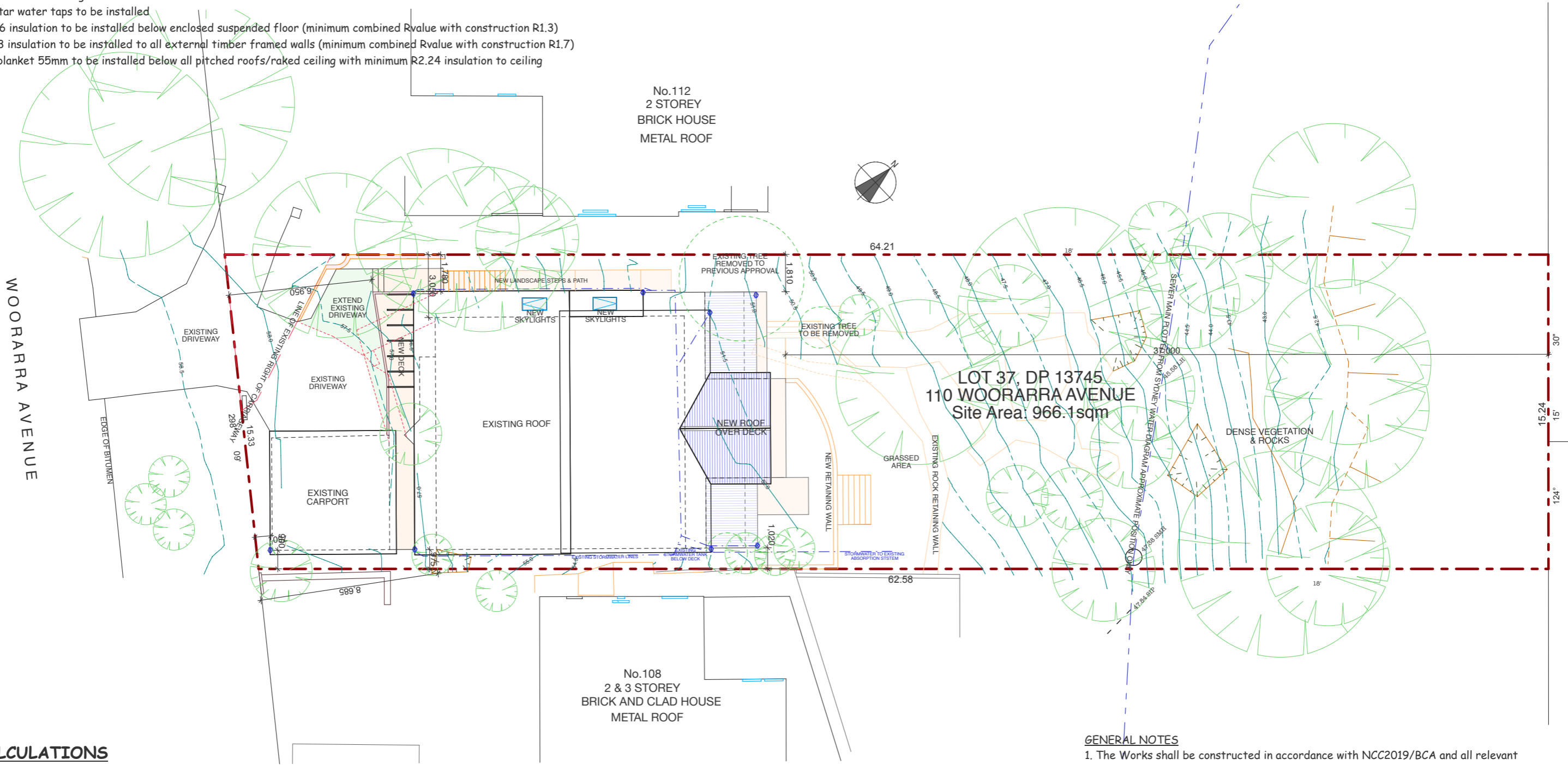


BASIX COMMITMENTS:

- 1.All construction to comply with Basix certificate A446513_02
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
- 3. Minimum 3 star water rating shower heads to be installed
- 4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.6 insulation to be installed below enclosed suspended floor (minimum combined Rvalue with construction R1.3)
- 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
- 8.Foil backed blanket 55mm to be installed below all pitched roofs/raked ceiling with minimum R2.24 insulation to ceiling



