

ACTION PLANS

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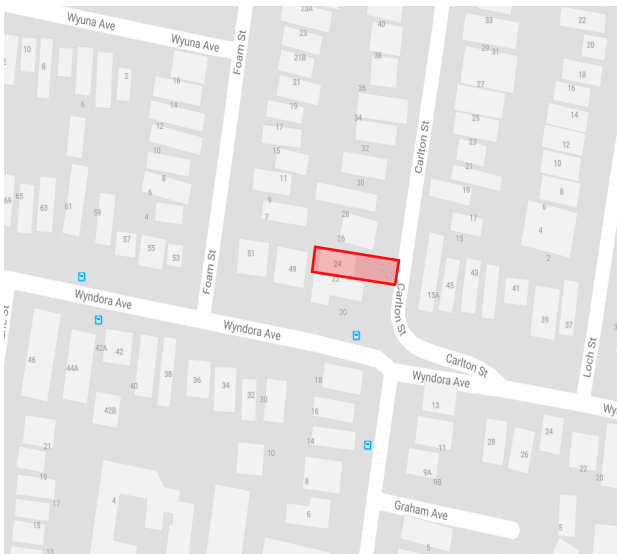
24 CARLTON STREET, FRESHWATER NSW 2096

DEVELOPEMENT APPLICATION:REV A

ITEM DETAILS
LOT 1 DP 235732
SITE AREA : 241.9m²
FRONTAGE : 6.285m

| DA | CONTROL | | EXISTING | PROPOSED | COMPLIANCE |
|--|--|--------------------------------|-------------------------------|----------|------------|
| LEP | | | | | |
| LAND ZONING: | R2 - Low Density Residential | | UNCHANGED | | YES |
| MAX. BUILDING HEIGHT: | 8.5m | 5.05m | 7.56m | | YES |
| MIN. LOT SIZE: | 450m ² | 241.9m | UNCHANGED | | YES |
| LAND SLIP RISK: | Land Slip Risk B - Flanking Slopes 5° to 25° | | | | |
| DCP | | | | | |
| MAX. WALL HEIGHT: | 7.2m | 3.043m | 6.06m | | YES |
| LANDSCAPE OPEN SPACE: | 40%(96.76m ²) | 39.06% (94.49m ²) | 27.23% (65.89m ²) | | NO |
| LANDSCAPE OPEN SPACE THAT DOES NOT MEET THE MINIMUM 2x2m SIZE: | N/A | 6.56% (15.87m ²) | 13.43% (32.50m ²) | | N/A |
| TOTAL LANDSCAPE OPEN SPACE: | 40%(96.76m ²) | 45.40% (109.84m ²) | 40.67% (98.39m ²) | | YES |
| PRIVATE OPEN SPACE: | 35m ² | 38.72m ² | 45.44m ² | | YES |
| FRONT SETBACK: | 6.5m | 15.8m | 12.39m | | YES |
| REAR SETBACK: | 6m | 5.17m | 7.02m | | YES |
| SIDE SETBACK: | 0.9m | N: 1.17m | N: UNCHANGED | | YES |
| | | S: 0 | S: UNCHANGED | | YES |

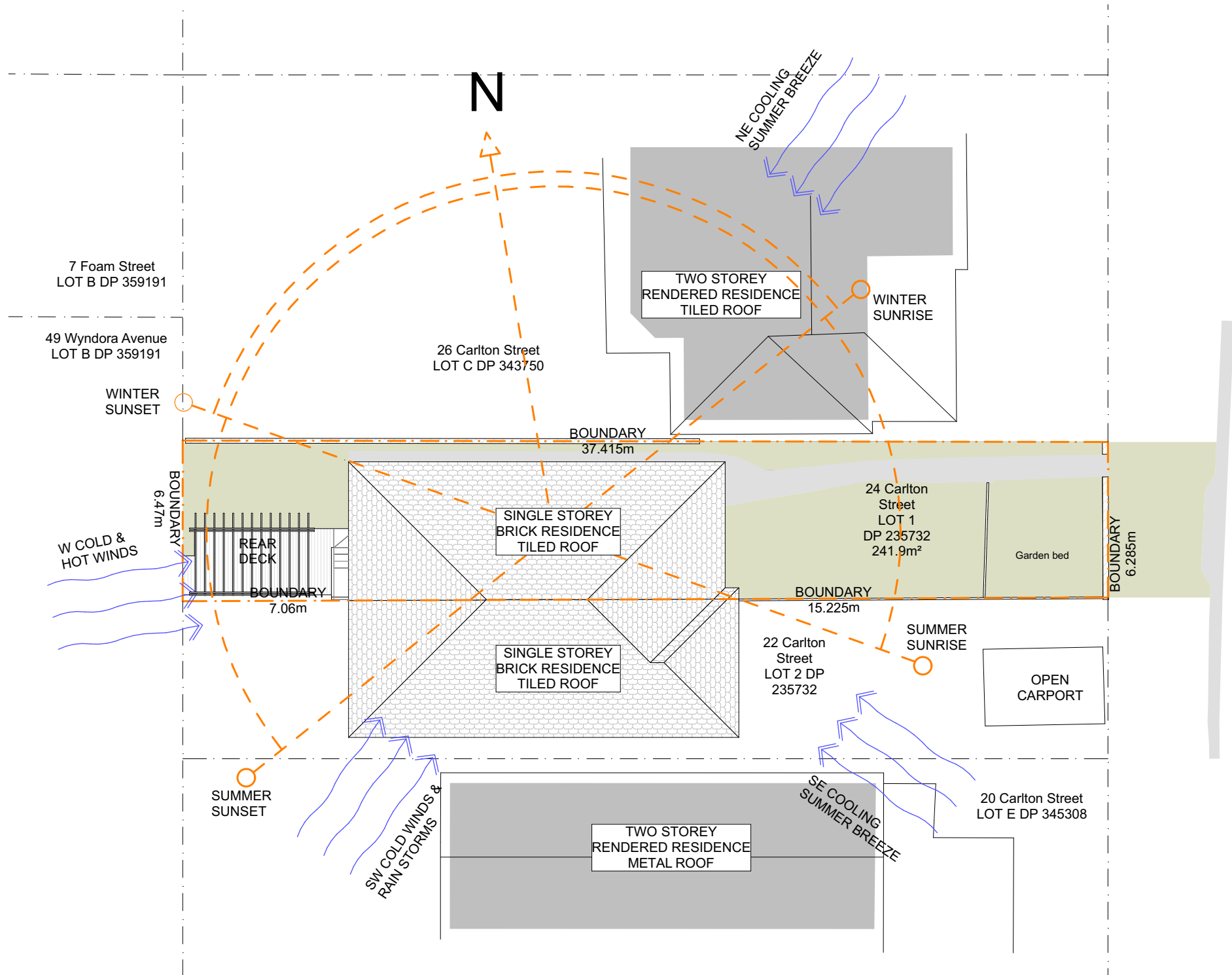
| SHEET NUMBER | SHEET NAME | DATE PUBLISHED |
|--------------|---|----------------|
| DA00 | COVER | 29/06/2020 |
| DA01 | SITE ANALYSIS | 29/06/2020 |
| DA02 | SITE / SEDIMENT EROSION / WASTE MANAGEMENT PLAN | 29/06/2020 |
| DA03 | EXISTING GROUND FLOOR PLAN | 29/06/2020 |
| DA04 | PROPOSED GROUND FLOOR PLAN | 29/06/2020 |
| DA05 | PROPOSED FIRST FLOOR PLAN | 29/06/2020 |
| DA06 | EXISTING ROOF PLAN | 29/06/2020 |
| DA07 | PROPOSED ROOF PLAN / STORMWATER CONCEPT PLAN | 29/06/2020 |
| DA08 | NORTH ELEVATION | 29/06/2020 |
| DA09 | EAST / WEST ELEVATION | 29/06/2020 |
| DA10 | LONG / CROSS SECTION | 29/06/2020 |
| DA11 | DRIVEWAY PLAN | 29/06/2020 |
| DA12 | DRIVE WAY SECTION | 29/06/2020 |
| DA13 | AREA CALCULATIONS / SCHEDULE OF EXTERNAL FINISHES | 29/06/2020 |
| DA14 | WINTER SOLSTICE 9 AM | 29/06/2020 |
| DA15 | WINTER SOLSTICE 12 PM | 29/06/2020 |
| DA16 | WINTER SOLSTICE 3 PM | 29/06/2020 |
| DA17 | BASIX COMMITMENTS | 29/06/2020 |



LOCATION PLAN

NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS: METHOD OF EXCAVATION AND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991



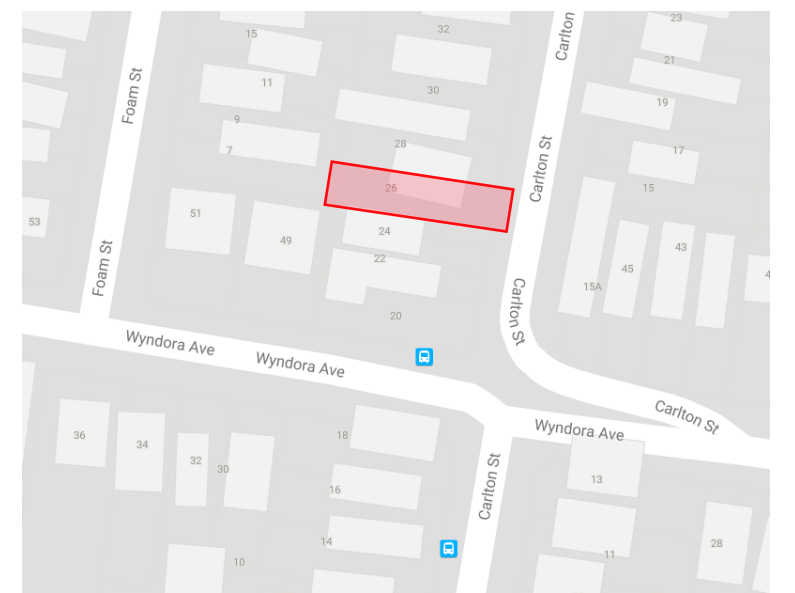
1 Untitled, SITE ANALYSIS
1:200



STREET VIEW



LOCATION VIEW



AERIAL MAP



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| REV. | DATE | COMMENTS | DRWN |
|------|------------|-------------------------|------|
| A | 07/02/2020 | DEVELOPMENT APPLICATION | AP |
| B | 30/04/2020 | REVISION 1 | AP |
| C | 26/06/2020 | REVISION 2 | AP |

