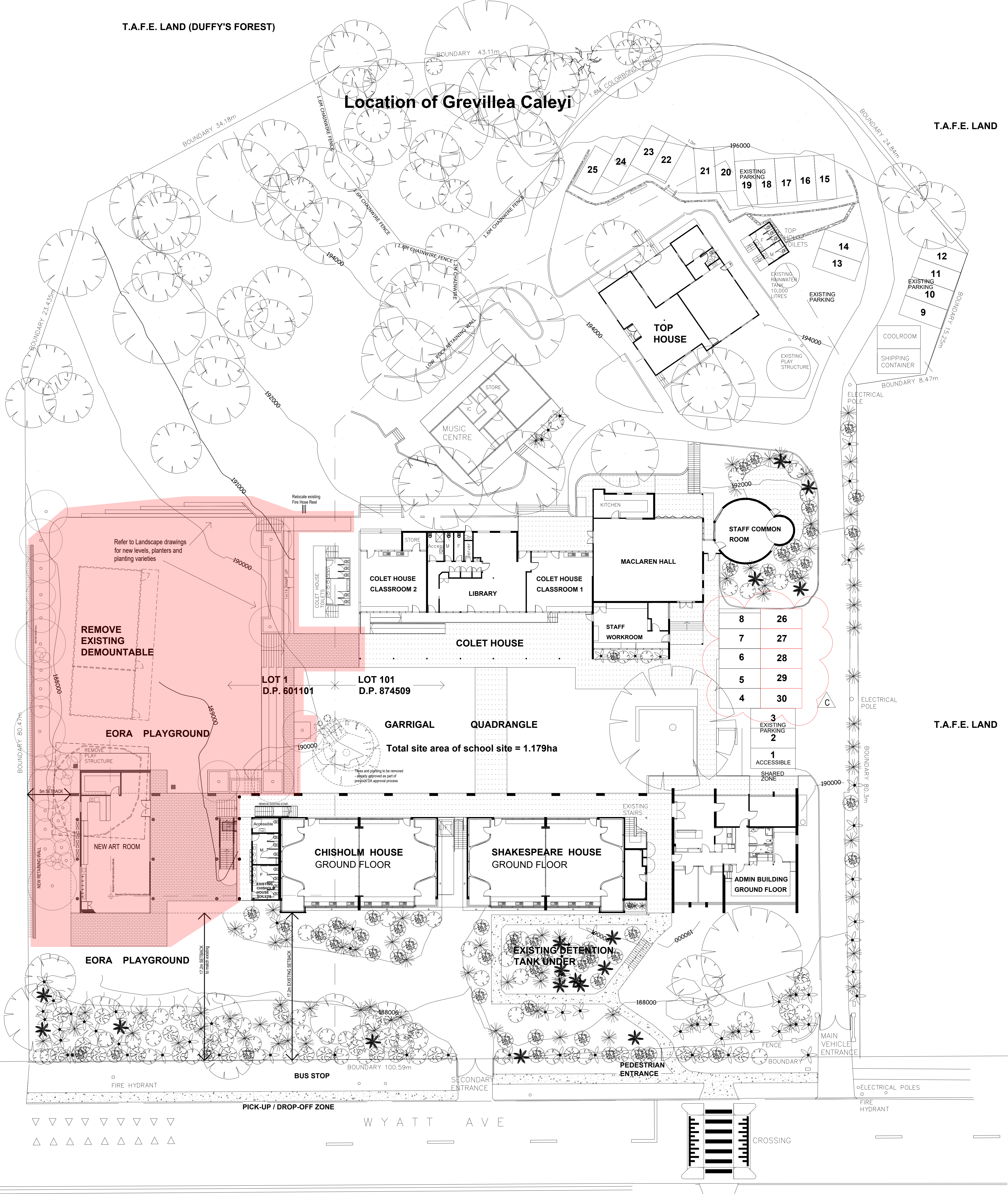


Location of Grevillea Caleyi

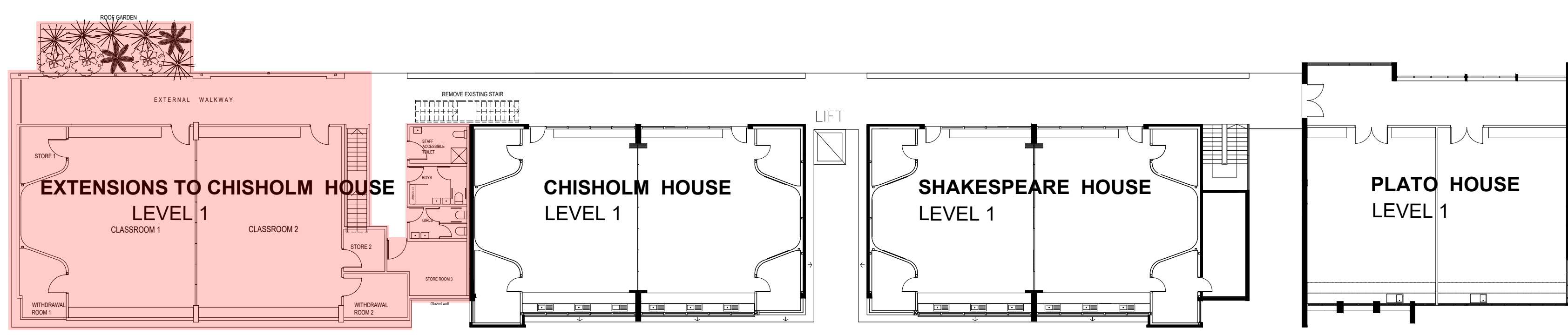
T.A.F.E. LAND

T.A.F.E. LAND

PUBLIC BRIDLE TRAIL



GROUND FLOOR PLAN

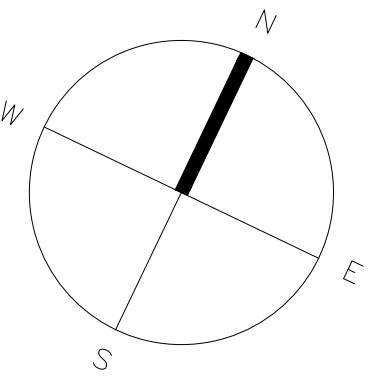


LEVEL 1 PLAN

Coloured area denoted new building and landscape work

templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658



Issues:

- 'A' - 12/11/2019 - Original DA submission for Extensions to Chisholm House
- 'B' - 15/04/2020 - Amended parking and access plan to satisfy Condition 6 of DA2015/0558
 - window to Art Room on western elevation moved further south to next bay
- 'C' - 21/04/2021 - Parking revised to show compliance with S4.55 Mod approval for 30 spaces, including stack parking.

John Colet School
Extension to Chisholm House

Site Plan - Ground Floor and Level 1 Plans

scale: 1:200 @ B1, 1:500 @ A3

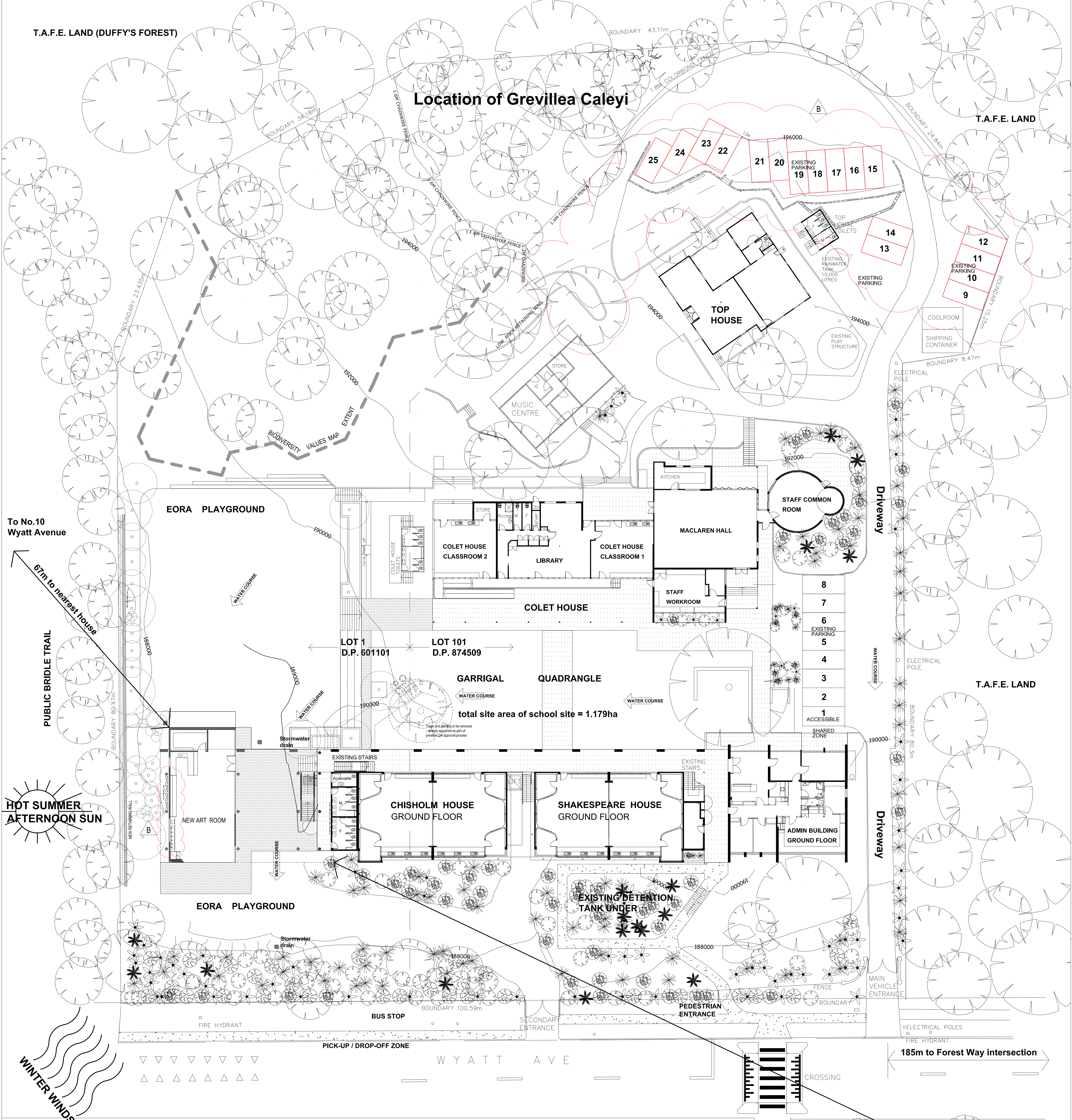
date: 12/11/2019

drawing no: DA-1001 rev: C

T.A.F.E. LAND (DUFFY'S FOREST)

Location of Grevillea Caleyi

T.A.F.E. LAND



35 x 90 degree public parking spaces off Wyatt Avenue

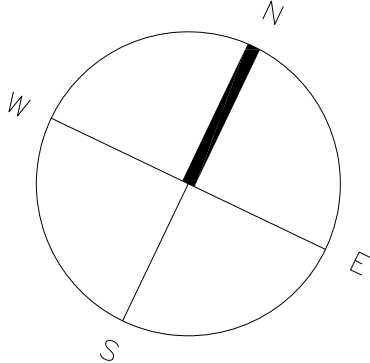
Wyatt Reserve

4 Tennis Courts

No. 9 Wyatt Avenue

templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658



Issues:

- 'A' - 12/11/2019 - Original DA submission for Extensions to Chisholm House
- 'B' - 15/04/2020 - Amended parking and access plan to satisfy Condition 6 of DA2015/0558
 - window to Art Room on western elevation moved further south to next bay

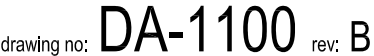
John Colet School
Extension to Chisholm House