SITE CALCULATIONS

Site Area : 966 sqm

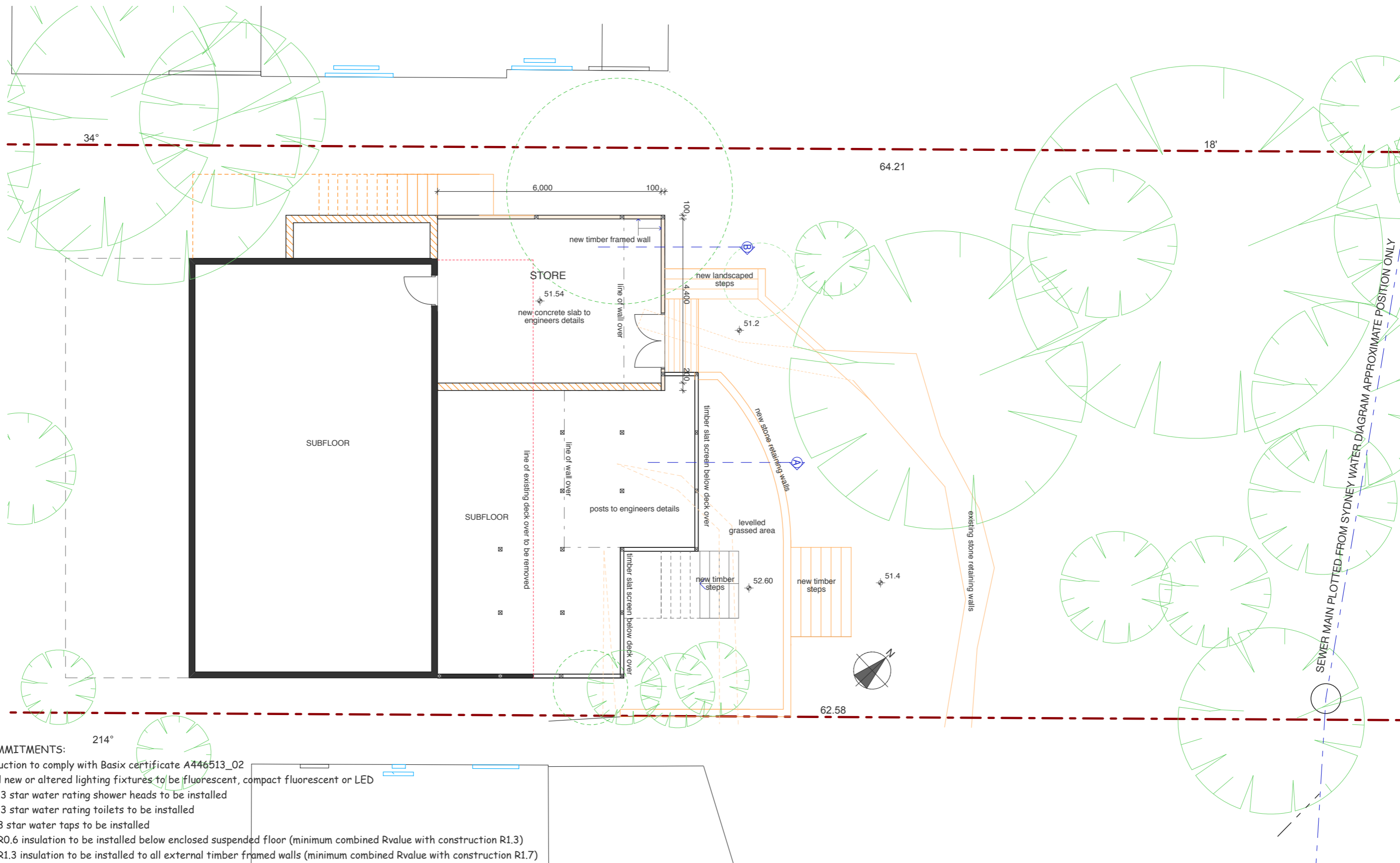
Existing Soft Landscaped area - 651sqm = 66.35%

Proposed Soft Landscaped area - 604sqm = 62.53%

GENERAL NOTES

- 1. The Works shall be constructed in accordance with NCC2019/BCA and all relevant Australian Standards together with any amendment or replacement of those Standards
- 2.Smoke alarms shall be installed in accordance with Part 3.7.5 of the NCC2019/BCA, AS 3786 and Manufacturers Specification recommendations and connected to consumer mains power and interconnected where there is more than one alarm.
- 3. Balustrade construction shall comply with the provisions of Part 3.9.2 of the NCC2019/BCA . Balustrades shall have a minimum height of 1m and no openings greater than 125mm
- 4. All external wall Claddings must be compliant with the requirements of NCC 2019/BCA Part 3.5.4. deemed to satisfy provisions and As/NZS 1859.4
- 5. All windows to be restricted in accordance with NCC2019/BCA Part 3.9.2.6 & Part 3.9.2.7. Protection of openable windows where floor below is greater than 2 meters