NOTES

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LEGEND

| | |
|------------|------------|
| TIMBER | CONCRETE |
| BRICKWORK | DEMOLISHED |
| METAL ROOF | |
| EXISTING | |

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA01

DATE

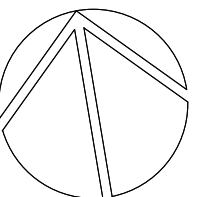
29 June 2020

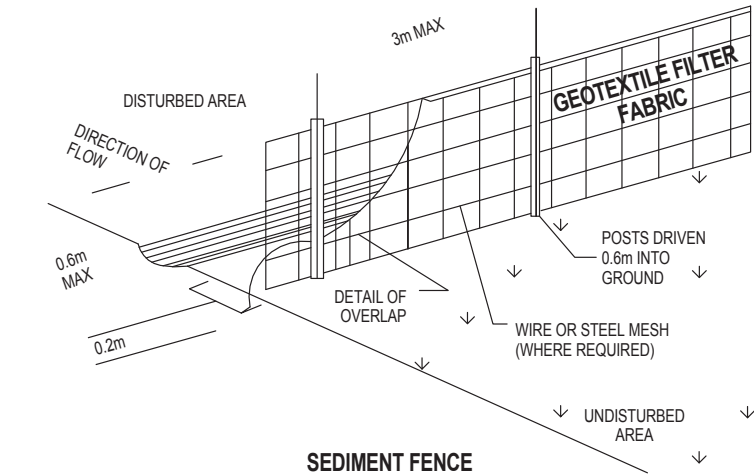
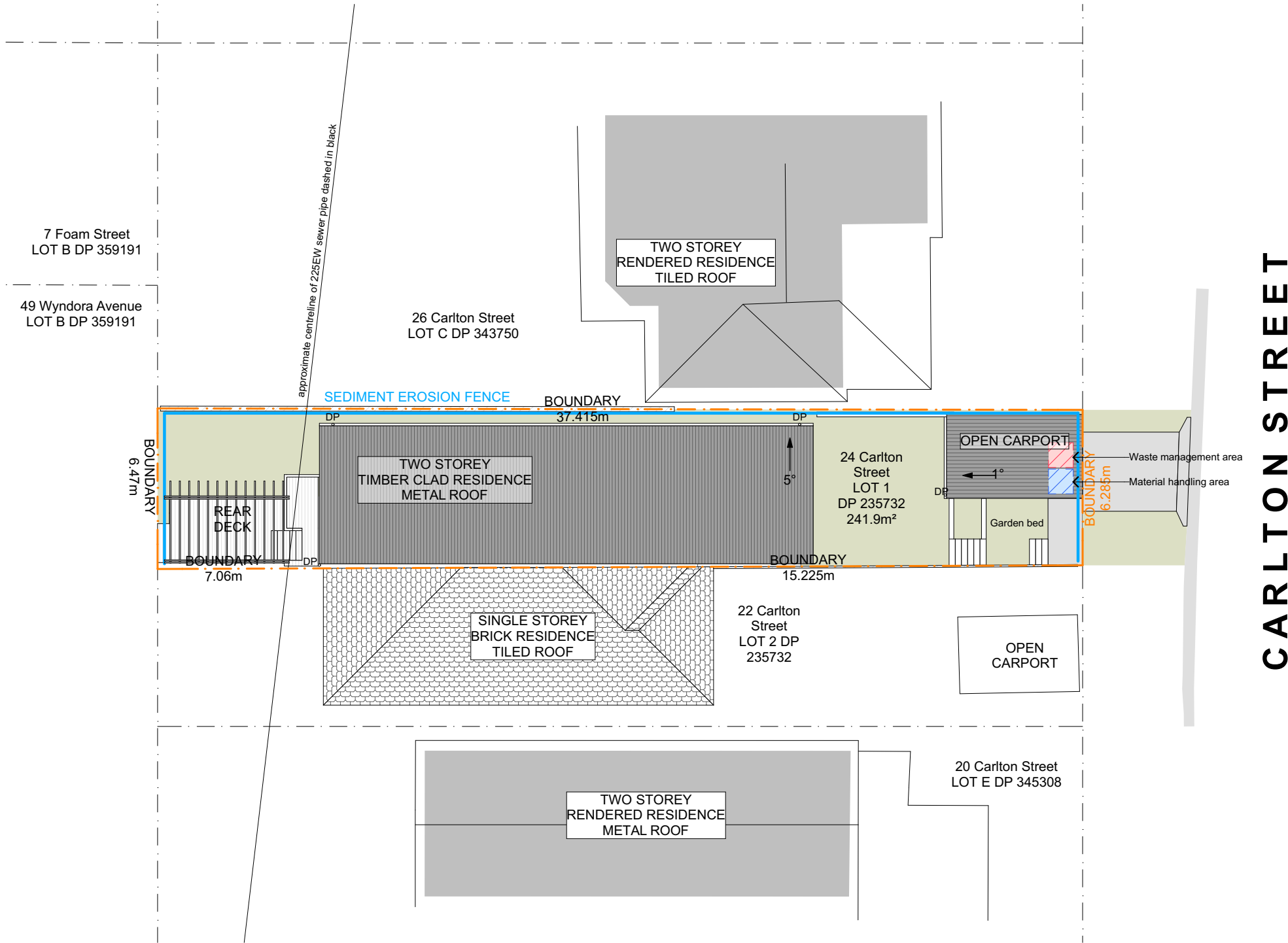
DRAWING NAME

SITE ANALYSIS

SCALE

1:200 @A3





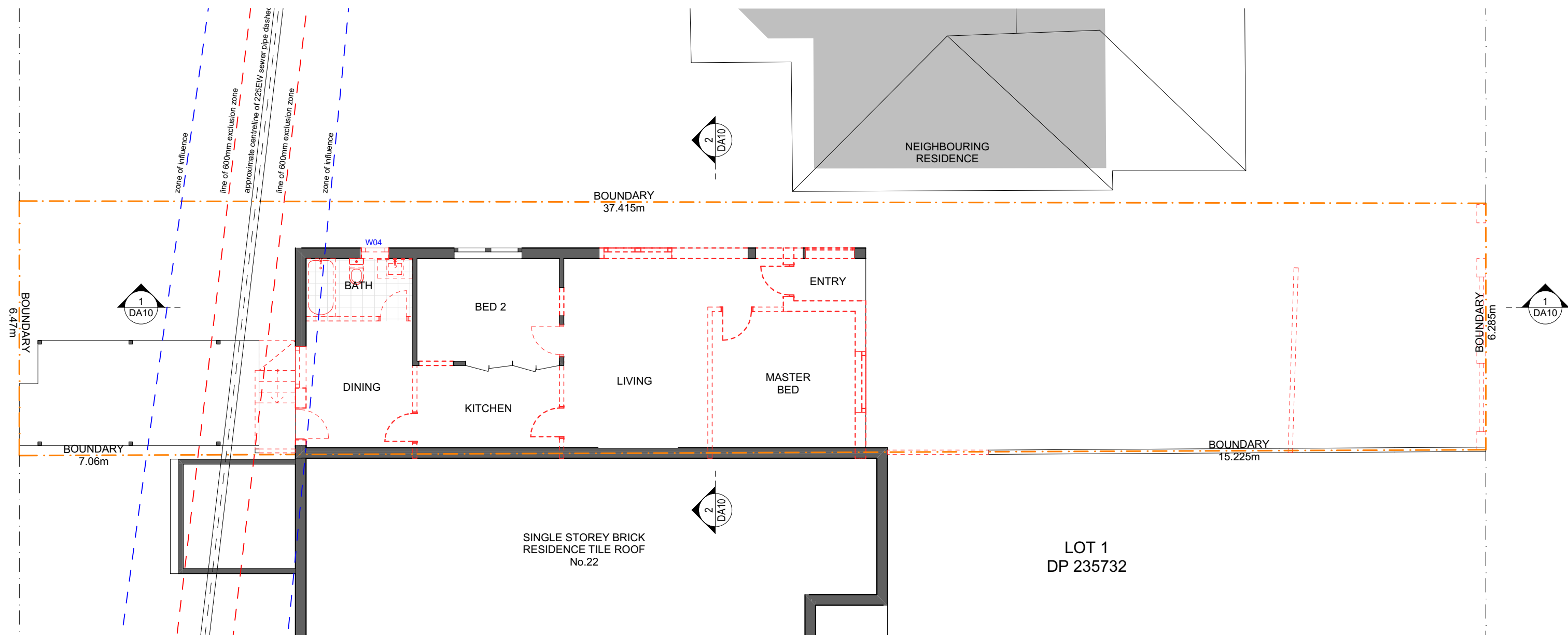
GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

