Glazing and  
Clause J1.6 - Floor Construction  
**DTS Non-Compliance**  
Refer to Consultat Report re: Clause J1.3, Clause J1.5 and Clause J1.6  
**RELEVANT PERFORMANCE REQUIREMENTS**  
Clause J1.7 - Energy Use  
**ASSESSMENT METHOD (by Consultant)**  
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section J1.3 Verification using a reference building  
Thermal insulation (Floor, Roof and Walls) is to be in accordance with BCA Clause J1.2, AS/NZS 4859.1:2018, AS/NZS 4859.2:2018 and J1.3 Report

**Flooding**  
In order to protect property and occupants from flood risk the following is required:  
**Building Components and Structural Soundness – 81**  
All new development below the Flood Planning Level of shall be designed and constructed as flood compatible buildings in accordance with Reducing Vulnerability of Buildings to Flood Damage: Guidance on Building in Flood Prone Areas, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).  
**Building Components and Structural Soundness – 82**  
All new development must be designed to ensure structural integrity up to the Probable Maximum Flood level of 2.93m AHD, taking into account the forces of floodwater, wave action, flowing water with debris, buoyancy and immersion.  
**Building Components and Structural Soundness – 83**  
All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be waterproofed and/or located above the Flood Planning Level. All existing electrical equipment and power points located below the Flood Planning Level must have residual current devices installed to cut electricity supply during flood events.

**Fencing – F1**  
New fencing (including pool fencing, boundary fencing, balcony balustrades and accessway balustrades) shall be open to allow for the unimpeded movement of flood waters. It must be designed with a minimum of 50% open area from the natural ground level up to the 1% AEP flood level. Openings should be a minimum of 75mm x 75mm.  
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Reason: To reduce the impact of flooding and flood liability on owners and occupiers of flood-prone property and reduce public and private losses in accordance with Council and NSW Government policy.

**Flooring Notes**  
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**General Specification Notes**  
Termite risk management in accordance with AS3660.1-2014  
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Metal Sheet Roofing in accordance with AS1562.1-2018. Metal Roofing to be light coloured roof with a solar absorbance of 0.45 or less  
Pliable building membrane in accordance with AS/NZS 4200.1-2017  
Aluminium Structures in accordance with AS/NZS 1664.1-1997 or AS/NZS 1664.2-1997  
Waterproofing of wet areas in accordance with BCA Clause & Table F1.7 and AS3740-2010  
Damp-proofing - Damp proof course that prevents moisture from the ground from reaching the lowest timber elements of the building, and walls above damp-proof course in accordance with AS/NZS 2904-1995 or AS3660.1-2014

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**CLIENT: LONDON LAKES PARTNERSHIP**  
THE BOATHOUSE  
PALM BEACH

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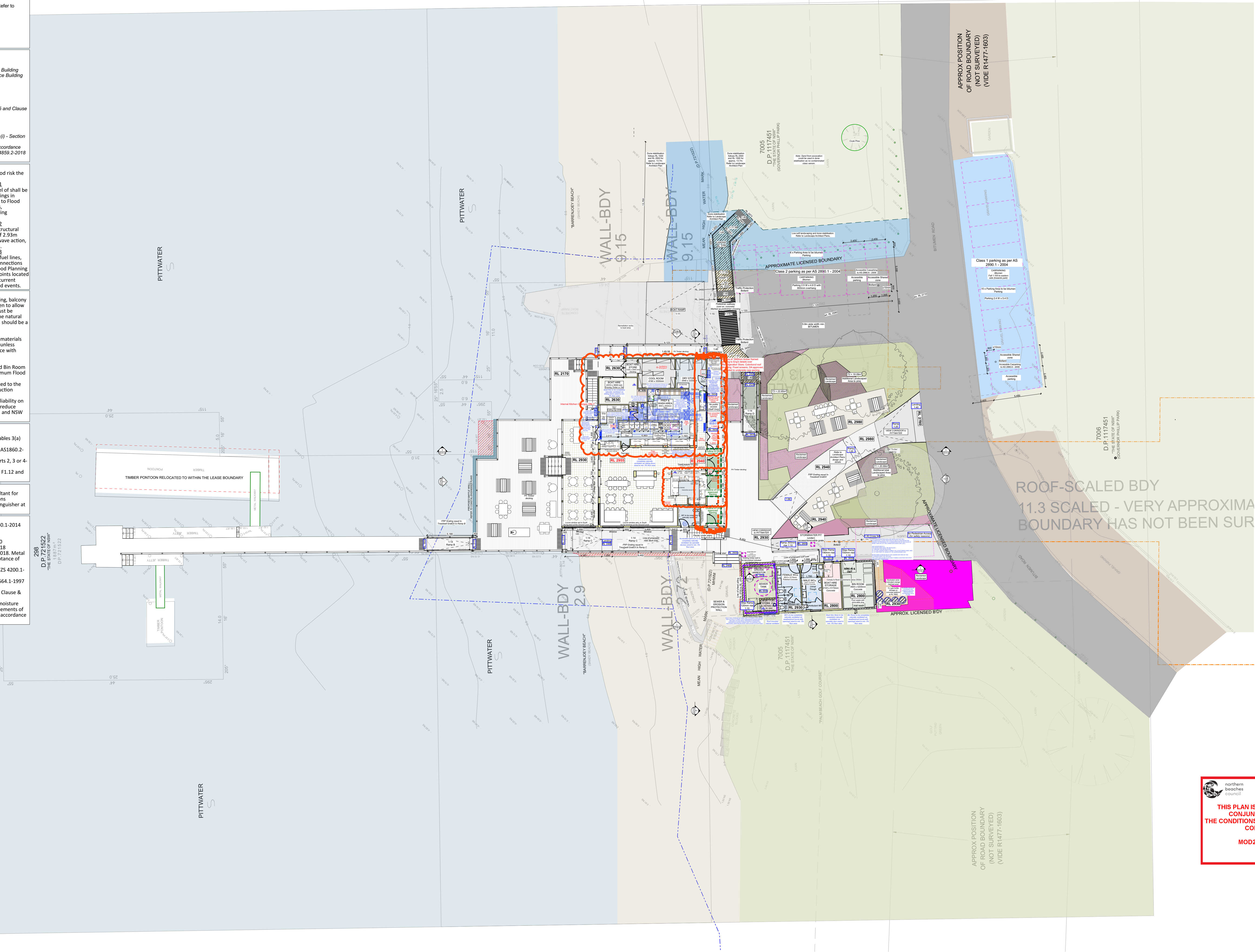
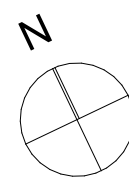
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Drawing Name  
**SITE & GROUND PLAN 1:200**