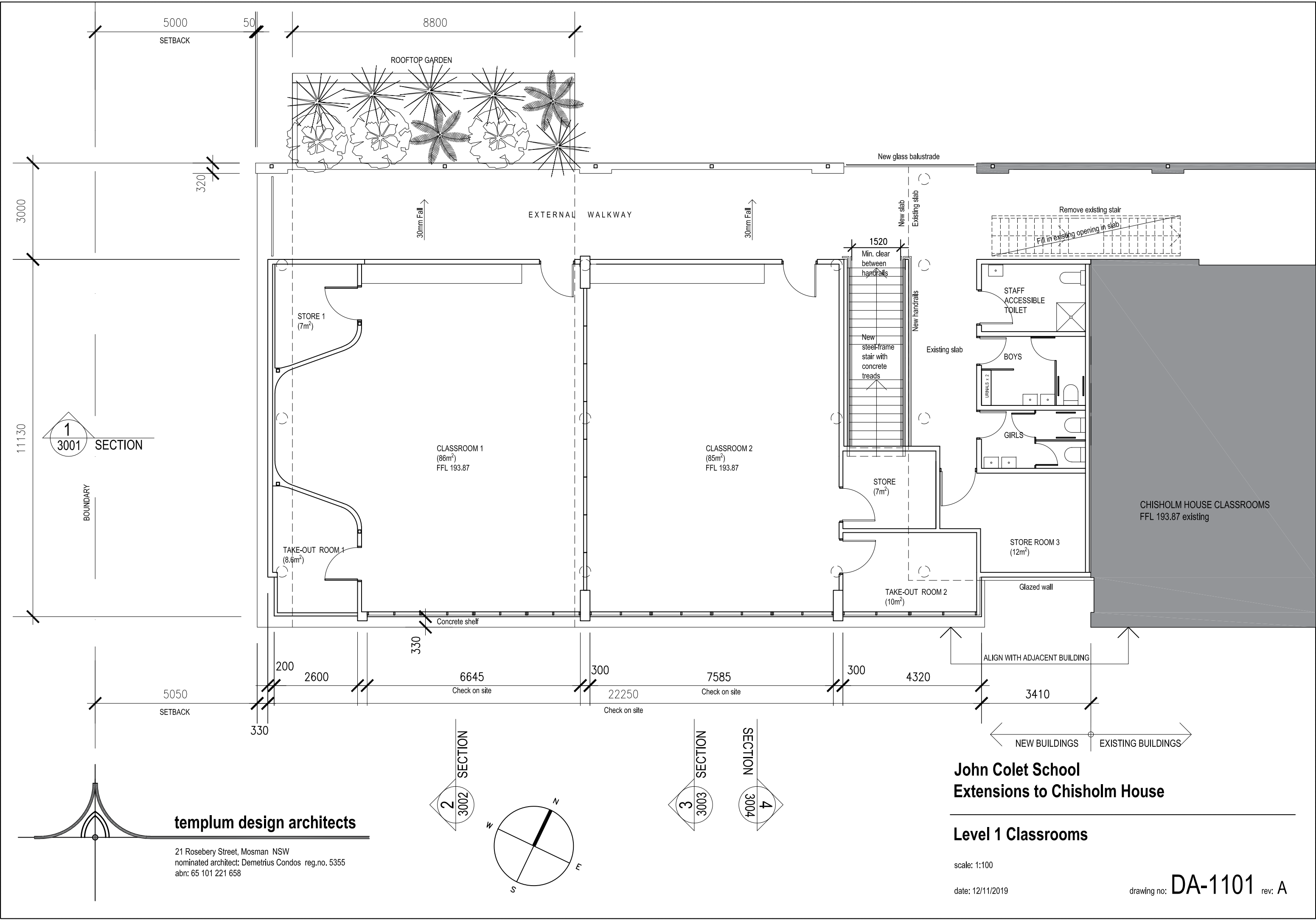
Site Analysis Plan

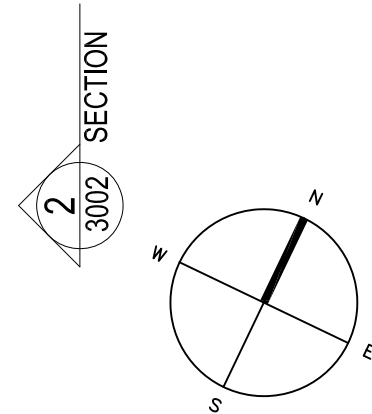
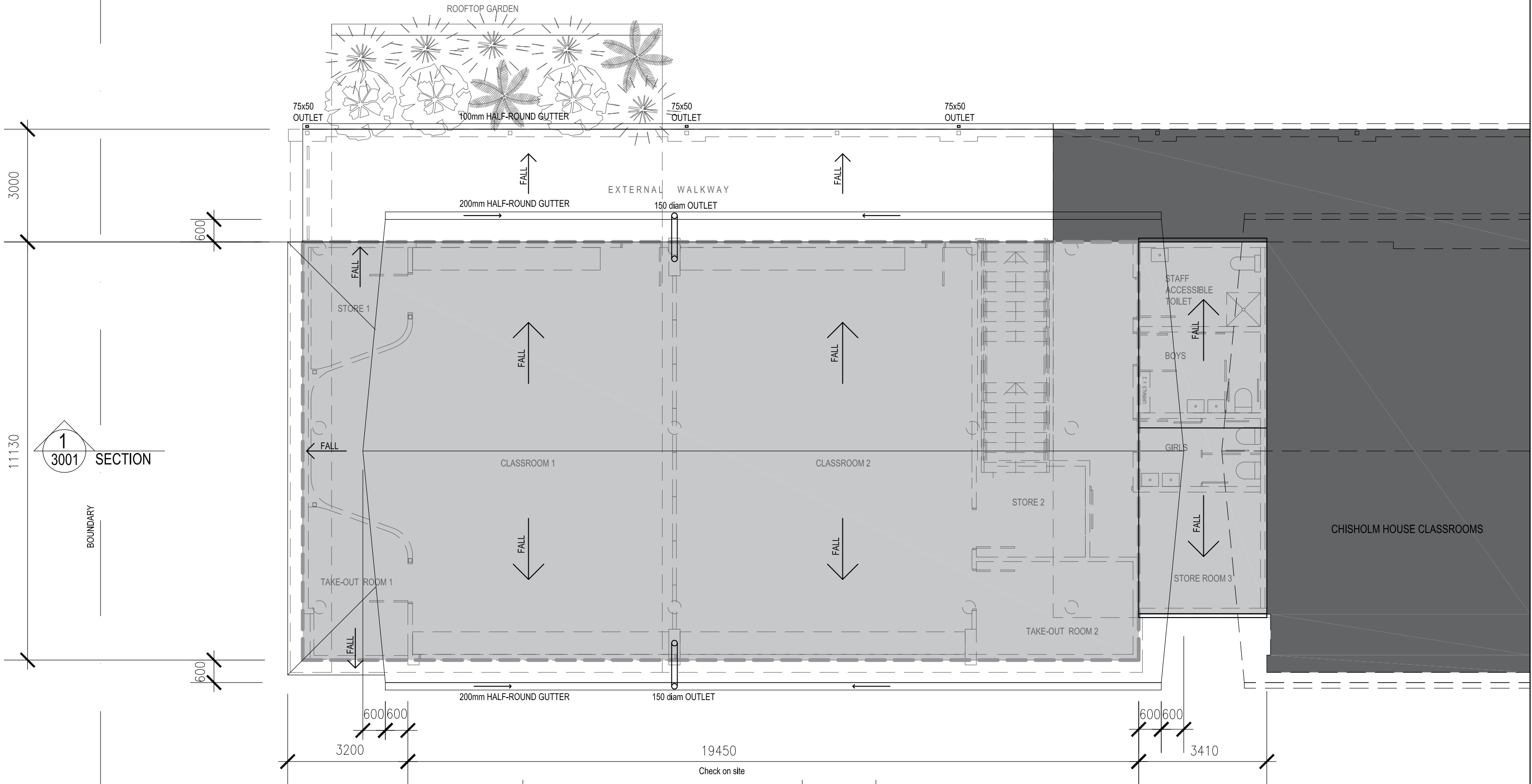
scale: 1:200 @ B1, 1:500 @ A3

date: 12/11/2019

drawing no: DA-1002 rev: B







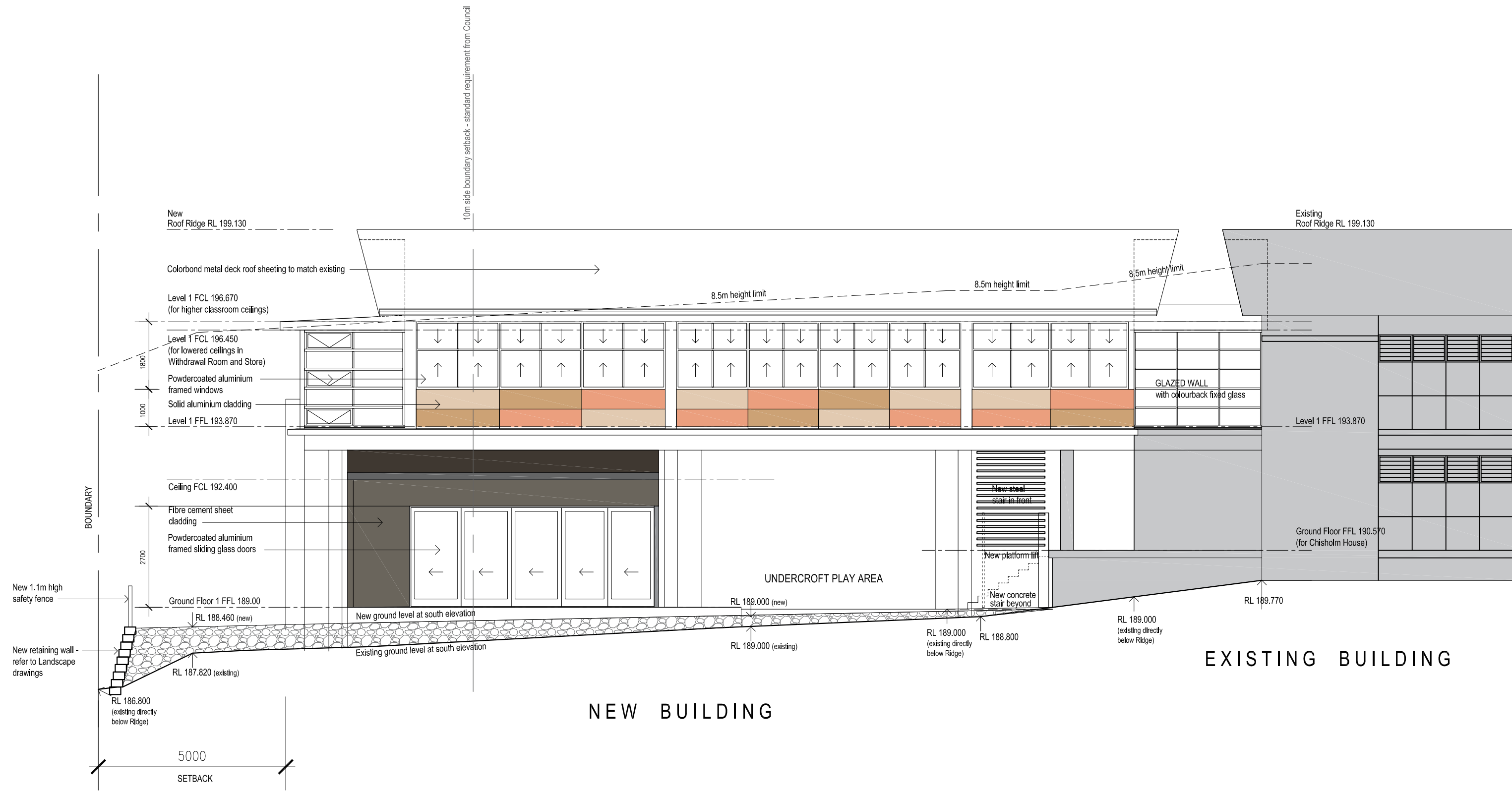
John Colet School Extensions to Chisholm House