1. SITE / SEDIMENT EROSION / WASTE MANAGEMENT PLAN
1:200



1 EXISTING GROUND FLOOR PLAN 1:100

NOTE: DEMOLITION WORKS TO ENG. SPECIFICATIONS & AS 2601 - 2001



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LEGEND

| | |
|------------|------------|
| TIMBER | CONCRETE |
| BRICKWORK | DEMOLISHED |
| METAL ROOF | |
| EXISTING | |

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA03

DATE

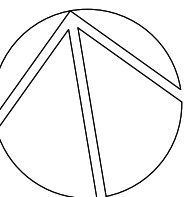
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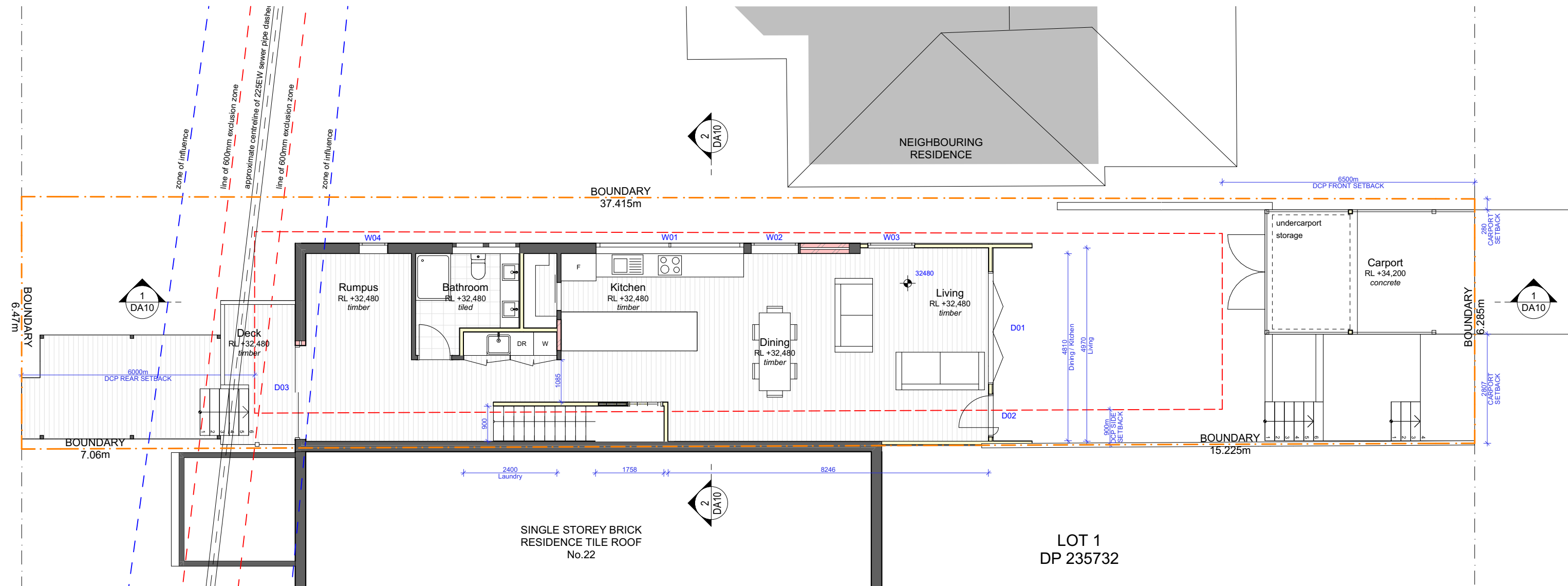
DRAWING NAME

EXISTING GROUND FLOOR PLAN

SCALE

1:100 @A3





1 PROPOSED GROUND FLOOR PLAN
1:100



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LEGEND

| | | | |
|--|------------|--|------------|
| | TIMBER | | CONCRETE |
| | BRICKWORK | | DEMOLISHED |
| | METAL ROOF | | |
| | EXISTING | | |

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DRAWING NO.

DA04

DATE

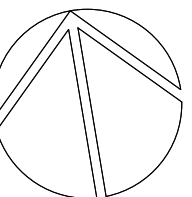
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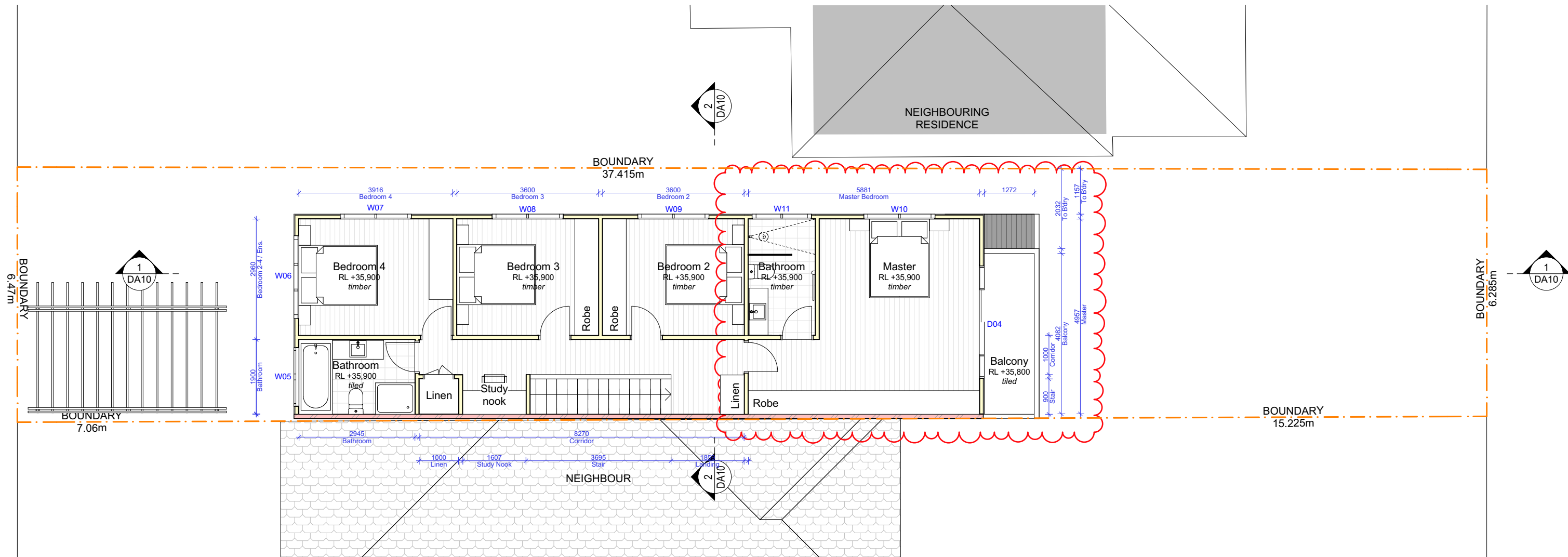
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PROPOSED GROUND FLOOR
PLAN

SCALE

1:100 @A3





1 PROPOSED FIRST FLOOR LEVEL
1:100



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| LEGEND | |
|--------|------------|
| | TIMBER |
| | BRICKWORK |
| | METAL ROOF |
| | EXISTING |
| | CONCRETE |
| | DEMOLISHED |

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Rashid & Jane Saleh

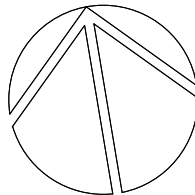
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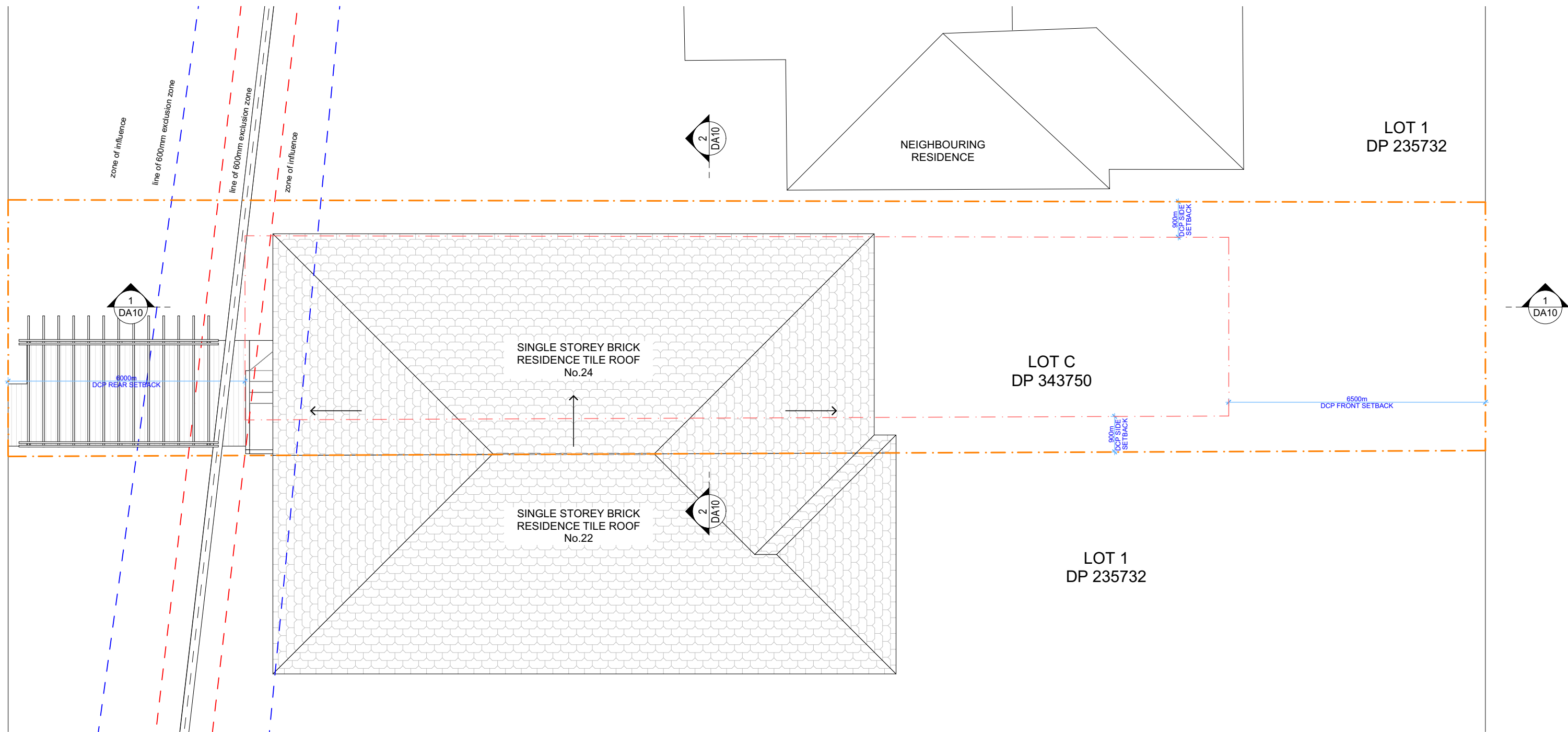
DRAWING NO.
DA05