Drawing Scale  
**1:200**

Drawn  
RT

Layout ID  
**CC05-B**  
11/05/23 Section 4.55 Certificate



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
MOD2023/0415



**Additional Notes**  
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Flood RLs are set as prescribed by Flood Consultant. Refer to details.  
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Part J1 - BUILDING FABRIC - Cafe/Office Building  
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**RELEVANT NCC/BCA CLAUSE**  
Clause J1.3 - Roof Construction  
Clause J1.5 - Glazing; and  
Clause J1.6 - Floor Construction  
**DTS Non-Compliance**  
Refer to Consultat Report re: Clause J1.3, Clause J1.5 and Clause J1.6  
**RELEVANT PERFORMANCE REQUIREMENTS**  
Clause JP1 - Energy Use  
**ASSESSMENT METHOD (by Consultant)**  
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section JV3 Verification using a reference building  
Thermal Insulation (Floor, Roof and Walls) is to be in accordance with BCA Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and JV3 Report

**General Specification Notes**  
Termite risk management in accordance with AS3660.1-2014 Blockwork in accordance with AS3700-2018  
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- Directional Exit Sign**
- ABE 4.5kg Fire Extinguisher
  - Wet Chemical 7L Fire Extinguisher
  - 1.8m x 1.8m Fire Blanket
  - Foam 9L Fire Extinguisher

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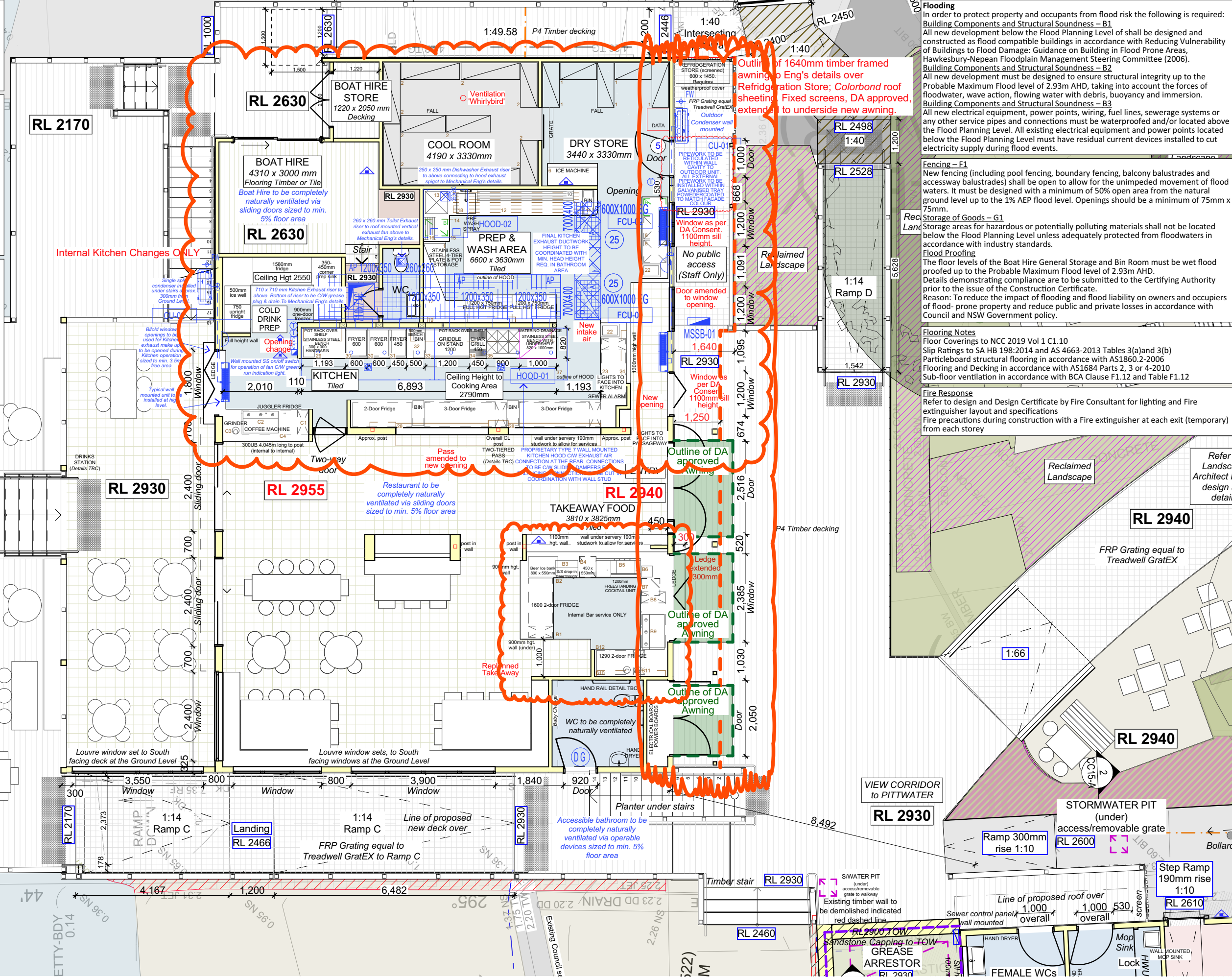
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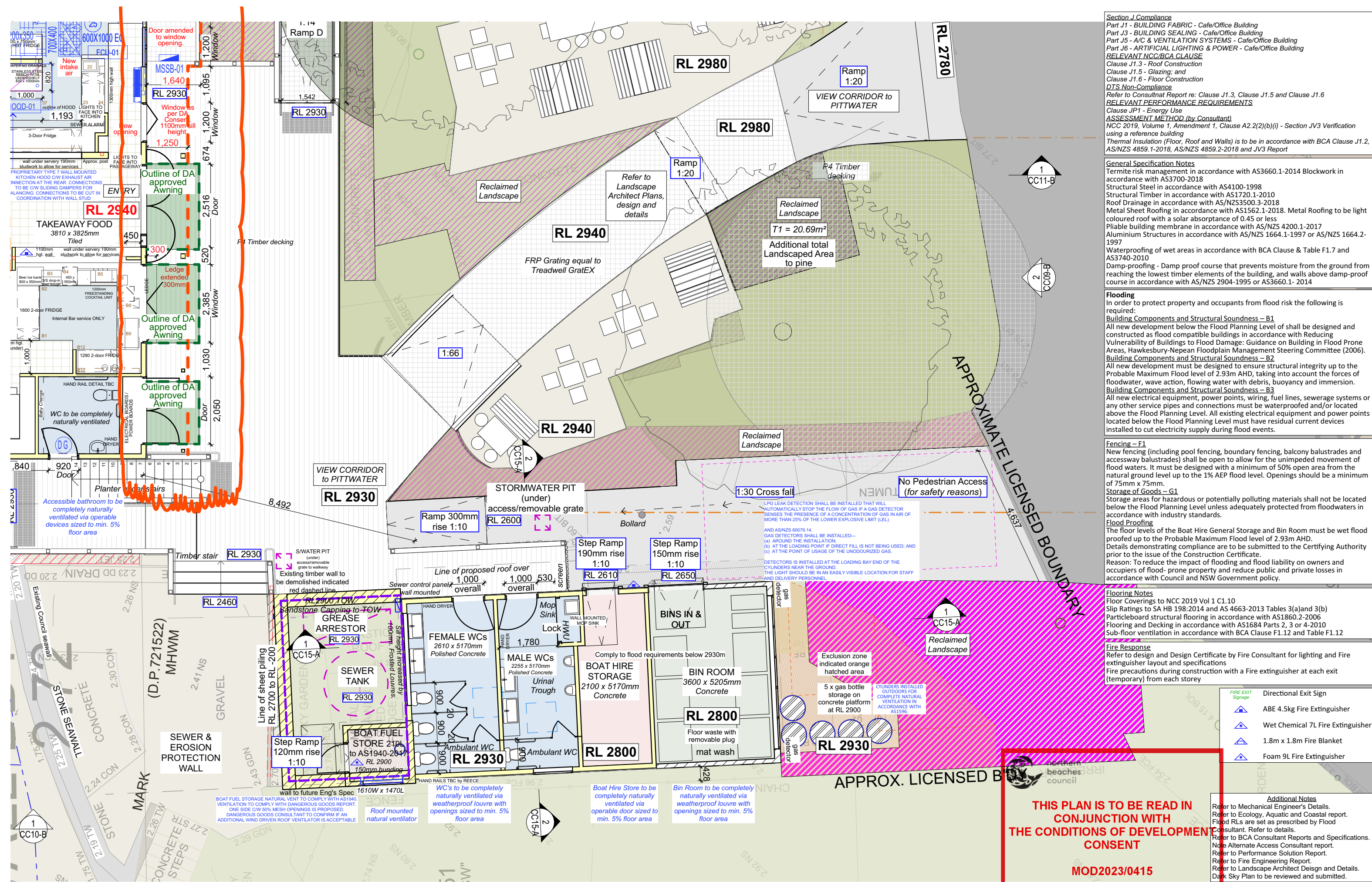
Drawing Name  
**PROPOSED GROUND FLOOR PLAN - A3**