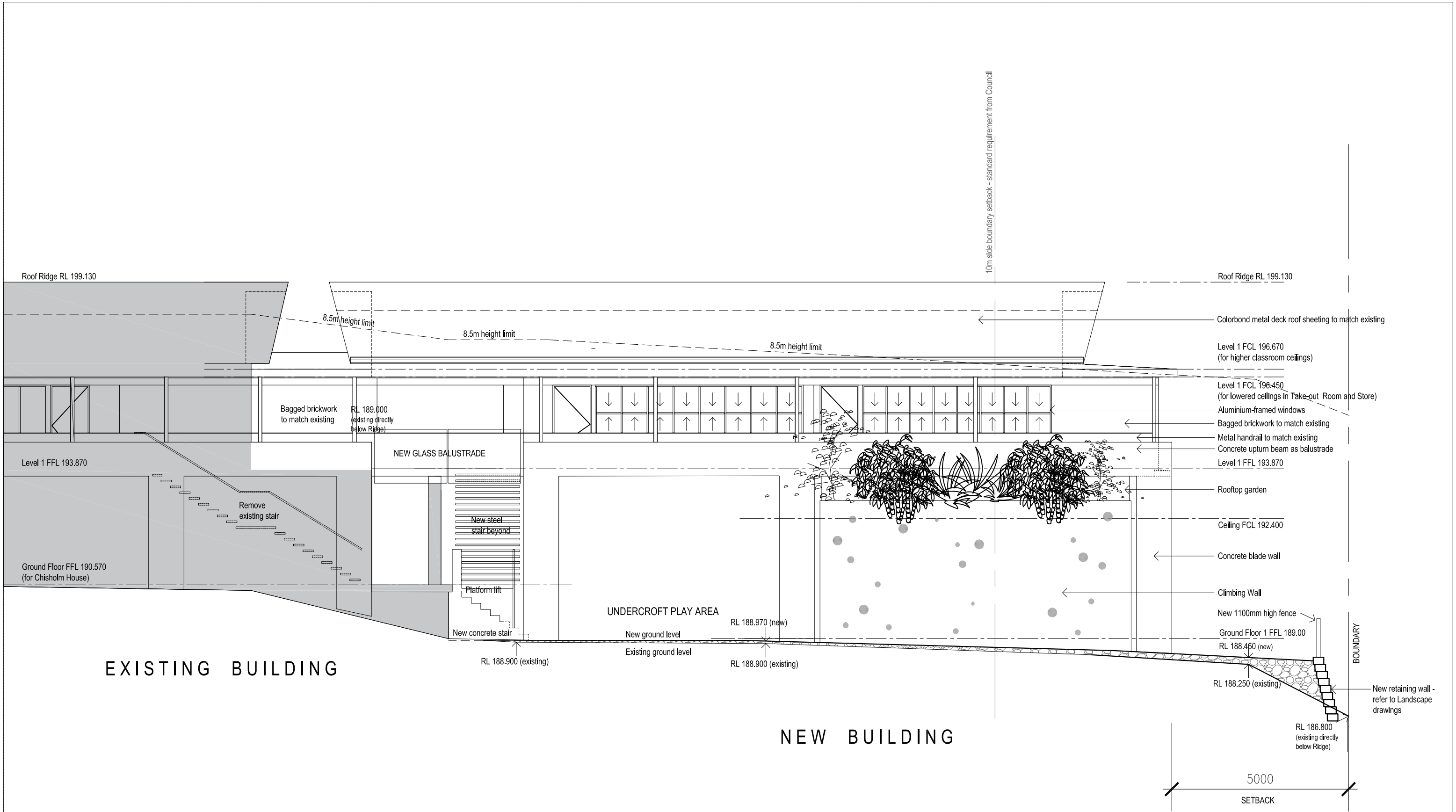
Roof Plan

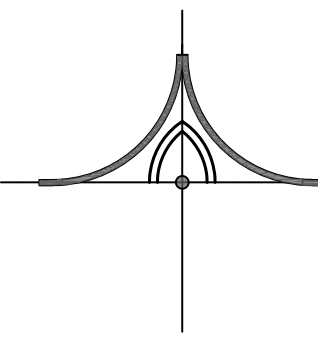
scale: 1:100

date: 12/11/2019

drawing no: **DA-1102** rev: **A**







templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658

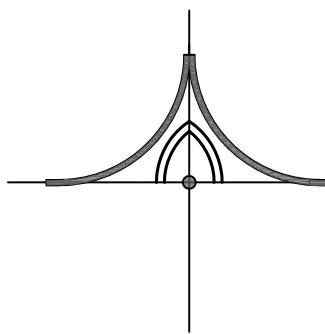
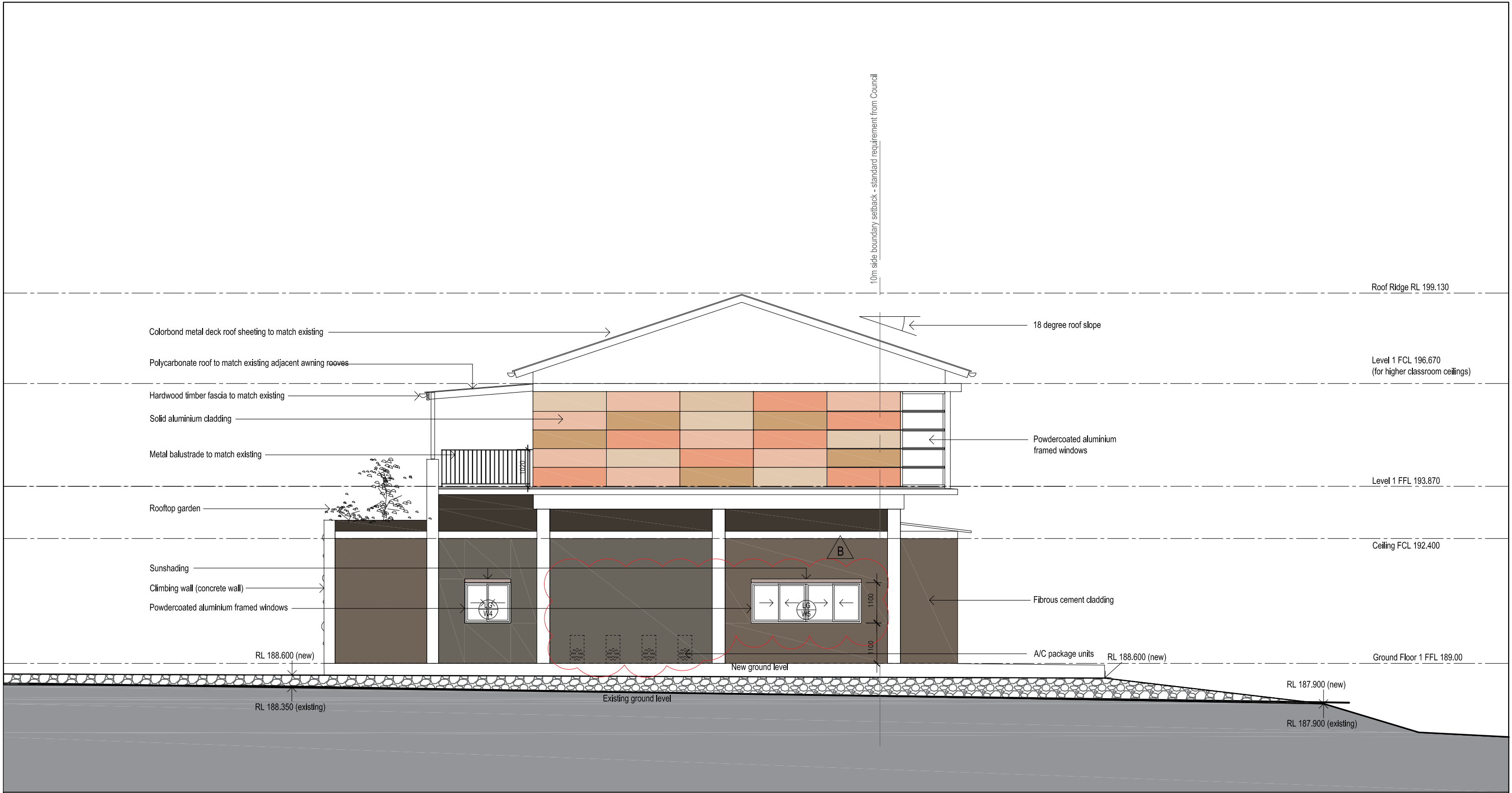
**John Colet School
Extensions to Chisholm House**

North Elevation (facing Garrigal Quadrangle)

scale: 1:100

date: 12/11/2019

drawing no: **DA-2001** rev: A



templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658

Issues:

- 'A' - 12/11/2019 - Original issue for Council DA
- 'B' - 02/04/2020 - Amended issue for Council DA
 - Window LG/05 relocated to the south to the centre of the next bay
 - A/C units relocated to the next bay north

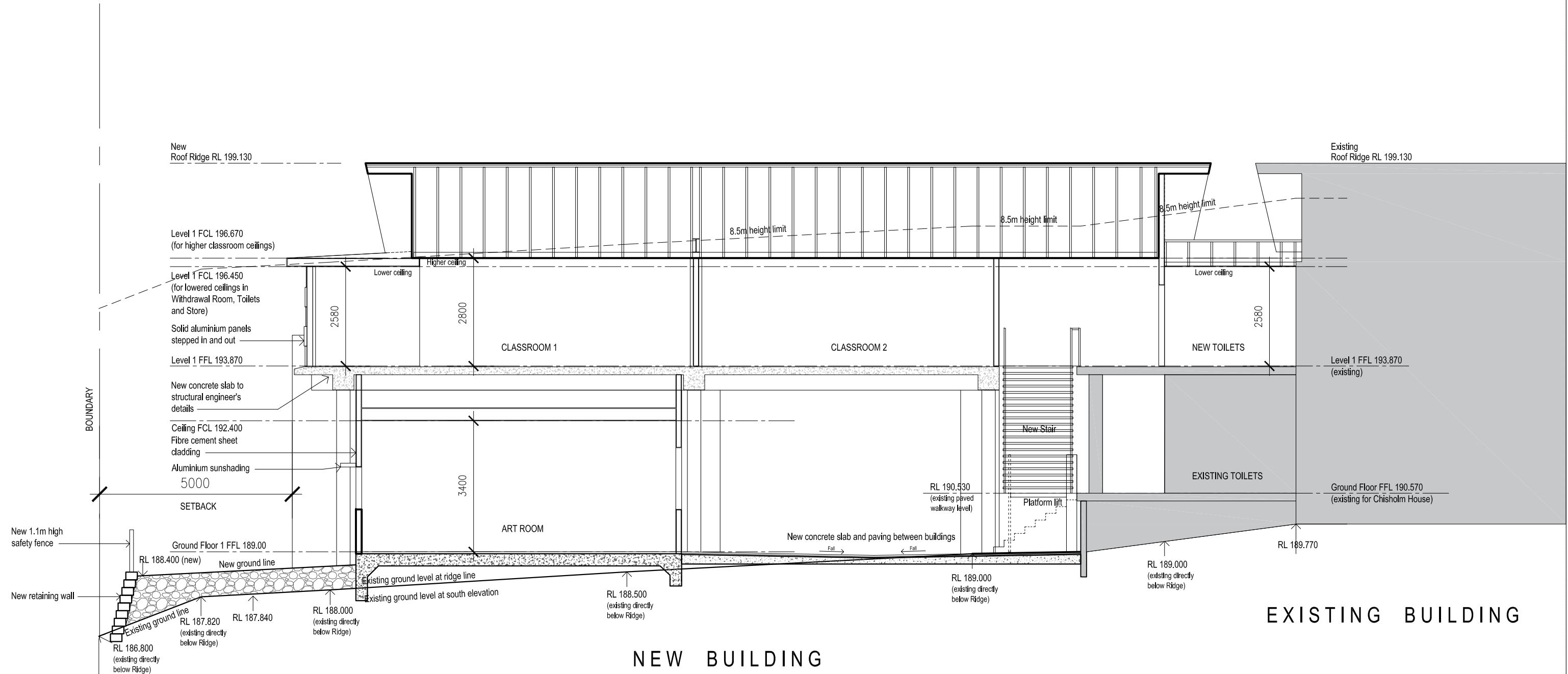
**John Colet School
Extensions to Chisholm House**

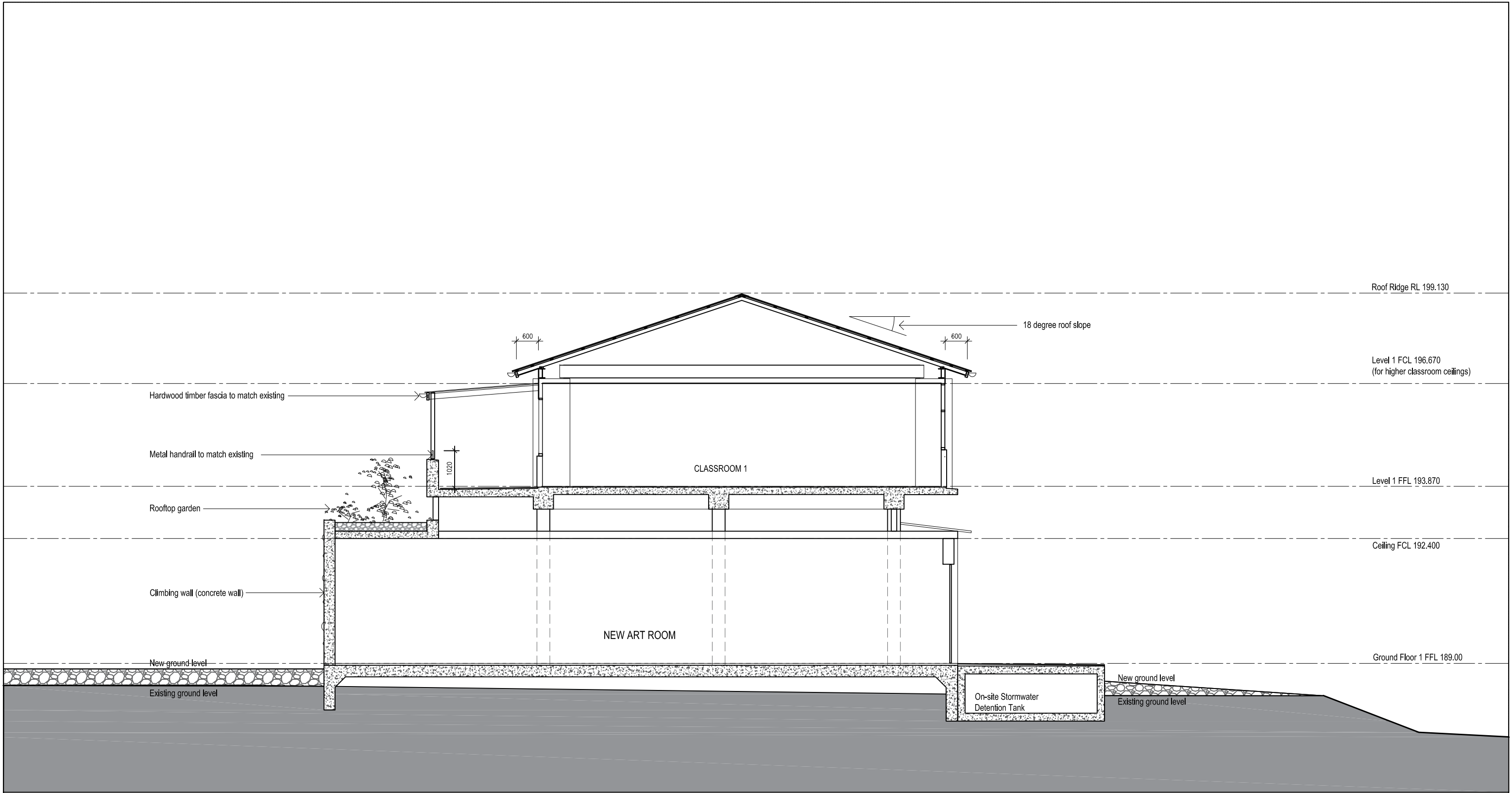
West Elevation (facing the Bridle Trail)

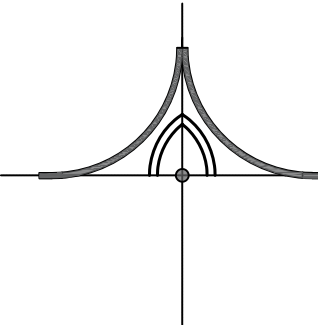
scale: 1:100

date: 12/11/2019

drawing no: **DA-2002** rev: B







templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658

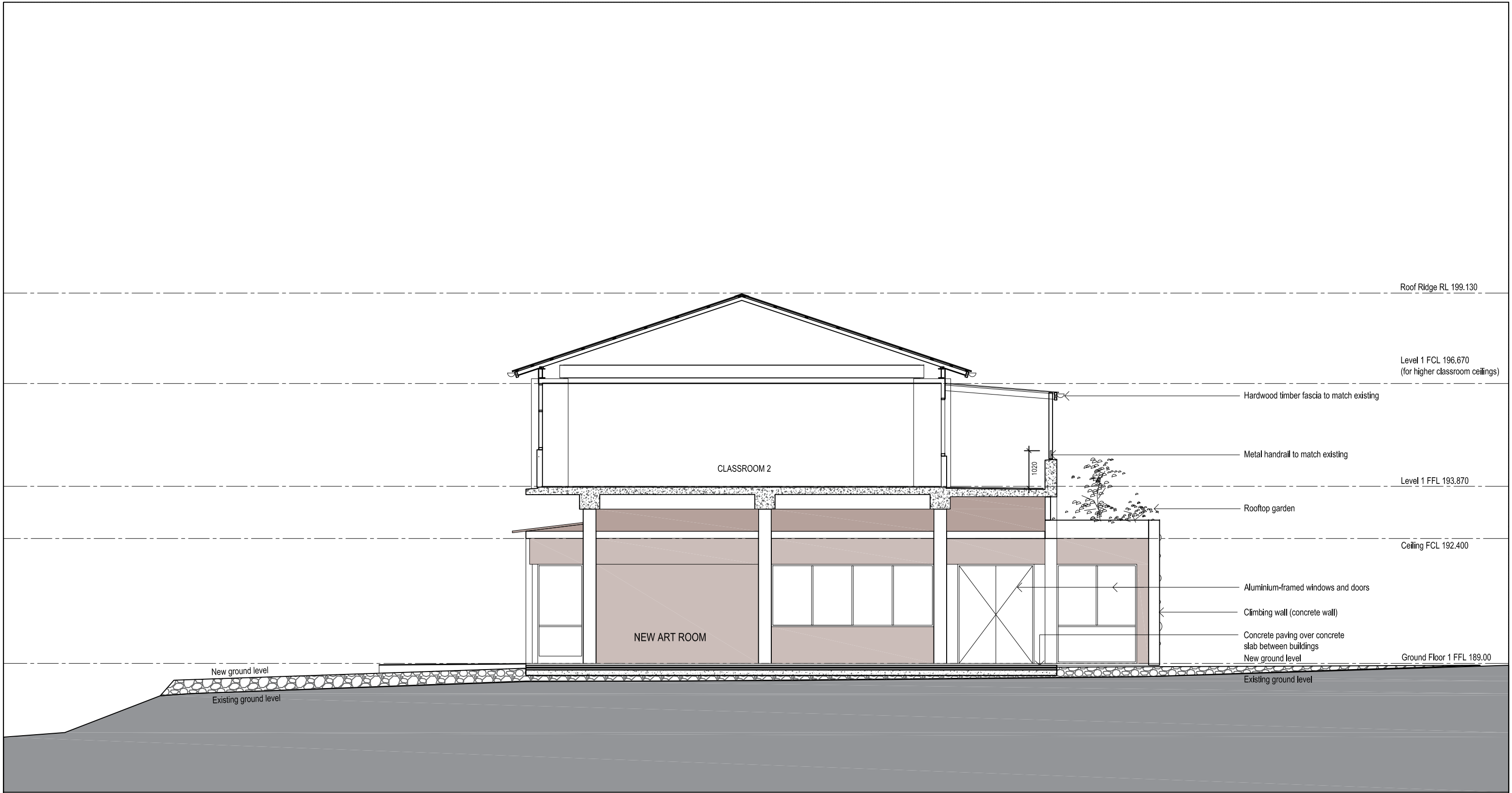
**John Colet School
Extensions to Chisholm House**

