

STANDARD CONSTRUCTION NOTES

WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH;  
AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH N.C.C. 3.8.3.3
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01

ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH N.C.C. 3.4.1. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 – PLUMBING AND DRAINAGE.

TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER; AS 3660.1:2014 – TERMITE MANAGEMENT

GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM SLIDING (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;  
AS 1288:2006 GLASS IN BUILDINGS  
AS 4055:2012 WIND LOADS FOR HOUSING
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH N.C.C. 3.9.2.5

STEPS, STAIRS & BALUSTRADES

- ALL STEPS & STAIRS TO HAVE; 240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH N.C.C. 3.9.1.
- BALUSTRADE IN ACCORDANCE WITH N.C.C. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH N.C.C. 3.9.1.4 AND AS 4586:2013 SLIP RESISTANCE.

WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH; AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

INTERNAL ELEVATIONS

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

BASIX COMMITMENTS

Certificate No.: 1162158S\_04

Date of Issue: 09.07.2021

WATER COMMITMENTS

FIXTURES

- 4 STAR RATED SHOWERHEADS >6 BUT <7.5L/MIN.
- 4 STAR RATED TOILET FLUSHING SYSTEMS
- 4 STAR RATED KITCHEN TAPS
- 4 STAR RATED BASIN TAPS

ALTERNATIVE WATER

- PROVIDE A RAINWATER TANK OF AT LEAST 6880L
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE ENTIRE ROOF AREA.
- TANK MUST BE CONNECTED TO;
  - ALL TOILETS
  - WASHING MACHINE COLD WATER TAP
  - AT LEAST ONE OUTDOOR TAP

ENERGY COMMITMENTS

HOT WATER

- 31 TO 35 STC RATED ELECTRIC HEAT PUMP

COOLING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

HEATING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 3.5-4.0
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 3.5-4.0
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

VENTILATION

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
  - AT LEAST 1 BATHROOM
  - THE KITCHEN
  - THE LAUNDRY

ARTIFICIAL LIGHTING

- PROVIDE ENERGY EFFICIENT LIGHTING TO EACH OF THE FOLLOWING ROOMS. THOSE NOTED 'DEDICATED' MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) TYPE LAMPS:
  - AT LEAST 5 BEDROOMS/STUDY
  - AT LEAST 4 LIVING/DINING ROOMS
  - THE KITCHEN
  - ALL BATHROOMS/TOILETS
  - THE LAUNDRY
  - ALL HALLWAYS

NATURAL LIGHTING

- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 3 BATHROOMS/TOILET FOR NATURAL LIGHTING

OTHER COMMITMENTS

- PROVIDE A WELL VENTILATED FRIDGE SPACE
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

hebel®Power Panel

WALL PANELS

OR RENDERED LIGHTWEIGHT SUBSTRATE CLADDING ABOVE LOWER ROOFS WHERE APPLICABLE

FLOOR JOIST SPECS

- 360MM DEEP FLOOR JOIST
- 300MM DEEP FLOOR JOIST TO WET AREA
- 22MM RED TONGUE PARTICLE BOARD FLOORING

PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS FOR AIR-CONDITIONING BY METRICON

PROVIDE NOGGINGS AT 750MM HIGH ABOVE FFL FOR FIXING OF WALL MOUNTED VANITIES TO:

- ENSUITE 1
- ENSUITE 2
- BATHROOM

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE SQUARE SET CEILING CORNERS TO

- GROUND FLOOR ONLY
  - ENSUITE 1 (EXCLUDING STANDARD WET AREAS/ROBES/LINENS & BROOM)
  - ENSUITE 2
  - BATHROOM
  - LAUNDRY
  - ENSUITE 1 W.C.
  - ENSUITE 2 WC
  - W.I.L.
- FIRST FLOOR ONLY
  - STANDARD WET AREAS/ROBES/LINENS & BROOM)

PROVIDE 2340MM (H) INTERNAL DOORS TO THE GROUND FLOOR ONLY UNLESS OTHERWISE NOTED (EXCLUDES SLIDING ROBE DOORS)

Refer to:

LoveLight

Curtains & Blinds

Dated: 29.03.21

Refer to:

STUDIO/M

Dated: 09.04.21

Refer to:

TILE STUDIO

metricon

Dated: 15.04.21

DESIGN: LIBERTY 40

FACADE: ASPIRE

CEILING: 25, L

GARAGE: DOUBLE

LOCATION: F

DESIGNER

m metricon

OWNER: MR & MRS SKALIC

LOT 2 (NO.50) CARAWA ROAD

CROMER

BY METRICON

Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153

P.O. Box 7510, Norwest Business Park NSW 2153

Tel: 02 8887 9000 Fax: 02 8079 5901

Contractor Licence No: 174 699 A.C.N. 005 108 752

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JOB No: 716255

DATE: 05.11.2020

FC DATE: DD.MM.YYYY

MST VER: 15.01.2018

SCALE:

REVISION: G

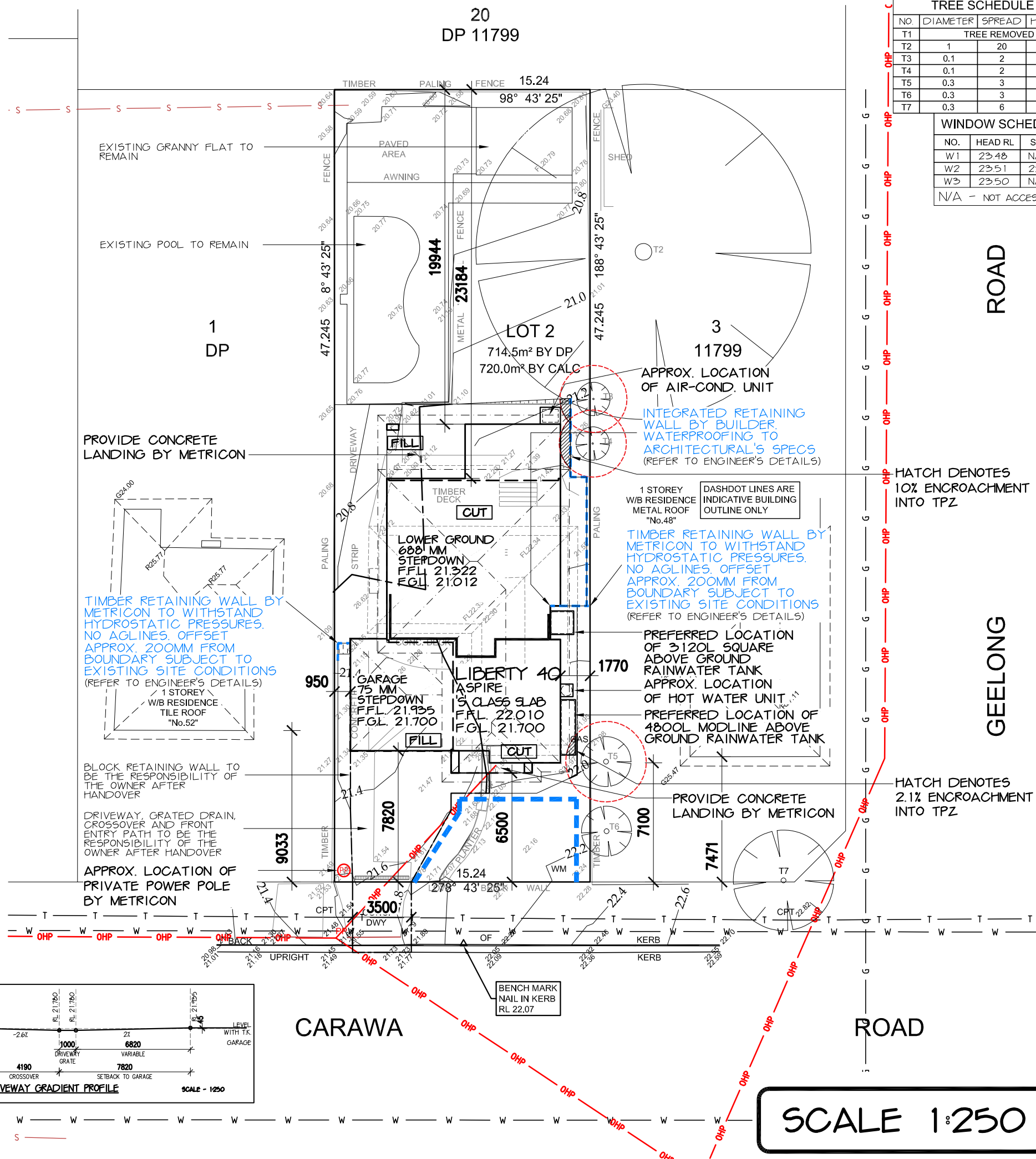
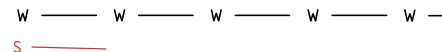
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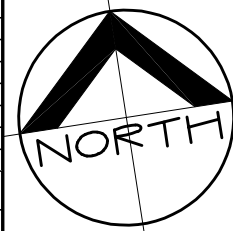
SHEET: COVER

<b>NORTHERN BEACHES</b> <b>BASED ON</b> <b>WARRINGAH DCP 2011</b>	
<b>SITE AREA:</b>	<b>720 SQM</b>
<b>PROPOSED ROOF COVERAGE</b>	
<b>ROOF COVERAGE AREA:</b>	<b>253.75 SQM</b>
<b>LANDSCAPED AREA</b>	
<b>TOTAL LANDSCAPED AREA:</b>	<b>414.61 SQM</b>
EXCL. ALL HARD SURFACES.	
MINIMUM DIMENSION OF 2M	<b>57.58 %</b>
<b>MIN. REQUIRED BY COUNCIL:</b>	<b>40 %</b>
<b>PRIVATE OPEN SPACE</b>	
<b>PRIVATE OPEN SPACE:</b>	<b>334.92 SQM</b>
<b>MIN. REQUIRED BY COUNCIL:</b>	<b>60 SQM</b>
MINIMUM DIMENSION OF 5M	
<b>BUILDING ENVELOPE</b>	
PROVIDE <b>45 DEGREE</b> PLANE PROJECTED AT <b>5.0M</b> HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
<b>BUILDING HEIGHT RESTRICTION</b>	
<b>MAXIMUM 8.5M RIDGE HEIGHT</b> <b>MAXIMUM 7.2M CEILING HEIGHT</b> (F.F.L. MUST BE ACCURATE TO COMPLY)	
<b>MAXIMUM 1000 MM CUT</b> <b>MAXIMUM 1000MM FILL</b> DEEP EDGE BEAM TO NATURAL GROUND NO EXPOSED FILL PERMITTED	
<b>DEMOLITION REQUIREMENTS:</b>	
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.	