Drawing Scale  
**1:100**  
  
Drawn  
RT

Layout ID  
**CC06-B**  
11/05/23 Section 4.55 Certificate







**Section J Compliance**  
Part J1 - BUILDING FABRIC - Cafe/Office Building  
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Fire precautions during construction with a Fire extinguisher at each exit (temporary) from each storey

- |  |                                   |
|--|-----------------------------------|
|  | Directional Exit Sign             |
|  | ABE 4.5kg Fire Extinguisher       |
|  | Wet Chemical 7L Fire Extinguisher |
|  | 1.8m x 1.8m Fire Blanket          |
|  | Foam 9L Fire Extinguisher         |

**Additional Notes**  
Refer to Mechanical Engineer's Details.  
Refer to Ecology, Aquatic and Coastal report.  
Flood RLs are set as prescribed by Flood Consultant. Refer to details.  
Refer to BCA Consultant Reports and Specifications.  
Note Alternate Access Consultant report.  
Refer to Performance Solution Report.  
Refer to Fire Engineering Report.  
Refer to Landscape Architect Design and Details.  
Dark Sky Plan to be reviewed and submitted.

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**CLIENT: LONDON LAKES PARTNERSHIP**  
  
THE BOATHOUSE  
PALM BEACH

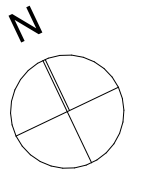
Compliance with Section J of the NCC 2019- volume 1 - Amendment 1 for new Cafe/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

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roslyn@canvasarch.com.au 0405 60 11 30

Drawing Name  
**PROPOSED ANCILLARY BUILDING GROUND FLOOR PLAN - A3**

Drawing Scale  
**1:100**  
  
Drawn  
RT

Layout ID  
**CC07-B**  
11/05/23 Section 4.55 Certificate





[illegible]

APPROX - LICENSED B'DY

[illegible]

Additional Notes

Refer to Mechanical Engineer's Details.

Refer to Ecology, Aquatic and Coastal report.

Flood Risk RLs are set as prescribed by Flood Consultant.

Refer to Performance Solution Report.

Refer to BCA Consultant Reports and Specifications.

Note Alternate Access Consultant report.


Refer to Performance Solution Report.

Refer to Fire Engineering Report.