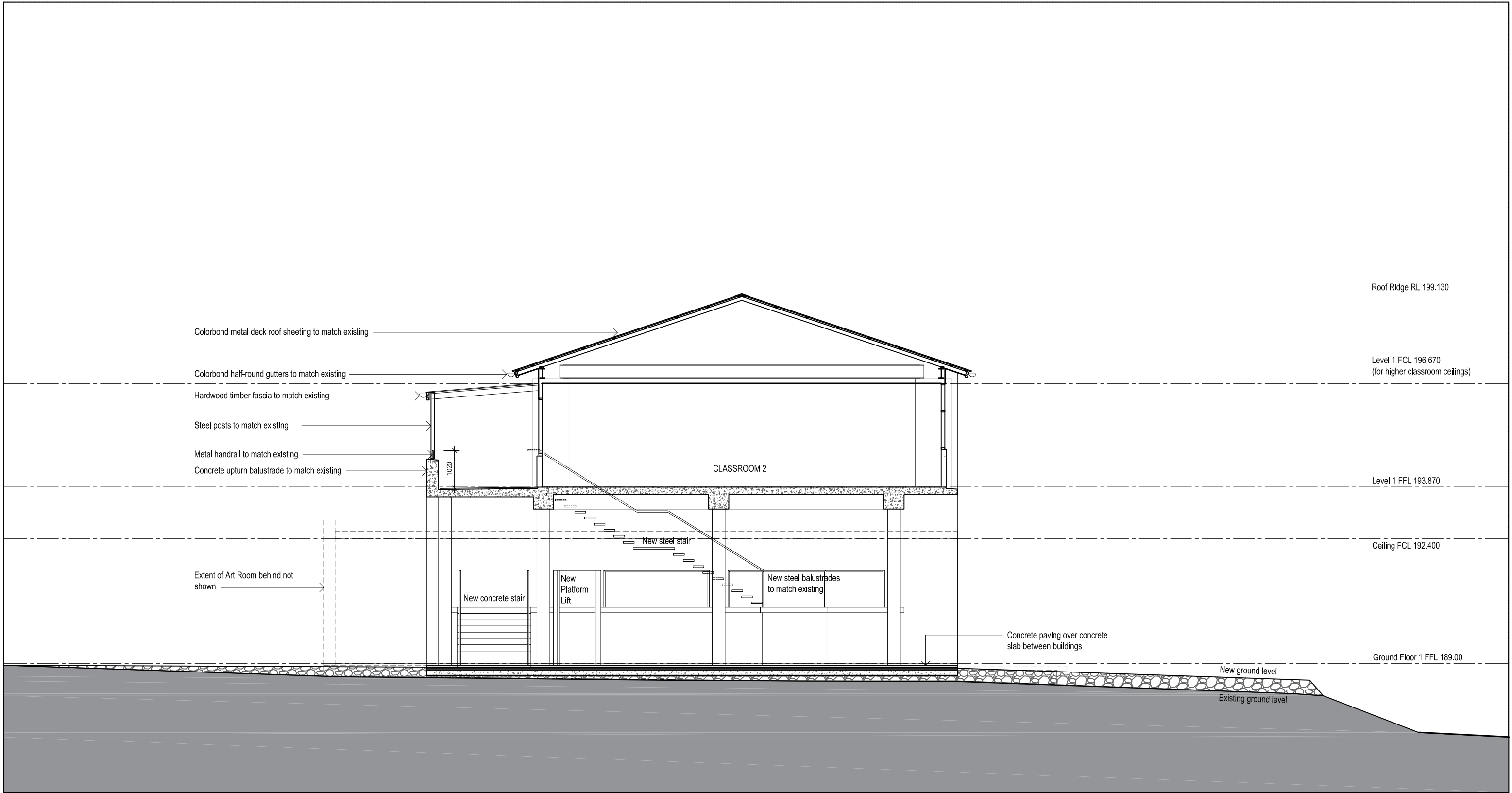
Section 2

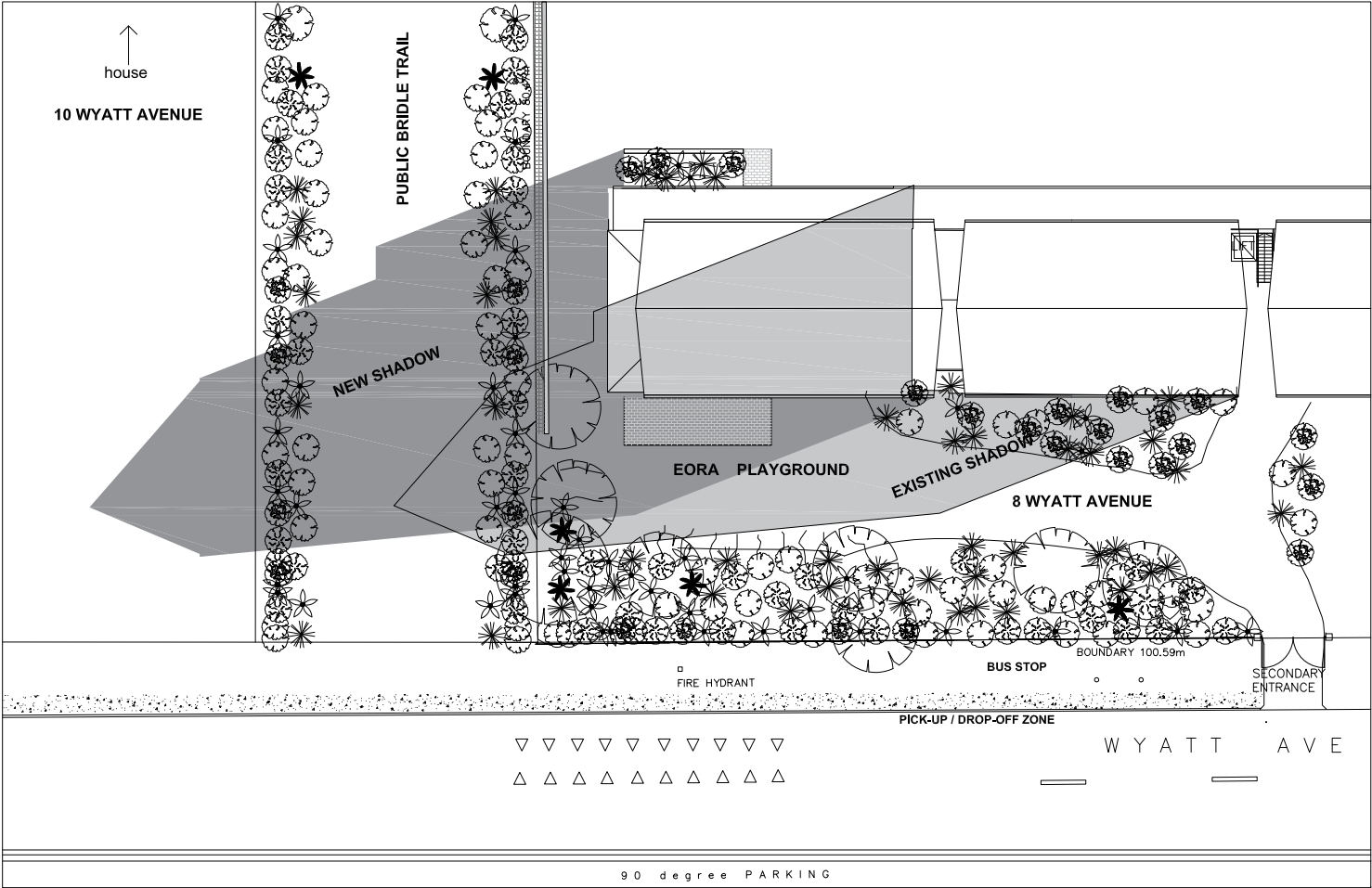
scale: 1:100

date: 12/11/2019

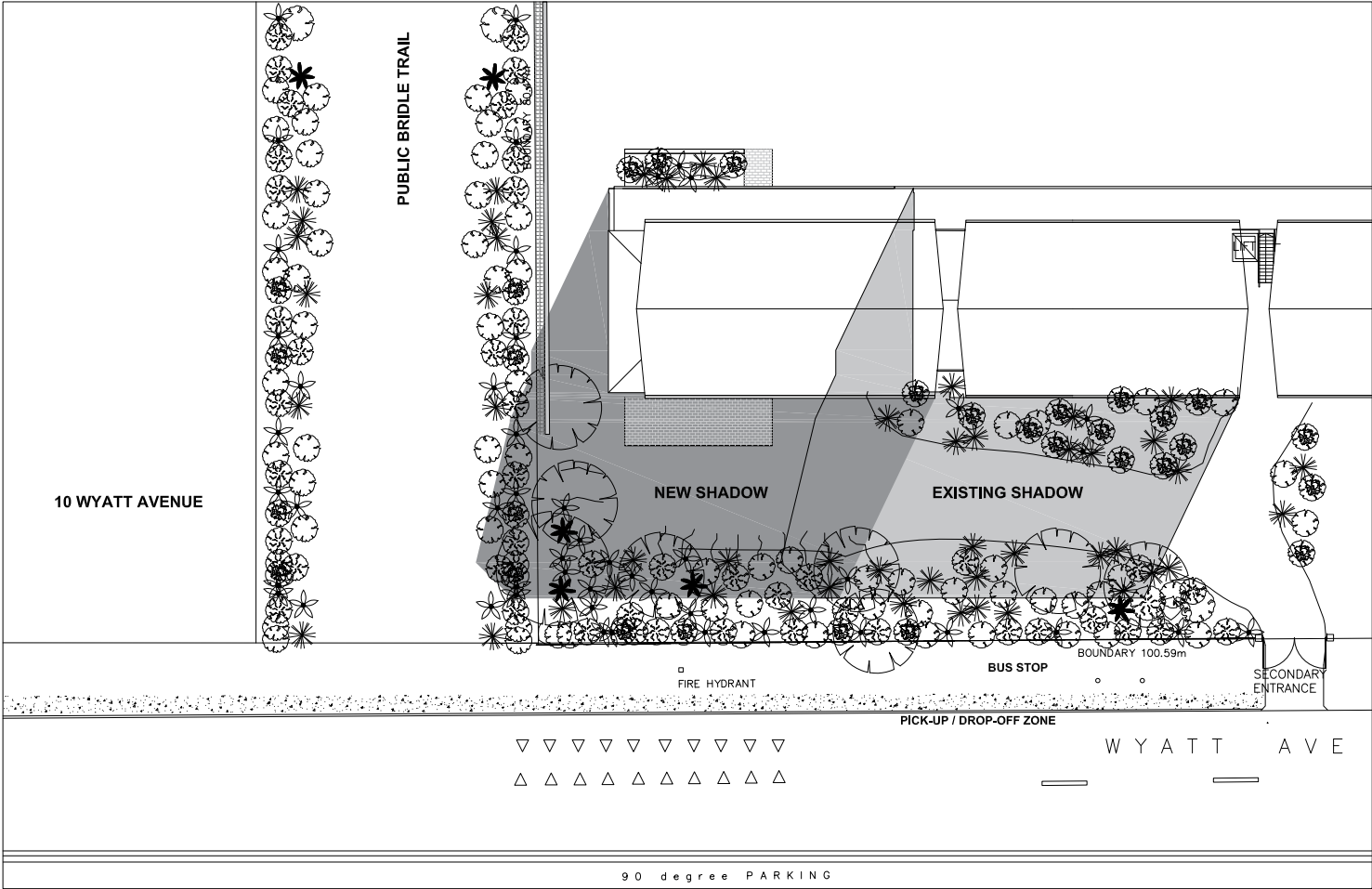
drawing no: **DA-3002** rev: **A**



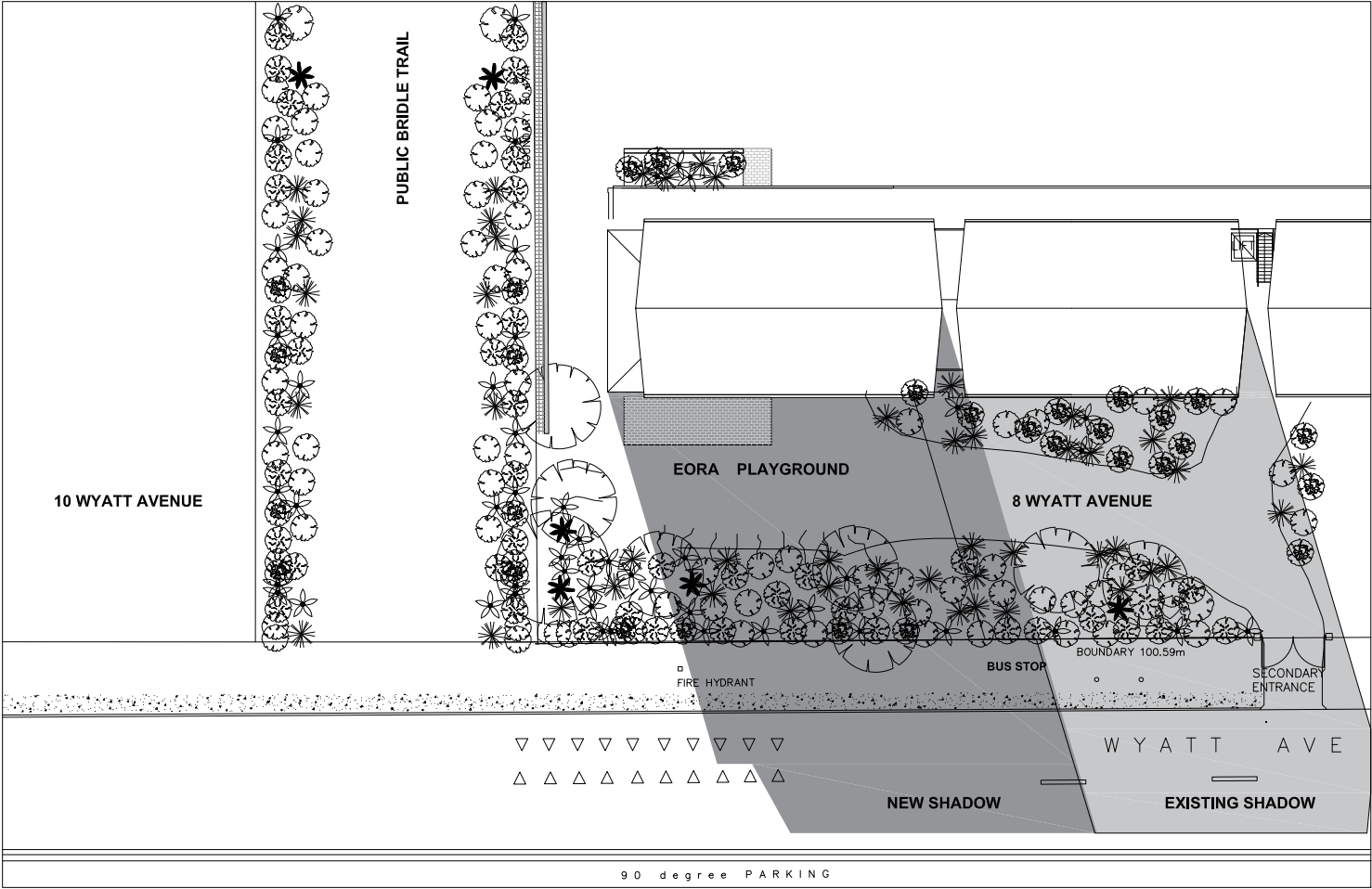




Shadow Diagram 21 June - 9am



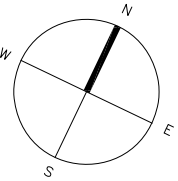
Shadow Diagram 21 June - 12 noon



Shadow Diagram 21 June - 3pm

I, Demetrius Condos, certify that the shadow diagrams submitted on this sheet:

- are in accordance with the Survey (prepared by a registered surveyor);
- indicate shadows cast by the proposal at 9am, 12 noon and 3pm on 21 June;
- indicate the shadows cast by existing adjacent building on the site and the surrounding area.



templum design architects

21 Rosebery Street, Mosman NSW
 nominated architect: Demetrius Condos reg.no. 5355
 abn: 65 101 221 658

**John Colet School
 Extensions to Chisholm House**

Shadow Diagrams - 21 June - 9am, 12noon, 3pm
 scale: 1:500

date: 12/11/2019

drawing no: **DA-4001** rev: A

PUBLIC BRIDLE TRAIL

BOUNDARY 80.47m

REMOVE
EXISTING
DEMOUNTABLE

FALL

FALL

FALL

REMOVE
PLAY
STRUCTURE

FALL

NEW RETAINING WALL

NEW ART ROOM

Accessible

M

F

FALL

EORA PLAYGROUND

FALL

SEDIMENT FENCE

templum design architects

21 Rosbery Street, Mosman NSW
nominated architect: Demetrius Condos reg no. 5355
abn: 65 101 221 668

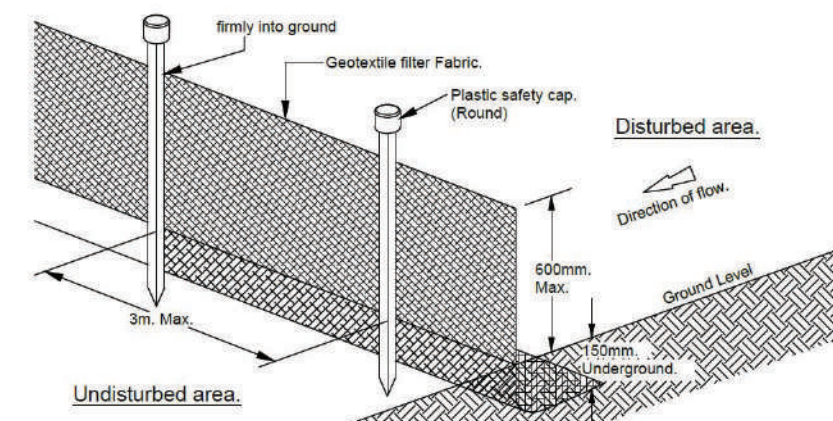
BOUNDARY 100.59m

COLET HOUSE

GARRIGAL

QUADRANGLE

STAFF
WORKROOM



SEDIMENT FENCE

SCALE NTS

John Colet School
Extensions to Chisholm House

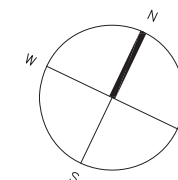
Erosion and Sediment Control Plan

scale: 1:200

date: 12/11/2019

drawing no:

DA-4002 rev: A



PUBLIC BRIDLE TRAIL

BOUNDARY 80.47m

REMOVE EXISTING
DEMOUNTABLE AND
SELL TO ANOTHER
SCHOOL, OR RECYCLE

BUILDER'S FENCE DURING BUILDING CONSTRUCTION

REMOVE EXISTING PLAY
STRUCTURE AND SELL
TO ANOTHER SCHOOL,
OR RECYCLE

NEW ART ROOM

EXTEND FENCING FOR LANDSCAPING WORKS

COLET HOUSE

STAFF
WORKROOM

GARRIGAL

QUADRANGLE

EXISTING
STAIRS

EORA PLAYGROUND

BUILDER'S MATERIALS
STORAGE AREA DURING
CONSTRUCTION

BUILDER'S STORAGE
AREA FOR WASTE TO BE
REUSED, RECYCLED OR
DISPOSED OF

BUILDER'S FENCE DURING
CONSTRUCTION

6 cubic metre WHEELY BIN FOR
EVERYDAY WASTE AS PART OF
THE SCHOOL'S REGULAR
WASTE MANAGEMENT

templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg no. 5355
abn: 65 101 221 669

BOUNDARY 100.59m

DIRECT ACCESS
TO STREET

John Colet School
Extensions to Chisholm House

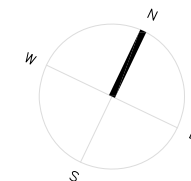
Waste Management Plan

scale: 1:200

date: 12/11/2019

drawing no:

DA-4003 rev: A





Western boundary Future Stage 'Q' – Upper level extensions to western end of Chisholm House Existing Chisholm House Lift and secondary driveway Existing Shakespeare House Pedestrian entry Admin. Building with 2 Classrooms over Main driveway entrance to Staff parking

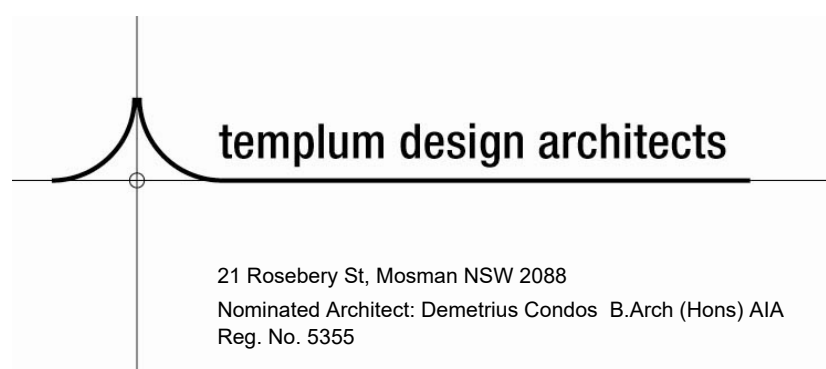
Full site elevation from Wyatt Avenue (South Elevation)



Perspective view looking up at Extensions to Chisholm House (southwest corner) with Art Room and covered playground under



Perspective view through undercroft / covered play area between buildings

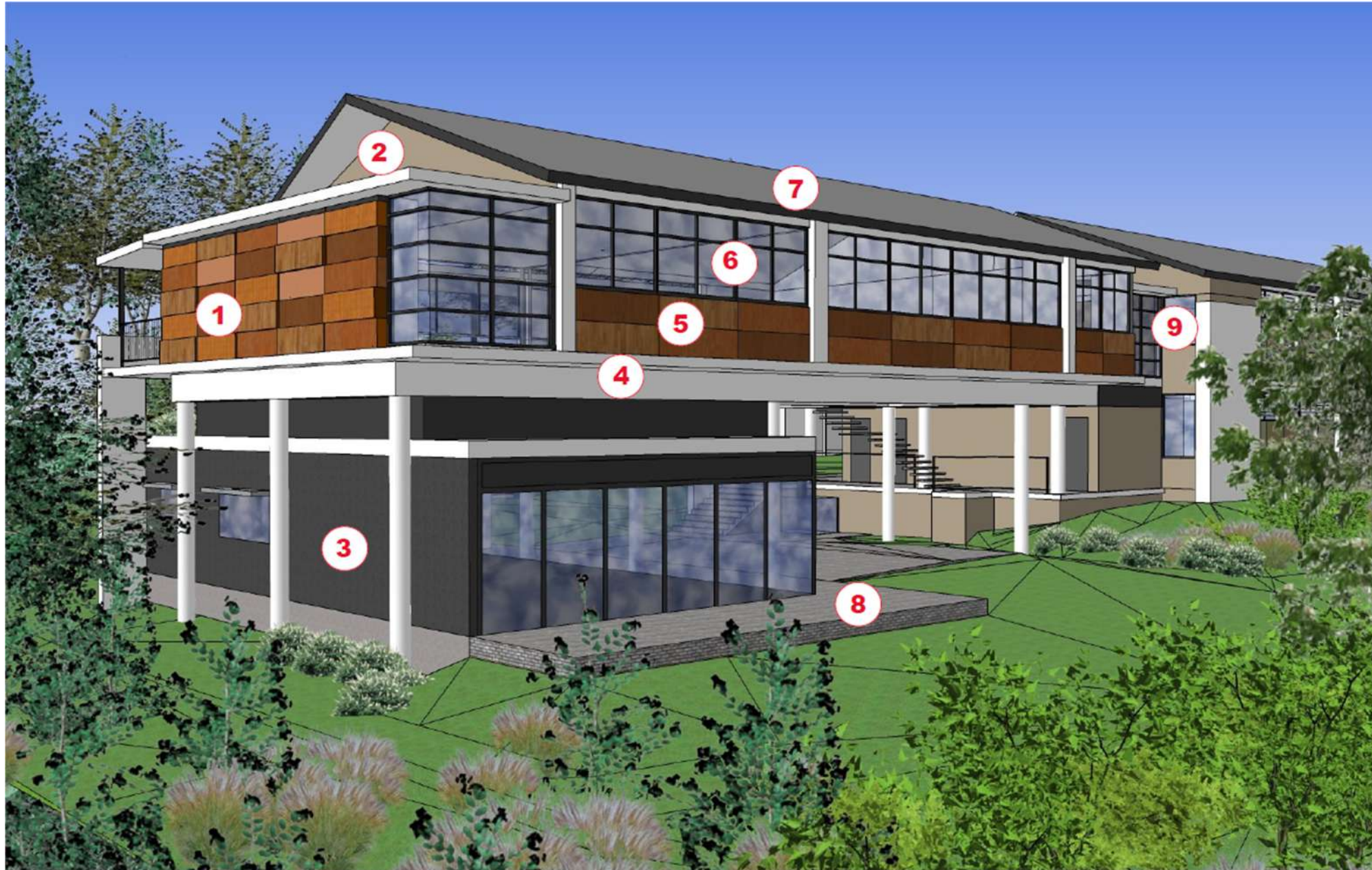


EXTENSIONS TO CHISHOLM HOUSE

for John Colet School, No.6 to 8 Wyatt Avenue, Belrose 2085
Lot 1, DP 601101 and Lot 101 DP 874509

PERSPECTIVES FROM WYATT AVENUE DA - 6001 rev: A

Scale: N.T.S. at A3
Date: 12/11/2019



Perspective view looking up at the southwest corner of Stage 1, with covered play area under

Colour and materials selections:

1. 'Mondoclad' solid aluminium panels, using a variety of different wood grain finishes and colours, protruding at varying distances from backing wall



2. Dulux paint over fibrous cement cladding to match existing buildings
3. Dulux paint over fibrous cement cladding to match existing buildings
4. Dulux paint 'Natural White' colour over concrete beams and slabs to match existing buildings
5. Similar to '1.' but set flush with adjacent panels
6. Charcoal Grey powdercoating to aluminium window frames, to match existing buildings
7. Colorbond 'Ironstone' colour dark grey metal deck roof sheeting, fascias and half-round gutters
8. Dark grey concrete paving, to match existing paving used around Colet House
9. Charcoal Grey powdercoating to aluminium window frames, with colourback glass

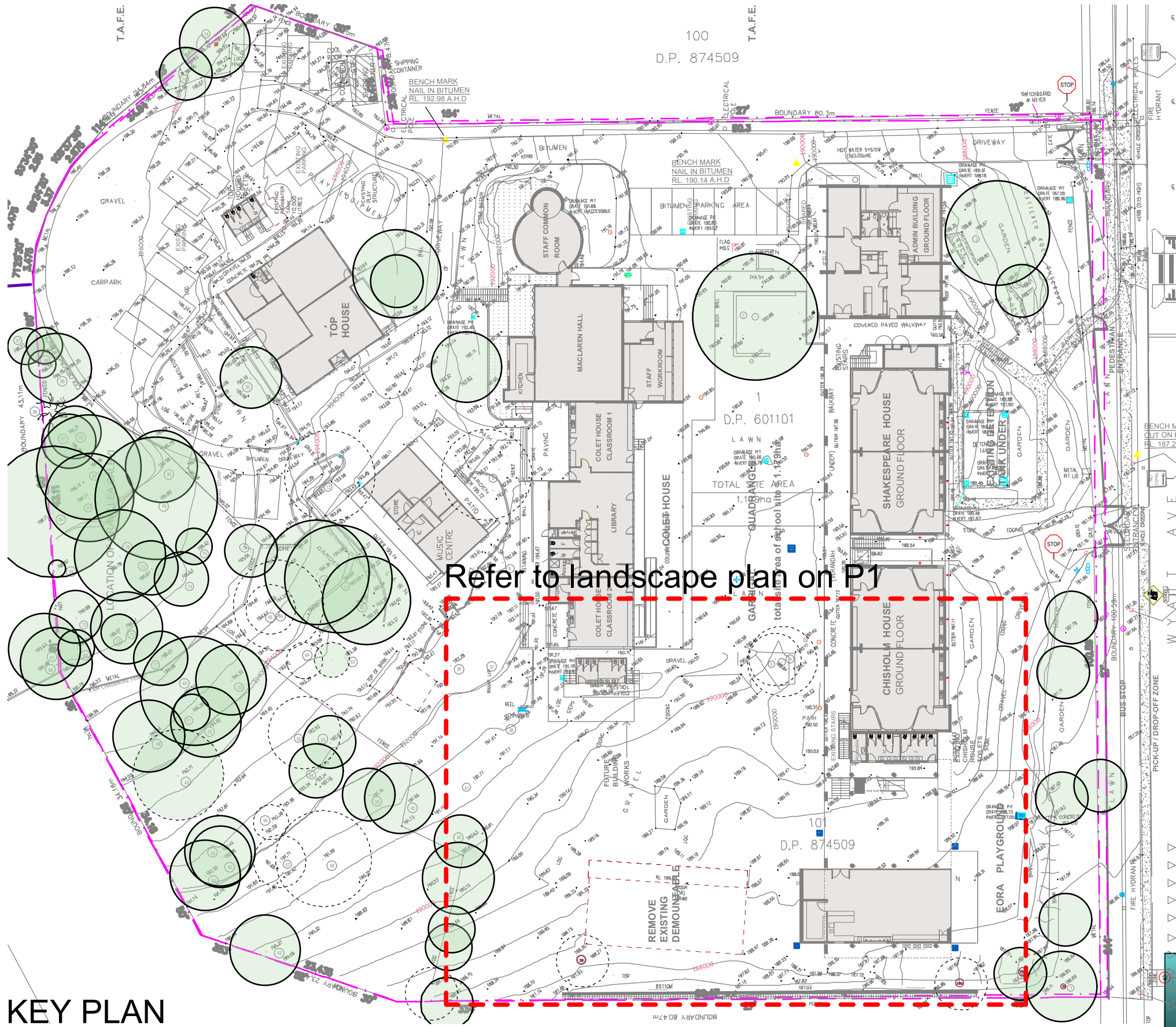
EXTENSIONS TO CHISHOLM HOUSE

for John Colet School, No.6 to 8 Wyatt Avenue, Belrose 2085
 Lot 1, DP 601101 and Lot 101 DP 874509

MATERIALS AND FINISHES

Scale: N.T.S. at A3
 Date: 12/11/2019

DA - 6002 rev: A



KEY PLAN
SCALE: 1:500

JOHN COLET SCHOOL

6 WYATT AVENUE, BELROSE

DRAWING SCHEDULE		
SHEET #	DRAWING TITLE	REV.
/1	LANDSCAPE PLAN	F
/2	CUT & FILL PLAN	F
/3	DETAILS	D
/4	DETAILS & SECTION	E
/5	SPECIFICATION	A

BUSHFIRE NOTE:

This plan prepared in accordance with NSW Rural Fire Service "Planning for Bushfire Protection 2006".

