

Our Reference: 1693

Date: 4-Aug-22

Kobe Kan  
Unit 2, 7-11 Ashburner Street  
Manly NSW 2095

Dear Kobe,

**Re: Identification Survey**

As per your instructions we have undertaken a survey of the land shown etched in red on the attached sketch being the whole of the land contained within Certificate of Title Folio Identifier No CP/SP3489 being Strata Plan 3489 having a frontage to Ashburner Street at Manly in the Local Government Area of Northern Beaches, Parish of Manly Cove and County of Cumberland.

This survey is for boundary identification purposes only and for use by Kobe Kan and relevant parties in relation to the abovementioned matter. This report and attached sketch should not be used for any other matter or purpose or for construction set out. No liability or loss howsoever arising can be accepted from other persons or parties seeking to rely on the information contained here in.

The date of the survey was the 1/8/22 and this report is based on a Folio Identifier search issued by Land Registry Services dated 4/8/22. Dimensions henceforth are in metres.

Upon the land and wholly within the boundaries stands a three storey brick apartment block.

The position of the said building in relation to the subject boundaries is as shown on the accompanying sketch.

The nature and position of fencing has been located near its terminals only.

The folio identifier notes:

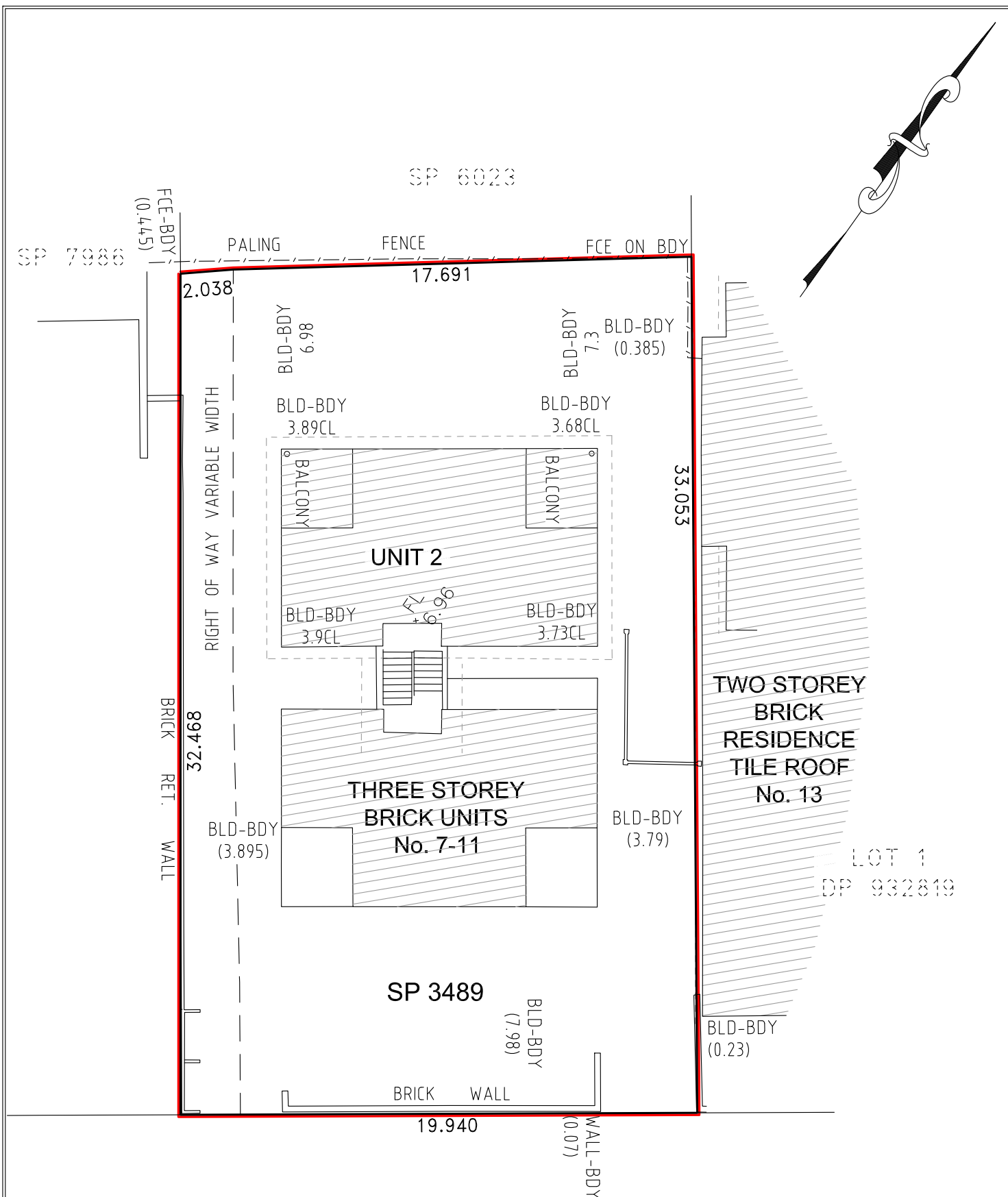
1. Reservations and Conditions in the Crown Grant(s)
2. Right of Way Variable Width

In my opinion I find the structure noted above does not appear to encroach upon any other land.

Regards,



Aaron Fleury (BSurv. MIS MACS)  
Registered Land Surveyor  
Under the Surveying and Spatial  
Information Act 2002



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SCALE: 1:200

PAGE 3 OF 3

  
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