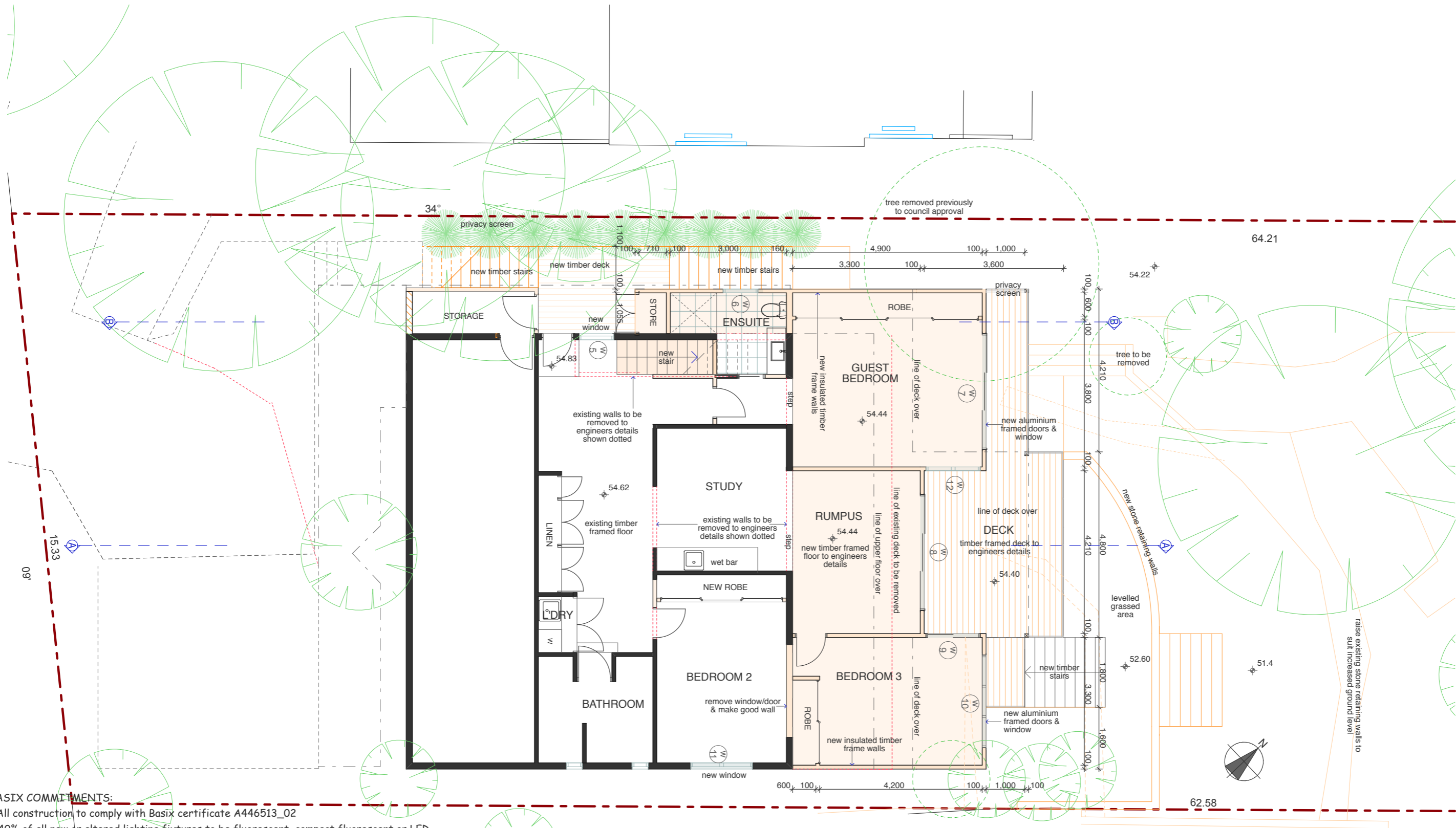
AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS for: B. McDonald at: LOT 37, DP 13745, 110 Woorarra Avenue NORTH NARRABEEN, 2101	drawing title	date: FEBRUARY 2022
			SITE PLAN	scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-01



BASIX COMMITMENTS:

- 1.All construction to comply with Basix certificate A446513_02
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.6 insulation to be installed below enclosed suspended floor (minimum combined Rvalue with construction R1.3)
- 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
- 8.Foil backed blanket 55mm to be installed below all pitched roofs/raked ceiling with minimum R2.24 insulation to ceiling