This site shall be maintained as Inner Protection Area in accordance with the requirements of Asset Protection Zone.

Landscaping to rear of the property must be accordance with NSW RFS Planning for Bushfire Protection 2006 - Appendix 5. Landscaping and Property Maintenance

BUSHFIRE MANAGEMENT:

ASSET PROTECTION ZONE

The entire site shall be treated as an Inner Protection Zone, as follows:

- Minimum fuel at ground level
- Shrubs and trees which do not form continuous canopies
- Avoid species which are high in volatile oils or retain dead-wood
- Avoid direct planting near buildings, including potential canopy spread over structures. Canopies of proposed trees to be minimum 2m from building at maturity

MAINTENANCE OF PROPERTY

- Removal of litter from gutters and roof
- trees not too close to driveways so as to form an obstacle
- woodpiles, gardens sheds and other combustible materials are located downslope and well away from the house
- Prune and manage trees and shrubs to reduce fuel load

VEGETATION MANAGEMENT

- Maintaining a clear area of cut lawn or pavement adjacent to the house
- keeping areas under fence posts, gates and trees raked and cleared of fuel
- Utilising non combustible fencing and retaining walls
- breaking up canopy of trees with defined garden beds
- Non organic mulch

TREE SURVEY

Existing Trees based on Arborists Report by Ian Hills prepared on 29.10.2019

No. #	Species	Size (Ht x Sp)	Condition	Action
38	Jacaranda mimosifolia	6x5	Good	Retain
38A	Hymenosporum flavum	6x4	Good	Retain
38B	Tristanopsis laurina	4x2	Good	Remove
39	Corymbia gummifera	7x5	Good	Remove

LANDSCAPE CALCULATIONS

SITE AREA:	11914m ²
REQUIRED NATURAL BUSHLAND OR LANDSCAPING WITH LOCAL SPECIES AREA:	5957m ² (50%)
PROPOSED BUSHLAND OR LANDSCAPING WITH LOCAL SPECIES AREA:	6382.8m ² (53.6%)

EXISTING SITE CONDITIONS



Conzept
Landscape Architects

Suite 101, 506 Miller St
CAMMERAY NSW 2062
Phone: 9922 5312
Fax: 8209 4982
Mob: 0413 861 351
www.conzept.net.au
enquiries@conzept.net.au

NOTES:

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

	Botanical Name: <i>Fraxinus 'Raywoodii'</i> Common Name: Claret Ash (Exotic) Pot size: 100LT Mature H x S: 10m x 5m Qty Required: 4
	Botanical Name: <i>Ceratopetalum gummiferum</i> Common Name: NSW Christmas Bush (Native) Pot size: 300mm Mature H x S: 5-8m x 3-4m Qty Required: 3
	Botanical Name: <i>Elaeocarpus reticulatus</i> Common Name: Blueberry Ash (Native) Pot size: 75L Mature H x S: 8-10m x 6-7m Qty Required: 3
	Botanical Name: <i>Syzygium luehmannii</i> Common Name: Riberry Lilly Pilly (Native) Pot size: 300mm Mature H x S: 2-15m x 3-5m Qty Required: 3

 Botanical Name: *Correa alba*
Common Name: White Correa (Native)
Pot size: 200mm
Mature H x S: 1.5m x 1m
Qty Required: 22

 Botanical Name: *Callistemon citrinus 'Endeavour'*
Common Name: Endeavour Bottlebrush (Native)
Pot size: 300mm
Mature H x S: 3m x 2m
Qty Required: 8

 Botanical Name: *Grevillea 'Honey Gem'*
Common Name: Honey Gem Grevillea (Native)
Pot size: 300mm
Mature H x S: 3-5m x 2-3m
Qty Required: 6

 Botanical Name: *Doryanthes excelsa*
Common Name: Gymea Lily (Native)
Pot size: 45L
Mature H x S: 1.1m x 1m
Qty Required: 9

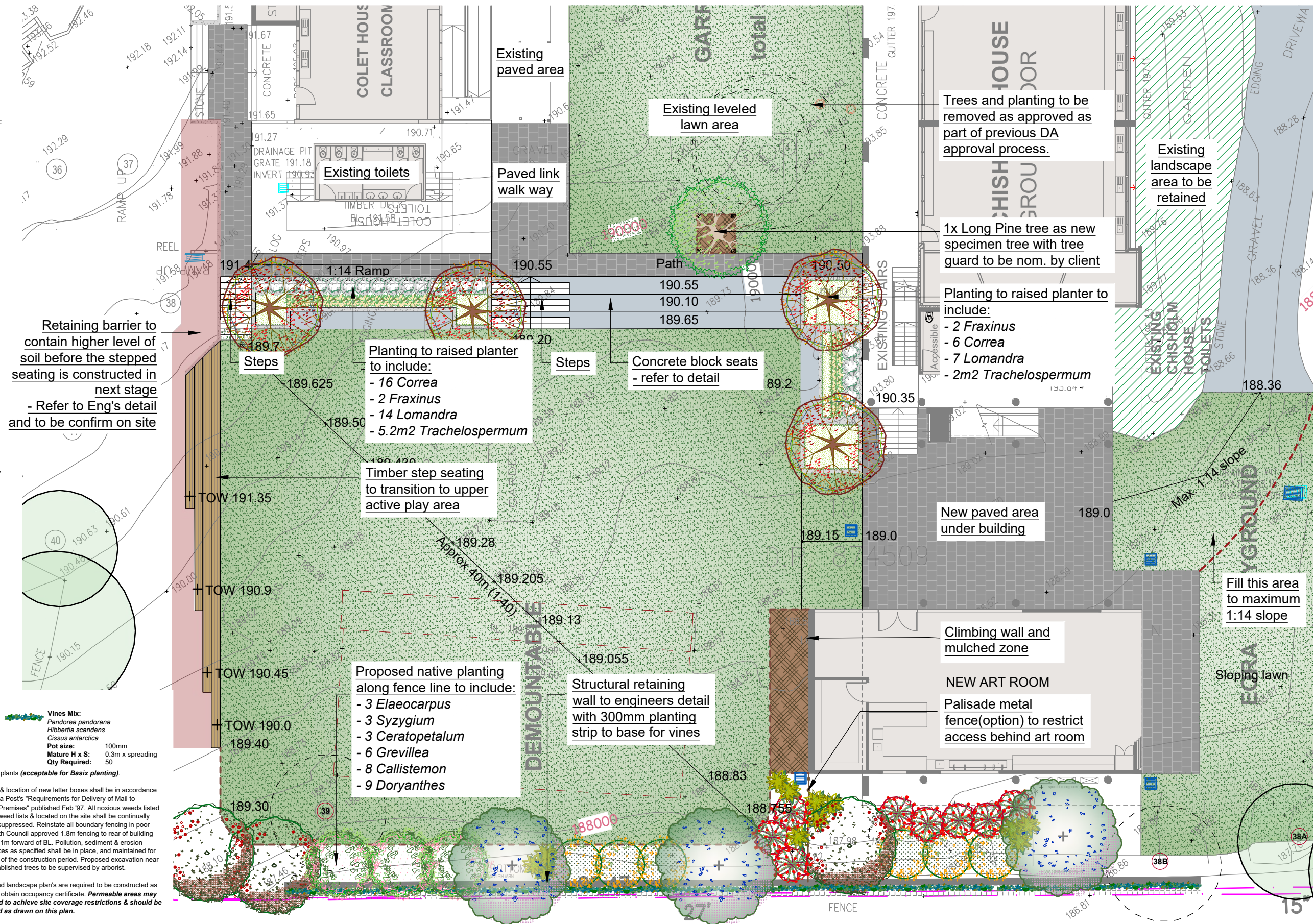
	Botanical Name:	<i>Lomandra hystrix 'Katie Bells'</i>		Vines Mix:
	Common Name:	Katie Bells Mat Rush (Native)		<i>Pandorea pandorana</i>
	Pot size:	200mm		<i>Hibbertia scandens</i>
	Mature H x S:	1.2m x 1.2m		<i>Cissus antarctica</i>
	Qty Required:	21		
	Botanical Name:	<i>Trachelospermum Jasminoides</i>		Vines Mix:
	Common Name:	Star Jasmine (Exotic)		<i>Pandorea pandorana</i>
	Pot size:	140mm		<i>Hibbertia scandens</i>
	Mature H x S:	0.3m x 0.6m		<i>Cissus antarctica</i>
	Qty Required:	5/m2 (7.2m2 total)		

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to **Northern Beaches Councils** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drop

	Palisade metal fence
	Brick Edging - refer detail
	Turf area - refer detail
	New paving area
	Retaining / raised planter wall - refer detail
	Trees proposed to be removed and replaced with new landscaping
	Existing trees proposed to be retained and protected

[illegible]

	Palisade metal fence
	Brick Edging - refer detail
	Turf area - refer detail
	Trees proposed to be removed and replaced with new landscaping
	Existing trees proposed to be retained and protected
	Cut area
	Fill area

1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS
5. PRUNING & MAINTENANCE TO TREE REFER TO AS 4373-2007 PRUNING OF AMENITY TREES

N.T.S



SCALE: 1:100

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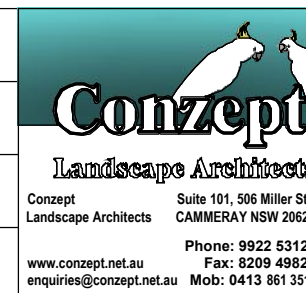
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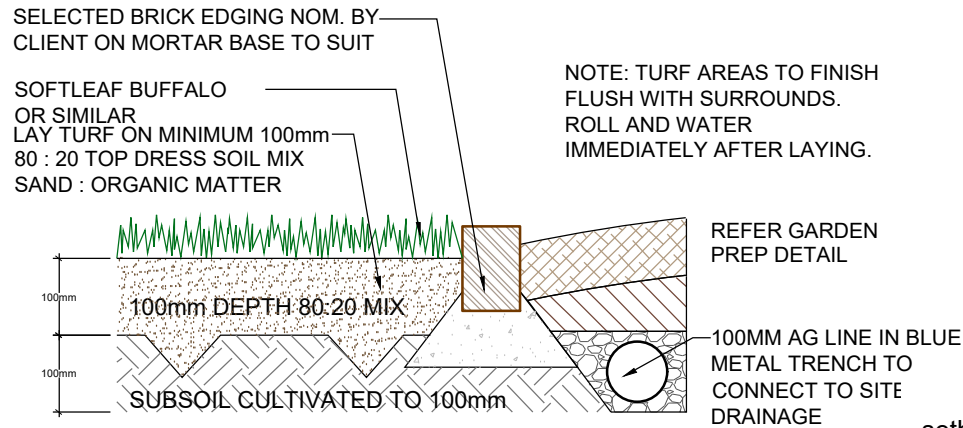


REV	DATE	NOTATION/AMENDMENT
A	24.09.19	Preliminary plan prepared for review
B	26.09.19	Co-ordinated with client's comments
C	09.10.19	Co-ordinated with client's comments
D	12.11.19	Co-ordinated with client's comments
E	21.11.19	Co-ordinated with client's comments
F	05.12.19	Co-ordinated with client's comments