DATE
29 June 2020

DRAWING NAME
PROPOSED FIRST FLOOR
PLAN

SCALE
1:100 @A3





NOTE: DEMOLITION WORKS TO ENG. SPECIFICATIONS & AS 2601 - 2001

1

EXISTING ROOF PLAN

1:100



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LEGEND

| | | | |
|--|------------|--|------------|
| | TIMBER | | CONCRETE |
| | BRICKWORK | | DEMOLISHED |
| | METAL ROOF | | |
| | EXISTING | | |

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DA06

DATE

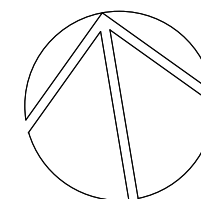
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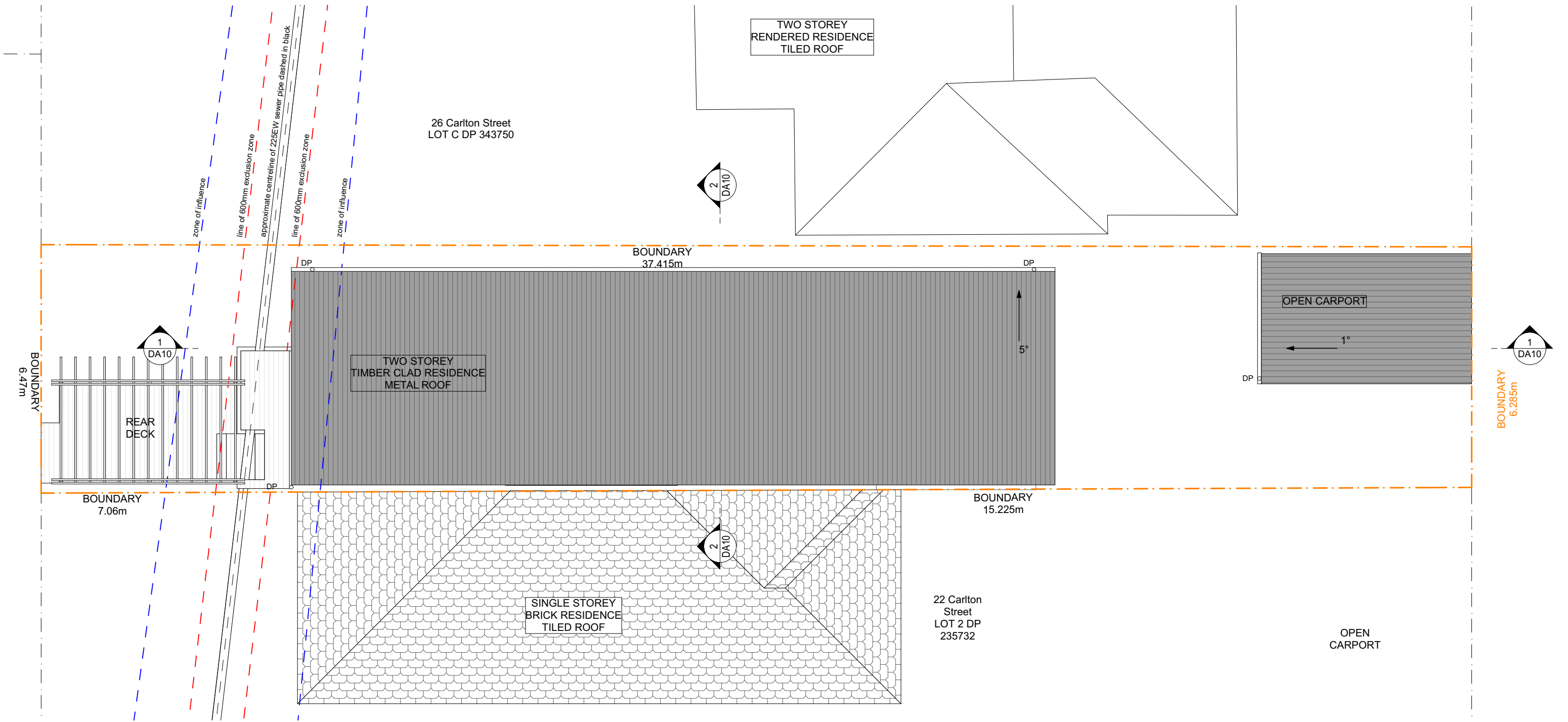
EXISTING ROOF PLAN

SCALE

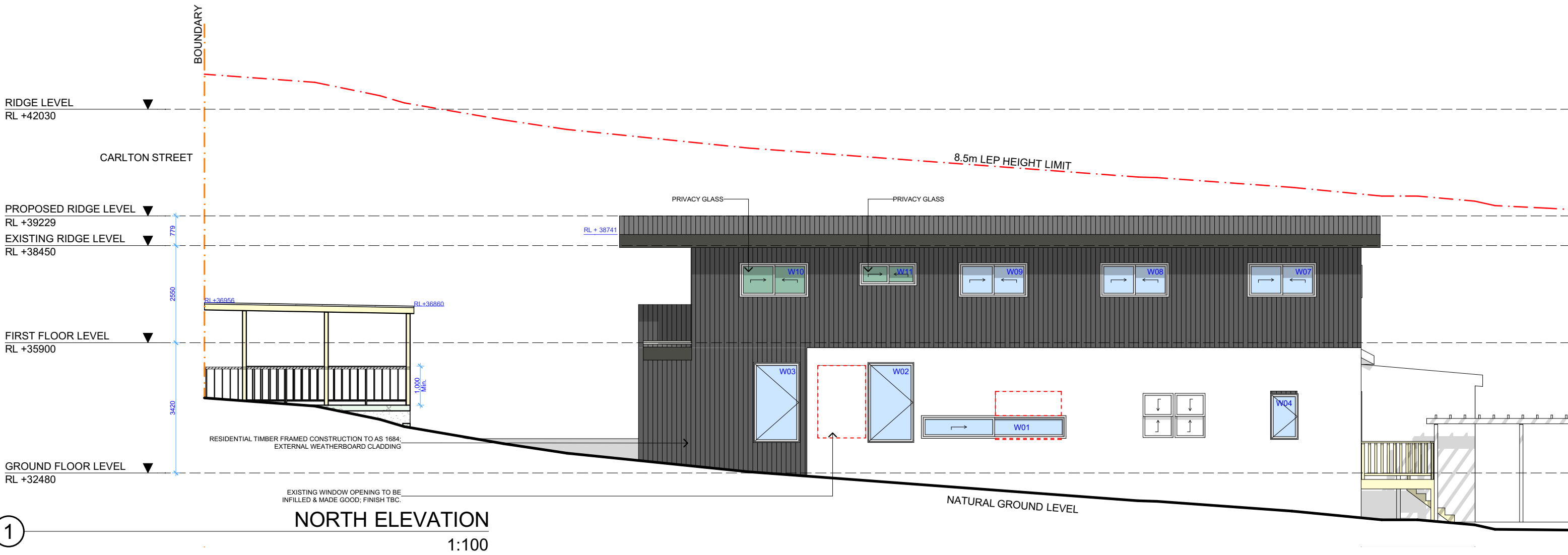
1:100 @A3



PROPOSED STORMWATER TO CONNECT WITH EXISTING STORMWATER SYSTEM



1 PROPOSED ROOF / STORMWATER CONCEPT PLAN 1:100



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| LEGEND | | | |
|--------|------------------|--|---------------|
| | TIMBER | | METAL ROOFING |
| | WEATHERBOARD | | TILED ROOFING |
| | RENDERED MASONRY | | EXISTING |
| | GLASS | | |
| | CONCRETE | | |

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NSW 2096

DRAWING NO.