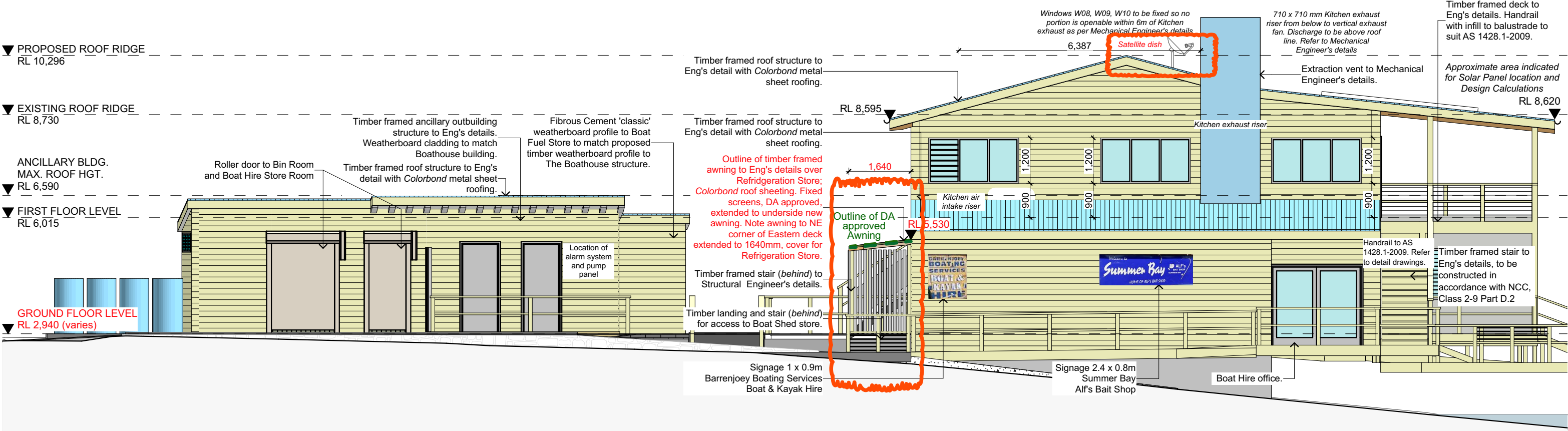
Refer to Landscape Architect Design and Details.

Dark Sky Plan to be reviewed and submitted.

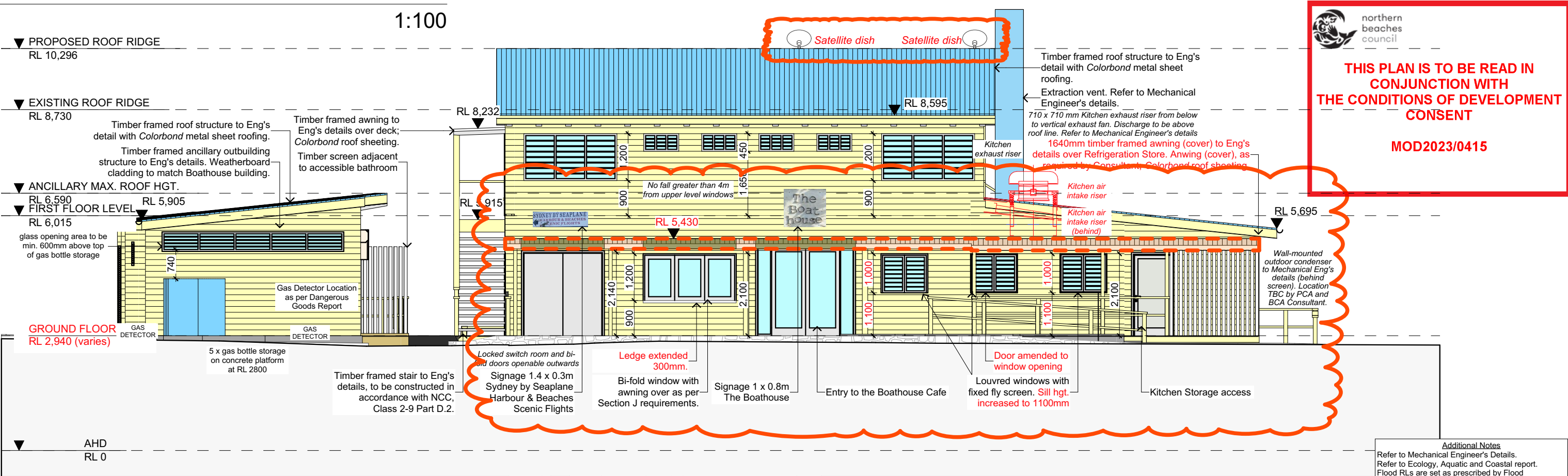
N







1 NORTH ELEVATION  
1:100



2 EAST ELEVATION  
1:100

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2023/0415**

**Additional Notes**  
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PALM BEACH

Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Café/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

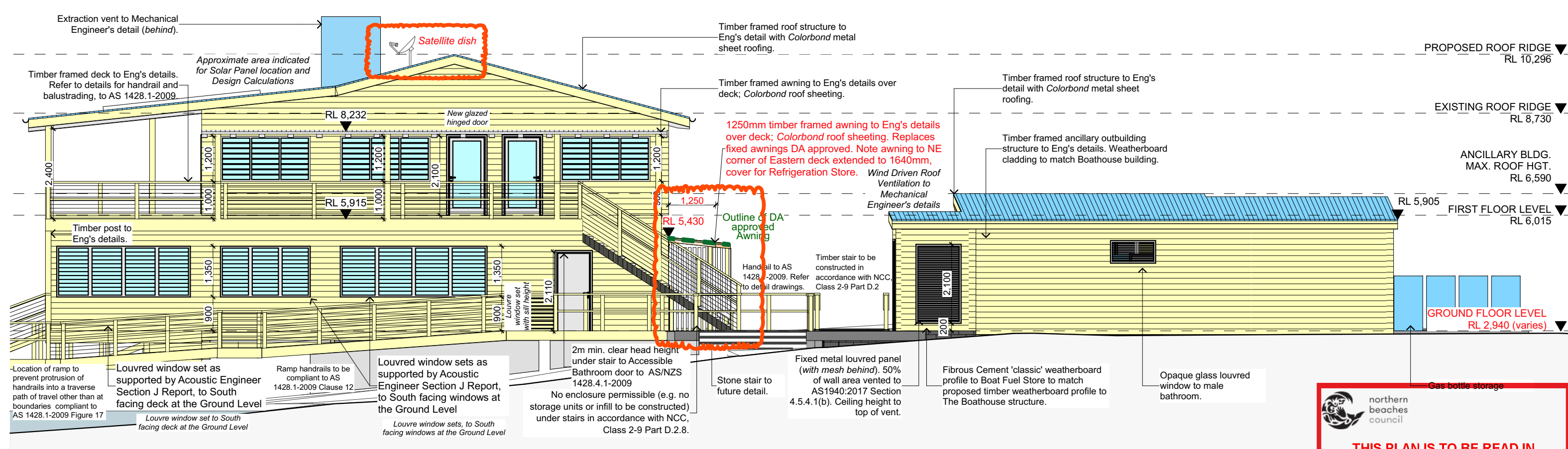
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Drawing Name  
**NORTH / EAST ELEVATIONS**

