

	Dane Anderson Drafting 0422 484 175 30 Seaview Way, Long Beach NSW 2536		PROPOSED GARAGE WITH MEZZANINE & CARPORT AT 15 WILGA STREET, ELANORA HEIGHTS NSW 2101			LOCATION PLAN	
	LGA: NORTHERN BEACHES	LOT 2	SEC. -	DP730210	DATE: 25.09.19	SCALE: 1:400 @ A3	
Note: All site features within the subject property have been plotted relative to boundary fences. Therefore, the accuracy of the location of site features relative to property boundaries is limited to the accuracy of the location of the fences relative to the boundary. It is the responsibility of the builder to verify the exact location of the boundary prior to the commencement of construction. DRAWING NOT TO BE SCALED					REVISION: 00	DRAWING NUMBER: 01	




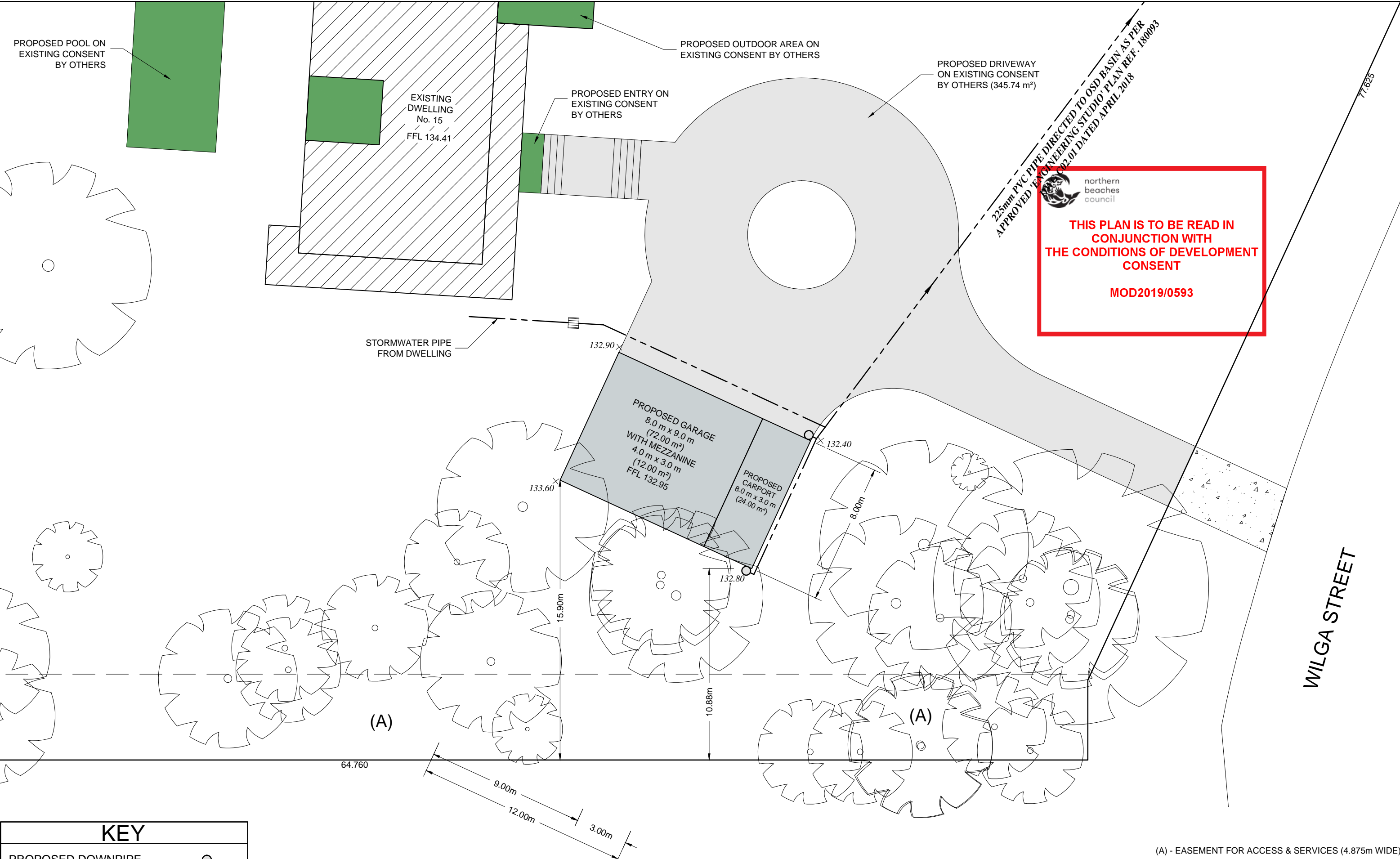
MOD2019/0593

WILGA STREET

(A)

EXISTING HARD SURFACE AREA	748.30m²
HARD SURFACE AREA TO BE RETAINED	748.30m²
EXISTING LANDSCAPED AREA	5252.70m²
LANDSCAPED AREA TO BE RETAINED	4896.99m²

	Dane Anderson Drafting 0422 484 175 30 Seaview Way, Long Beach NSW 2536		PROPOSED GARAGE WITH MEZZANINE & CARPORT AT 15 WILGA STREET, ELANORA HEIGHTS NSW 2101			SITE PLAN	
	LGA: NORTHERN BEACHES		LOT 2	SEC. -	DP730210	DATE: 25.09.19	SCALE: 1:200 @ A3