- A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



TREE SCHEDULE			
NO	DIAMETER	SPREAD	HEIGHT
T1	TREE REMOVED		
T2	1	20	25
T3	0.1	2	4
T4	0.1	2	4
T5	0.3	3	6
T6	0.3	3	4
T7	0.3	6	3



MM

**EXCAVATION NOTES:**  
**50MM (+/-) TOLERANCE TO NOMINATED R.L.'S**  
 UPPER LEVEL  
**EXCAVATE APPROX. 300MM ON R.L. 21.700**  
**AND FILL APPROX. 360MM**  
 LOWER LEVEL  
**EXCAVATE APPROX. 100MM ON R.L. 21.012**  
**AND FILL APPROX. 250MM**  
 EXCAVATIONS ARE TO START A MINIMUM OF  
 1000MM FROM THE EDGE OF THE BUILDING  
 AND ARE TO BE BATTERED BACK TO SUIT  
 IT IS THE RESPONSIBILITY OF THE OWNER TO  
 PROVIDE A GRATED DRAIN ACROSS GARAGE  
 OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION  
 OF DRIVEWAY

**IMPORTANT NOTES:**  
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL  
& NOT TO BE USED BY ANY OTHER CONTRACTORS  
OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO  
STREET GUTTER  
VIA RAINWATER TANKS  
REFER TO HYDRAULIC ENGINEER'S DETAILS

**TEMPORARY SITE FENCING:**  
METRICON TO PROVIDE FENCING  
TO ANY UNFENCED BOUNDARIES  
(AS REQUIRED)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE  
ALL WEATHER ACCESS TO BUILDING  
PLATFORM DURING CONSTRUCTION

## SURVEY LEGEND

<p>_____ S _____</p> <p>UGROUND SEWER MAINS</p>	<p>_____ W _____</p> <p>UGROUND WATER MAINS</p>	<p>_____ T _____</p> <p>UGROUND TELECOM LINE</p>
<p>_____ G _____</p> <p>UGROUND GAS MAINS</p>	<p>_____ OHP _____</p> <p>OHEAD POWER SUPPLY</p>	<p>_____ UGP _____</p> <p>UGROUND POWER SUPPLY</p>
<p>_____</p> <p>TOP OF KERB</p>		
<p>_____</p> <p>EDGE OF BITUMEN</p>		
<p>VP POWER POLE</p> <p>PB POWER BOX</p> <p>SP SERVICE POLE</p> <p>LP LIGHT POLE</p> <p>HYD HYDRANT</p> <p>WM WATER METER</p>	<p>SV STOP VALVE</p> <p>SMH SEWER MAINTENANCE HOLE</p> <p>SIO SEWER INSPECTION OPENING</p> <p>TELECOMMUNICATIONS PIT</p> <p>GAS MARKER</p> <p>KERB INLET</p> <p>STORMWATER PIT</p>	<p>GRATED STORMWATER PIT</p> <p>BENCHMARK</p> <p>TREE</p>

ASPECT SURVEY DATE: 27.08.2019

CONTOUR INTERVALS: 200 MM

LEVELS TO: AHD

# SITE PLAN



Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
P.O. Box 7510, Norwest Business Park NSW 2153  
Tel: 02 8887 9000 Fax: 02 8079 5901  
Contractor Licence No: 174 699  
A.C.N. 005 108 752 [www.metricon.com.au](http://www.metricon.com.au)

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MR & MRS SKALIC  
LOT 2 (NO.50) CARAWA ROAD  
CROMER

JOB No. 716255

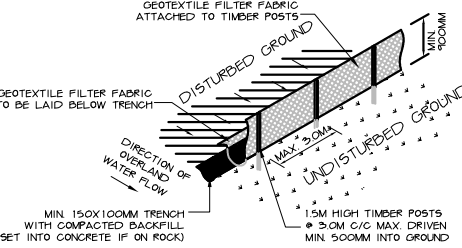
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SCALE: 1:250	SHEET: 1 OF 10

SCALE 1:250



SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
- 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD
- 5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
- 6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
- 7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL  
NOT TO SCALE

TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

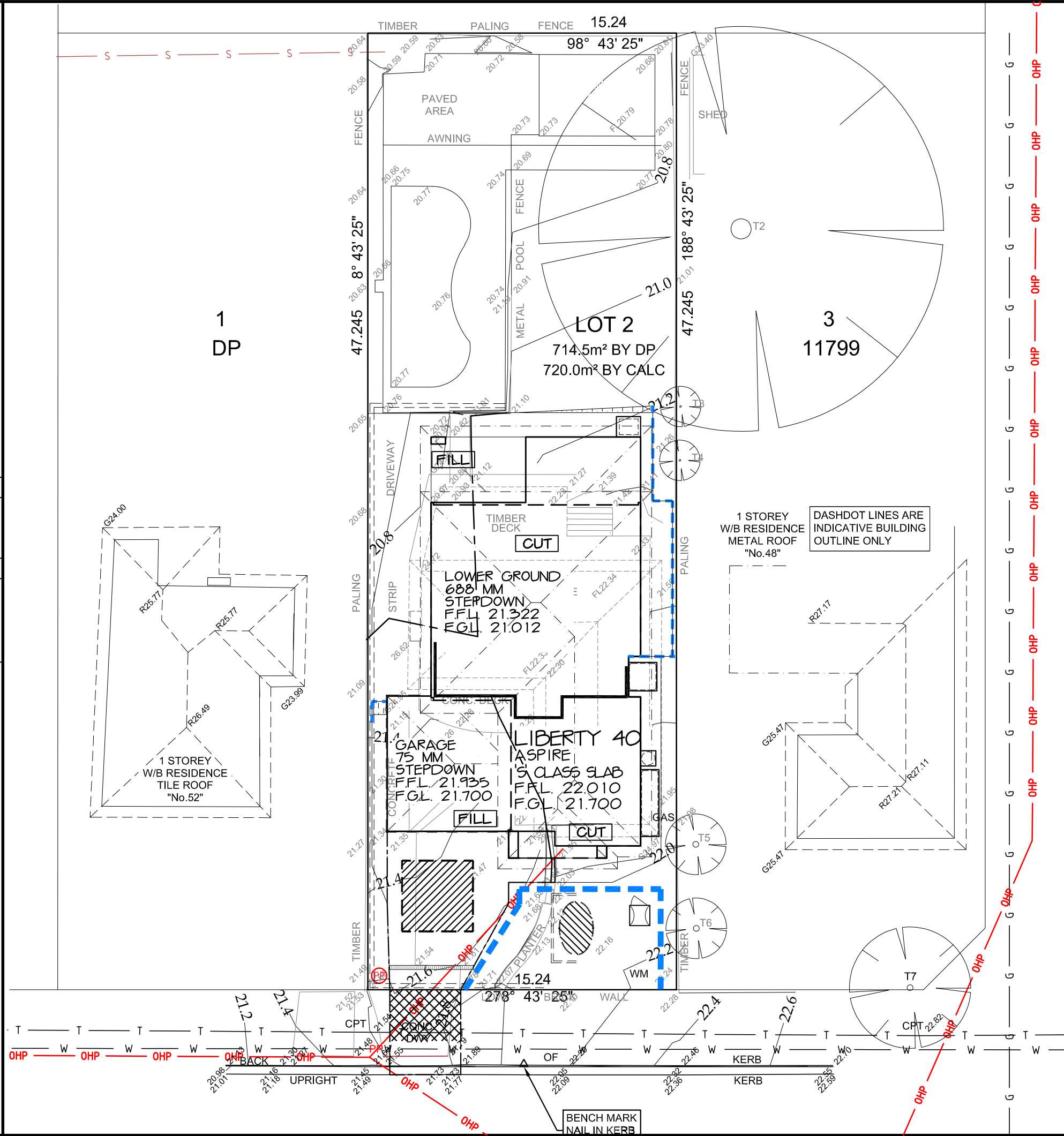
SEDIMENT FENCE

WASTE STORAGE AREA

MATERIAL STORAGE AREA

PORTABLE TOILET

ALL WEATHER ACCESS POSITION



	LOT NO: 2	
	DEPOSITED PLAN: 11799	
	COUNCIL / LGA: NORTHERN BEACHES	
	SLAB CLASS:	S
WIND SPEED:		N2
MM		

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)
ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION
ASPECT SURVEY DATE: 27.08.2019
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD

**m**  
**metricon**

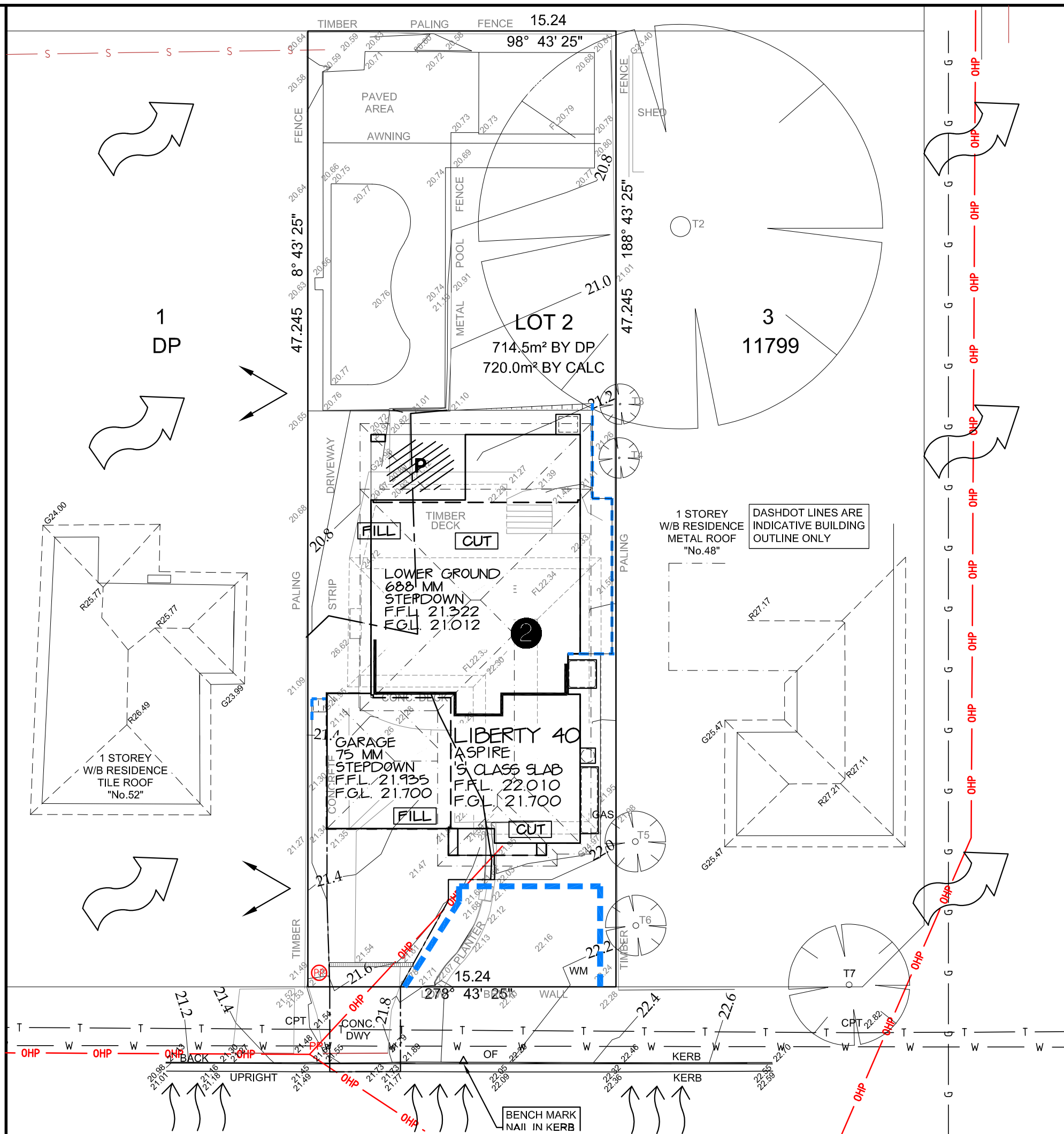
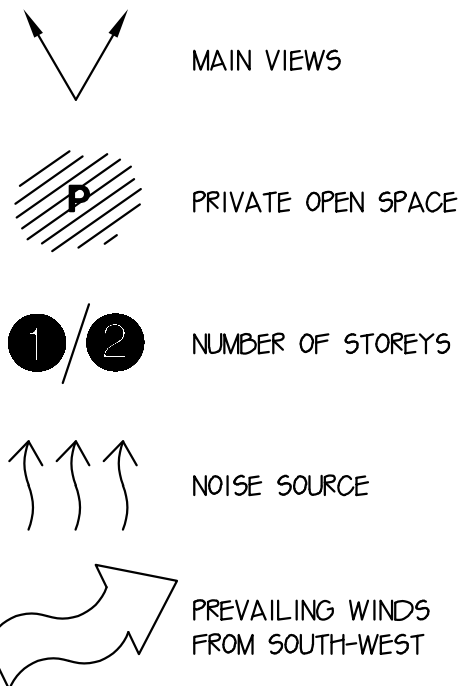
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
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MR & MRS SKALIC  
LOT 2 (NO.50) CARAWA ROAD  
CROMER

JOB No: 716255	
DATE: 05.11.2020	DRAWN: PG/1JA
SCALE: 1:250	SHEET: 1A OF 10

## LEGEND





LOT NO:  
2

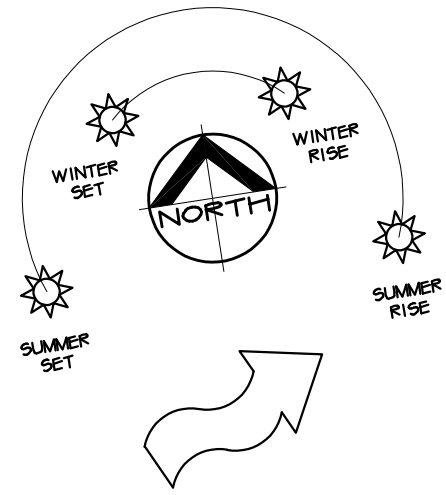
DEPOSITED PLAN:  
11799

COUNCIL / LGA:  
NORTHERN BEACHES

SLAB CLASS:  
S

WIND SPEED:  
N2

MM



WINTER SET  
WINTER RISE  
SUMMER SET  
SUMMER RISE

### SITE ANALYSIS PLAN


**TEMPORARY FENCING:**  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

ASPECT SURVEY DATE: 27.08.2019

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD



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## MR & MRS SKALIC

LOT 2 (NO.50) CARAWA ROAD  
CROMER

JOB No: 716255

DATE: 05.11.2020	DRAWN: PG/1JA
SCALE: 1:250	SHEET: 1B OF 10

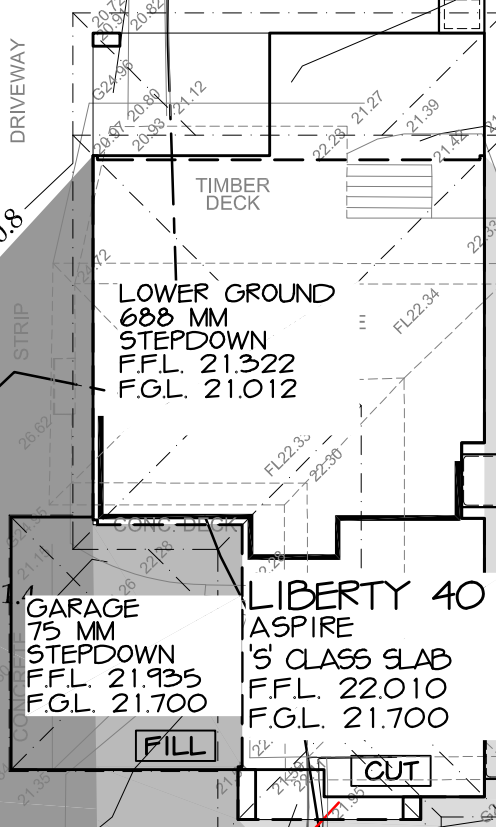
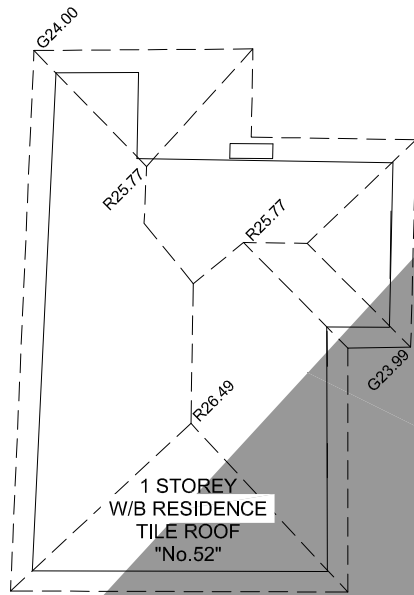
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1  
DP

LOT 2

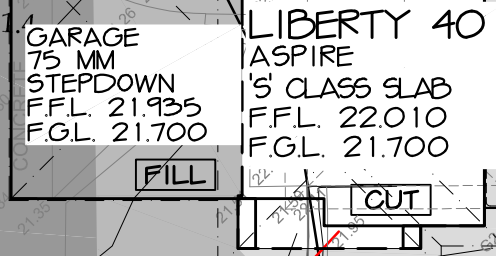
714.5m<sup>2</sup> BY DP  
720.0m<sup>2</sup> BY CALC

3  
11799



1 STOREY  
W/B RESIDENCE  
METAL ROOF  
"No. 48"

DASHDOT LINES ARE  
INDICATIVE BUILDING  
OUTLINE ONLY



LIBERTY 40  
ASPIRE  
'S CLASS SLAB  
F.F.L. 22.010  
F.G.L. 21.700

FILL

CUT

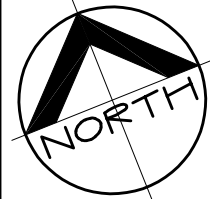
BENCH MARK  
NAIL IN KERB  
RL 22.07

CARAWA

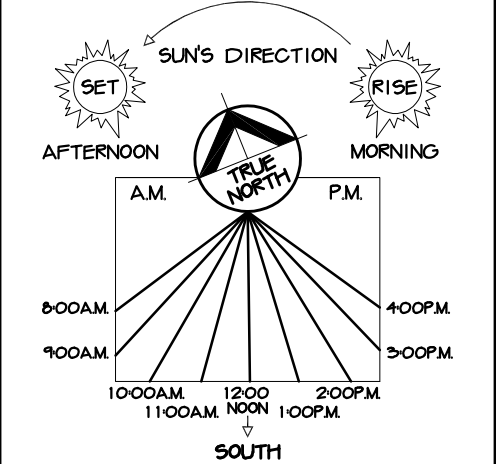
ROAD

ROAD

GEELONG



LOT NO:	2
DEPOSITED PLAN:	11799
COUNCIL / LGA:	NORTHERN BEACHES
SLAB CLASS:	S
WIND SPEED:	N2



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO  
BE USED AS TRUE NORTH POINT FOR THIS JOB

SHADOW LOCATION	TIME OF DAY
	9:00 A.M. JUNE 21
	12:00 NOON JUNE 21
	3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO (METRES)	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	359.19
1:00 PM	1.68	30.8	343.16
2:00 PM	2.08	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.48	8.77	305.94