COUNCIL	
NORTH BEACHES	
CLIENT	
JOHN COLET SCHOOL	
ARCHITECT	
TEMPLUM DESIGN	
STATUS / ISSUE	
DA - ISSUE F	

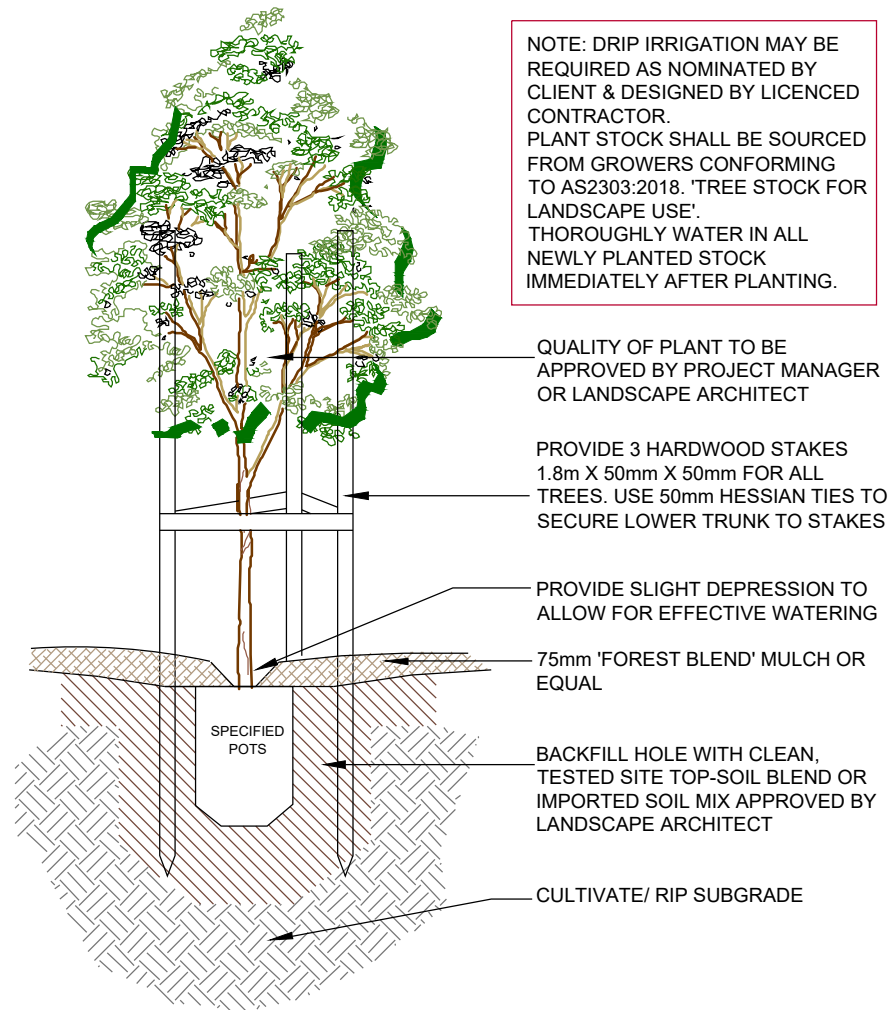


DWG.No:	
LPDA 20 - 38 / 2	
SCALE:	
1:200 @ A3	
DATE:	
NOV 2019	
DRAWN:	CHECKED:
C.D	R.F



TYPICAL TURF AND BRICK EDGE DETAIL

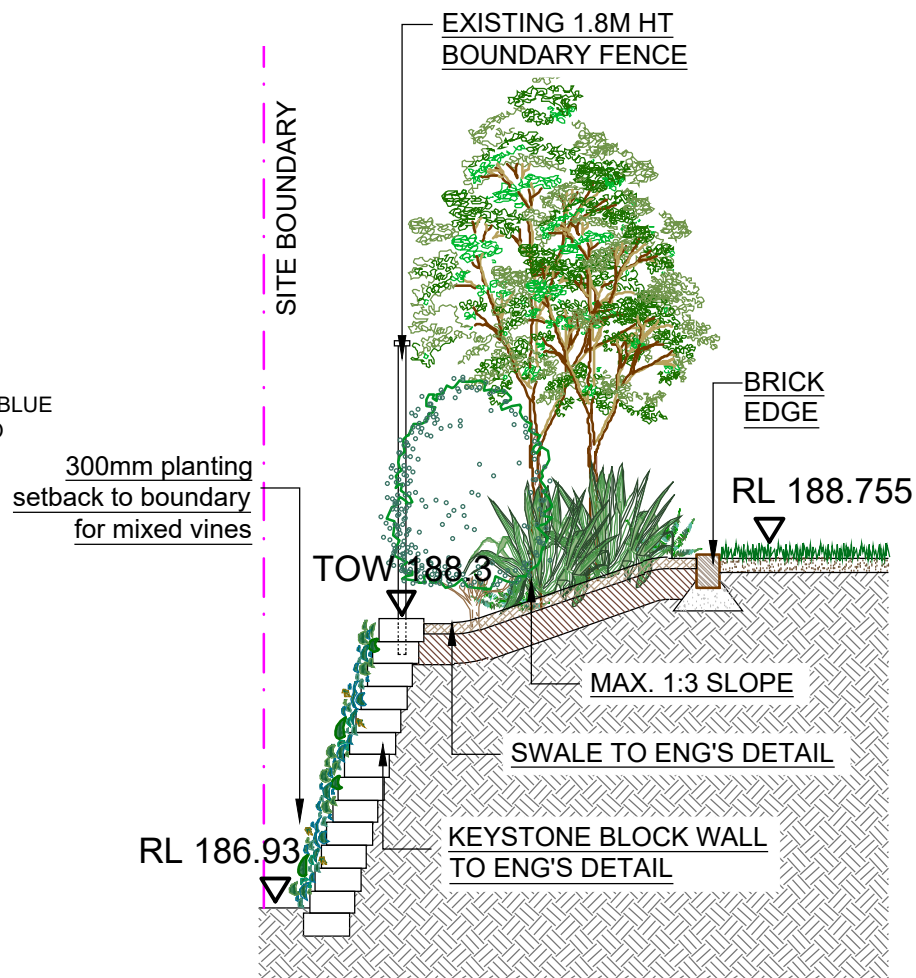
SCALE: 1:10



TREE PLANTING DETAIL

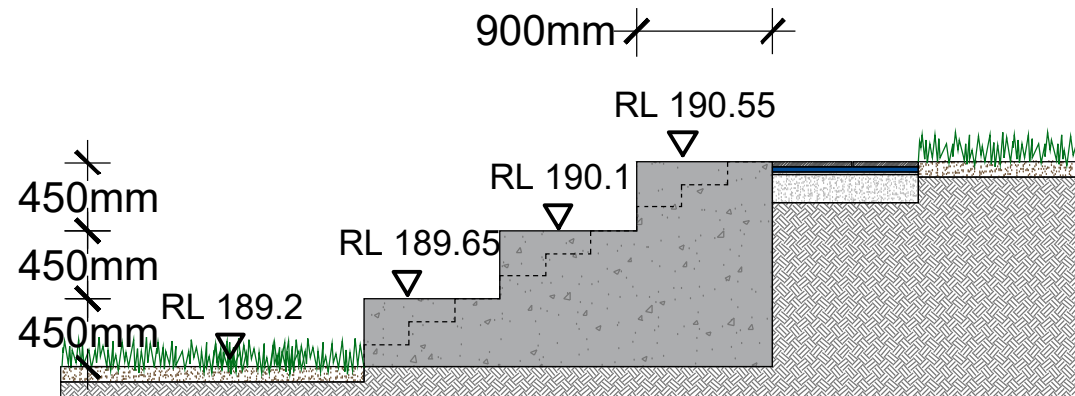
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



