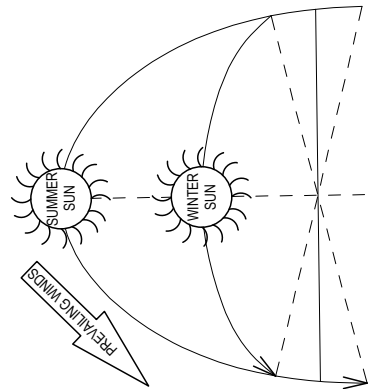




northern  
beaches  
council

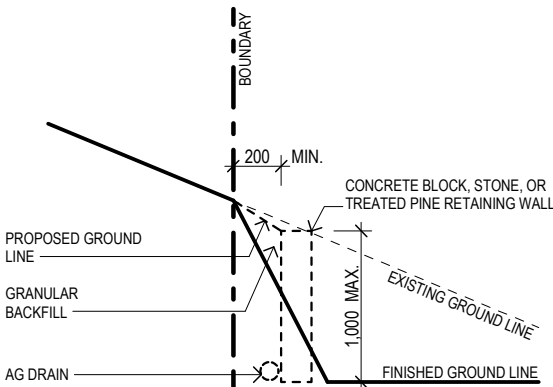
THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2022/0841



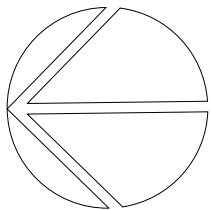
SITE ANALYSIS

(A) EASEMENT FOR DRAINAGE  
0.91m WIDE



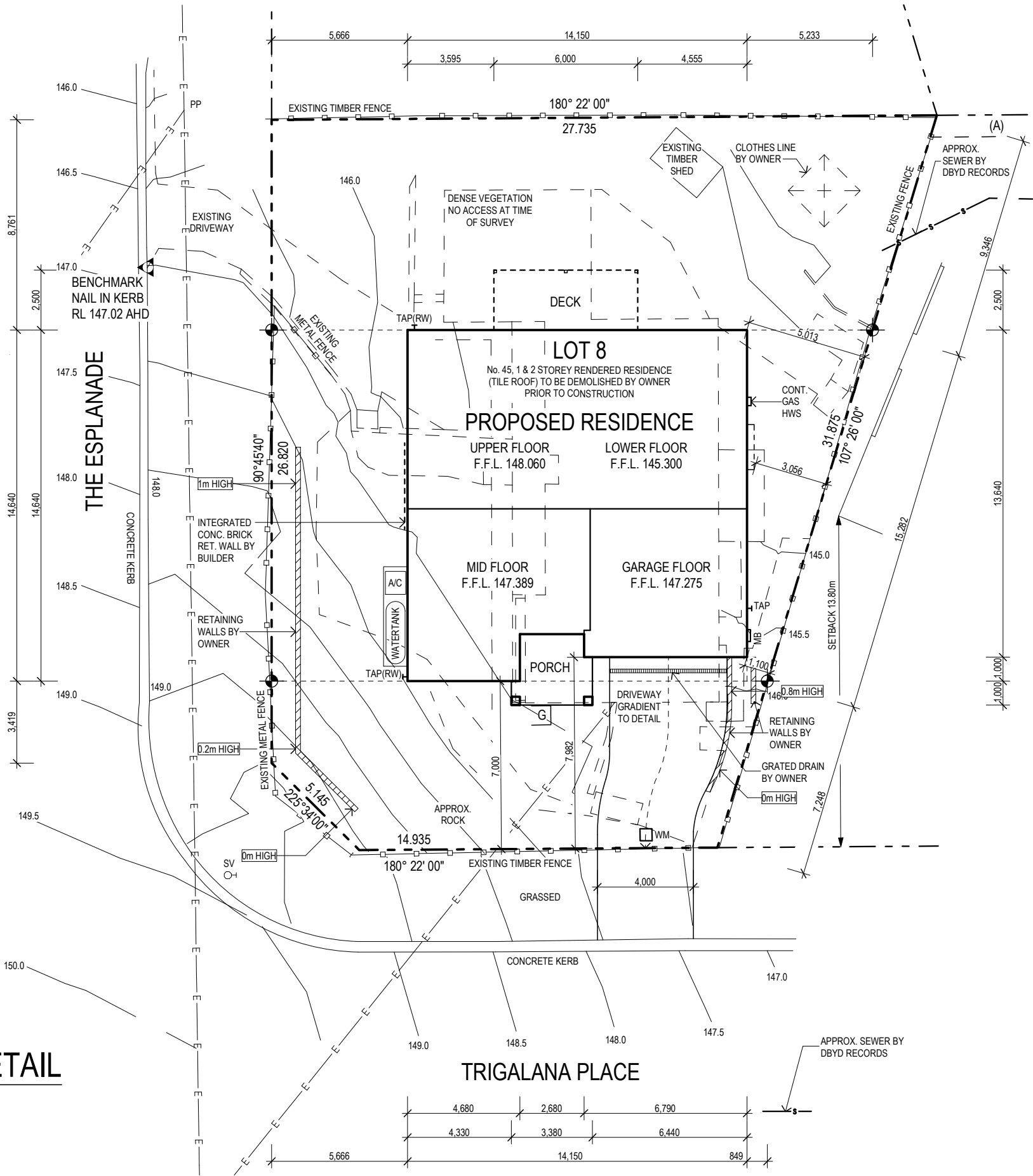
RETAINING WALL DETAIL

SCALE 1:50



SITE PLAN

SCALE 1:200 LOT Lot 8 DP 212961 AREA 699.00m²  
SURVEY INFORMATION OBTAINED FROM TATTERSALL SURVEYORS. REF 210231



MONTGOMERY HOMES PTY LTD  
CONSTRUCTION PLANS

This plan will be used by builder,  
sub-contractors & suppliers for  
construction purposes.  
This plan will form part of your  
Plain English Building Contract.

Checked: .....

Date: .....



Contract N°: .....

Contract date: .....

Signed by builder /s representative

Signed by owners

LOT 35

No.29  
TRIGALANA PLACE  
1 & 2 STOREY  
WEATHERBOARD RESIDENCE  
(METAL ROOF)

**NOTE: DEMOLITION BY OWNER**  
THE OWNER IS RESPONSIBLE FOR  
DEMOLITION OF EXISTING HOUSE,  
INCLUDING REMOVAL OF ALL BUILDING  
DEBRIS & DISCONNECTION OF  
SERVICES (IE. POWER, WATER, SEWER,  
STORMWATER & GAS)

**NOTE: FINISHED GROUND & FLOOR  
LEVELS**  
FINISHED GROUND & FLOOR LEVELS  