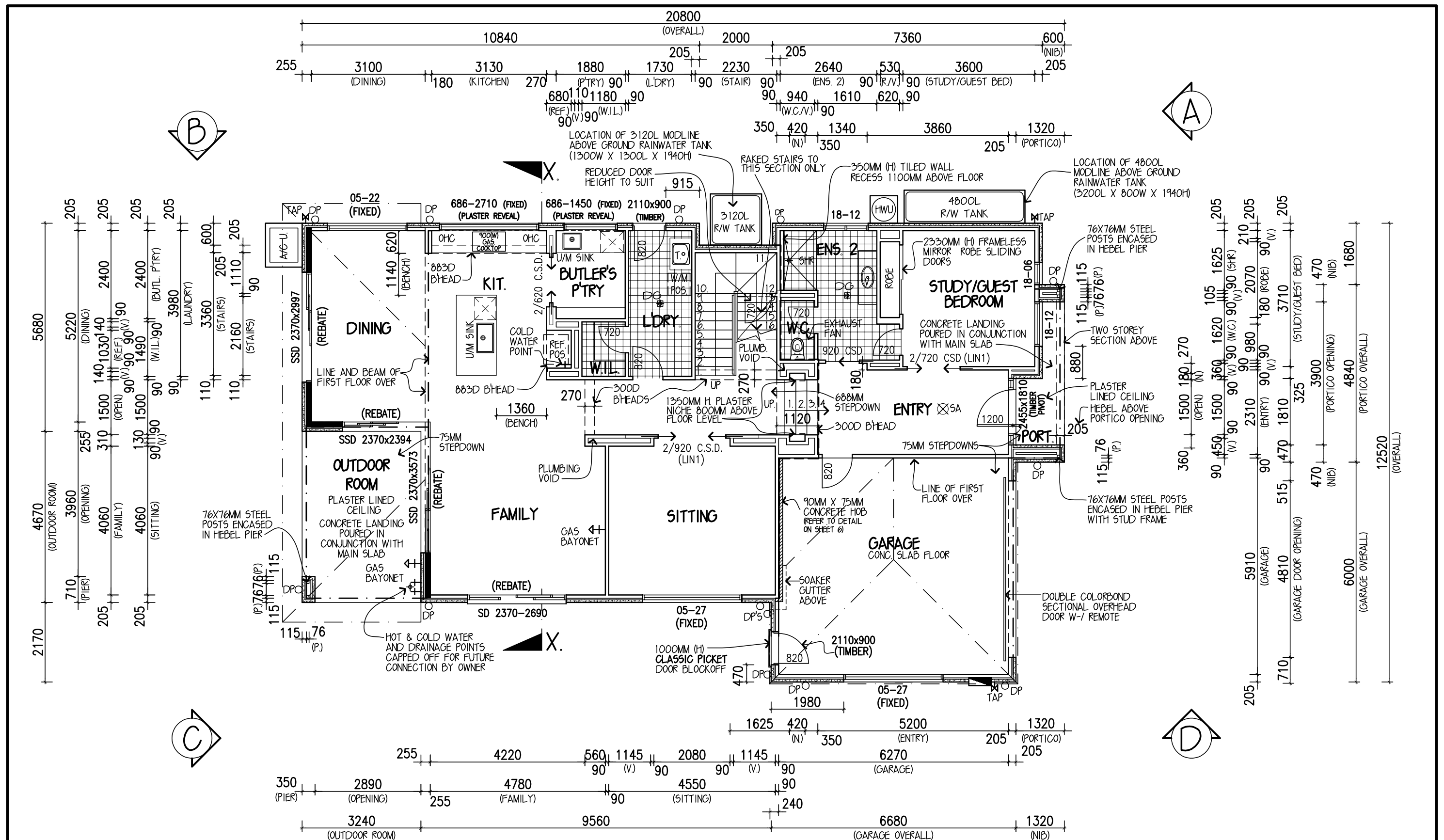
ASPECT SURVEY DATE: 27.08.2019  
CONTOUR INTERVALS: 200MM  
LEVELS TO: AHD  
SHADOW DIAGRAM @ JUNE 21

**m**  
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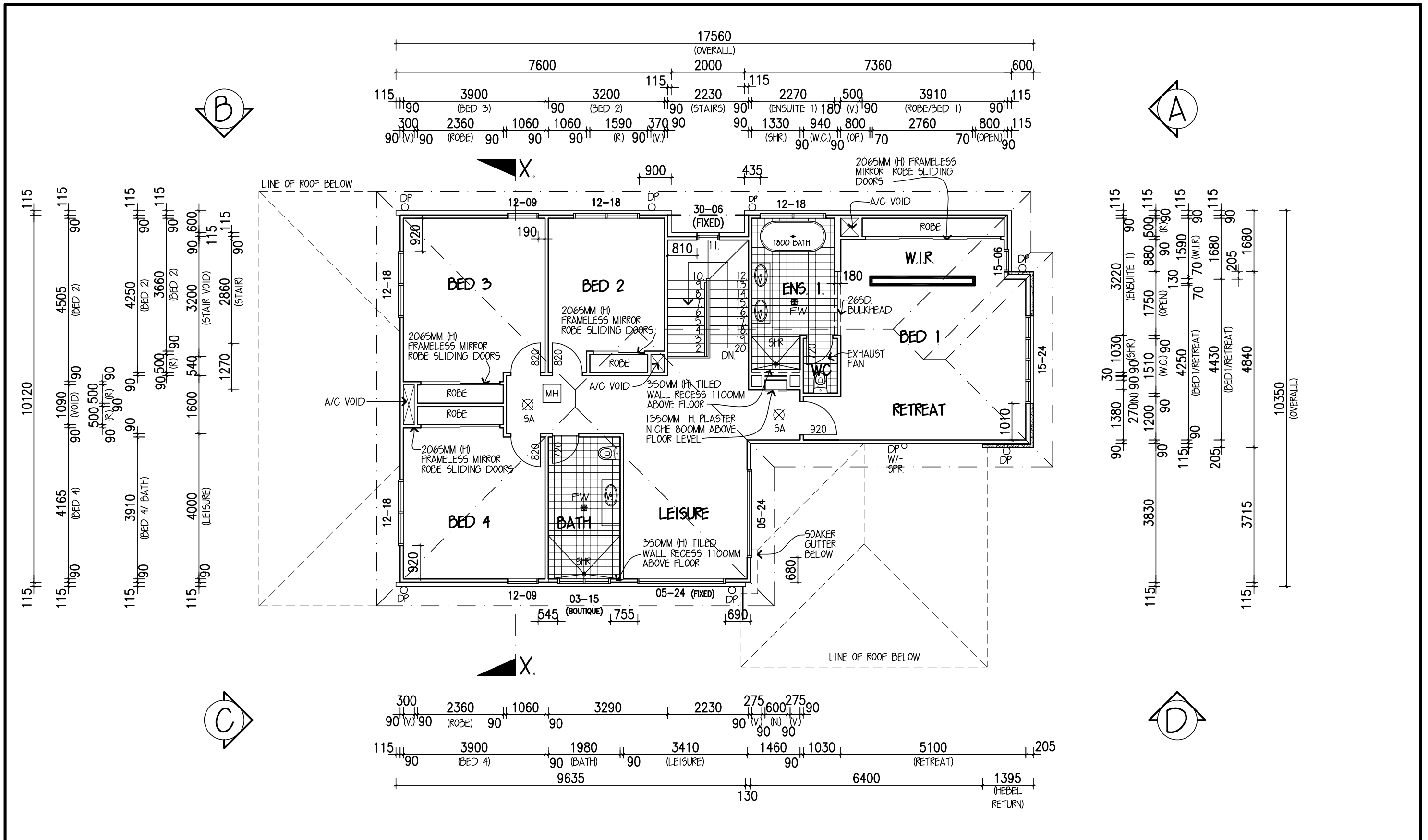
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LOT 2 (NO.50) CARAWA ROAD  
CROMER