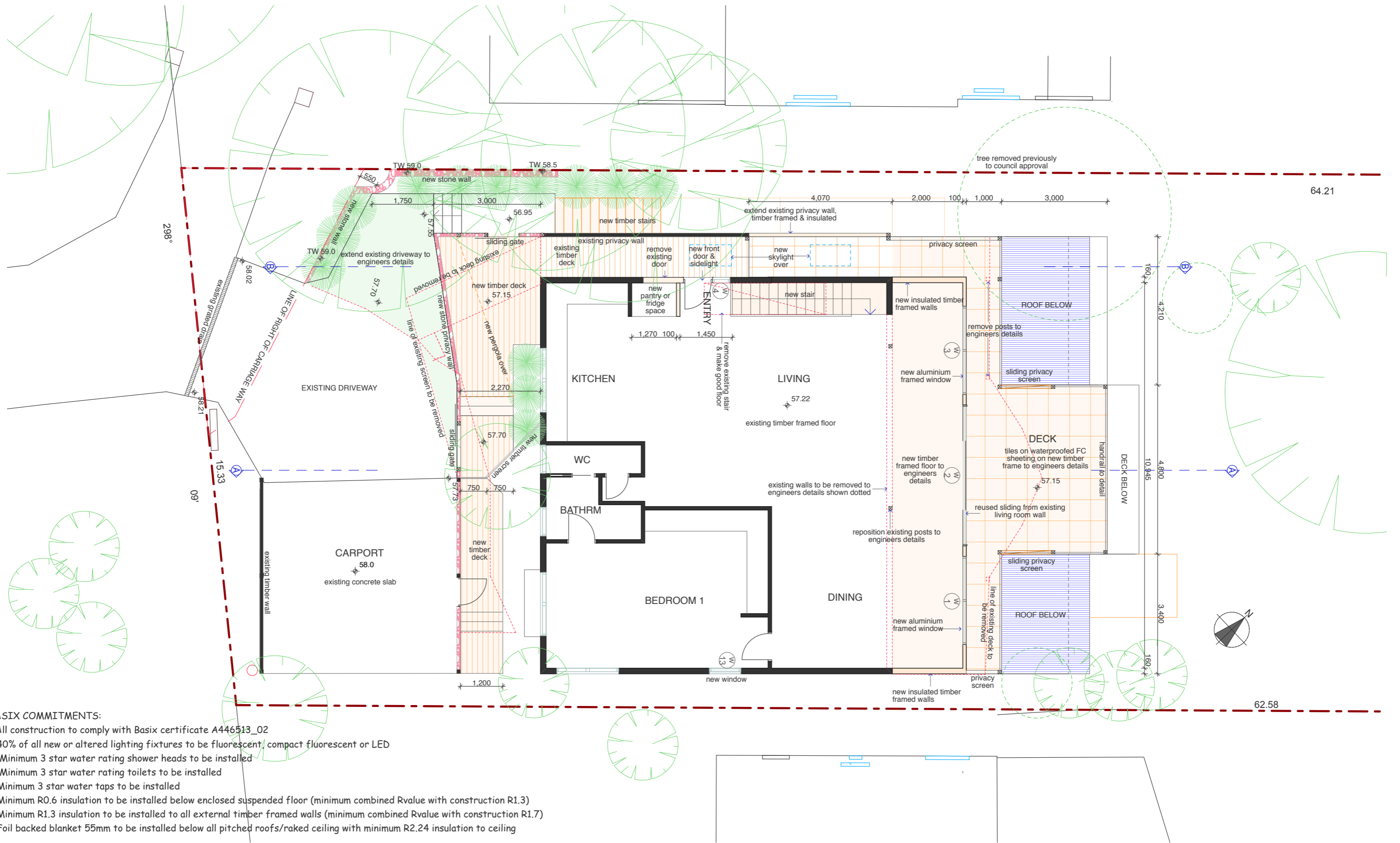
AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS for: B. McDonald at: LOT 37, DP 13745, 110 Woorarra Avenue NORTH NARRABEEN, 2101	drawing title SUBFLOOR PLAN	date: FEBRUARY 2022 scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-02



BASIX COMMITMENTS:

- 1.All construction to comply with Basix certificate A446513_02
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED 214°
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.6 insulation to be installed below enclosed suspended floor (minimum combined Rvalue with construction R1.3)
- 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
- 8.Foil backed blanket 55mm to be installed below all pitched roofs/raked ceiling with minimum R2.24 insulation to ceiling

AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS for: B. McDonald at: LOT 37, DP 13745, 110 Woorarra Avenue NORTH NARRABEEN, 2101	drawing title LOWER FLOOR PLAN	date: FEBRUARY 2022 scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-03



BASIX COMMITMENTS:

- 1.All construction to comply with Basix certificate A446513_02
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.6 insulation to be installed below enclosed suspended floor (minimum combined Rvalue with construction R1.3)
- 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
- 8.Foil backed blanket 55mm to be installed below all pitched roofs/raked ceiling with minimum R2.24 insulation to ceiling