DA08

DATE

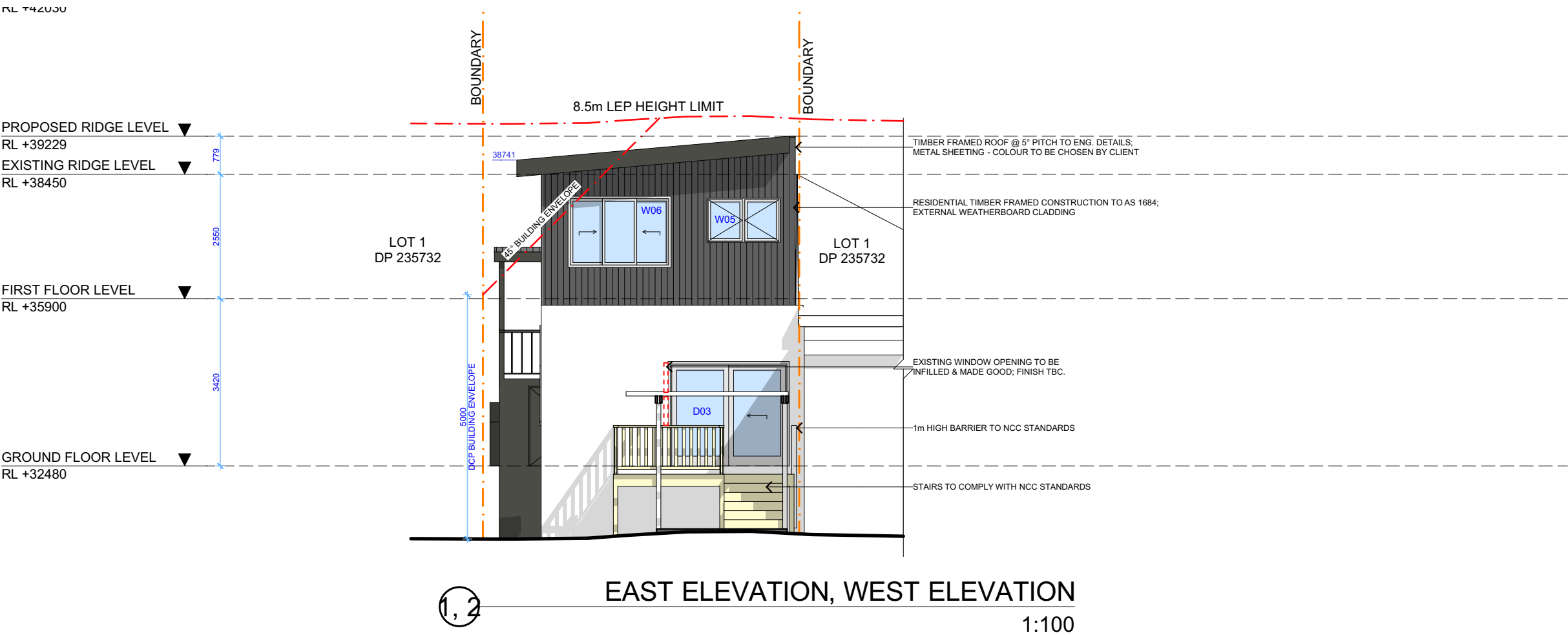
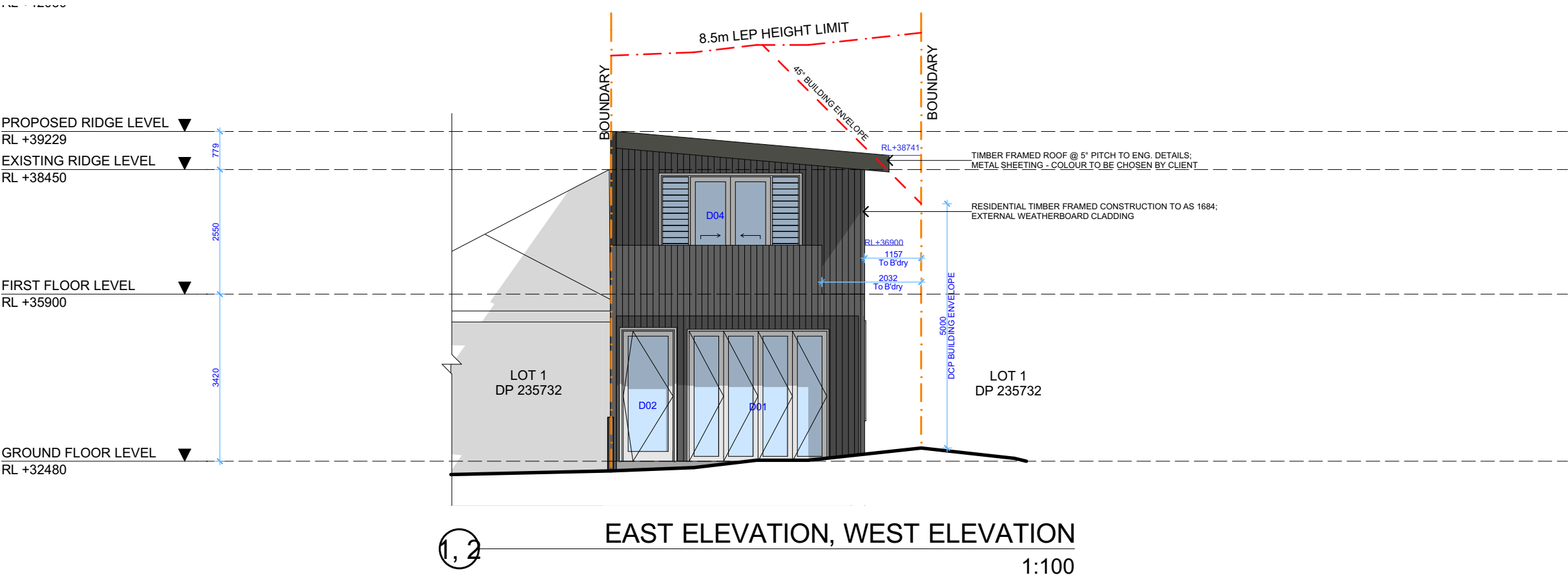
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DRAWING NAME

NORTH ELEVATION

SCALE

1:100 @A3



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LEGEND

| | | | |
|--|------------------|--|---------------|
| | TIMBER | | METAL ROOFING |
| | WEATHERBOARD | | TILED ROOFING |
| | RENDERED MASONRY | | EXISTING |
| | GLASS | | |
| | CONCRETE | | |

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA09

DATE

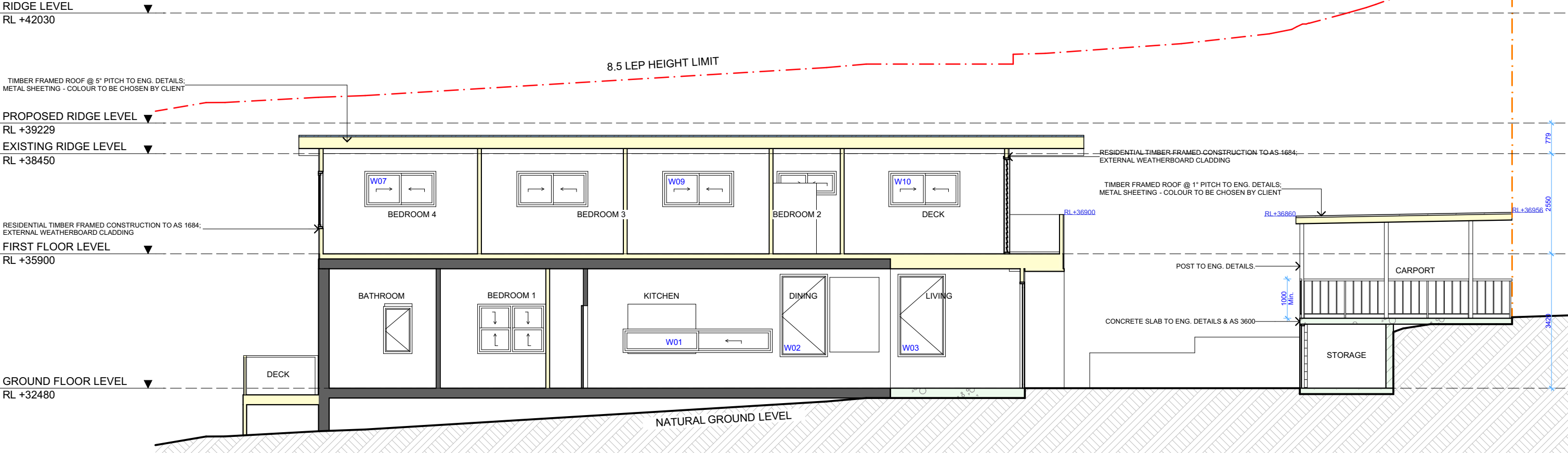
29 June 2020

DRAWING NAME

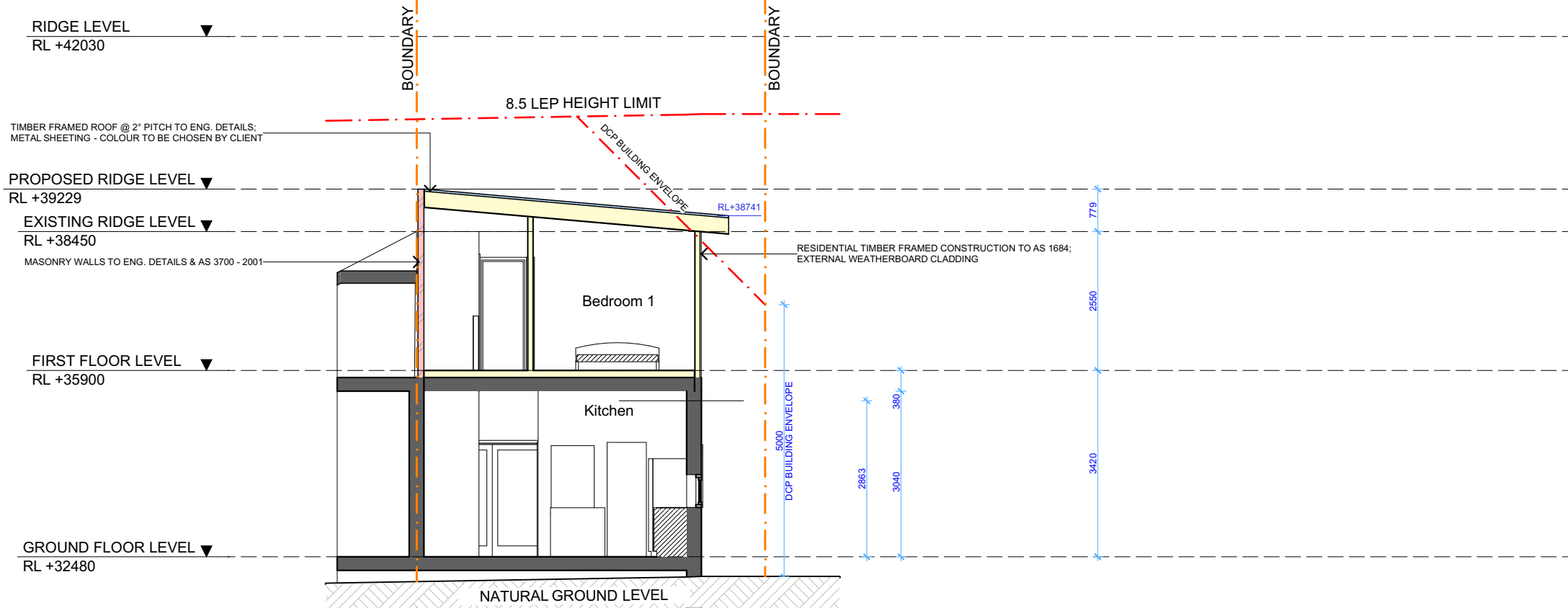
EAST / WEST ELEVATION

SCALE

1:100 @A3









LONG SECTION, CROSS SECTION
1:100



LONG SECTION, CROSS SECTION
1:100

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| LEGEND | |
|---|------------|
|  | TIMBER |
|  | BRICKWORK |
|  | METAL ROOF |
|  | EXISTING |
|  | CONCRETE |
|  | DEMOLISHED |