INDICATIVE TO A TOLERANCE OF  $\pm 100\text{mm}$ , THEREFORE EXTENT OF CUT /  
FILL BATTERS IS TO BE DETERMINED  
ON SITE IN CONJUNCTION WITH  
VOLUME / DENSITY OF SOIL MATERIALS.

**NOTE: SURPLUS SOIL**  
ANY SURPLUS SOILS FROM FOOTING  
TRENCHES, PIER HOLES AND/OR  
SERVICE TRENCHES ARE TO BE  
**REMOVED FROM SITE** DUE TO SITE  
LIMITATIONS

COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any  
attempt to copy whole or part without written consent will result in legal action  
against the liable party.

SITE PLAN LEGEND

MARK	DESCRIPTION
	SURVEY SETOUT PEG
	METER BOX
TAP	TOWNWATER TAP
TAP (RW)	RECYCLED / RAINWATER TAP
<b>NOTE: EXACT POSITION OF TAP TO BE DETERMINED ON SITE</b>	
	ALL RETAINING WALLS BY OWNER U.N.O.
	APPROXIMATE SEWER LOCATION
	PROPOSED FINISHED GROUND LEVELS BY OWNER PRIOR TO OCCUPATION CERTIFICATE

**SOIL CLASSIFICATION:** M / P

**WIND CLASSIFICATION:** N2

**GAS TYPE:** NATURAL GAS

SITE AREA TABLE		FLOOR AREA TABLE	
AREA	m²	AREA	m²
SITE	699.00	UPPER FLOOR	154.98
LANDSCAPED (SOFT)	436.46	LOWER FLOOR	107.90
DRIVEWAY	36.15	GARAGE	40.70
FOOTPRINT	208.25	DECK	15.00
PRIVATE OPEN SPACE	60.00	PORCH	8.98
<b>TOTAL FLOOR AREA:</b>	<b>303.58</b>	<b>ROOF AREA</b>	<b>249.51</b>