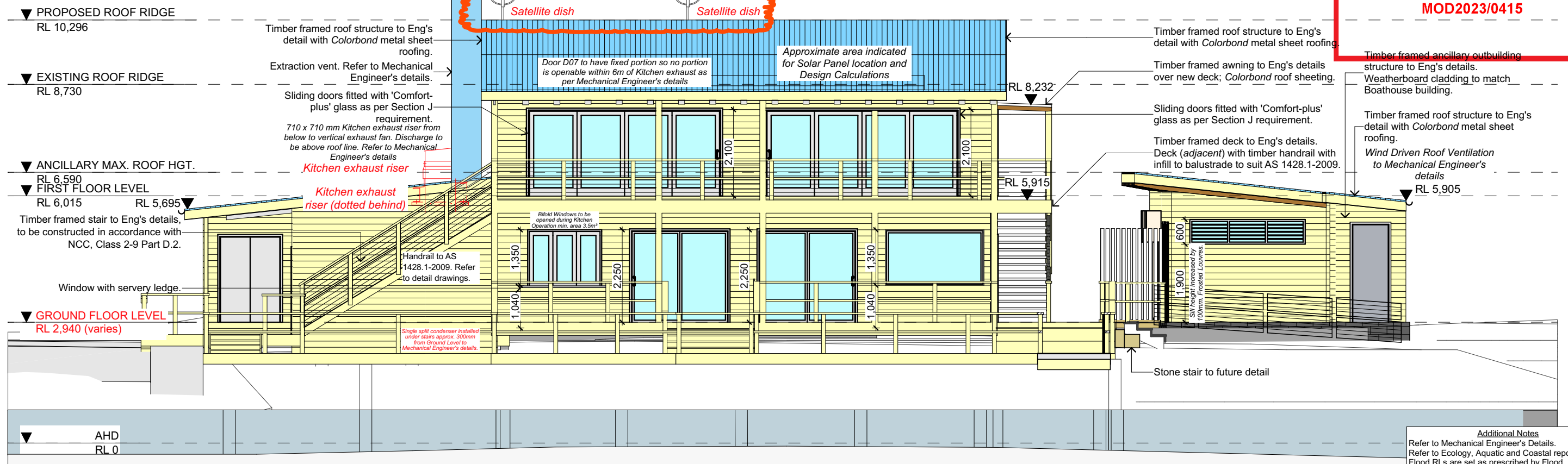
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Drawn  
RT

Layout ID  
**CC09-B**  
11/05/23 Section 4.55 Certificate



## SOUTH ELEVATION

1:100



## WEST ELEVATION

1:100

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2023/0415**

**Additional Notes**  
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Dark Sky Plan to be reviewed and submitted.

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**CLIENT: LONDON LAKES PARTNERSHIP**  
  
THE BOATHOUSE  
PALM BEACH

Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Café/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

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Drawing Name  
**SOUTH / WEST ELEVATIONS**

Drawing Scale  
**1:100**

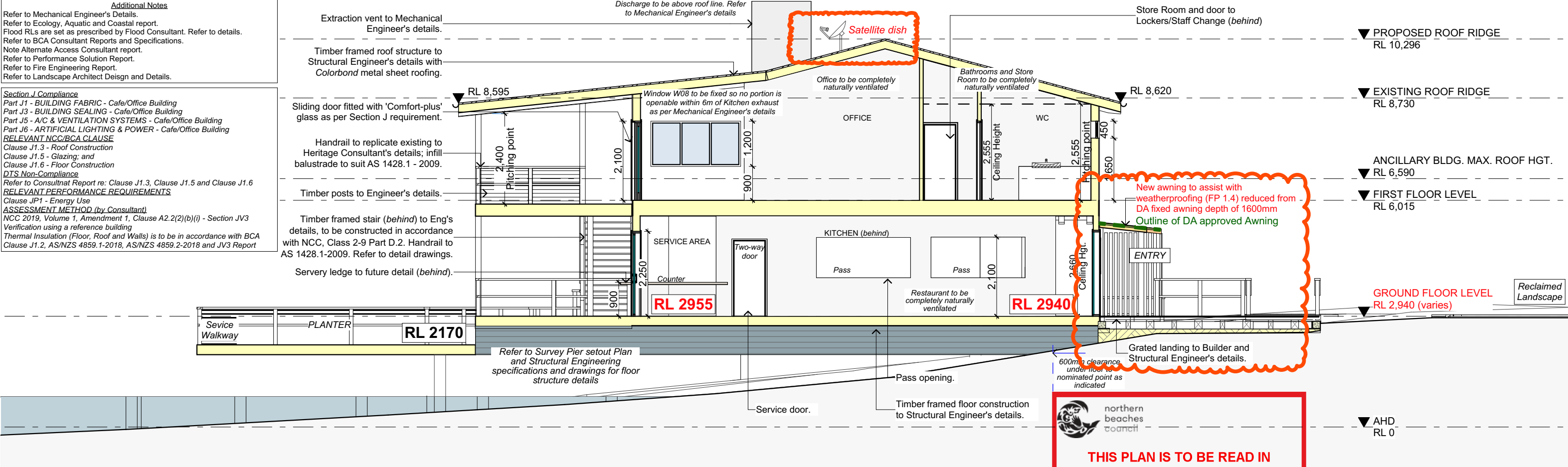
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Layout ID  
**CC10-B**  
11/05/23 Section 4.55 Certificate