CLIENT
Rashid & Jane Saleh

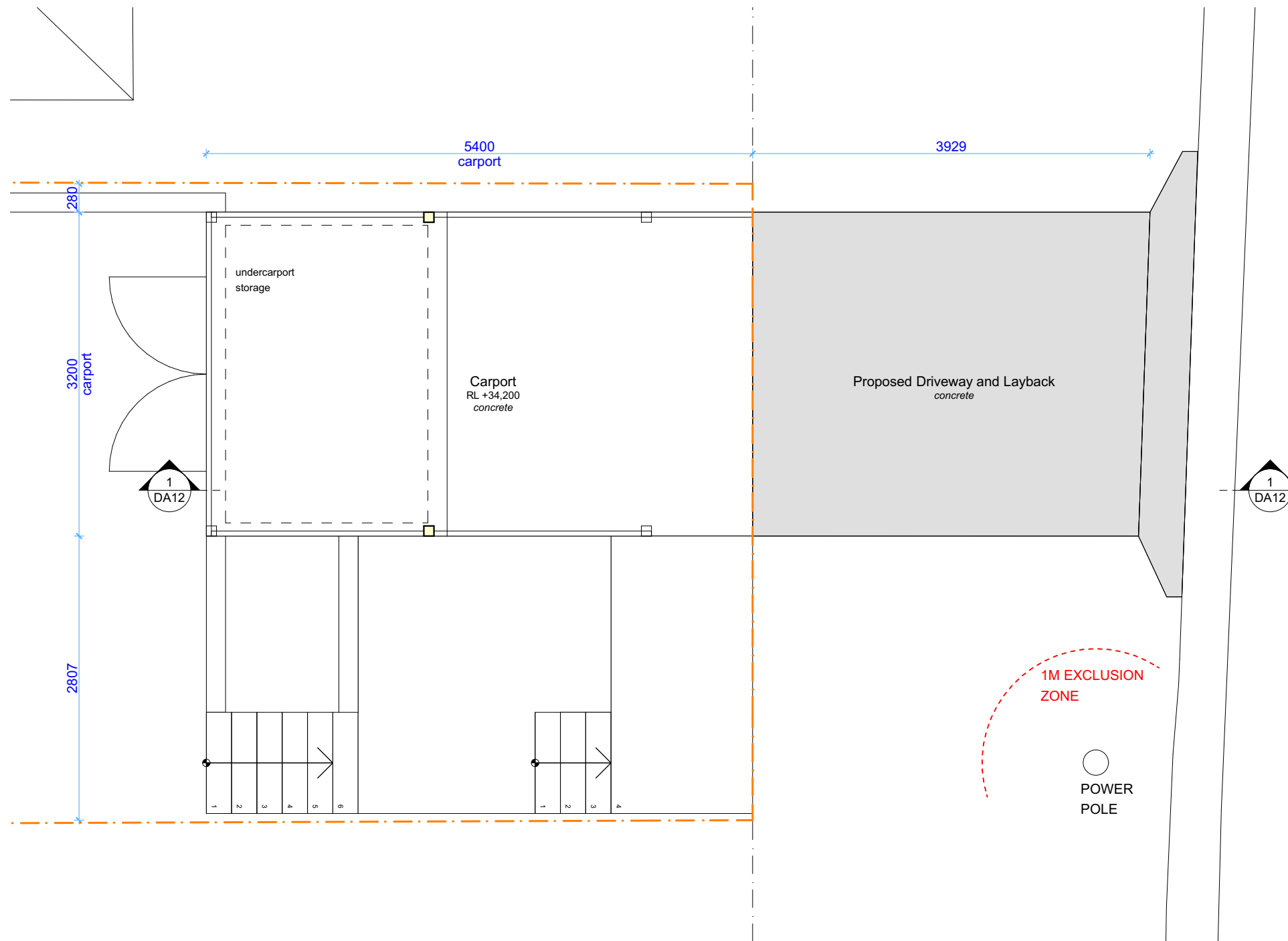
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24 Carlton St, Freshwater
NSW 2096

DRAWING NO.
DA10

DATE
29 June 2020

DRAWING NAME
LONG / CROSS SECTION

SCALE
1:100 @A3



1 DRIVEWAY PLAN 1:50



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LEGEND

| | |
|--|------------|
| | TIMBER |
| | BRICKWORK |
| | METAL ROOF |
| | EXISTING |

| | |
|--|------------|
| | CONCRETE |
| | DEMOLISHED |

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA11

DATE

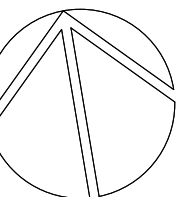
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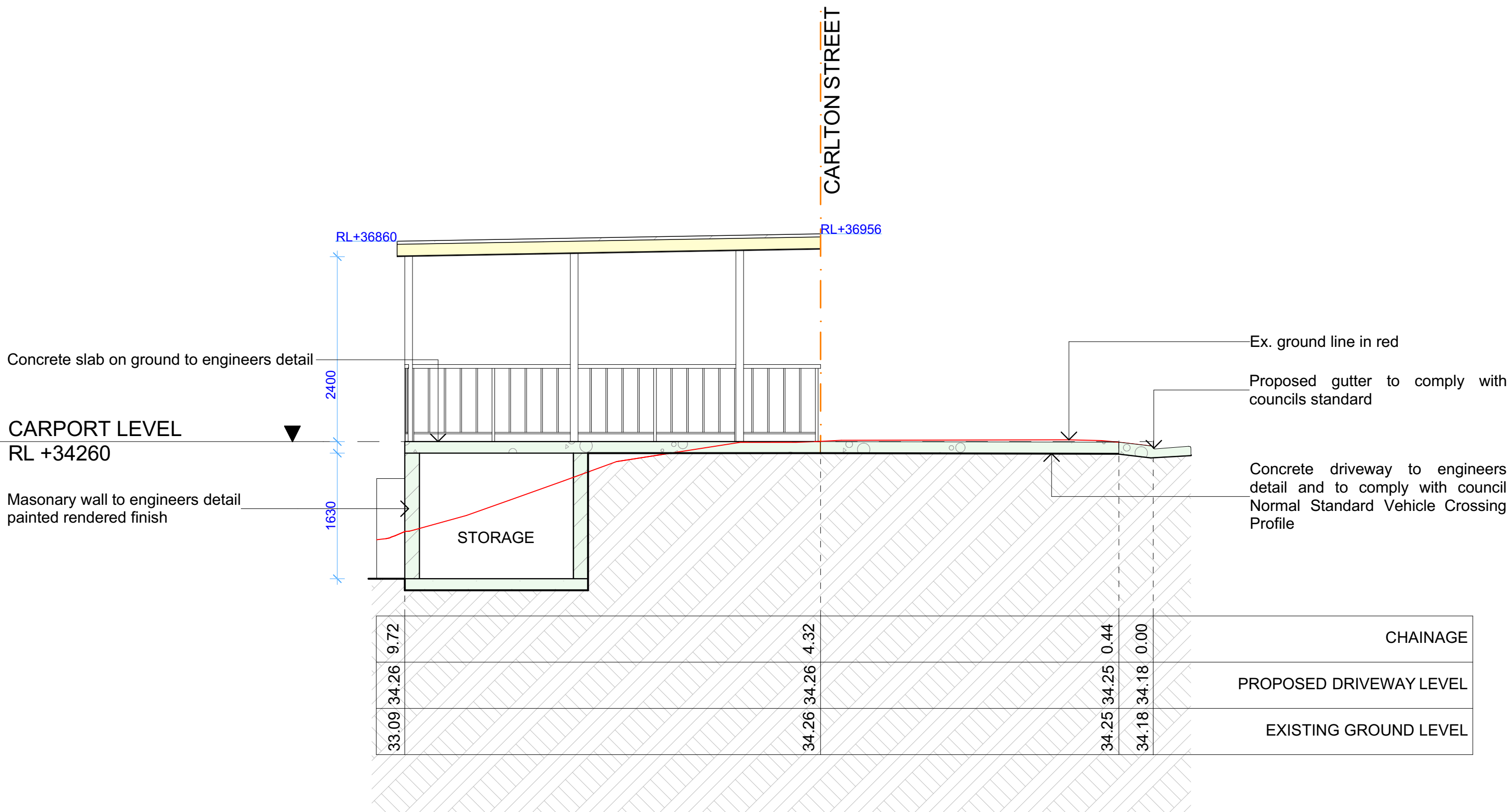
DRAWING NAME

DRIVEWAY PLAN

SCALE

1:50 @A3





1

DRIVE WAY SECTION

1:50



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| B | 30/04/2020 | REVISION 1 | AP |
| C | 26/06/2020 | REVISION 2 | AP |
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LEGEND

| | | | |
|--|------------|--|------------|
| | TIMBER | | CONCRETE |
| | BRICKWORK | | DEMOLISHED |
| | METAL ROOF | | |
| | EXISTING | | |

