

Job No 2005/307

Thursday, 19 June 2008

Pittwater Council,
PO Box 882,
Mona Vale, NSW 1660

Attention General Manager

**RE Construction Certificate No 05/307/05
6-14 Macpherson Street, Warriewood**

Please find attached a copy of Construction Certificate 05/307/05 and required attachments issued by Steve Watson & Partners for the above mentioned development in accordance with Section 109C(1)(b) and 81A(2) of the Environmental Planning and Assessment Act 1979

Please find attached a cheque in the amount of \$30 00 payable for the registration of the Construction Certificate

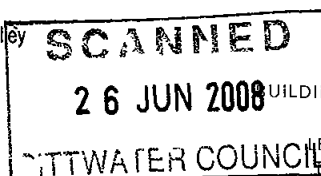
Can you please forward SWP a receipt for the acknowledgment of the lodgement cheque

If you have any queries please do not hesitate to contact me on (02) 9283 6555

Regards,


Michael Hatzmikolis
Steve Watson & Partners

\\swp server\Common\Jobs\2005 Jobs\2005-307 Warriewood Valley
Retirement Village 6 14 Macpherson Street Warriewood\CC
Docs\CC 5\20080616 CC letter to Council doc



y. 20/6/08
R. 240555
\$30.

BUILDING REGULATIONS CONSULTANTS AND CERTIFIERS
FIRE SAFETY ENGINEERS
LEVEL 5 432 KENT STREET SYDNEY NSW 2000
TEL +61 2 9283 6555 | FAX +61 2 9283 8500
www.swpartners.com.au
ABN 48 102 366 576



STEVE WATSON
& PARTNERS

LEVEL 5 432 KENT ST PFFR SYDNEY NSW 2000
TEL +61 2 9269 6550 FAX +61 2 9269 8500
VJRO 8 WPC 100 COM CU
WWW.SWDC.PARTNERS.COM.AU
ABN 79 112 366 576

CONSTRUCTION CERTIFICATE

Construction Certificate No. 05/307/05

I, Steve Watson, certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications verified by me as may be shown on that documentation) will comply with the requirements of this Regulation as are referred to in section 81A (5) of the Environmental Planning and Assessment Act 1979

Applicant

Name **Anglican Retirement Villages, Diocese of Sydney**
Address **PO Box 284**
Suburb **Castle Hill** State **NSW** Postcode **1765**

Location of the Property

Address **6-14 Macpherson Street**
Suburb **Warriewood** State **NSW** Postcode **2102**
Real Property Description **Lot B DP400488, Lot 22 DP5464, Lot B DP358765, Lot B DP345528, PT Lot 1 DP208149, PT Lot 3 DP579309, PT Lot 3 DP942319, PT Lot 4 DP579309**

Building description

Construction of independent living units, basement car parking and associated site works Stage one buildings A, B and C

Building Code of Australia Classification

Class 2

Date of Receipt

Date Received **17th June 2008**

Determination

Approved
Date of Determination **19th June 2008**

Development Consent

Development Consent Number **0102/05 & S96 modifications** Council **Pittwater**
Date of Determination **6th April 2006 & 24th October 2007, 22nd December 2006, 8th January 2007, 24th October 2007 & 23rd May 2008**

Attachments

- 1 Plans and specifications endorsed by this certificate
- 2 Fire safety schedule



Steve Watson

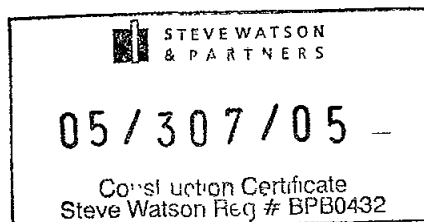
Accreditation Body **BPB**

Accreditation no **BPB0432**

Date of Endorsement **Thursday, 19 June 2008**

Design documentation approved for Construction Certificate 05/307/05 for 6-14 Macpherson Street, Warneewood

Drawing No	Drawing Title	Revision	Date	Drawn by
0439/LL/A03	Lakelands Basement Plan	A	08 02 08	Boffa Robertson Group
0439/LL/A04	Lakelands Ground Floor Plan	A	08 02 08	Boffa Robertson Group
0439/LL/A05	Lakelands First Floor Plan	A	08 02 08	Boffa Robertson Group
0439/LL/A06	Lakelands Second Floor Plan	A	08 02 08	Boffa Robertson Group
0439/LL/A07	Lakelands Roof Plan	A	08 02 08	Boffa Robertson Group
0439/LL/A12	Lakelands Elevation	A	08 02 08	Boffa Robertson Group
0439/LL/A13	Lakelands Sections	A	08 02 08	Boffa Robertson Group
0439/G/AB02	Stage 1 Overall Basement Plans	A	08 02 08	Boffa Robertson Group
0439/G/ASE03	The Ferneres/Lakelands Section Including Creekbeds	A	08 02 08	Boffa Robertson Group
0439/G/AG01	Site Plan Ground	A	08 02 08	Boffa Robertson Group
0439/TF/A02	The Ferneres Basement Plan	A	08 02 08	Boffa Robertson Group
0439/TF/A03	The Ferneres Ground Floor Plan	A	08 02 08	Boffa Robertson Group
0439/TF/A04	The Ferneres First Floor Plan	A	08 02 08	Boffa Robertson Group
0439/TF/A05	The Ferneres Roof Plan	A	08 02 08	Boffa Robertson Group
0439/TF/A09	The Ferneres Elevations	A	08 02 08	Boffa Robertson Group
0439/TF/A10	The Ferneres Sections	A	08 02 08	Boffa Robertson Group