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

ALTERATIONS AND ADDITIONS

for: B. McDonald
at: LOT 37, DP 13745, 110 Woorarra Avenue
NORTH NARRABEEN, 2101

drawing title

UPPER FLOOR PLAN

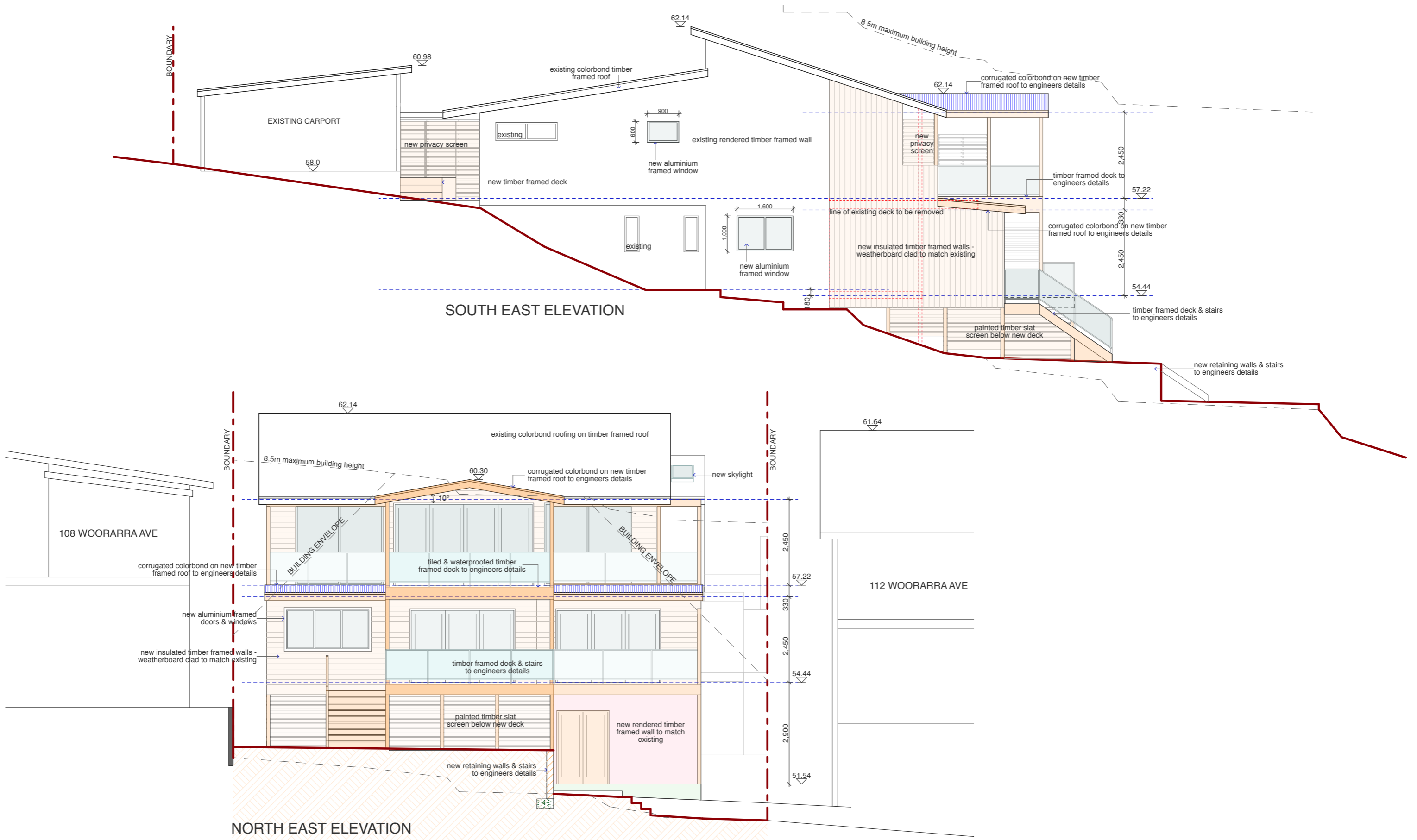
NOTE: Use figured dimension only.
Do not scale off drawings. All levels and
dimensions to be verified prior to construction
of work

date: FEBRUARY 2022

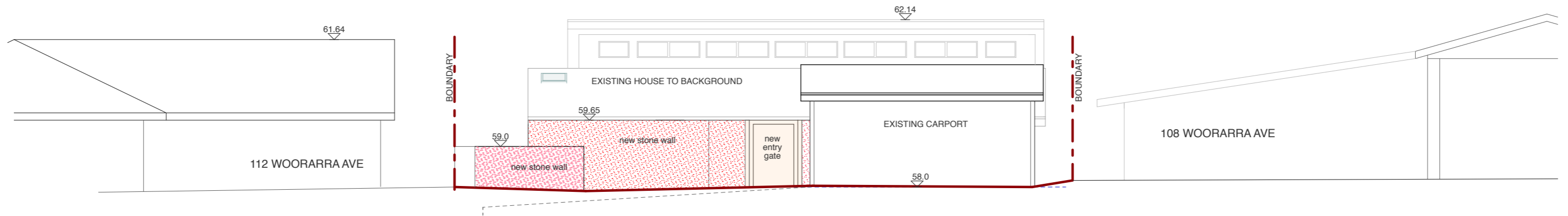
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drawing number