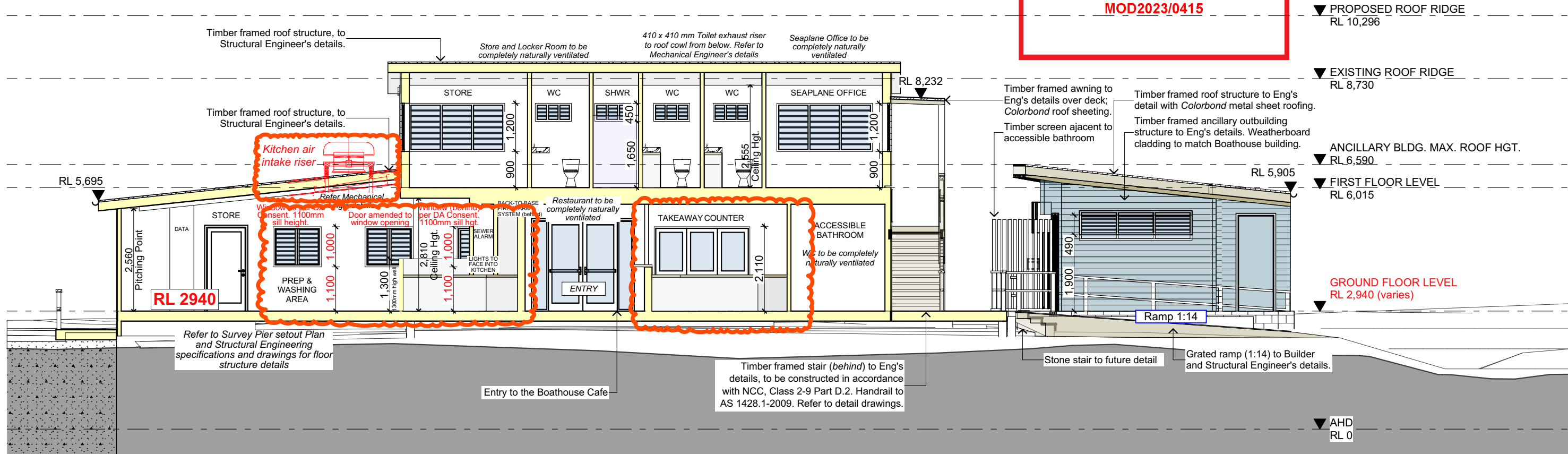


**Additional Notes**  
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Refer to Performance Solution Report.  
Refer to Fire Engineering Report.  
Refer to Landscape Architect Design and Details.

**Section J Compliance**  
Part J1 - BUILDING FABRIC - Cafe/Office Building  
Part J3 - BUILDING SEALING - Cafe/Office Building  
Part J5 - A/C & VENTILATION SYSTEMS - Cafe/Office Building  
Part J6 - ARTIFICIAL LIGHTING & POWER - Cafe/Office Building  
**RELEVANT NCC/BCA CLAUSE**  
Clause J1.3 - Roof Construction  
Clause J1.5 - Glazing; and  
Clause J1.6 - Floor Construction  
**DTS Non-Compliance**  
Refer to Consultat Report re: Clause J1.3, Clause J1.5 and Clause J1.6  
**RELEVANT PERFORMANCE REQUIREMENTS**  
Clause JP1 - Energy Use  
**ASSESSMENT METHOD (by Consultant)**  
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section JV3  
Verification using a reference building  
Thermal Insulation (Floor, Roof and Walls) is to be in accordance with BCA  
Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and JV3 Report



1  
S-01 Long Section  
1:100



2  
S-02 Cross Section  
1:100

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**CLIENT: LONDON LAKES PARTNERSHIP**  
  
THE BOATHOUSE  
PALM BEACH

Compliance with Section J of the NCC 2019-  
volume 1 - Amendment 1 for new  
Cafe/Office Building is achieved using the  
performance based JV3 Verification method  
using a reference building to Partners  
Energy Report

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Drawing Name  
**THE BOATHOUSE LONG &  
CROSS SECTION**

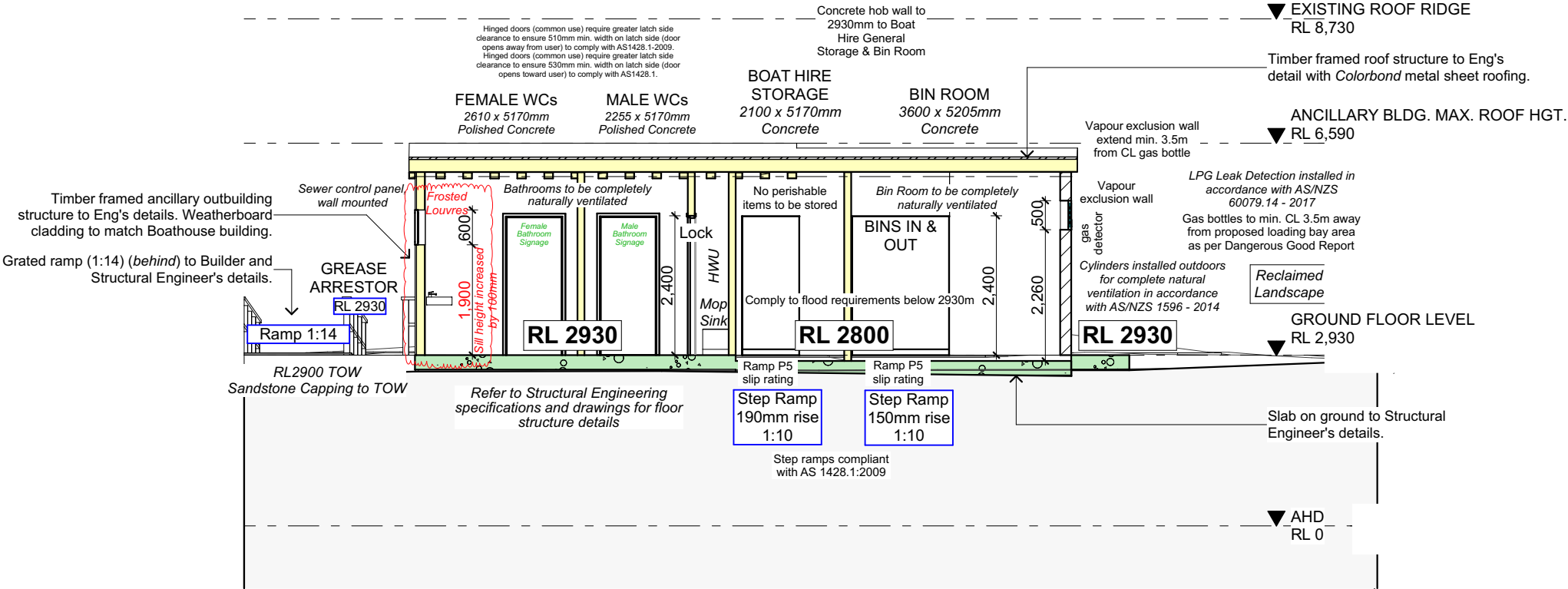
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Layout ID  
**CC11-B**  
11/05/23 Section 4.55 Certificate