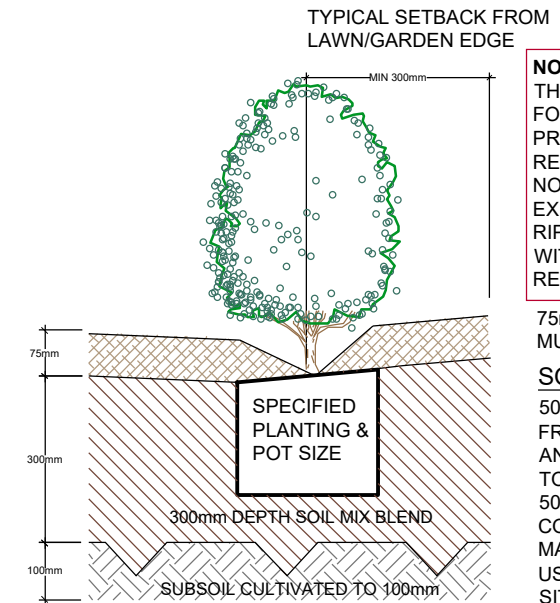
WESTERN BOUNDARY SECTION

SCALE: 1:50



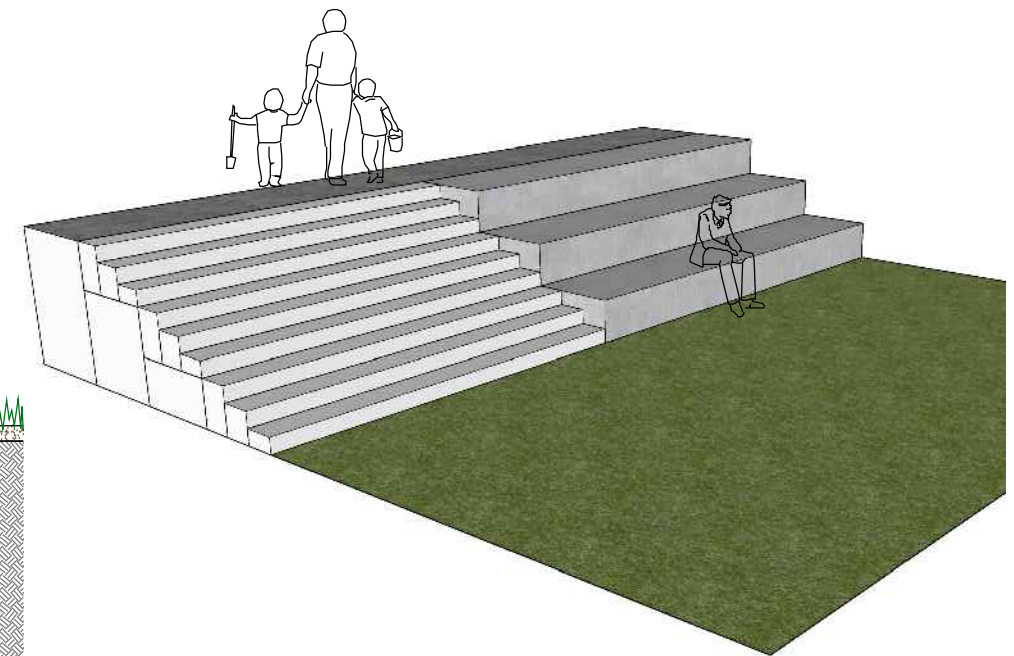
CONCRETE BLOCK SEATING DETAIL 1

SCALE: 1:50



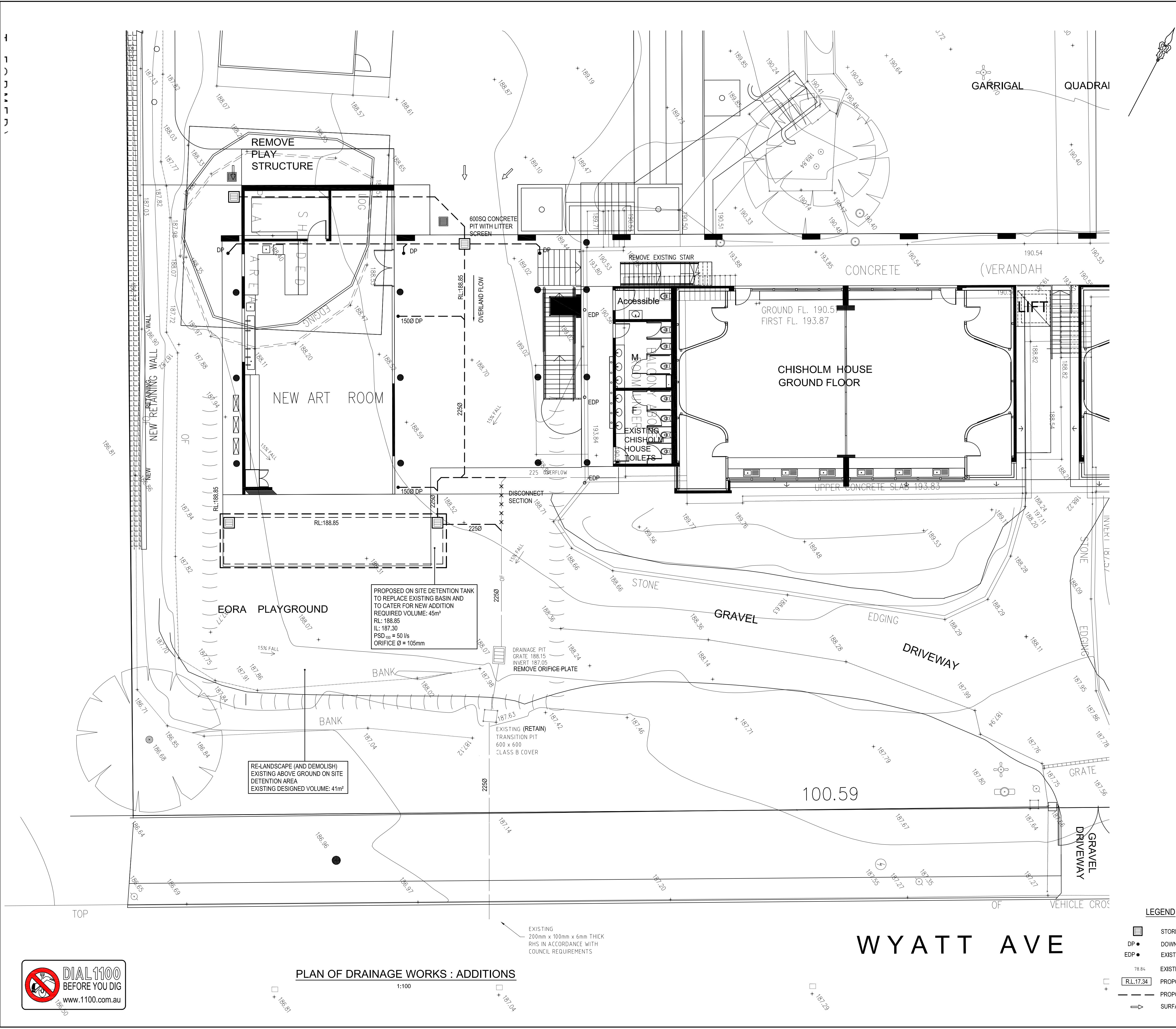
TYPICAL GARDEN PREPARATION DETAIL

SCALE 1:10



3D IMAGE FOR BLOCK SEATING DETAIL 1

General Notes: Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work. © Copyright R. L Frew Landscape Architectural Services T/A CONCEPT This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the copyright owner. If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or amendment at the discretion of our office. If so, Conzept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes. These plans and associated IP remain the property of R. L. Frew Landscape Architectural Services Pty Ltd (T/A Conzept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.	AILA Associate  Australian Institute of Landscape Architects 	<table><tr><th>REV</th><th>DATE</th><th>NOTATION/AMENDMENT</th></tr><tr><td>A</td><td>24.09.19</td><td>Preliminary plan prepared for review</td></tr><tr><td>B</td><td>09.10.19</td><td>Co-ordinated with client's comments</td></tr><tr><td>C</td><td>13.11.19</td><td>Co-ordinated with client's comments</td></tr><tr><td>D</td><td>21.11.19</td><td>Co-ordinated with client's comments</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV	DATE	NOTATION/AMENDMENT	A	24.09.19	Preliminary plan prepared for review	B	09.10.19	Co-ordinated with client's comments	C	13.11.19	Co-ordinated with client's comments	D	21.11.19	Co-ordinated with client's comments																<table><tr><td>COUNCIL</td><td>NORTH BEACHES</td></tr><tr><td>CLIENT</td><td>JOHN COLET SCHOOL</td></tr><tr><td>ARCHITECT</td><td>TEMPLUM DESIGN</td></tr><tr><td>STATUS / ISSUE</td><td>DA - ISSUE D</td></tr></table>	COUNCIL	NORTH BEACHES	CLIENT	JOHN COLET SCHOOL	ARCHITECT	TEMPLUM DESIGN	STATUS / ISSUE	DA - ISSUE D	 Conzept Landscape Architects Suite 101, 506 Miller St CAMMERAY NSW 2062 Phone: 9922 5312 Fax: 8209 4982 www.conzept.net.au enquiries@conzept.net.au Mob: 0413 861 351	TITLE: DETAILS PROPOSED SCHOOL DEVELOPMENT JOHN COLET SCHOOL 6 WYATT AVE, BELROSE	DWG.No: LPDA 20 - 38 / 3 SCALE: AS SHOWN @ A3 DATE: NOV 2019 DRAWN: C.D CHECKED: R.F
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- DRAINAGE**
- ALL DRAINAGE OUTLET PIPES / LEVELS SHALL BE CONFIRMED ON SITE, PRIOR TO CONSTRUCTION COMMENCING.
 - STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH AS3500.3. PIPES OF 300mm DIA. AND SMALLER SHALL BE UPVC TO AS1254. PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS1342 RUBBER RING JOINTED UNO.
 - ALL PIPES WITHIN THE PROPERTY TO BE MIN. 100 DIA UPVC @ 1% MIN. GRADE, UNO.
 - ALL PITS WITHIN THE PROPERTY ARE TO BE FITTED WITH "WELDOLOK" OR APPROVED EQUIVALENT GRATES:
 - LIGHT DUTY FOR LANDSCAPED AREAS
 - HEAVY DUTY WHERE SUBJECTED TO VEHICULAR TRAFFIC
 - PITS WITHIN THE PROPERTY MAY BE CONSTRUCTED AS:
 - 1) PRECAST STORMWATER PITS
 - 2) CAST INSITU MASS CONCRETE
 - 3) ONLY 300 SQ. PITS IN LANDSCAPE AREAS CAN BE HDPE PLASTIC WHERE NOTED. SUBJECT TO THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION.
 - TRENCH DRAIN GRATES TO BE GALV. STEEL FRAME CAST INTO CONCRETE UNO.
 - PIPE / PIT BACKFILL TO BEDDING, HAUNCH AND OVERLAY ZONES IS TO BE 7.10 BLUE METAL, SANDY LOAM OR EQUIV. TAMP COMPACTED AT OPTIMUM MOISTURE, MAY VARY IN ROAD AREAS, IE SHARP CLEAN SAND, TO LOCAL AUTHORITY REQUIREMENTS.
 - MINIMUM PIPE COVER IS TYPICALLY 300mm AND 450mm IN ROADWAY AREAS.
 - ANY PIPES AT >16% GRADE REQUIRE CONCRETE BULKHEADS IN ACCORDANCE WITH AS 3500.3.2.
 - ENSURE ALL GRATES TO PITS ARE SET BELOW FINISHED SURFACE LEVEL WITHIN THE PROPERTY. TOP OF PIT RL'S ARE APPROXIMATE ONLY AND MAY BE VARIED SUBJECT TO APPROVAL OF THE ENGINEER. ALL INVERT LEVELS ARE TO BE ACHIEVED.
 - ALL PITS 600x900 AND LARGER ARE TO HAVE A 2.0m SUBSOIL LINE DRAINED INTO THE UPSTREAM FACE AT INVERT.
 - ALL PITS ARE TO HAVE CONCRETE BENCHING TO OUTLET INVERT AND UP TO THIRD HEIGHT PIPE DIAMETER UNLESS SUMP NOTED OTHERWISE
 - THE CONTRACTOR IS TO BE AWARE OF THE OPENING TO DEPTH PIT REQUIREMENTS OF AS3500.3.2 IE:
 - 450SQ. 600 MAX. DEPTH
 - 600SQ. 900 MAX. DEPTH UNO.
 - PROVIDE STEP IRONS TO STORMWATER PITS GREATER THAN 1200 IN DEPTH.
 - SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.
 - ALL SERVICES TO BE LOCATED BY HAND DIGGING, BEFORE MECHANICAL EXCAVATION FOR THE SITE OUTLET

- GENERAL**
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, AND CONSULTANT DRAWINGS AND SPECIFICATIONS, THE DEVELOPMENT CONSENT / RELEVANT APPROVALS, AND OTHER WRITTEN INSTRUCTIONS THAT MAY BE ISSUED. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ALL SUCH DOCUMENTS.
 - DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM THE DRAWINGS. REFER ARCHITECTS DRAWINGS FOR ALL DIMENSIONS.
 - REFER ANY DISCREPANCY TO THE ENGINEER/ARCHITECT.
 - MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS, SPECIFICATIONS OR CODES AND WITH THE REQUIREMENTS OF THE RELEVANT LOCAL AUTHORITY.
 - THE ALIGNMENT AND LEVEL OF ALL SERVICES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM THE POSITION AND LEVEL OF ALL SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
 - ALL SERVICES, OR CONDUITS FOR SERVING AND DRAINAGE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF PAVEMENT CONSTRUCTION.
 - DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION AND THE CIVIL DRAWINGS.
 - NO WORK IS PERMITTED WITHIN ADJOINING PROPERTIES WITHOUT WRITTEN PERMISSION FROM THE OWNERS OR RESPONSIBLE AUTHORITY.
 - CONCRETE WORKS SHALL BE AS DETAILED ON THE DRAWINGS WITH REFERENCE TO THE CONCRETE SPECIFICATION.

ENGINEERING INSPECTIONS : 48hrs NOTICE IS REQUIRED

- THE CONTRACTOR IS TO BE AWARE OF THE MANDATORY INSPECTIONS REQUIRED BY THE DEVELOPMENT CONSENT (DA) UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT. CHECK WITH THE PCA.
- THESE MAY INCLUDE: EXCAVATION, REINFORCEMENT PRIOR TO CONCRETE POURING, PIPES & PITS PRIOR TO BACKFILL, FRAMING PRIOR TO COVERING, FINAL INSPECTION AND OTHER FOR VARIOUS CERTIFICATIONS.

UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.

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No.	DATE	REVISION	DETAILS
PREPARED BY:			
cpm ENGINEERING Civil & Structural Consulting Engineers ABN 55 156 273 755 P.O. BOX 1050 SUTHERLAND NSW 1459 Fax/Ph: (02) 9525 5587 Mobile: 0412 401 282 Email: cpmeng@optusnet.com.au			

PREPARED FOR:
JOHN COLET SCHOOL

**PROPOSED ADDITIONS TO
CHISHOLM HOUSE
ART ROOM PLAN
LOT 101 D.P.874509
6-8 WYATT AVENUE, BELROSE**

ORIGINAL SIZE:	A1	
SCALE: 1:100	DATUM: AHD	
LONG SECTION H:	CROSS SECTION H:	
V:	V:	
DATE OF PLAN: 27-11-19	APPROVED	
CHECKED: C.P.M.	Christopher P. Morris BE (Struct) MBE, Aust CP Eng MPEB RPED Accredited Engineer No. 895276	
DRAWN: P.S.		
JOB REF: 16058-C02	SHEET 1 OF 1 SHEETS	

NOTES:

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- 3) ORIGIN OF LEVELS ON AHD IS TAKEN FROM S.S.M. 26802 RL 183.491 A.H.D.
- 4) CONTOUR INTERVAL 0.5 METRE
- 5) CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- 6) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- 7) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- 8) SPOT LEVELS ARE ACCURATE.
- 9) BEARINGS SHOWN ARE ON M.G.A.-(MAP GRID OF AUSTRALIA.)



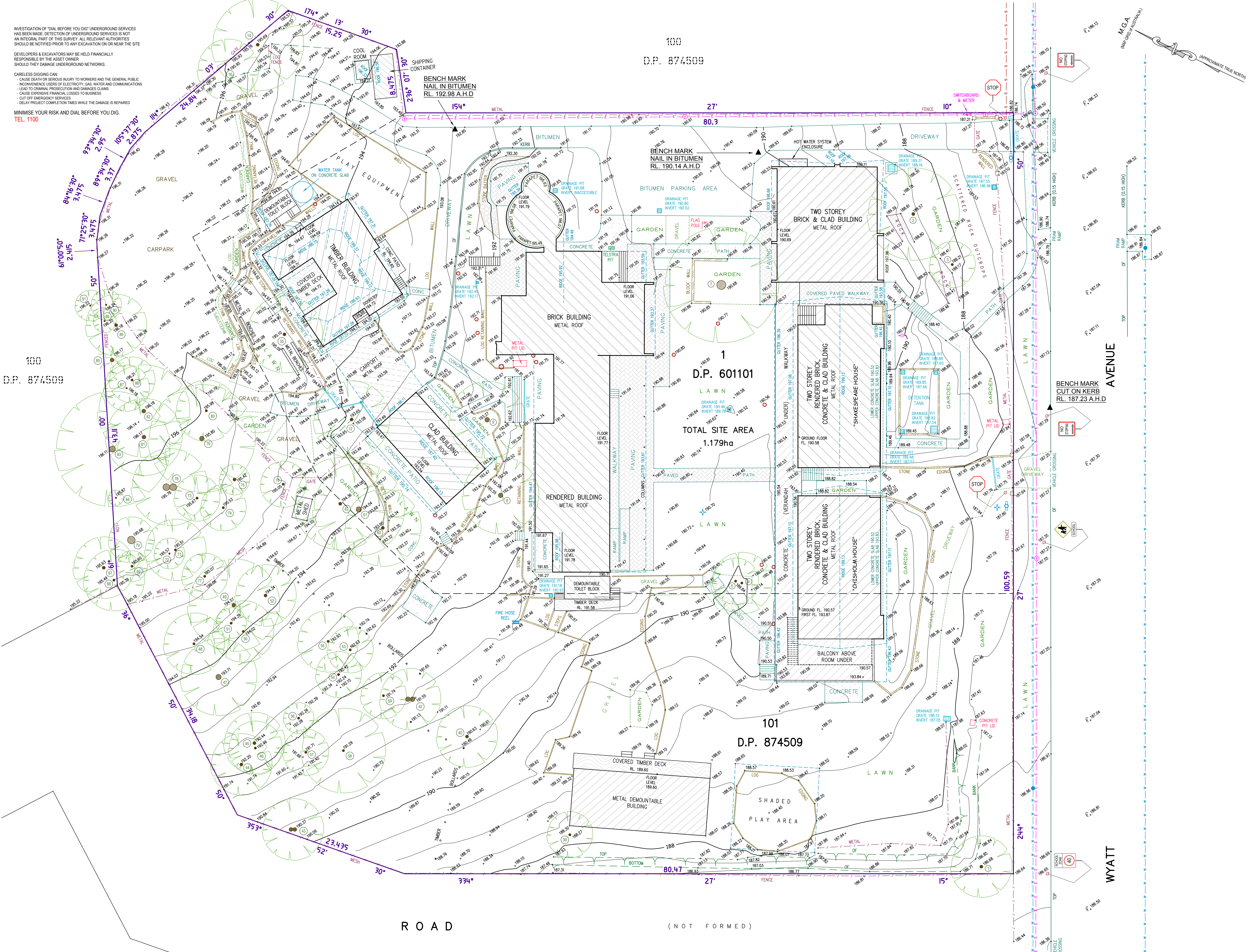
INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESSES
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100

TREE SCHEDULE				
POINT No.	TREE TYPE	DIAMETER	HEIGHT	SPREAD
1	EUCALYPT	0.40	14	8
2	EUCALYPT	0.40	18	12
3	EUCALYPT	0.30	16	6
4	EUCALYPT	0.30	6	8
5	EUCALYPT	0.30	8	6
7	EUCALYPT	1.20	20	15
8	LIQUID AMBER	0.60	14	10
9	EUCALYPT	0.60	10	10
10	EUCALYPT	0.30	2	6
11	EUCALYPT	0.60	10	10
12	EUCALYPT	0.40	20	10
13	TREE	0.40	10	8
14	EUCALYPT	0.40	14	12
16	EUCALYPT	0.20	10	8
35	NORTHERN PINE	0.40	18	10
39	EUCALYPT	0.30	12	0
40	EUCALYPT	0.40	14	8
42	EUCALYPT	260.60	16	8
43	EUCALYPT	260.50	15	8
44	EUCALYPT	0.40	9	8
45	EUCALYPT	0.40	16	8
46	BANKSIA	0.30	6	4
47	EUCALYPT	0.70	14	10
48	EUCALYPT	0.30	16	8
49	EUCALYPT	0.50	18	12
50	EUCALYPT	0.30	10	8
51	EUCALYPT	0.30	12	4
52	EUCALYPT	0.40	15	8
53	EUCALYPT	0.30	12	6
54	TREE	0.30	12	6
55	EUCALYPT	0.30	12	8
56	EUCALYPT	0.30	14	4
57	EUCALYPT	0.30	13	6
58	EUCALYPT	0.30	16	11
59	EUCALYPT	0.30	10	6
60	EUCALYPT	0.40	18	10
61	EUCALYPT	0.70	12	12
62	PINE	0.40	16	12
67	EUCALYPT	0.40	14	8
68	EUCALYPT	0.30	10	8
69	BANKSIA	0.30	8	4
70	EUCALYPT	240.40	12	6
71	EUCALYPT	0.30	12	8
72	BANKSIA	0.20	5	4
73	EUCALYPT	0.30	10	6
74	EUCALYPT	0.30	12	6
75	EUCALYPT	0.40	5	4
76	EUCALYPT	0.30	12	6
77	EUCALYPT	0.30	12	6
78	EUCALYPT	240.90	14	10
79	EUCALYPT	0.60	18	14
80	TREE	0.30	20	8
81	EUCALYPT	0.50	16	10
82	EUCALYPT	0.50	18	12
83	EUCALYPT	0.80	18	16
84	BANKSIA	0.20	6	2
85	DEAD TREE	0.50	8	4
86	EUCALYPT	0.30	10	6
87	BANKSIA	0.20	6	6
88	BANKSIA	0.20	5	3
89	EUCALYPT	0.40	10	8
90	EUCALYPT	0.20	8	4
91	EUCALYPT	0.20	12	4



Bee & Lethbridge Pty Ltd
Suite 2, 14 Starkey Street,
PO Box 330, Forestville, NSW 2087
Phone: 9451 6757 Fax: 9975 3535
Email: survey@beelth.com.au
ABN: 13 003 194 447
www.beelth.com.au

LEGEND

43 DENOTES TREE AND TREE NUMBER
SEE TREE SCHEDULE

43 DENOTES CENTRE LINE OF ROAD

43 DENOTES TOP OF GUTTER

43 O/H/EAD ELECTRIC LINES

43 WATER LINES

43 SEWER VENT

43 INSPECTION CAP

43 POWER POLE

43 LIGHT POLE

43 WATER METER

43 HYDRANT

43 TAP

43 SIGN POST

COPLAND & LETHBRIDGE
REGISTERED SURVEYOR N.S.W.
IDENTIFICATION No. 1470

No.	DATE	SURVEYED	DRAWN	DESCRIPTION
03	27/11/2019	C.L.	S.C.	DETAIL ADDED & UPDATED
02	10/04/2018	C.L./G.C.	S.C.	DETAIL ADDED & UPDATED
01	26/06/2017	C.L./G.C.	S.C.	DETAIL ADDED & UPDATED

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 1 IN D.P. 601101 & LOT 101 IN D.P. 874509 KNOWN AS No. 6 WYATT AVENUE "JOHN COLET SCHOOL", BELROSE.

L.G.A.: NORTHERN BEACHES

CLIENT: JOHN COLET SCHOOL
PROPERTY: No. 6 WYATT AVENUE "JOHN COLET SCHOOL", BELROSE

DATUM: A.H.D.
SCALE: 1:200 @ B1
DATE: 10/07/2012

SURVEYED: C.L./M.R.
DRAWN: R.M.
DWG No.: 17751-03

REF No.: 17751
SHEET No.: 1 of 1
REV No.: 03