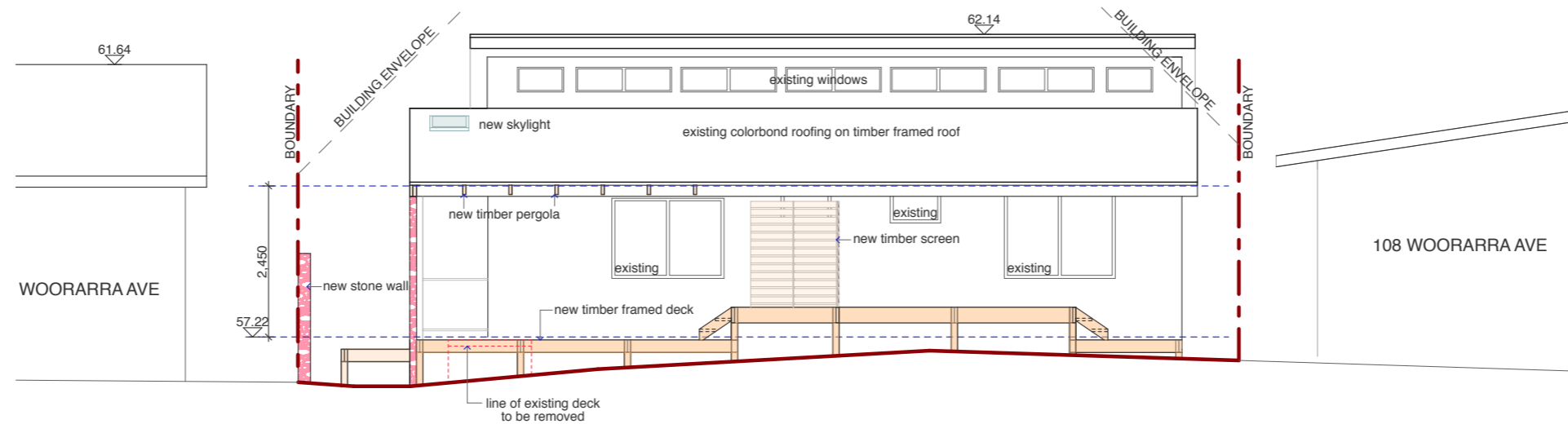
DA-04



AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS for: B. McDonald at: LOT 37, DP 13745, 110 Woorarra Avenue NORTH NARRABEEN, 2101	drawing title	date: FEBRUARY 2022
			ELEVATIONS	scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-05



SOUTH WEST STREET ELEVATION



SOUTH WEST ELEVATION

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

ALTERATIONS AND ADDITIONS

for: B. McDonald
at: LOT 37, DP 13745, 110 Woorarra Avenue
NORTH NARRABEEN, 2101

drawing title

ELEVATIONS

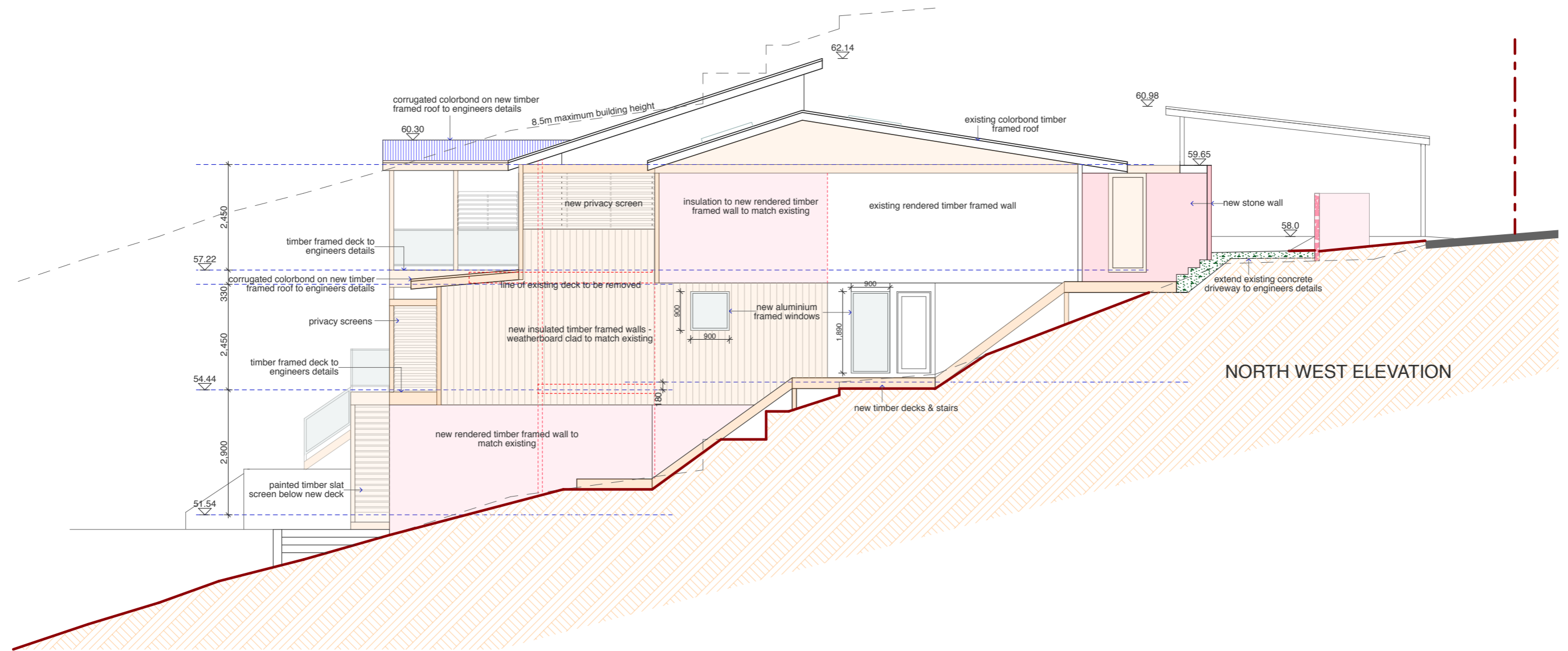
NOTE: Use figured dimension only.
Do not scale off drawings. All levels and
dimensions to be verified prior to construction
of work

date: FEBRUARY 2022

scale: 1:100 (A3)