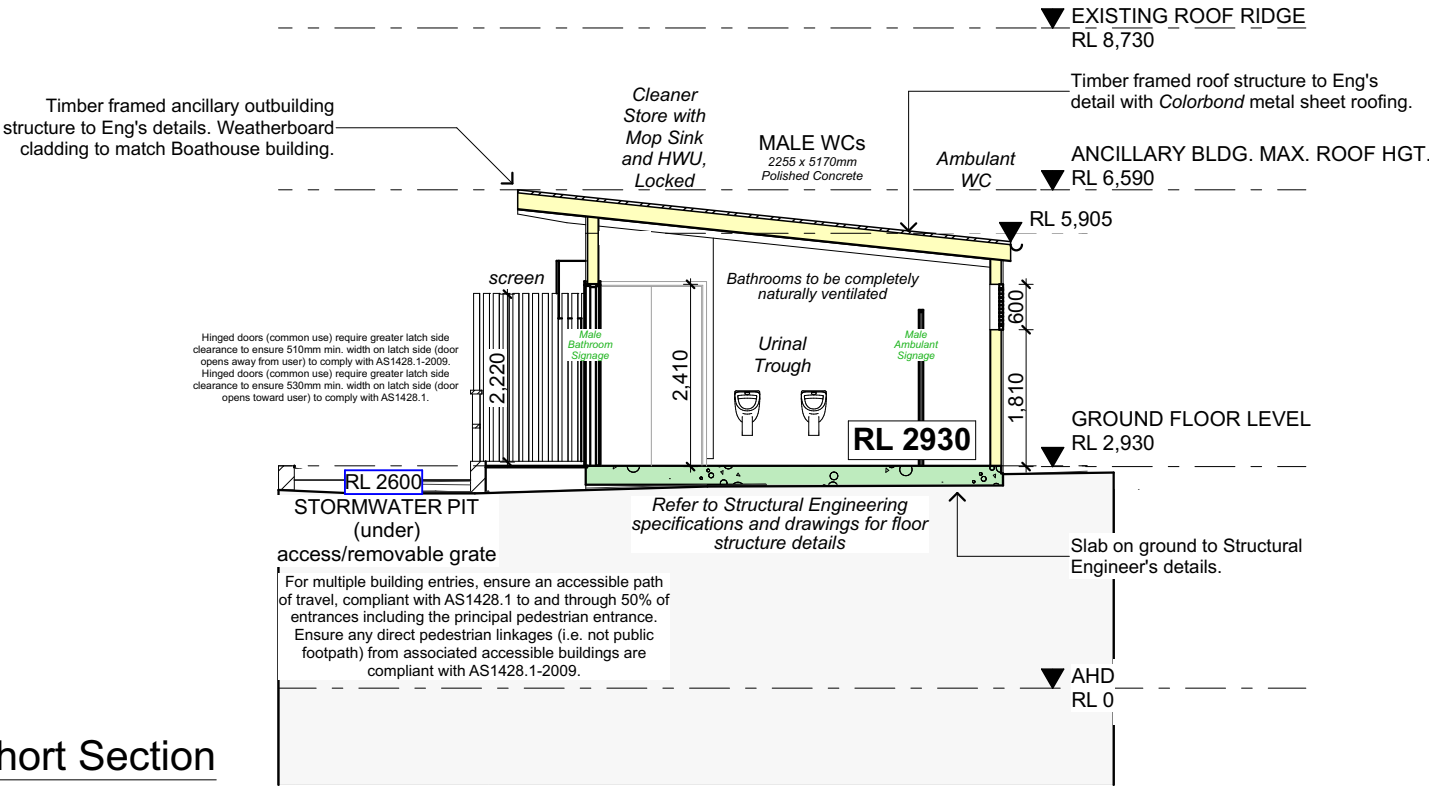


Additional Notes  
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Refer to LAndscape Architect Design and Details.

Section J Compliance  
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Part J3 - BUILDING SEALING - Cafe/Office Building  
Part J5 - A/C & VENTILATION SYSTEMS - Cafe/Office Building  
Part J6 - ARTIFICIAL LIGHTING & POWER - Cafe/Office Building  
RELEVANT NCC/BCA CLAUSE  
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Clause J1.5 - Glazing; and  
Clause J1.6 - Floor Construction  
DTS Non-Compliance  
Refer to Consultnat Report re: Clause J1.3, Clause J1.5 and Clause J1.6  
RELEVANT PERFORMANCE REQUIREMENTS  
Clause JP1 - Energy Use  
ASSESSMENT METHOD (by Consultant)  
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section JV3  
Verification using a reference building  
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Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and JV3 Report



Ancillary Building Long Section  
1:100



Ancillary Building Short Section  
1:100

 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2023/0415**

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THE BOATHOUSE  
PALM BEACH

Compliance with Section J of the NCC 2019-  
volume 1 – Amendment 1 for new  
Cafe/Office Building is achieved using the  
performance based JV3 Verification method  
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Energy Report

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Drawing Name  
**ANCILLARY BUILDING LONG  
& CROSS SECTION**