JOB No:	716255
DATE:	05.11.2020
SCALE:	1:250
DRAWN:	PG/1JA
SHEET:	10 OF 10







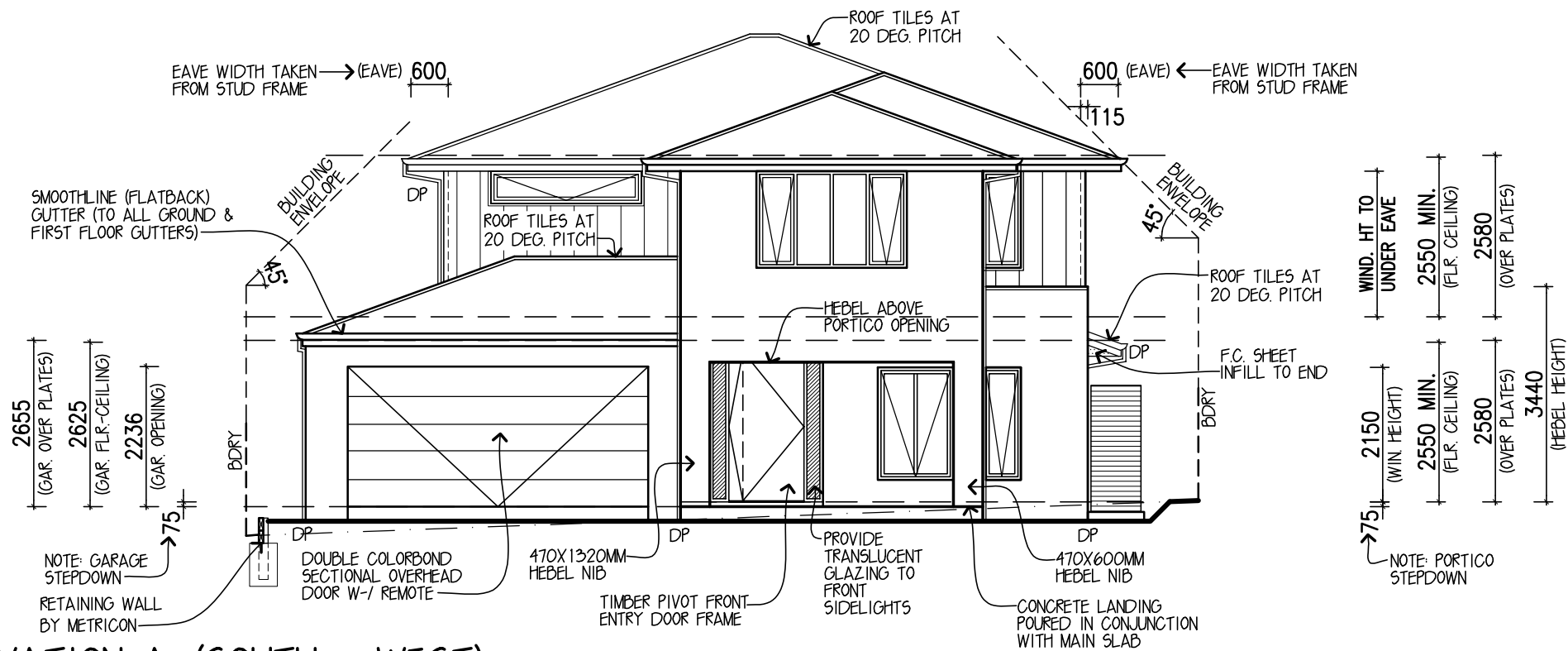
<b>SYMBOL LEGEND</b>		<b>DESIGN: LIBERTY 40</b>		<b>DESIGNER</b>		<b>OWNER: MR &amp; MRS SKALIC</b>	
DOWNPIPE 90mm ROUND PVC DOWNPIPE 100x50mm RECT. C/BOND DOWNPIPE WITH SPREADER DOWNPIPE WITH RAINWATER HEAD EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.	GARDEN TAP GAS BAYONET COLD WATER POINT FLOOR WASTE ELEC. METERBOX 600x600 RECESSED AIR COND. UNIT MANHOLE FOR CEILING ACCESS	SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS LOAD BEARING WALL 70mm STUD WALL 120mm STUD WALL	FACADE: <b>ASPIRE</b> CEILING: 25, L GARAGE: <b>DOUBLE</b> LOCATION: F <b>FIRST FLOOR PLAN</b> METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.	Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Northwest Business Park NSW 2153 Tel: 02 8887 9000      Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes		<b>CROMER</b>	
				JOB No: <b>716255</b> DATE: <b>05.11.2020</b>			
				FC DATE: <b>DD.MM.YYYY</b> MST VER: <b>15.01.2018</b>			
				SCALE: <b>1:100 ON A3 SHEET</b> REVISION: <b>G</b>			
				DRAWN: <b>PG</b> CHECK: <b>CWK</b> SHEET: <b>3 of 10</b>			

**IMPORTANT NOTE:**  
REFER TO FACADE DETAIL  
REF. NO. **S-TYP-ASPI-11**

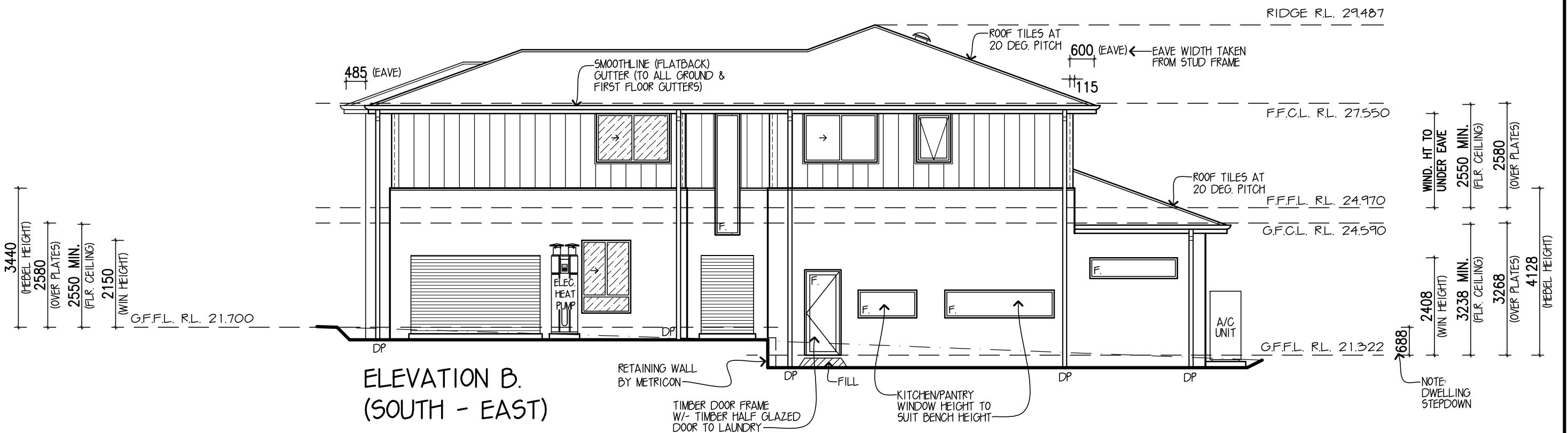
PROVIDE **ACRYLIC RENDER FINISH TO  
HEBEL PANELS** TO ALL ELEVATIONS  
(UNLESS NOTED OTHERWISE)

PROVIDE **JAMES HARDIES SCYON  
AXON SHEET CLADDING**  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: **S-TYP-CLAD-07**

 DENOTES WINDOWS/DOORS ACID  
ETCHED GLAZING







ELEVATION A. (SOUTH - WEST)



ELEVATION B.  
(SOUTH - EAST)

**SYMBOL LEGEND**

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROOF VENTILATOR		

DESIGN: **LIBERTY 40**  
FACADE: **ASPIRE** CEILING: 25, L  
GARAGE: **DOUBLE** LOCATION: F

**ELEVATIONS**

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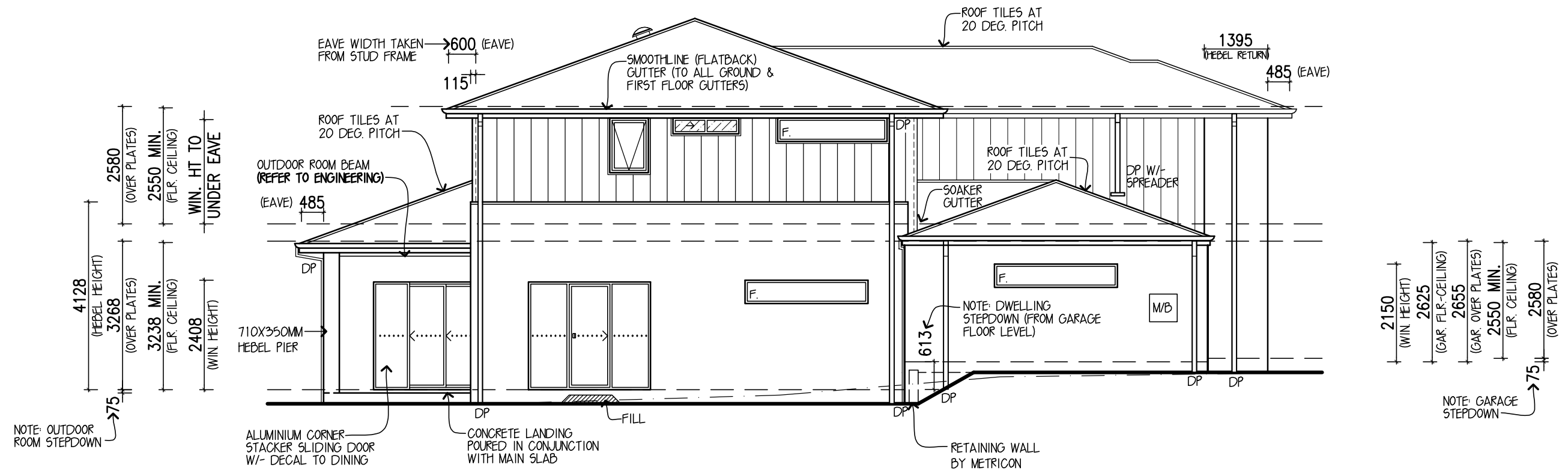
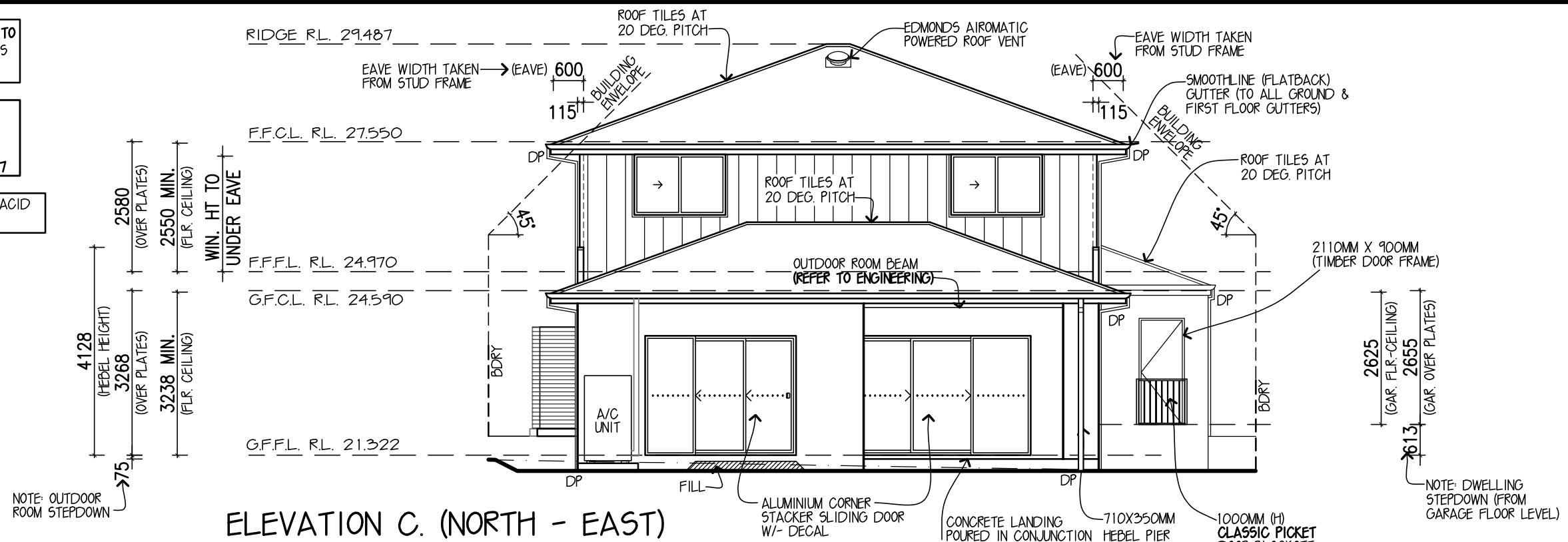
JOB No: <b>716255</b>	DATE: <b>05.11.2020</b>
FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.01.2018</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>G</b>
DRAWN: <b>PG</b>	CHECK: <b>CWK</b>
SHEET: <b>4</b> of <b>10</b>	