**SITE COVERAGE:** 29.79%

**NOTE:** PROPOSED DRIVEWAY BY OWNER

WATER TANK -1 x 3,000 LITRE (2.6m LONG x 0.8m WIDE x 1.5m HIGH)  
- SEPARATE WATER LINES / PIPING TO ALL TOILETS, WASHING MACHINE  
& 2 YARD TAPS

**CERTIFYING AUTHORITY:** DA

Issue	Description	Date
2A	RE-ISSUE TO BASIX	29/04/2022
A	CONSTRUCTION	10/03/2022
2	ISSUE TO BASIX & ENGINEER	25/10/2021
1	ISSUE TO SALES	07/05/2020



Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441

montgomeryhomes.com.au

Client Name:  
**BENSON K & M**

Job Address:  
**PROPOSED RESIDENCE  
Lot 8, No. 45 The Esplanade  
FRENCHS FOREST**

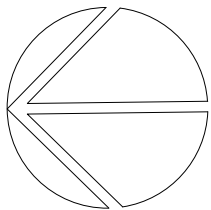
Design: the CAROLINA 1 - 311 - Retro - 2020

Drawn: LC	Sale: RD	Plot Date: 29/04/2022
Job No: 2908	Tender No: 39	Drp No: A1 of 9
		Revision: 2A