Drawing Scale  
**1:100**

Drawn  
**RT**

Layout ID  
**CC15-A**  
26/08/22 Section 4.55 Certificate

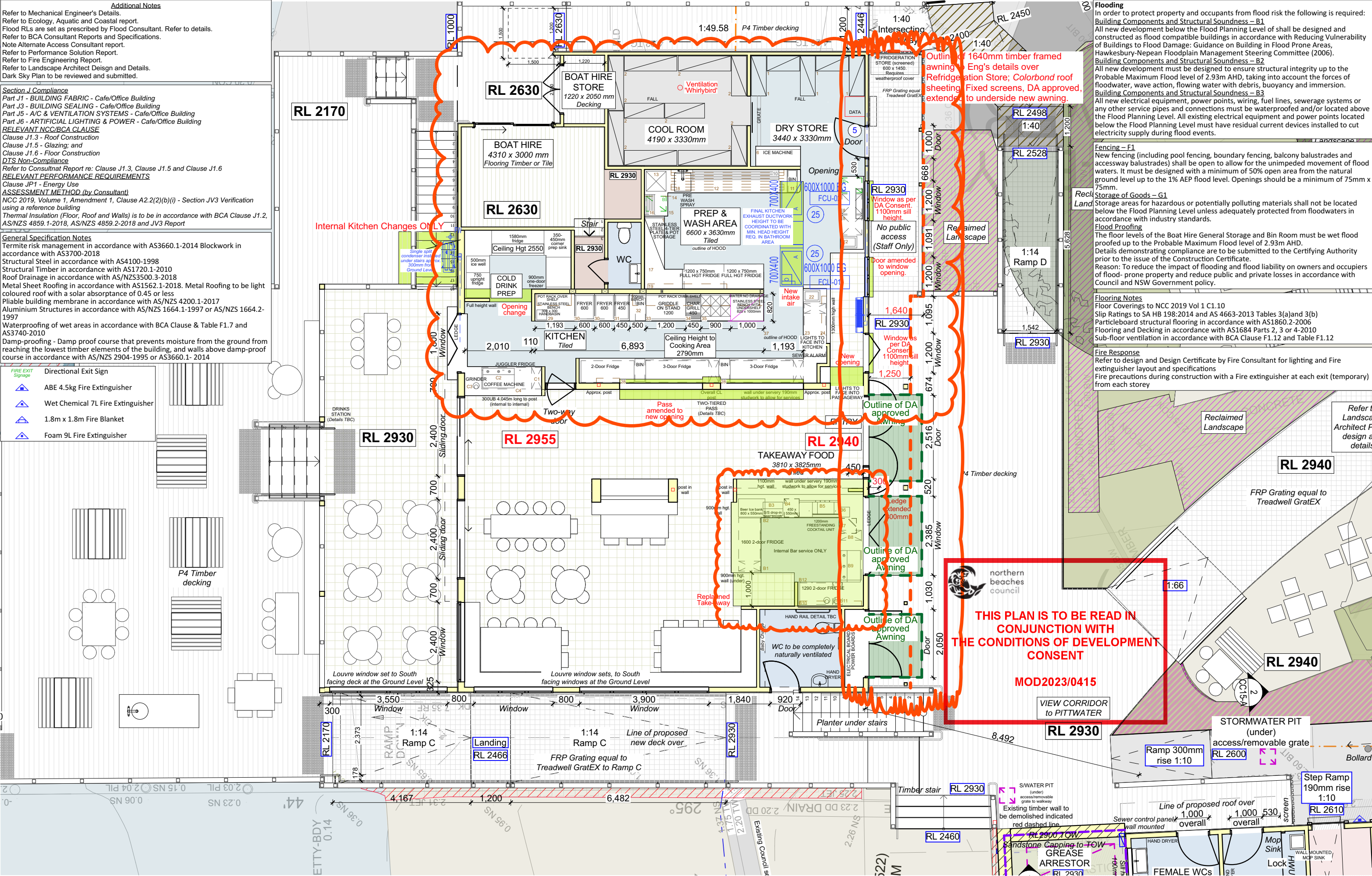


**Additional Notes**  
Refer to Mechanical Engineer's Details.  
Refer to Ecology, Aquatic and Coastal report.  
Flood RLs are set as prescribed by Flood Consultant. Refer to details.  
Refer to BCA Consultant Reports and Specifications.  
Note Alternate Access Consultant report.  
Refer to Performance Solution Report.  
Refer to Fire Engineering Report.  
Refer to Landscape Architect Design and Details.  
Dark Sky Plan to be reviewed and submitted.

**Section J Compliance**  
Part J1 - BUILDING FABRIC - Cafe/Office Building  
Part J3 - BUILDING SEALING - Cafe/Office Building  
Part J5 - A/C & VENTILATION SYSTEMS - Cafe/Office Building  
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**RELEVANT NCC/BCA CLAUSE**  
Clause J1.3 - Roof Construction  
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**DTS Non-Compliance**  
Refer to Consultat Report re: Clause J1.3, Clause J1.5 and Clause J1.6  
**RELEVANT PERFORMANCE REQUIREMENTS**  
Clause JP1 - Energy Use  
**ASSESSMENT METHOD (by Consultant)**  
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section JV3 Verification using a reference building  
Thermal Insulation (Floor, Roof and Walls) is to be in accordance with BCA Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and JV3 Report

**General Specification Notes**  
Termite risk management in accordance with AS3660.1-2014 Blockwork in accordance with AS3700-2018  
Structural Steel in accordance with AS4100-1998  
Structural Timber in accordance with AS1720.1-2010  
Roof Drainage in accordance with AS/NZS3500.3-2018  
Metal Sheet Roofing in accordance with AS1562.1-2018. Metal Roofing to be light coloured roof with a solar absorbance of 0.45 or less  
Pliable building membrane in accordance with AS/NZS 4200.1-2017  
Aluminium Structures in accordance with AS/NZS 1664.1-1997 or AS/NZS 1664.2-1997  
Waterproofing of wet areas in accordance with BCA Clause & Table F1.7 and AS3740-2010  
Damp-proofing - Damp proof course that prevents moisture from the ground from reaching the lowest timber elements of the building, and walls above damp-proof course in accordance with AS/NZS 2904-1995 or AS3660.1- 2014

- Directional Exit Sign**
- ABE 4.5kg Fire Extinguisher
  - Wet Chemical 7L Fire Extinguisher
  - 1.8m x 1.8m Fire Blanket
  - Foam 9L Fire Extinguisher



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THE BOATHOUSE  
PALM BEACH

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roslyn@canvasarch.com.au 0405 60 11 30

Drawing Name  
**GROUND FLOOR PLAN - MINOR INTERNAL CHANGES SECTION 4.55**

Drawing Scale  
**1:100**  
Drawn  
RT

Layout ID  
**CC18**  
11/05/23 Section 4.55 Certificate