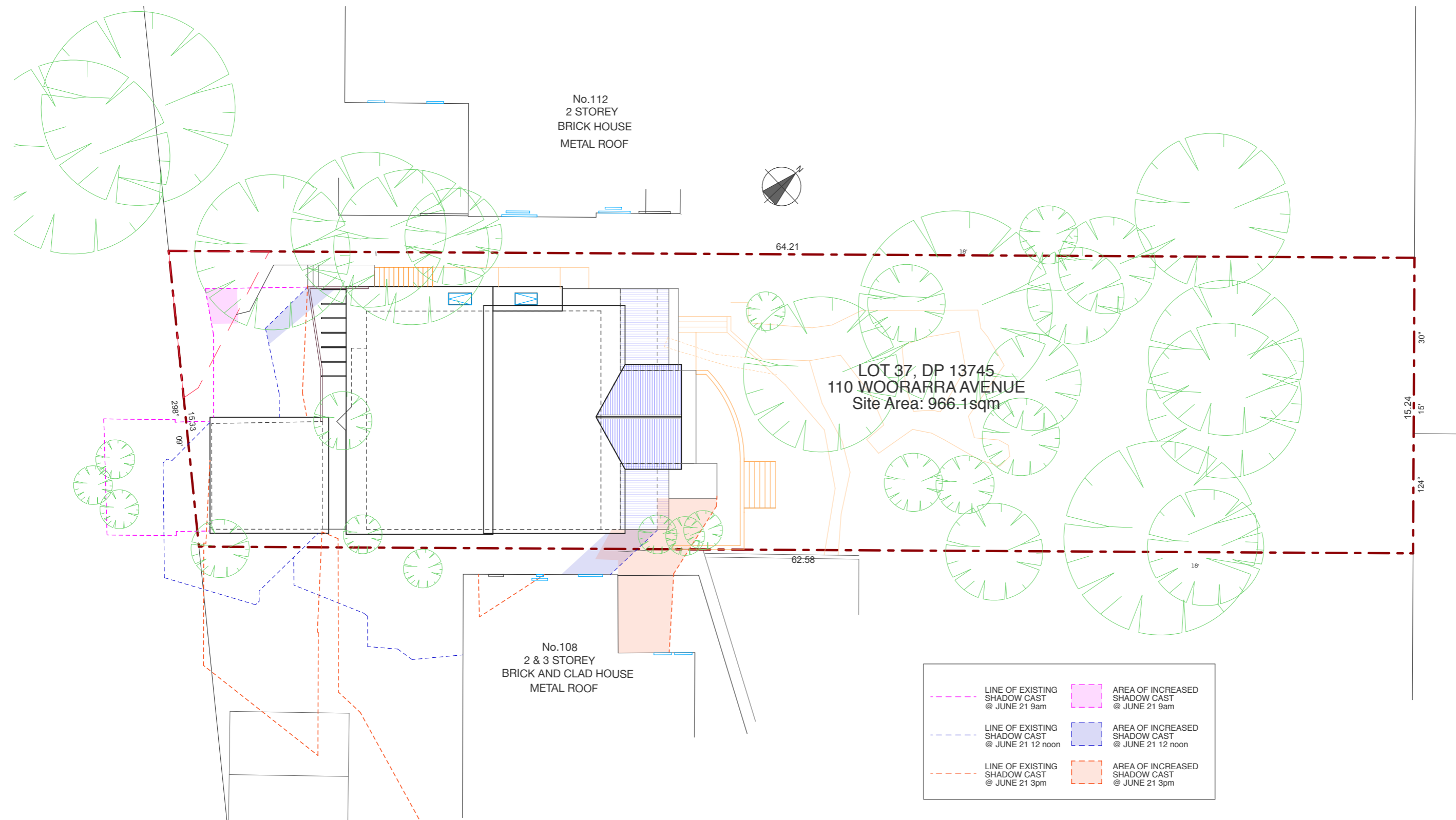
drawing number

DA-06



NORTH WEST ELEVATION

<p>AMENDMENTS</p>	<p>JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173</p>	<p>ALTERATIONS AND ADDITIONS</p> <p>for: B. McDonald at: LOT 37, DP 13745, 110 Woorarra Avenue NORTH NARRABEEN, 2101</p>	<p>drawing title</p> <p>ELEVATIONS</p> <p>NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work</p>	<p>date: FEBRUARY 2022</p> <p>scale: 1:100 (A3)</p> <p>drawing number</p> <p>DA-07</p>
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AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS for: B. McDonald at: LOT 37, DP 13745, 110 Woorarra Avenue NORTH NARRABEEN, 2101	drawing title SHADOW DIAGRAM JUNE 21	date: FEBRUARY 2022 scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-09