Note: All site features within the subject property have been plotted relative to boundary fences. Therefore, the accuracy of the location of site features relative to property boundaries is limited to the accuracy of the location of the fences relative to the boundary. It is the responsibility of the builder to verify the exact location of the boundary prior to the commencement of construction. DRAWING NOT TO BE SCALED					REVISION: 00		DRAWING NUMBER: 02



KEY	
PROPOSED DOWNPIPE	○
PROPOSED STORMWATER	-----
PROPOSED STORMWATER TO BE CONNECTED TO PREVIOUSLY APPROVED OSD SYSTEM IN ACCORDANCE WITH AS 3500.	

	Dane Anderson Drafting 0422 484 175 30 Seaview Way, Long Beach NSW 2536	PROPOSED GARAGE WITH MEZZANINE & CARPORT AT 15 WILGA STREET, ELANORA HEIGHTS NSW 2101	DRAINAGE PLAN			
	LGA: NORTHERN BEACHES	LOT 2	SEC. -	DP730210	DATE: 25.09.19	SCALE: 1:200 @ A3
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(A) - EASEMENT FOR ACCESS & SERVICES (4.875m WIDE)

PROPOSED POOL ON
EXISTING CONSENT
BY OTHERS

PROPOSED OUTDOOR AREA ON
EXISTING CONSENT BY OTHERS

EXISTING
DWELLING
No. 15
FFL 134.41

PROPOSED ENTRY ON
EXISTING CONSENT
BY OTHERS

PROPOSED DRIVEWAY
ON EXISTING CONSENT
BY OTHERS (345.74 m²)



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CONSENT

MOD2019/0593

MATERIALS
HANDLING
CONCRETE PUMP
AREA

STOCKPILE
AREA

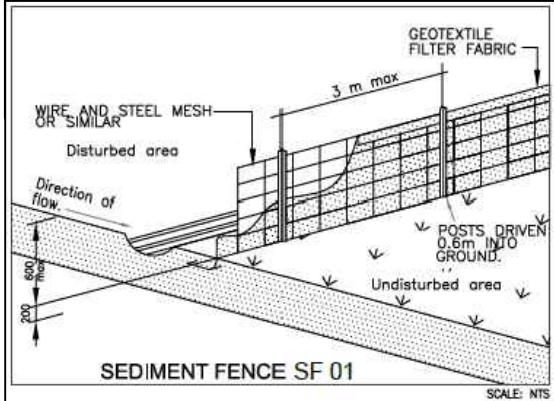
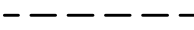
PROPOSED GARAGE
8.0 m x 9.0 m
(72.00 m²)
WITH MEZZANINE
4.0 m x 3.0 m
(12.00 m²)
FFL 132.95