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA12

DATE

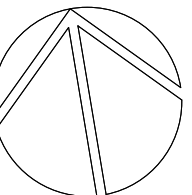
29 June 2020

DRAWING NAME

DRIVE WAY SECTION

SCALE

1:50 @A3





ALUMINIUM FRAMED WINDOWS AND DOOR



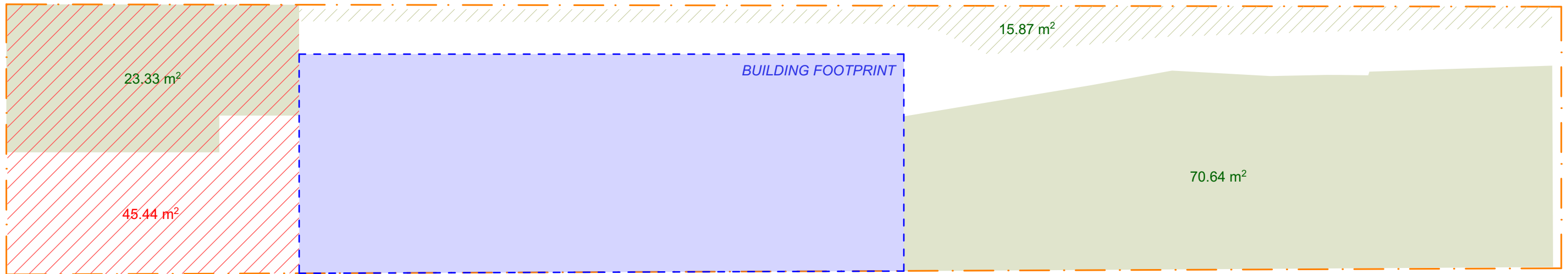
KLIP-LOK ROOFING - COLOUR TO BE CONFIRMED BY CLIENT



EXTERNAL WEATHERBOARD CLADDING - COLOUR TO BE CONFIRMED BY CLIENT

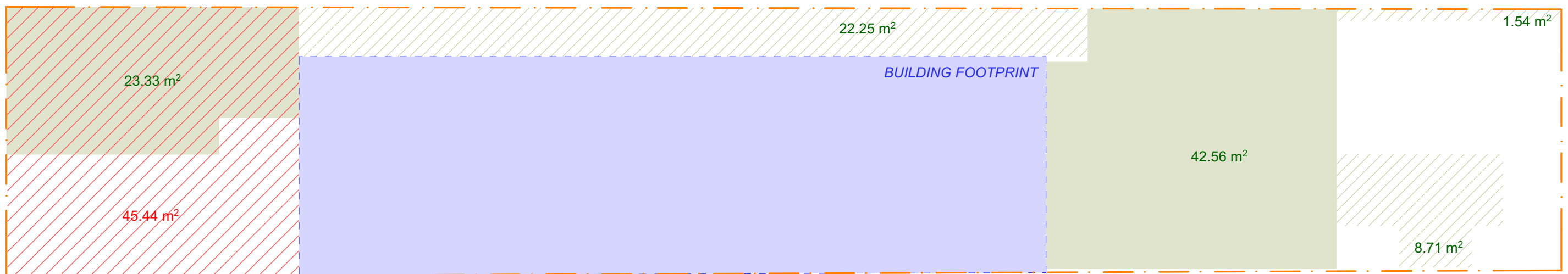
CTIONS, SAMPLE BOARD, EXISTING AREA CALCULATIONS

1:100



CTIONS, SAMPLE BOARD, EXISTING AREA CALCULATIONS

1:100



S, SAMPLE BOARD, EXISTING AREA CALCULATIONS

1:100

LANDSCAPE AREA
REQUIRED: 40% (96.76m²)
EXISTING: 39.06% (94.49m²)
PROPOSED: 27.23% (65.89m²)

PRIVATE OPEN SPACE
REQUIRED: 35m²
EXISTING: 45.44m²
PROPOSED: 45.44m²

LANDSCAPE AREA - THAT DOES NOT MEET 2mx2m
EXISTING: 6.56% (15.87m²)
PROPOSED: 13.43% (32.50m²)



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LEGEND

LANDSCAPE AREA
PRIVATE OPEN SPACE

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

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DRAWING NO.

DA13

DATE

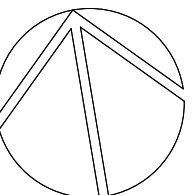
29 June 2020

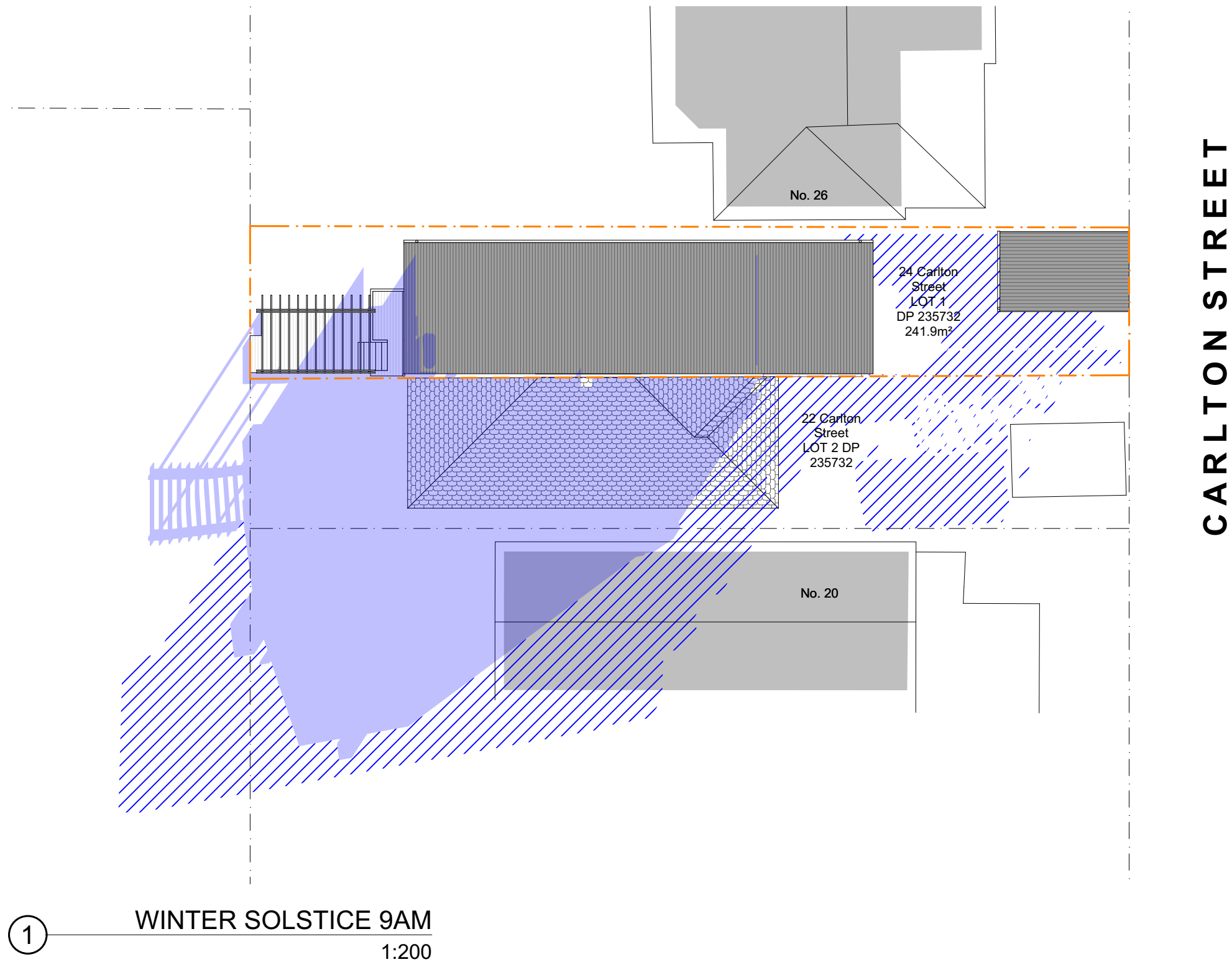
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AREA CALCULATIONS /
SCHEDULE OF EXTERNAL
FINISHES

SCALE

1:100 @A3





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LEGEND

-  EXISTING SHADOWS
-  PROPOSED SHADOWS

CLIENT

Rashid & Jane Saleh

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24 Carlton St, Freshwater
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DRAWING NO.