PROVIDE ACRYLIC RENDER FINISH TO  
HEBEL PANELS TO ALL ELEVATIONS  
(UNLESS NOTED OTHERWISE)

PROVIDE JAMES HARDIES SCYON  
AXON SHEET CLADDING  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: S-TYP-CLAD-07

DENOTES WINDOWS/DOORS ACID  
ETCHED GLAZING



#### SYMBOL LEGEND

M/B	RECESSED ELECTRICITY METER BOX	AJ	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
RWH	DOWNPIPE W/- RAINWATER HEAD		
DP	DOWNPIPE		
RV	ROOF VENTILATOR		

DESIGN: **LIBERTY 40**  
FACADE: **ASPIRE** CEILING: 25, L  
GARAGE: **DOUBLE** LOCATION: F

#### ELEVATIONS

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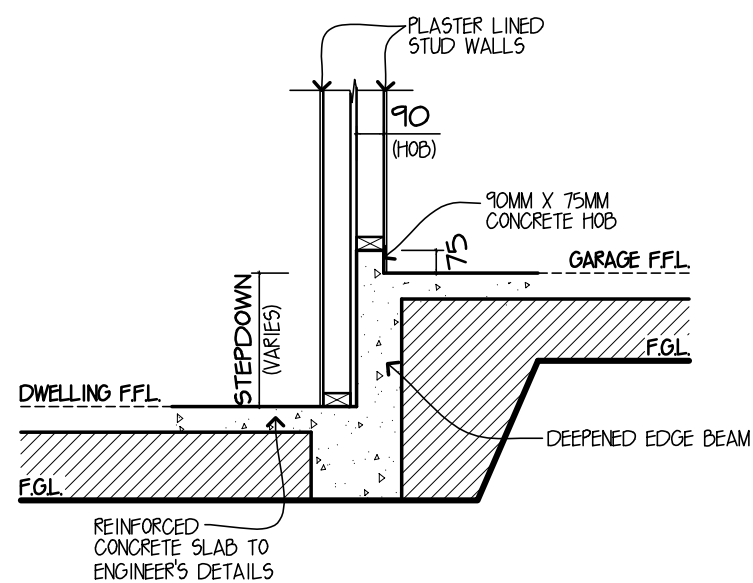
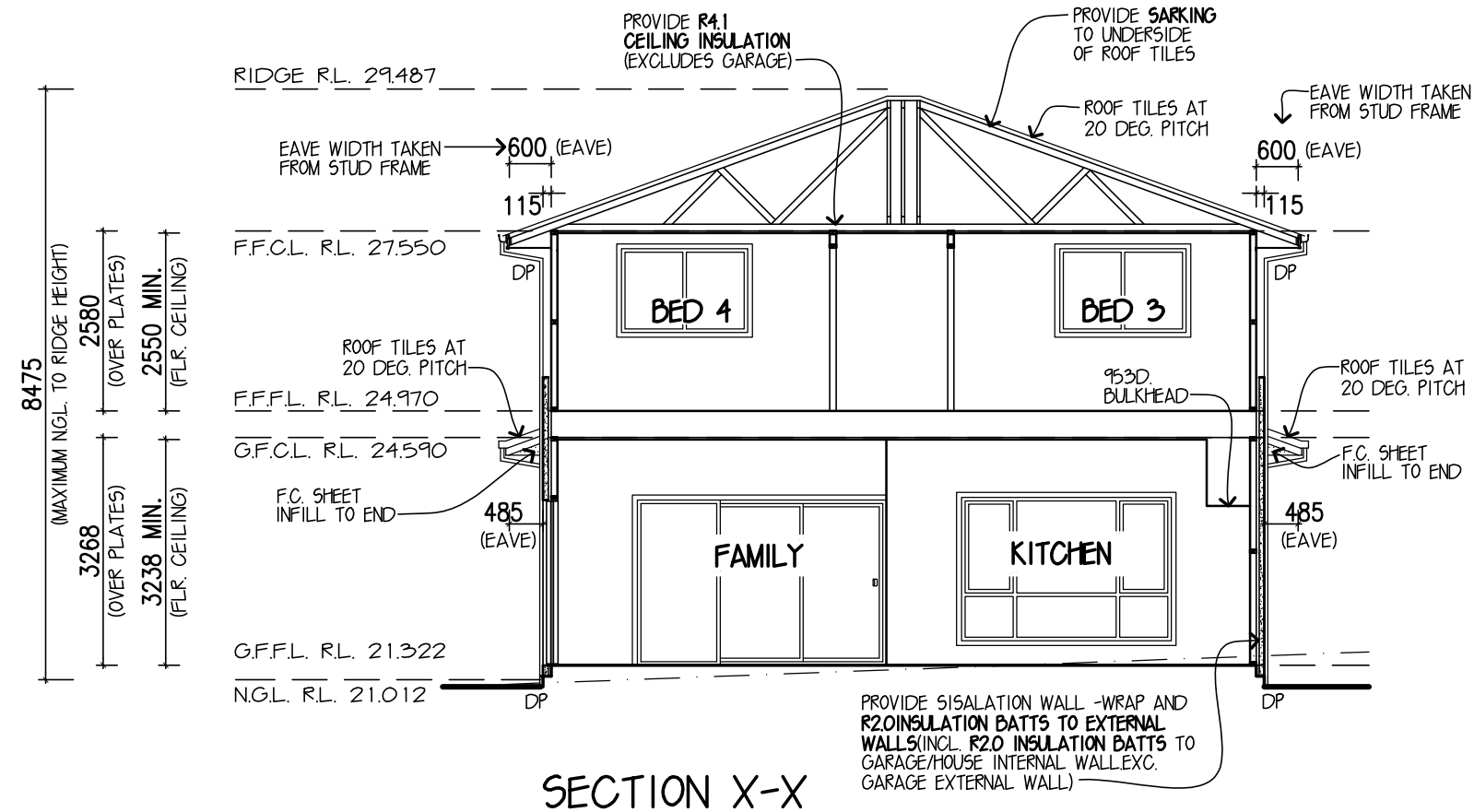


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FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.01.2018</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>G</b>
DRAWN: <b>PG</b>	CHECK: <b>CWK</b>
SHEET: <b>5 of 10</b>	



CONCRETE HOB TO REAR OF GARAGE  
DWELLING FFL BELOW GARAGE FFL (TYPICAL DETAIL)

DESIGN: **LIBERTY 40**

FACADE: **ASPIRE** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

## SECTION

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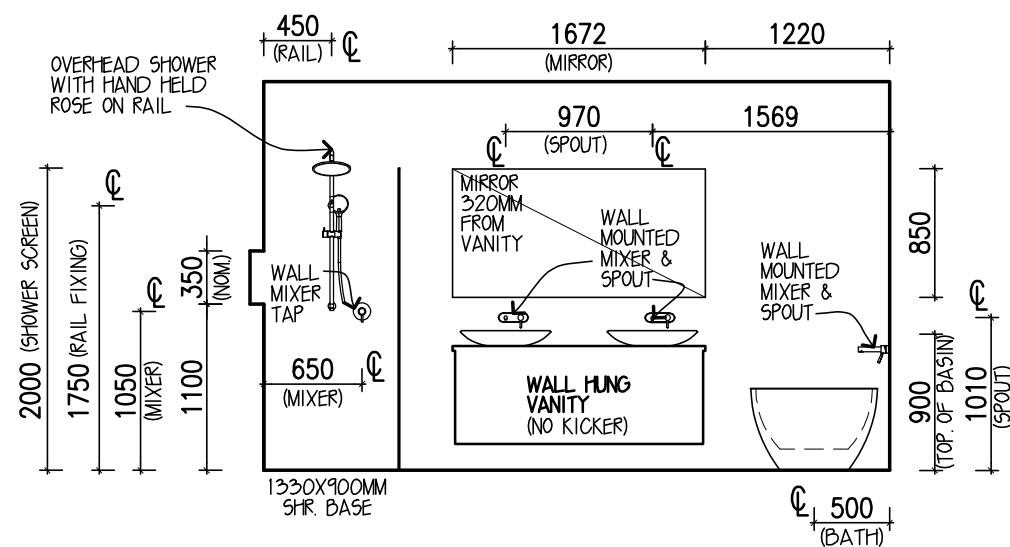
OWNER: **MR & MRS SKALIC**  
**LOT 2 (NO.50) CARAWA ROAD**  
**CROMER**