PROPOSED
CARPORT
8.0 m x 3.0 m
(24.00 m²)

WILGA STREET

KEY

SILT FENCE



Dane Anderson Drafting
0422 484 175
30 Seaview Way,
Long Beach NSW 2536

PROPOSED GARAGE WITH MEZZANINE & CARPORT AT
15 WILGA STREET,
ELANORA HEIGHTS NSW 2101

SEDIMENT CONTROL PLAN

LGA: NORTHERN BEACHES

LOT 2

SEC. -

DP730210

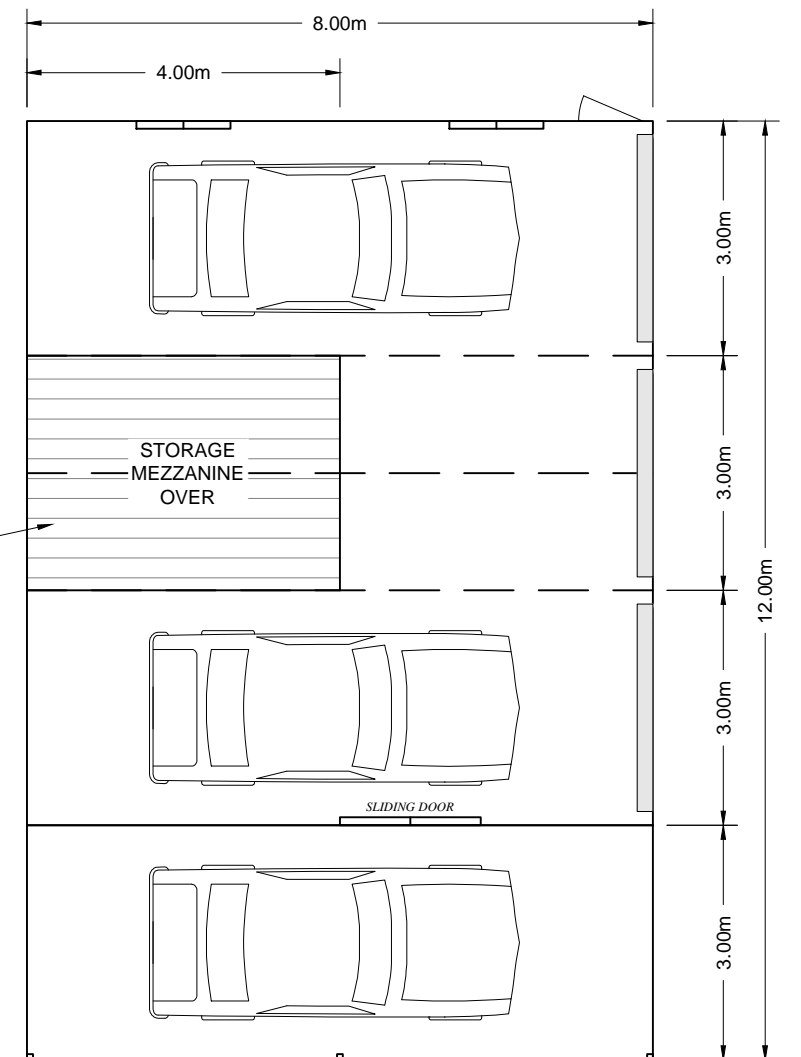