DA14

DATE

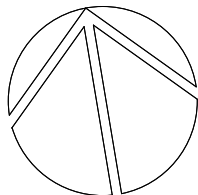
29 June 2020

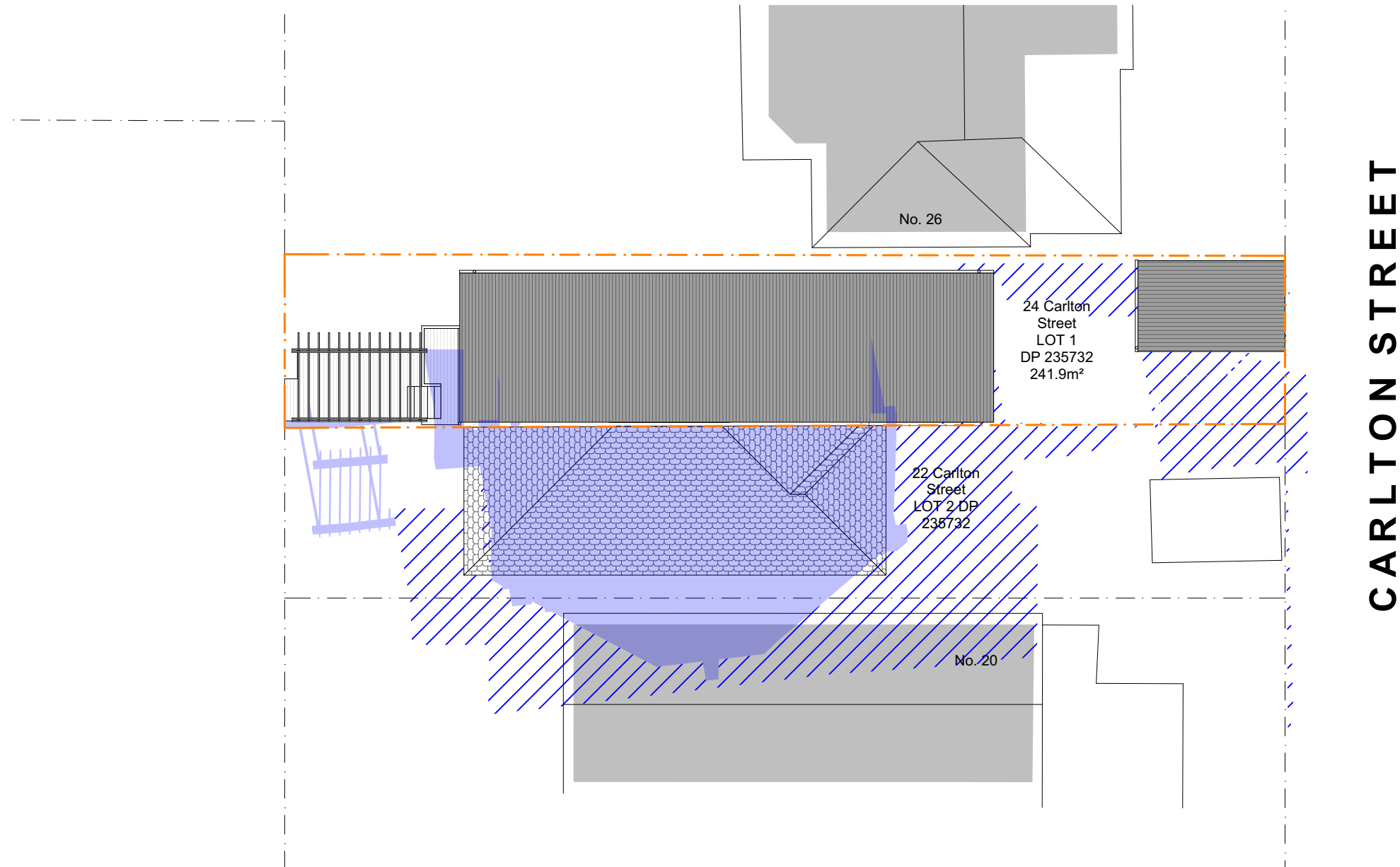
DRAWING NAME

WINTER SOLSTICE 9 AM

SCALE

1:200 @A3





① WINTER SOLSTICE 12 PM
1:200



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LEGEND

 EXISTING SHADOWS
 PROPOSED SHADOWS

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA15

DATE

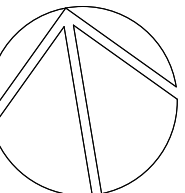
29 June 2020

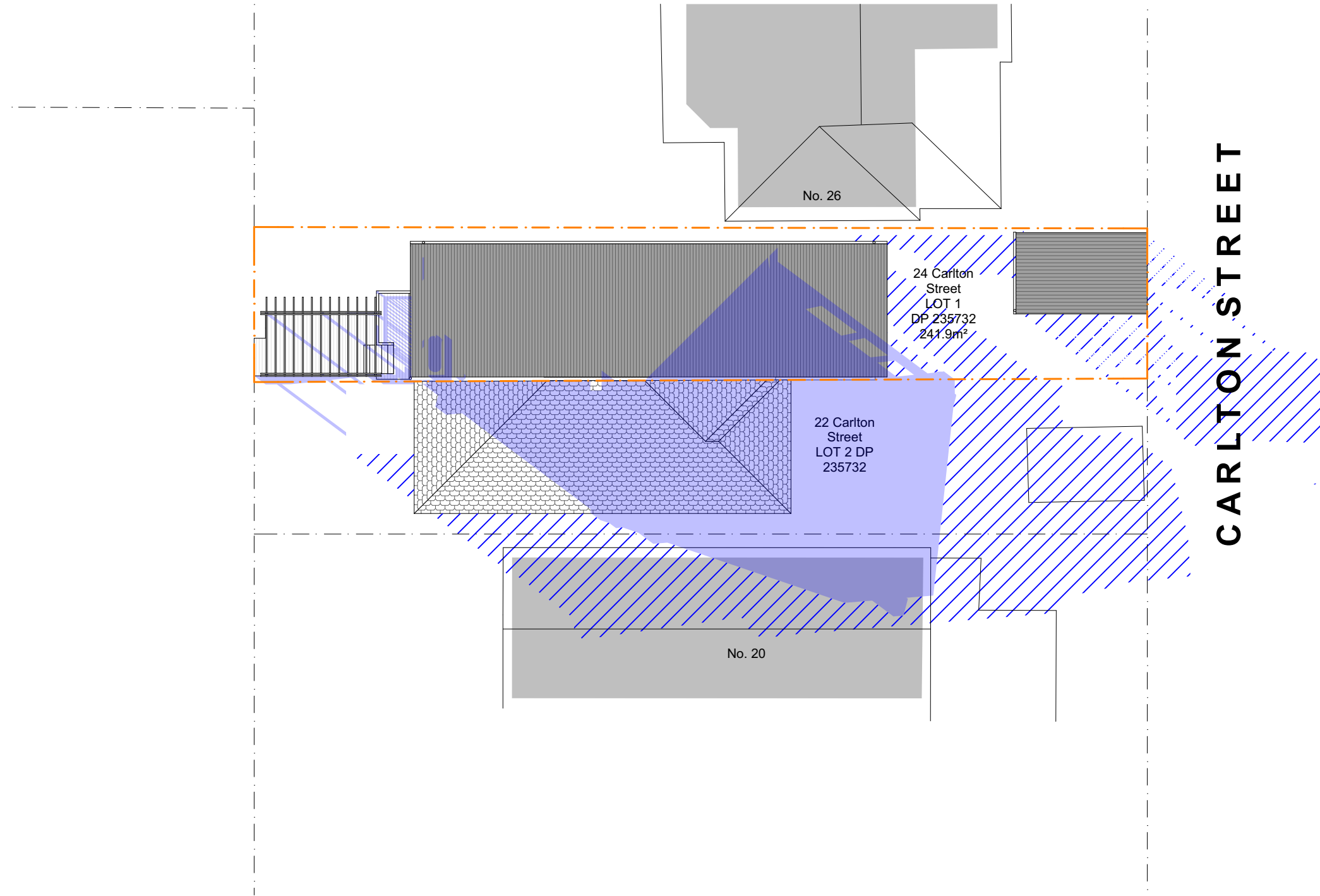
DRAWING NAME

WINTER SOLSTICE 12 PM

SCALE

1:200 @A3





① WINTER SOLSTICE 3 PM
1:200



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LEGEND

 EXISTING SHADOWS
 PROPOSED SHADOWS

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA16

DATE

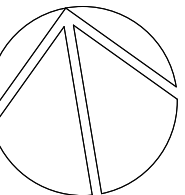
29 June 2020

DRAWING NAME

WINTER SOLSTICE 3 PM

SCALE

1:200 @A3



Alterations and Additions

Certificate number: A289313_08

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 26, June 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning, Industry & Environment

Description of project

| | |
|---------------------------------|---|
| Project address | |
| Project name | 24 Carlton street, Freshwater nsw 20_08 |
| Street address | 24 Carlton Street Freshwater 2096 |
| Local Government Area | Warringah Council |
| Plan type and number | Deposited Plan 235732 |
| Lot number | 1 |
| Section number | |
| Project type | |
| Dwelling type | Attached dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

| |
|--|
| Certificate Prepared by (please complete before submitting to Council or PCA) |
| Name / Company Name: Action Plans |
| ABN (if applicable): 17118297587 |

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

| Fixtures and systems | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|---------------------|---------------------------------------|--------------------|
| Lighting | | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Fixtures | | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | |

| Construction | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|--|-----------------------------------|---------------------|---------------------------------------|--------------------|
| Insulation requirements | | | | | |
| <p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.</p> | | | ✓ | ✓ | ✓ |
| Construction | Additional insulation required (R-value) | Other specifications | | | |
| suspended floor with enclosed subfloor: concrete (R0.6). | R0.70 (down) (or R1.30 including construction) | | | | |
| floor above existing dwelling or building. | nil | | | | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | | | | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | | | | |
| flat ceiling, pitched roof | ceiling: R2.25 (up), roof: foil/sarking | light (solar absorptance < 0.475) | | | |

| Glazing requirements | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|-------------|-------------------------------|---------------|--------------|--|--|---------------------------------------|--------------------|
| Windows and glazed doors | | | | | | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | | | | | | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | | | | | | ✓ | ✓ |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | | | | | | ✓ | ✓ |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. | | | | | | ✓ | ✓ | ✓ |
| For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below. | | | | | | ✓ | ✓ | ✓ |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. | | | | | | | ✓ | ✓ |
| External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. | | | | | | | ✓ | ✓ |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. | | | | | | | ✓ | ✓ |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below. | | | | | | ✓ | ✓ | ✓ |
| Windows and glazed doors glazing requirements | | | | | | | | |
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type | | |
| | | | Height (m) | Distance (m) | | | | |
| W01 | N | 1.56 | 2 | 2 | eave/verandah/pergola/balcony >=450 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | |
| W02 | N | 2.54 | 7.8 | 1.5 | eave/verandah/pergola/balcony >=450 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|----------------------|-------------|---|---------------|-----------------|--|---|---------------------|---------------------------------------|--------------------|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type | | | |
| | | | Height (m) | Distance (m) | | | | | |
| W03 | N | 2.54 | 7.8 | 1.5 | eave/verandah/pergola/balcony >=450 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W04 | E | 0.88 | 0 | 0 | projection/height above sill ratio >=0.43 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W05 | W | 1.35 | 0 | 0 | projection/height above sill ratio >=0.43 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W06 | W | 3.07 | 0 | 0 | projection/height above sill ratio >=0.43 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W07 | N | 1.63 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W08 | N | 1.63 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W09 | N | 1.63 | 3.7 | 1.5 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W10 | N | 1.63 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D01 | E | 4.7 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D02 | E | 2.31 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D03 | W | 5.06 | 0 | 0 | external louvre/blind (adjustable) | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| D04 | E | 5.38 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W11 | E | 0.91 | 0 | 0 | projection/height above sill ratio >=0.43 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |



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LEGEND

CLIENT

Rashid & Jane Saleh

PROJECT ADDRESS

24 Carlton St, Freshwater
NSW 2096

DRAWING NO.

DA17

DATE _____

29 June 2020

DRAWING NAME

BASIX COMMITMENTS

SCALE

1:1.54 @A3