JOB No: **716255** DATE: **05.11.2020**

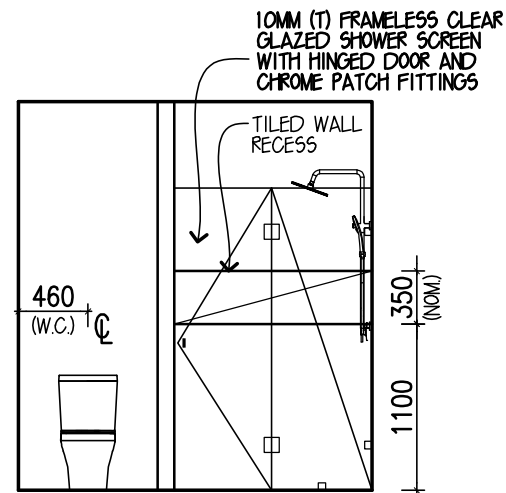
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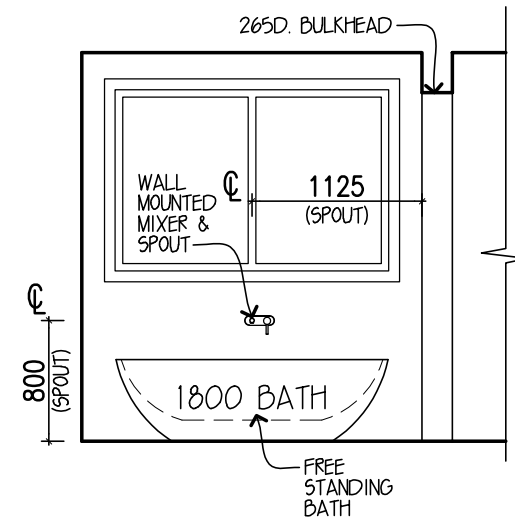
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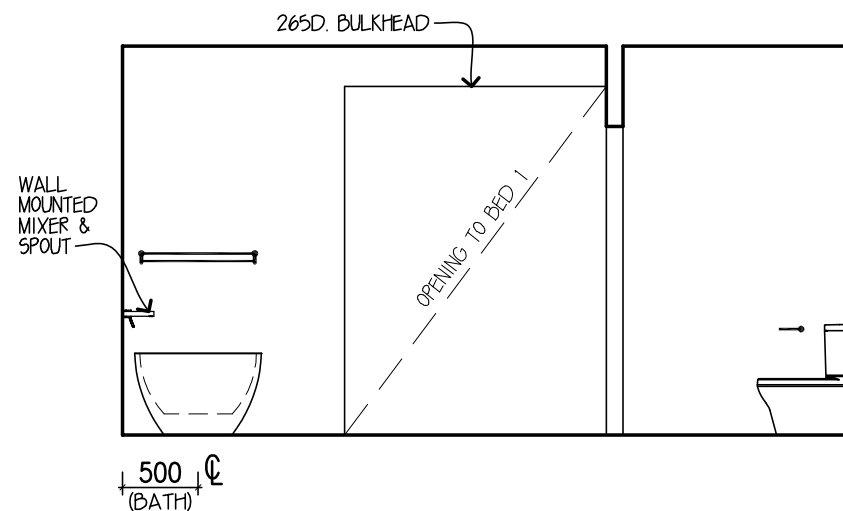
ELEVATION A  
ENSUITE 1.



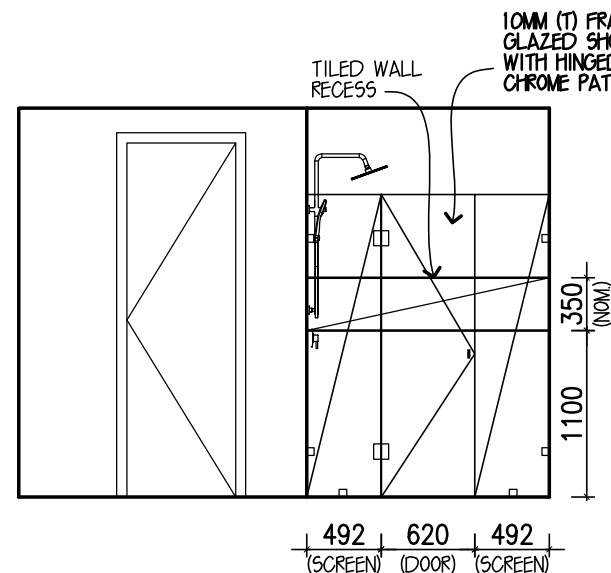
ELEVATION B



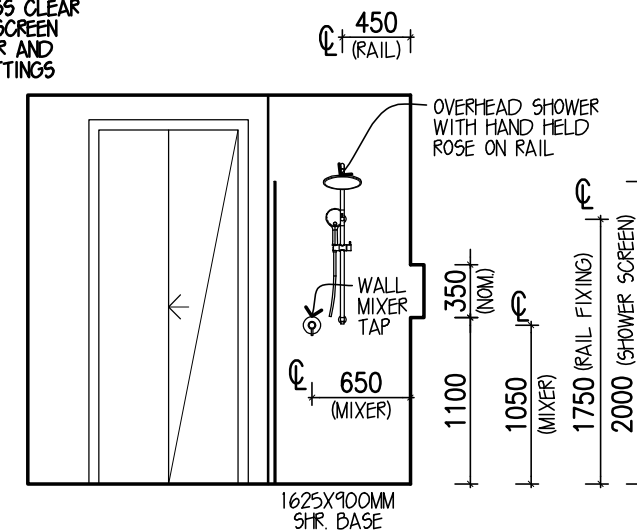
ELEVATION D



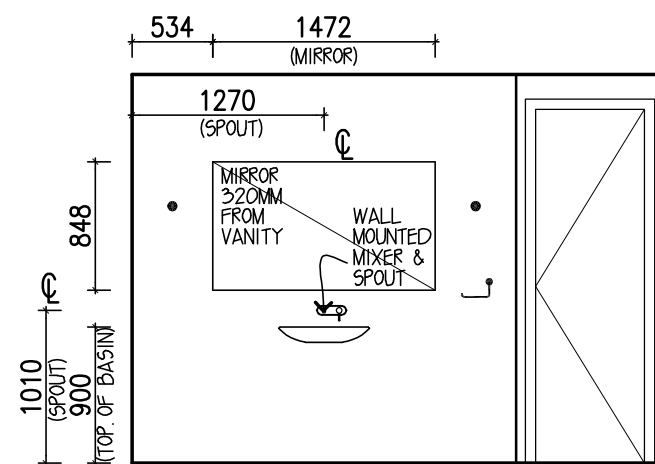
ELEVATION C  
ENSUITE 1/W.C.



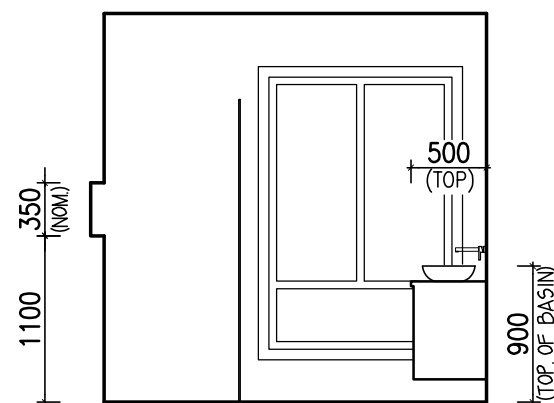
ELEVATION A  
ENSUITE 2.



ELEVATION B



ELEVATION C  
ENSUITE 2.



ELEVATION D

## BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (600)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (760)
SOAP HOLDER (1200MM ABOVE FFL)	—	SGL TOWEL RAIL (900)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
	—	DBL TOWEL RAIL (900)
	—	ALL TOWEL RAILS (1200MM ABOVE FFL)

## BATHROOM ACCESSORIES NOTES:

- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
- ALL SYMBOLS ARE GENERIC ONLY
- ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

## NOTES:

- \* TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- \* INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.
- \* ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE
- \* SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

DESIGN: **LIBERTY 40**

FACADE: **ASPIRE** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

## INTERNALS

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metricon

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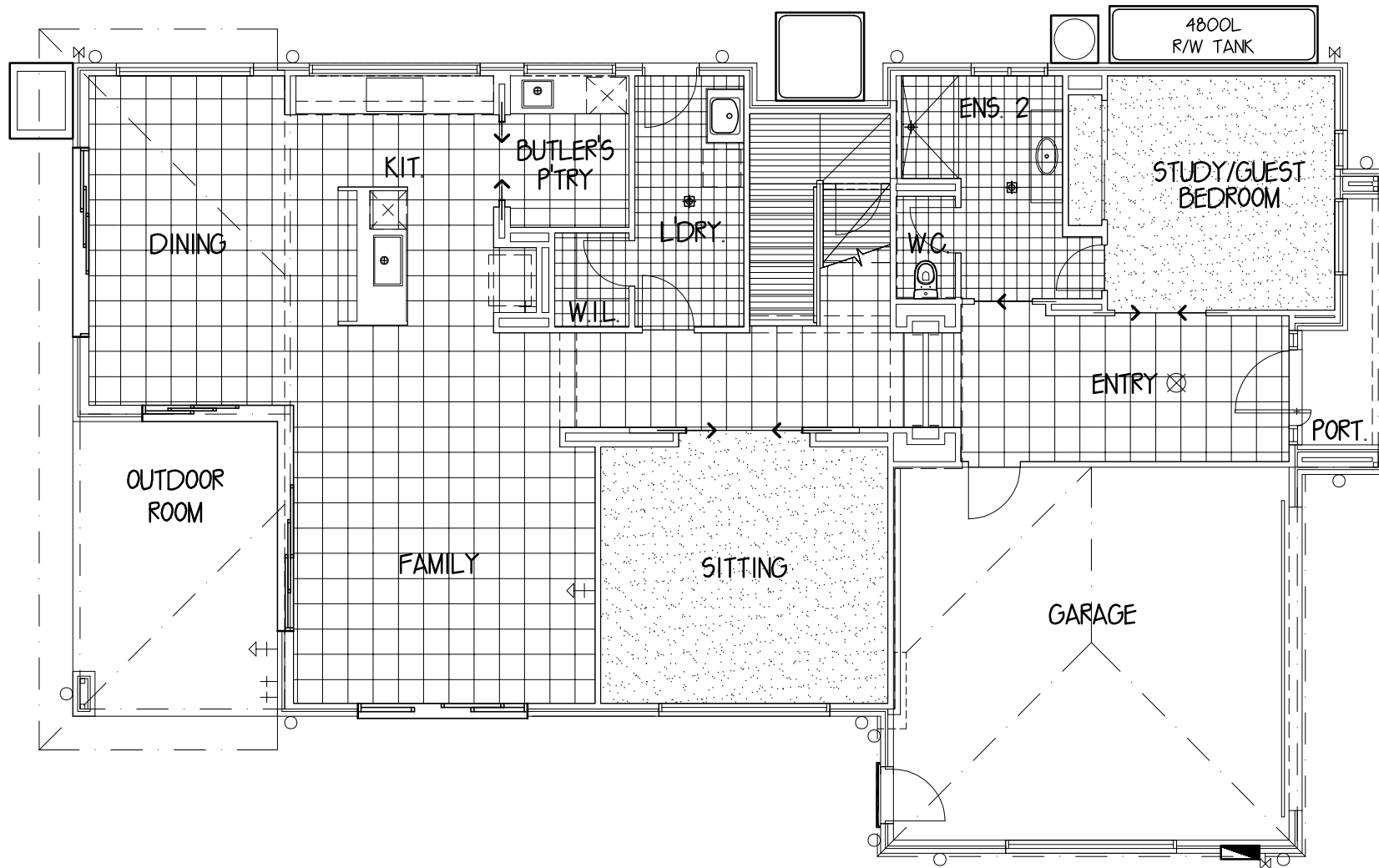
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SCALE: **1:50 ON A3 SHEET** REVISION: **G**