DO NOT SCALE DRAWING

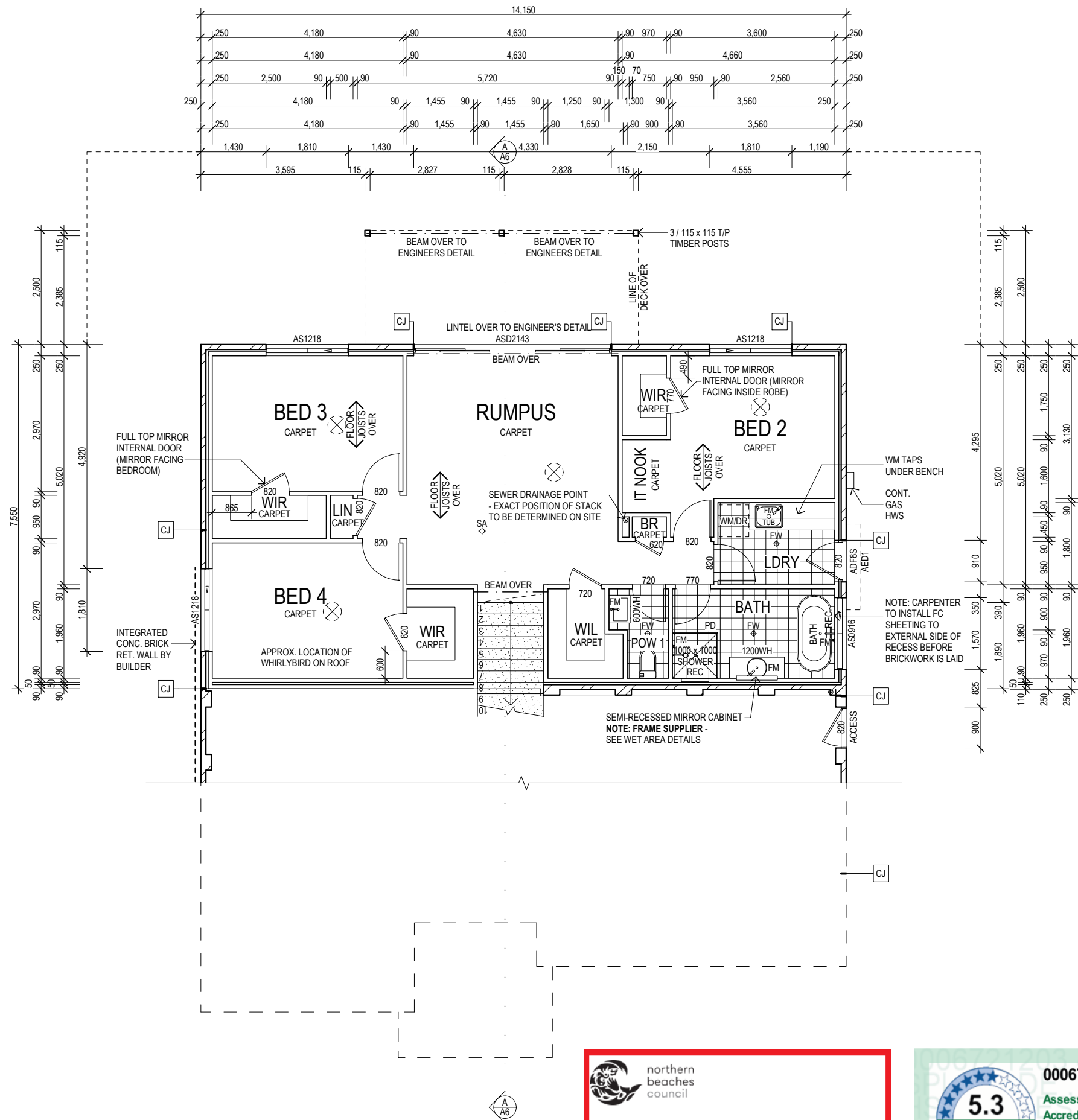






## LOWER / MID FLOOR PLAN

SCALE 1:100



### MONTGOMERY HOMES PTY LTD CONSTRUCTION PLANS

This plan will be used by builder,  
sub-contractors & suppliers for  
construction purposes.  
This plan will form part of your  
Plain English Building Contract.

Checked: .....

Date: .....



Contract N°: .....

Contract date: .....

Signed by builder /s representative

Signed by owners

#### NOTE:

- TERMITE RESISTANT T2 FRAMING  
AND TRUSSES.  
- H2 TERMITE TREATED SHEET  
FLOORING (IF APPLICABLE)

#### NOTE:

10mm PACKING UNDER POCKET OF ALL  
CAVITY SLIDER DOORS.

#### NOTE:

STANDARD SECURITY SYSTEM.

#### NOTE:

SQUARE SET CEILING / WALL JUNCTION  
TO FOYER, FAMILY, MEALS, KITCHEN  
(EXCLUDING WALK-IN-PANTRY),  
BATHROOM, ENSUITE & POWDER  
ROOM ONLY.

#### NOTE TO BRICKLAYERS, PLUMBER AND ELECTRICIAN:

SEE DETAILS PAGE FOR FLASHING,  
PLUMBING AND ELECTRICAL  
SPECIFICATIONS.

#### NOTE: WET AREAS

FOR ALL WET AREA DETAILS AND  
DIMENSIONS REFER TO DETAILS PAGE

⊗ / A/C CEILING OUTLETS

#### ZONES:

Z1 = BED 1  
Z2 = BEDROOM 2 & RUMPUS  
Z3 = BEDROOMS 3 & 4  
Z4 = HOME THEATRE & STUDY  
COMMON ZONE = FAMILY, MEALS &  
KITCHEN

COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any  