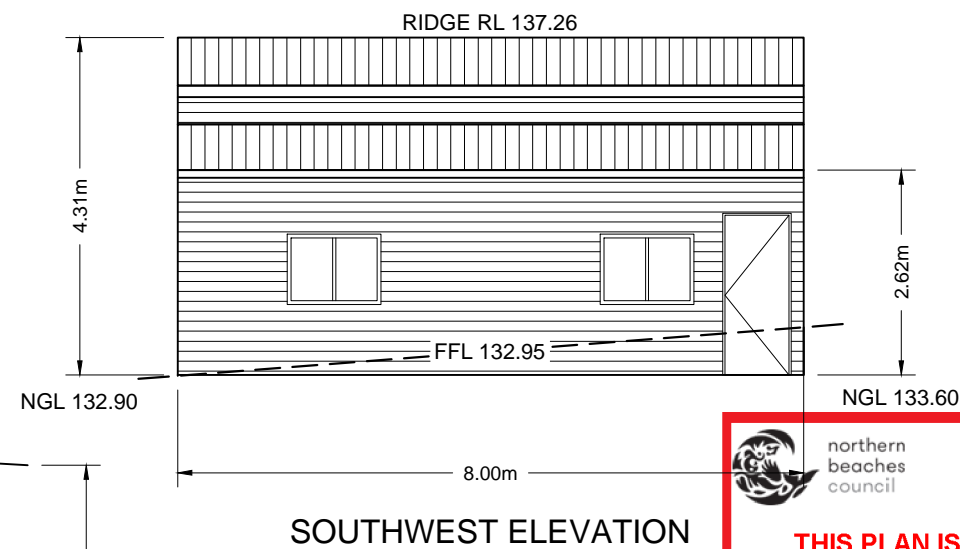
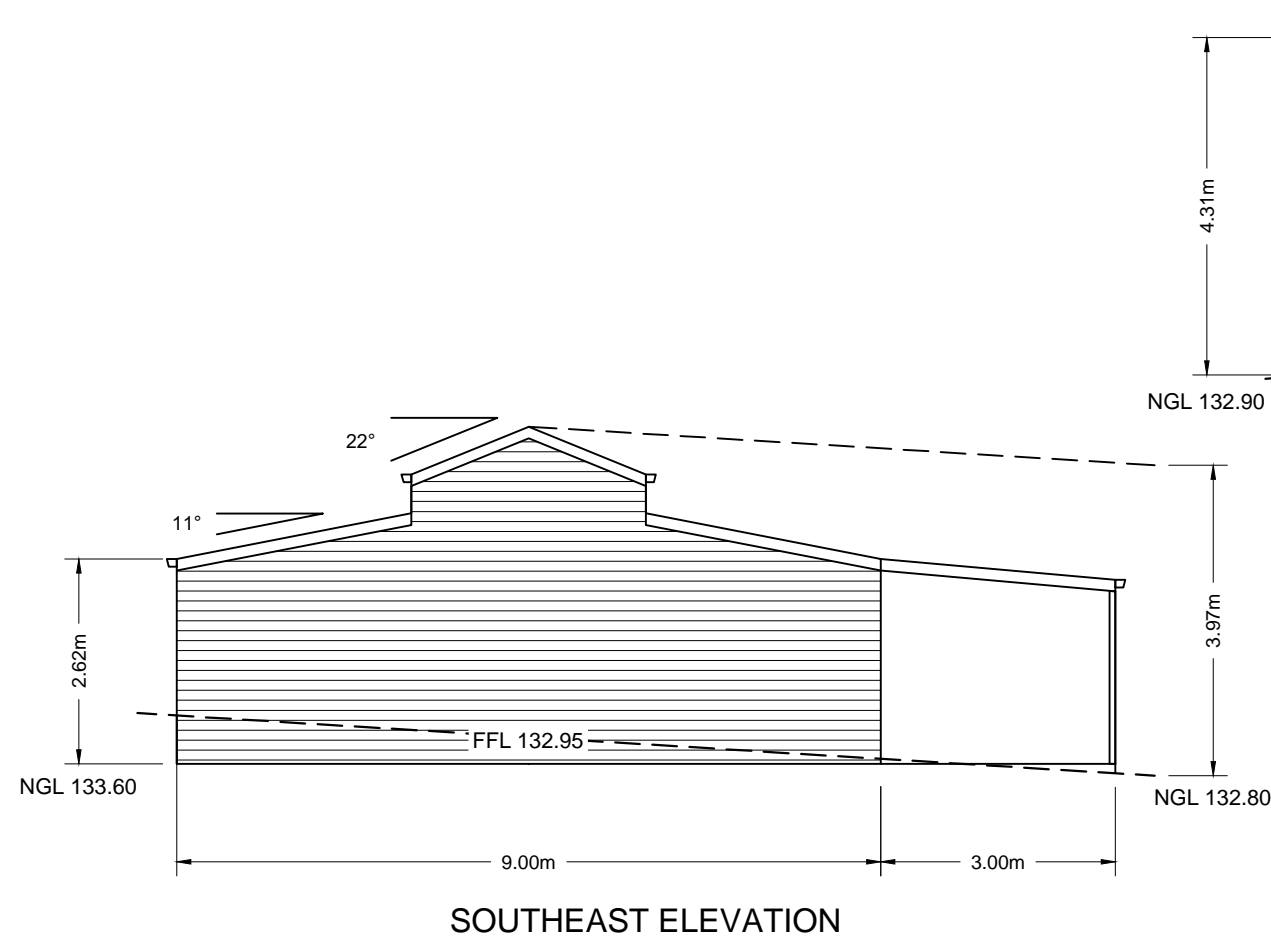
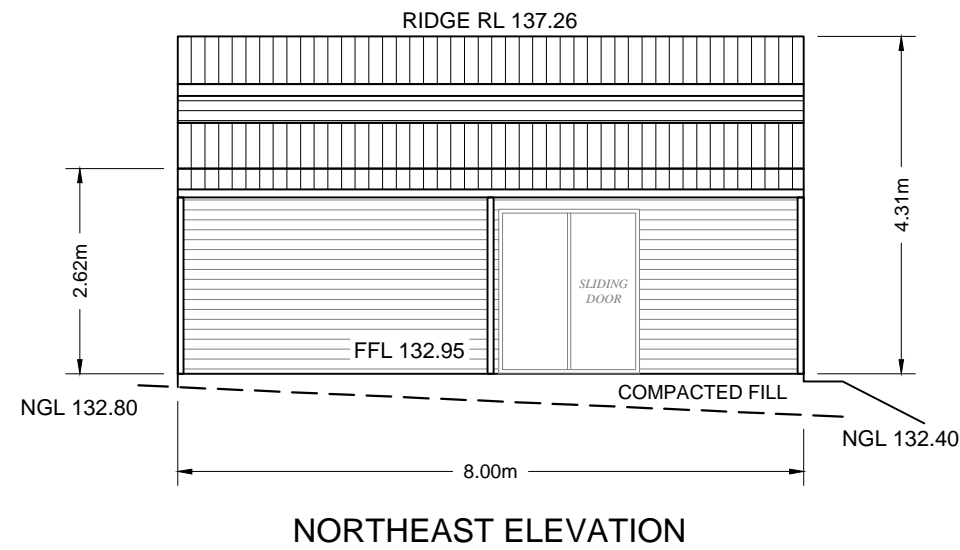
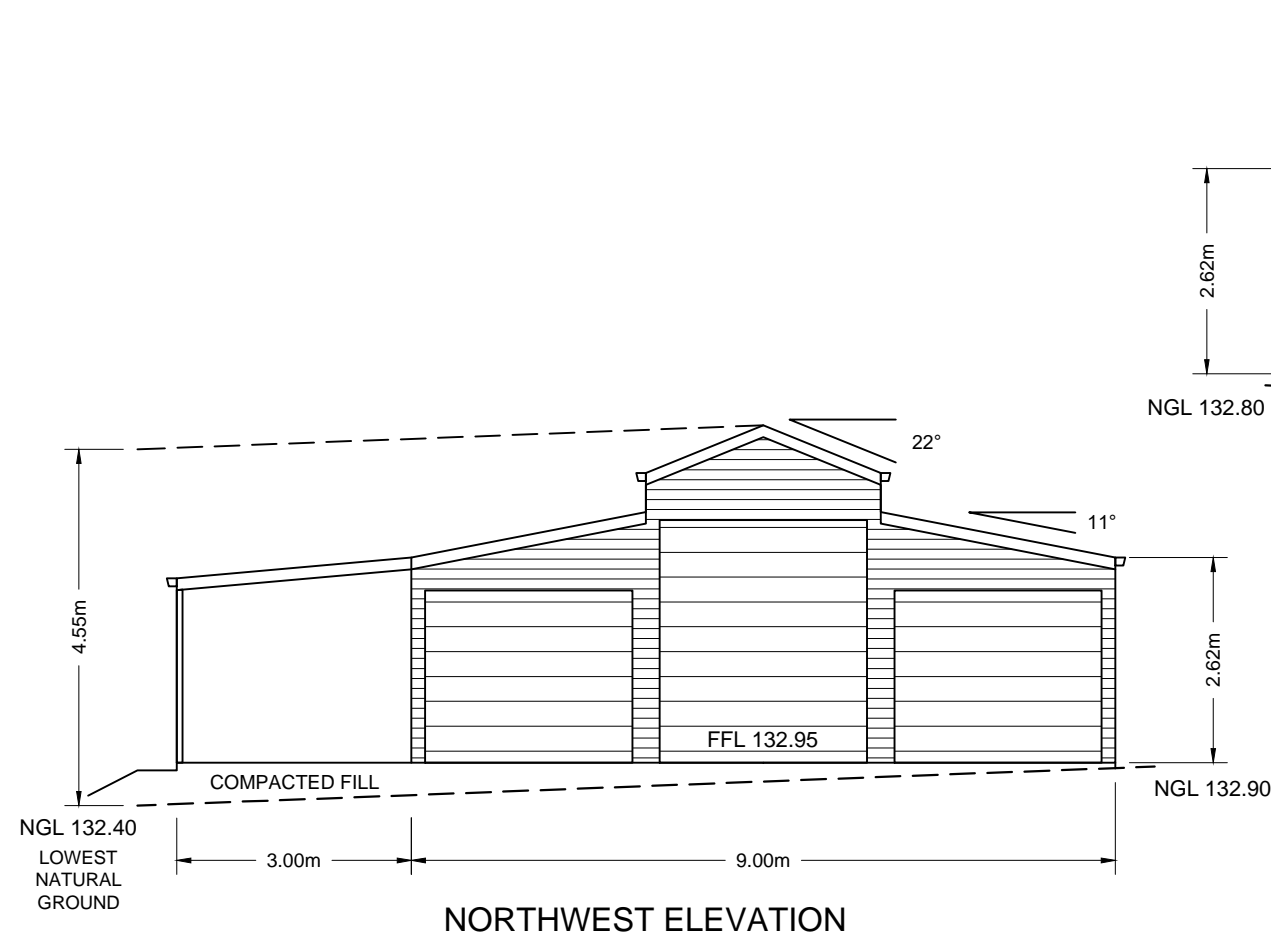
DATE: 25.09.19

SCALE: 1:200 @ A3

REVISION: 00

DRAWING
NUMBER: 04

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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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COLOUR SCHEDULE
WALLS - COLORBOND SURFMIST
ROOF - COLORBOND SHALE GREY
DOORS - COLORBOND SURFMIST

	Dane Anderson Drafting 0422 484 175 30 Seaview Way, Long Beach NSW 2536		PROPOSED GARAGE WITH MEZZANINE & CARPORT AT 15 WILGA STREET, ELANORA HEIGHTS NSW 2101			FLOOR PLAN & ELEVATIONS	
	LGA: NORTHERN BEACHES	LOT 2	SEC. -	DP730210	DATE: 25.09.19	SCALE: 1:100 @ A3	
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COLOUR SCHEDULE

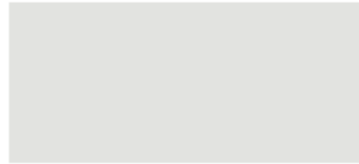
NAME: Gremmo Homes
JOB #: 19021
ADDRESS: 15 Wilga Street
ELANORA HEIGHTS NSW 2154

COLORBOND – SURFMIST:

Walls

Doors

Surfmist®



COLORBOND – SHALE GREY:

Roof

Shale Grey®



northern
beaches
council

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