DRAWN: **PG** CHECK: **CWK** SHEET: **7 of 10**

JOB No: <b>716255</b>		DATE: <b>05.11.2020</b>	
FC DATE: <b>DD.MM.YYYY</b>		MST VER: <b>15.01.2018</b>	
SCALE: <b>1:50 ON A3 SHEET</b>		REVISION: <b>G</b>	
DRAWN: <b>PG</b>	CHECK: <b>CWK</b>	SHEET: <b>8 of 10</b>	





#### FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING  
TOTAL AREA: 17.74 SQM



TIMBER FLOOR AREAS  
TOTAL AREA: 0 SQM



CARPET FLOOR AREAS  
TOTAL AREA: 33.73 SQM



TILED FLOOR AREAS  
TOTAL AREA: 81.50 SQM

DESIGN: **LIBERTY 40**

FACADE: **ASPIRE**

CEILING: 25, L

GARAGE: **DOUBLE**

LOCATION: F

### GROUND FLOOR FLOOR COVERINGS

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**CROMER**

JOB No: **716255**

DATE: **05.11.2020**

FC DATE: **DD.MM.YYYY**

MST VER: **15.01.2018**

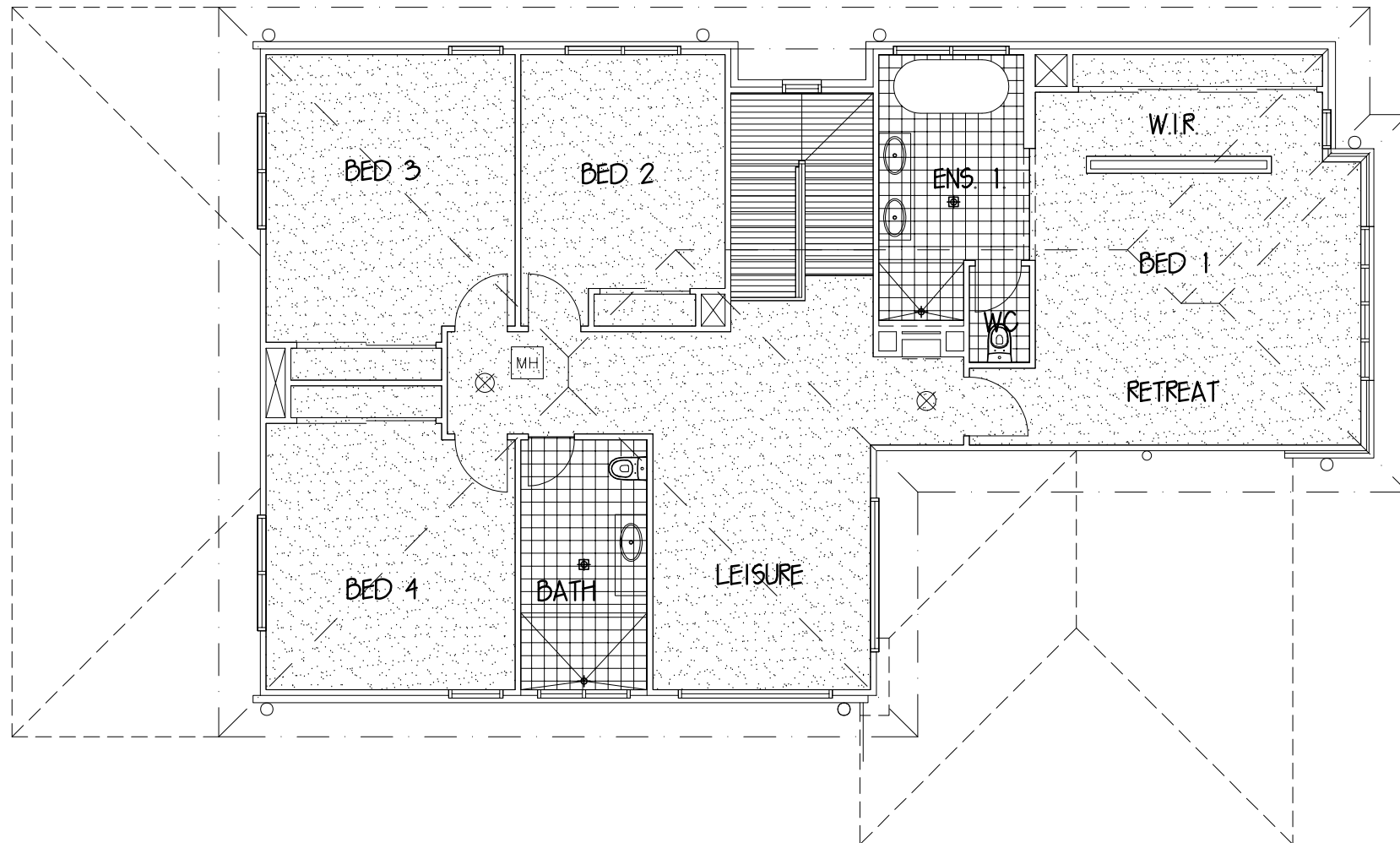
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REVISION: **G**

DRAWN: **PG**

CHECK: **CWK**

SHEET: **9 of 10**



FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING  
TOTAL AREA: 16.08 SQM



TIMBER FLOOR AREAS (STAIR ONLY)  
TOTAL AREA: 10.12 SQM



CARPET FLOOR AREAS  
TOTAL AREA: 107.76 SQM



TILED FLOOR AREAS  
TOTAL AREA: 0 SQM

DESIGN: LIBERTY 40

FACADE: ASPIRE

CEILING: 25, L

GARAGE: DOUBLE

LOCATION: F

FIRST FLOOR  
FLOOR COVERINGS

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JOB No: 716255

DATE: 05.11.2020

FC DATE: DD.MM.YYYY

MST VER: 15.01.2018

SCALE: 1:100 ON A3 SHEET

REVISION: G

DRAWN: PG

CHECK: CWK

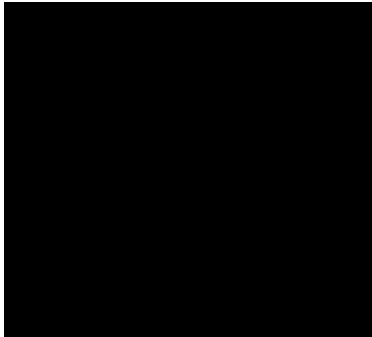
SHEET: 10 of 10

ROOF TILE



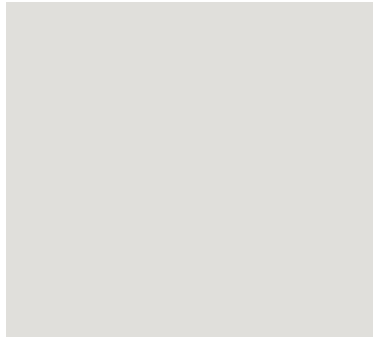
MONIER ATURA/ SAMBUCA

GUTTER / FASCIA



COLORBOND NIGHTSKY

EAVES / LINING



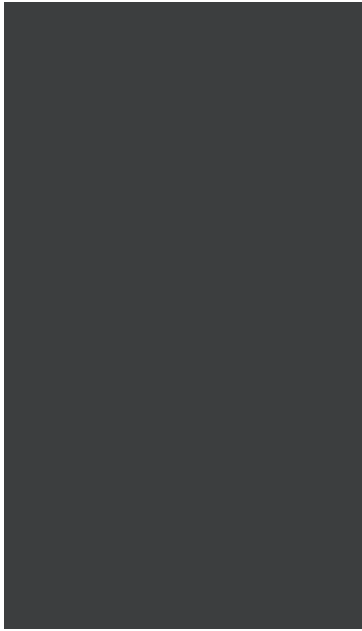
DULUX BLEACHES QUARTER

HEBEL MAIN RENDER



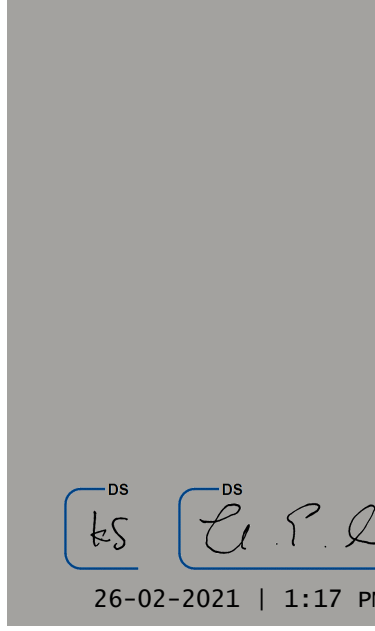
DULUX / TEAHOUSE

AXON CLADDING



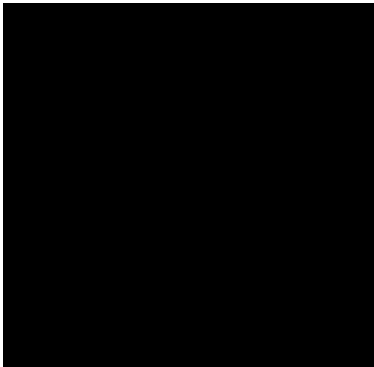
DULUX DOMINO

HEBEL FEATURE RENDER TO  
PORTICO AND BED 1  
PROJECTION



DULUX / FLOODED GUM

GARAGE



COLORBOND NIGHTSKY

FRONT ENTRY DOOR



DULUX BLACK

ALU FRAMES



BLACK