attempt to copy whole or part without written consent will result in legal action  
against the liable party.

### FLOOR / FOUNDATION PLAN LEGEND

MARK	DESCRIPTION	MARK	DESCRIPTION
<b>GENERAL</b>		<b>GENERAL</b>	
A/C	AIR-CONDITIONING UNIT	SV	SERVICE VOID
BB	BREAKFAST BAR	UBO	UNDER BENCH OVEN
CJ	CONTROL JOINT	VFS	VENTILATED FRIDGE SPACE
CU	CONTROL UNIT	WH	WALL-HUNG
C/O	CUTOUT	WM	WASHING MACHINE
DW	DISHWASHER	WO	WALL OVEN
DP	DOWNPIPE	<b>WINDOWS &amp; DOORS</b>	
DPS	DOWNPIPE WITH SPREADER	AA	AWNING WINDOW
D.E.B.	DROPPED EDGE BEAM	ABF	BI-FOLD DOORS
EV	EAVE VENT	AD	DOUBLE HUNG WINDOW
FM	FLICKMIXER	AF	FIXED WINDOW
FCO	FOOT-CUT OUTLET	AK	SERVERY SLIDING WINDOW
FSO	FREE STANDING OVEN	ALV	LOUVRE WINDOW
FW	FLOOR WASTE	AS	SLIDING WINDOW
HR	HANDRAIL	ASD	SLIDING DOOR
HWS	HOT WATER SYSTEM	ASSD	STACKING SLIDING DOOR
LP	LOAD POINT	OBS	OBSCURE GLASS
LW	LOW WALL	SAL	SASH LOCK
MB	METER BOX	VEL	VENT LOCK
MRD	MANUAL ROLLER DOOR	<b>ROOM NAMES</b>	
MW	MICROWAVE CUPBOARD	BR	BROOM CUPBOARD
OBS	OBSCURE GLASS	ENS	ENSUITE
PLD	PANEL LIFT DOOR	LDRY	LAUNDRY
PD	PIVOT DOOR (SHOWER)	PAN	PANTRY
RD	ROLLER DOOR	POW	POWDER ROOM
REC	SQUARE SET RECESS	WC	WATER CLOSET
REF	REFRIGERATOR	WIL	WALK IN LINEN
RLW	RAKING LOW WALL	WIP	WALK IN PANTRY
SA	SMOKE ALARM	WIR	WALK IN ROBE
SL	SLIDING DOOR (SHOWER)		
SS	SPACE SAVER (SHOWER)		