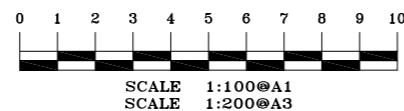
Ⓐ - H375738 RIGHT OF CARRIAGEWAY AFFECTING THE PART SHOWN SO BURDENED IN VOL 5432 FOL 73

WOORARRA

AVENUE
(BITUMEN FORMATION)

LEGEND:	
BAL	= BALCONY
BIT	= BITUMEN
BOR	= BOTTOM OF ROCK
BW	= BOTTOM WALL
CL	= CENTRELINE
CON	= CONCRETE
DK	= DECK
DS	= DOOR SILL LEVEL
FCE	= FENCE
GDN	= GARDEN
GM	= GAS METER
GRT	= GRATE
HL	= HOOD LEVEL
LH	= LAMP HOLE
NS	= NATURAL SURFACE
PAV	= PAVING
PIT	= TOP OF PIT
RR	= ROOF RIDGE
SIP	= SEWER INSPECTION PIT
SL	= SILL LEVEL
SMH	= SEWER MAIN HOLE
STR	= STAIRS
TAP	= TAP
TB	= TOP OF BANK
TFCE	= TOP OF FENCE
TG	= TOP OF GUTTER
TOR	= TOP OF ROCK
TPIT	= TELSTRA PIT
TR	= TREE
TW	= TOP OF WALL
WM	= WATER METER

LEGEND:	
	= ELECTRICITY OVERHEAD
	= SEWER UNDERGROUND
	TREE
	SPREAD-DIAMETER-HEIGHT



HORIZONTAL DATUM:

CO-ORDINATE SYSTEM: ASSUMED

MARKS ADOPTED: N/A

LGA: NORTHERN BEACHES

VERTICAL DATUM:

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)

B.M. ADOPTED: PM 5247

R.L. 58.653 (CLASS LC)

SOURCE: S.C.I.M.S. (1/06/2021)

CLIENT:

BONNIE MCDONALD

No.110 WOORARRA AVENUE

NORTH NARRABEEN, NSW, 2101

BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY

OVER LOT 37 IN DP13745

No.110 WOORARRA AVENUE
NORTH NARRABEEN, NSW, 2101C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

PO Box 463 Dee Why NSW 2099

2/99A South Creek Road, Dee Why NSW 2099

Telephone: (02) 9971 4802 Facsimile: (02) 9971 4822

E-mail: info@cmsurveyors.com.au

SURVEYED	DRAWN	CHECKED	APPROVED
JN	CJR	JN	DR
SURVEY INSTRUCTION		SCALE	DATE OF SURVEY
5682A		1:100 @ A1 1:200 @ A3	16/06/2021
DRAWING NAME			SHEET
5682Adefail			1 OF 1
CAD FILE			ISSUE
5682Adefail 1.dwg			I

Notes:



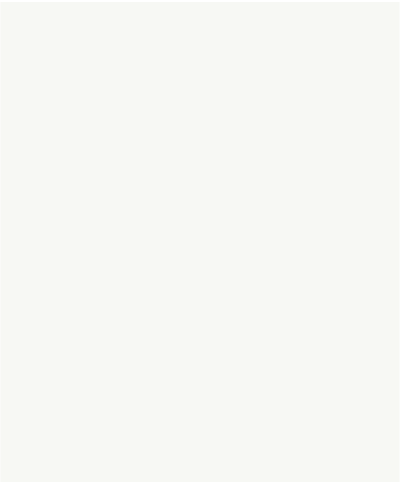



- A FIELD SURVEY OF THE BOUNDARIES HAS BEEN CONDUCTED.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF BONNIE MCDONALD.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (11100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.

Notes:

- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2021.
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- THIS NOTICE MUST NOT BE ERASED.

Karl Robertson
REGISTERED SURVEYOR BOSSI NUMBER 7835.

COLOUR SCHEDULE
ALTERATIONS & ADDITIONS
110 WOORARRA AVENUE, NORTH NARABEEN
FOR: B. McDONALD

<p>ROOF</p>  <p>COLORBOND 'WINDSPRAY'</p>	<p>WALLS</p>  <p>WEATHERBOARD CLADDING PAINTED TO MATCH EXISTING PORTERS - 'BLUE METAL'</p>
<p>TRIM/POSTS/FASCIAS</p>  <p>PAINTED - 'WHITE'</p>	<p>DECKS</p>  <p>TIMBER DECKING BOARDS</p>
<p>WINDOWS</p>  <p>ALUMINIUM FRAMED - 'WHITE'</p>	<p>PRIVACY WALL</p>  <p>STONE FEATURE</p>