EX	EXCAVATION LINE
	DENOTES 250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL)
	SHOWS EXTENT OF WET AREA FLOOR TILES
	SHOWS EXTENT OF FLOOR TILES
	SHOWS EXTENT OF FLOATING FLOOR
	SHOWS EXTENT OF T & G FLOORING

Issue	Description	Date
2A	RE-ISSUE TO BASIX	29/04/2022
A	CONSTRUCTION	10/03/2022
2	ISSUE TO BASIX & ENGINEER	25/10/2021
1	ISSUE TO SALES	07/05/2020



Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441

montgomeryhomes.com.au

Client Name: <b>BENSON K &amp; M</b>			
Job Address: <b>PROPOSED RESIDENCE Lot 8, No. 45 The Esplanade FRENCHS FOREST</b>			
Design: the CAROLINA 1 - 311 - Retro - 2020			
Drawn: LC	Sale: RD	Plot Date: 29/04/2022	
Job No: 2908	Tender No: 39	Drq No: A3 of 9	Revision: 2A
DO NOT SCALE DRAWING			



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/0841**





## EAST ELEVATION

DO NOT SCALE DRAWING



SCALE 1:100



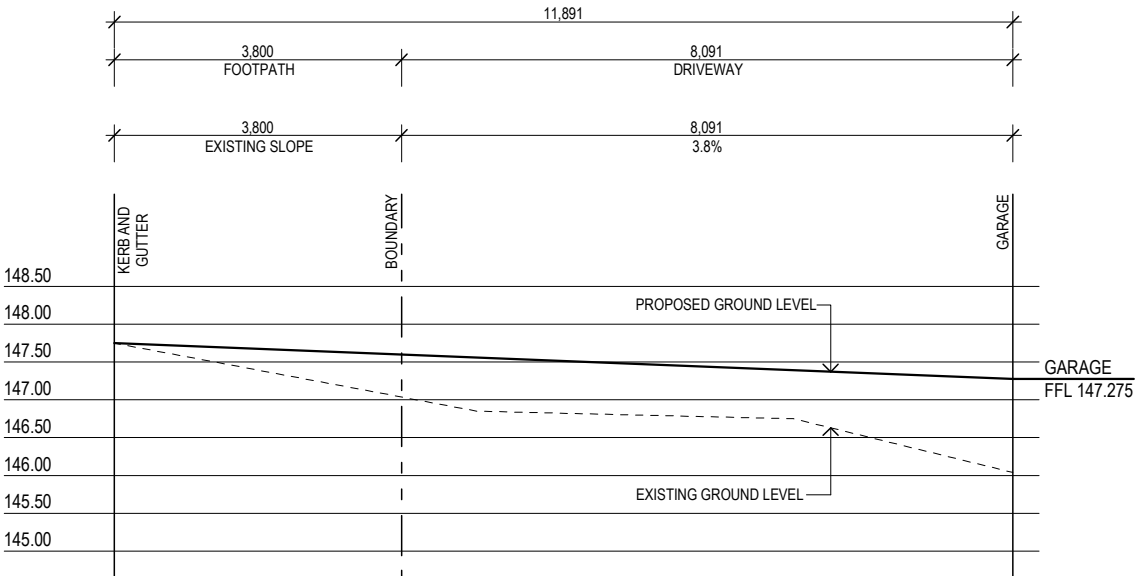
SCALE 1:100

DO NOT SCALE DRAWING



October 2021		BSA Reference: 17827	
Building Sustainability Assessments		Ph: 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.			
If different construction elements are applied then the Assessor Certificate is no longer valid.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Brick Veneer & Lightweight		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		R2.0 to walls adjacent to garage	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space	
Roof Construction		Colour	
Metal		Any	
Floor Construction		Covering	
Concrete & Timber		As drawn	
None		None	
Windows		Glass and frame type	
ALM-001-01 A Aluminium A SG Clear		U Value	SHGC Range
ALM-002-01 A Aluminium B SG Clear		6.7	0.51 - 0.63
As drawn		6.7	0.63 - 0.77
As drawn		As drawn	
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors,			
Downlights		Glass and frame type	
none		U Value	SHGC
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified.		Area m2	
External Window Shading		(eaves, verandahs, pergolas, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
No adjustment has been made for losses to insulation arising from ceiling penetrations.			
Ceiling Fans used in the Modelling and to be installed in the follow areas			
Living area = None, Bedrooms = None			

NOTES:  
TIMBER ROOF TRUSSES AND WALL FRAMING  
TO MANUFACTURER'S DESIGN AND SPECIFICATIONS  
REINFORCED CONCRETE SLAB & FOOTINGS  
TO ENGINEER'S DESIGN AND DETAIL



-  
A2  
SCALE 1:100  
DRIVEWAY LONG SECTION



Lot 8 45 The Esplanade Frenchs Forrest			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate.			
Refer to the current BASIX Certificate for complete details.			
For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
3 star (> 7.5 but <= 9 L/min) Shower Heads			Yes
4 Star Kitchen & Basin taps	Yes	4 Star Toilet	Yes
Alternative Water			
Minimum Tank Size (L)	3000	Collected from Roof Area (m²)	130
Tank Connected to:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One outdoor tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Gas instantaneous 6 Star		
Cooling System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Individual fan, ducted to façade or roof	Manual switch on/off
	Kitchen	Individual fan, ducted to façade or roof	Manual switch on/off
	Laundry	No mechanical ventilation (ie. Natural)	
Natural Lighting	Window/Skylight in Kitchen		No
	Window/Skylight in Bathrooms/Toilets	Yes to	2
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	All Dedicated	No
	Number of Living/Dining rooms	All Dedicated	No
	Kitchen	Yes Dedicated	No
	All Bathrooms/toilets	Yes Dedicated	No
	Laundry	Yes Dedicated	No
All Hallways	Yes	Dedicated	No
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Stove/Oven	Gas cooktop & electric oven		

COPYRIGHT ©  
All concept designs remain the property of Montgomery Homes Pty Ltd and any attempt to copy whole or part without written consent will result in legal action against the liable party.

## ELEVATION / SECTION LEGEND

MARK	DESCRIPTION
GENERAL	
A/C	AIR-CONDITIONING UNIT
C	COMMUNICATIONS BOX
CJ	CONTROL JOINT
CU	CONTROL UNIT
D.E.B.	DROPPED EDGE BEAM
E	EARTHSTAKE
FC	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

## LEVEL OF EXTERNAL FINISH

### EXTERNAL WALLS

(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

- FACE BRICKWORK
- MOROKA BAG & PAINT
- RENDER

PLEASE NOTE:  
SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

### ROOF CLADDING

- TILES
- COLORBOND

2A	RE-ISSUE TO BASIX	29/04/2022
A	CONSTRUCTION	10/03/2022
2	ISSUE TO BASIX & ENGINEER	25/10/2021
1	ISSUE TO SALES	07/05/2020
Issue:	Description:	Date:



Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441  
montgomeryhomes.com.au

Client Name:  
BENSON K & M

Job Address:  
PROPOSED RESIDENCE  
Lot 8, No. 45 The Esplanade  
FRENCHS FOREST

Design: the CAROLINA 1 - 311 - Retro - 2020

Drawn:	Sale:	Plot Date:	
LC	RD	29/04/2022	
Job No:	Tender No:	Drg No:	Revision:
2908	39	A6 of 9	2A

DO NOT SCALE DRAWING



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2022/0841

A  
A4  
SCALE 1:100  
SECTION

DROP OFF TO U/S OF EAVE	
OVERHANG OFF FRAME	610mm
PITCH OF ROOF	13°
COLORBOND ROOF	TILE ROOF
115mm	90mm
NOTE: SUPERVISOR / CARPENTER CHECK ELEVATIONS FOR ROOF TYPE	