PART 2 Work Description

Description of Work <i>Please describe briefly everything that you want approved</i>	Building Work CONSTRUCTION OF INDEPENDENT LIVING UNITS ASSOCIATED CARPARK AND CIVIL / LANDSCAPING WORKS
Estimated Cost of Work (inclusive of GST)	\$ 30 000 000
Development Consent	Development Consent No <u>N0102/05</u> Date of Determination <u>06 / 04 / 2006</u> *ORIGINAL CONSENT MODIFIED 22/12/2006 8/1/2007 24/10/2007 8/2/2008 & 23/5/2008
Building Code of Australia Classification	BCA Classification <u>2</u>
Principal Contractors Details <i>Required for all projects</i>	Name <u>SOUTHERN CROSS CONSTRUCTIONS PTY LTD</u> Address <u>135-153 NEW SOUTH HEAD RD EDGECLIFF NSW 2027</u> Contact Number <u>02 9363 1111</u>

PART 3 Declaration

ALL THE DETAILS SOUGHT IN THE CHECKLIST IN PART 5 MUST BE PROVIDED


THE COMPLETED CHECKLIST MUST BE SUBMITTED WITH THIS APPLICATION FAILURE TO PROVIDE THE REQUIRED DOCUMENTATION OF AN ACCEPTABLE STANDARD WILL RESULT IN YOUR APPLICATION BEING RETURNED

Declaration

If the applicant is a company or strata title body corporate a director or authorised delegate must sign this declaration

I apply for approval to carry out the development or works described in this application. I declare that all the information in the application and checklist is to the best of my knowledge true and correct

I also understand that if the information is incomplete the application may be delayed or rejected or more information may be requested. I acknowledge that if the information provided is misleading any approval granted may be void



Signature MICHAEL LOCKWOOD - PROJECT MANAGER Date 16 / 06 / 2008



STEVE [unclear] & PARTNERS

PART 4 Schedule to Application for a Construction Certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics

All new buildings

Please complete the following

ξ Number of storeys (including underground floors)

3 - 4

ξ Gross floor area of new building (m²)

ξ Gross site area (m²)

Residential buildings only

Please complete the following details on residential structures

ξ Number of dwellings to be constructed

64

ξ Number of pre-existing dwellings on site

0

ξ Number of dwellings to be demolished

0

ξ Will the new dwelling(s) be attached to other new buildings?

Yes No

ξ Will the new building(s) be attached to existing buildings?

Yes No

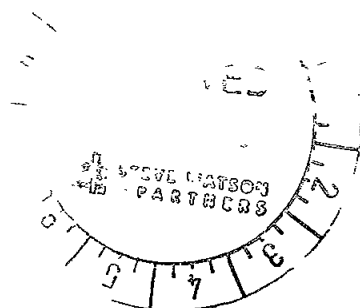
ξ Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes No

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s)

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brck (double)	<input type="checkbox"/> 11	Tiles	<input type="checkbox"/> 10	Concrete or slate	<input checked="" type="checkbox"/> 20	Timber	<input type="checkbox"/> 40
Brck (vener)	<input checked="" type="checkbox"/> 12	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40	Steel	<input type="checkbox"/> 60
Concrete or stone	<input type="checkbox"/> 20	Fibre cement	<input type="checkbox"/> 30	Other	<input type="checkbox"/> 80	Aluminium	<input type="checkbox"/> 70
Fibre cement	<input type="checkbox"/> 30	Steel	<input checked="" type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90	Other	<input checked="" type="checkbox"/> 80
Timber	<input type="checkbox"/> 40	Aluminium	<input type="checkbox"/> 70			Not specified	<input type="checkbox"/> 90
Curtain glass	<input type="checkbox"/> 50	Other	<input type="checkbox"/> 80				
Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90				
Aluminium	<input type="checkbox"/> 70						
Other	<input type="checkbox"/> 80						
Not specified	<input type="checkbox"/> 90						



PART 5 Checklist

Where relevant have you provided/completed the following	Yes	Not Relevant
ξ 4 copies of plans, elevations and sections	<input type="checkbox"/>	<input type="checkbox"/>
ξ 4 copies of specifications	<input type="checkbox"/>	<input type="checkbox"/>
ξ List of any existing and proposed fire safety measures (Refer to the Fire Safety Schedule)	<input type="checkbox"/>	<input type="checkbox"/>
ξ Evidence of Home Building Act requirements satisfied	<input type="checkbox"/>	<input type="checkbox"/>
ξ Evidence that Long Service Levy has been paid	<input type="checkbox"/>	<input type="checkbox"/>
ξ Schedule to application for a construction certificate is completed	<input type="checkbox"/>	
ξ Owners consent	<input type="checkbox"/>	
ξ Applicants signature	<input type="checkbox"/>	

PART 6 Notes for Completing Application for a Construction Certificate

The following information must accompany applications for a Construction Certificate for Building Work

- 1 The ABS schedule is required to be completed for the purposes of providing information to the Australian Bureau of Statistics
- 2 Copies of compliance certificates relied upon
- 3 Four (4) copies of all plans and specifications must be submitted with your application. Plans for the building must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to
 - a) Show a plan of each floor section.
 - b) Show a plan of each elevation
 - c) Show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
 - d) Indicate the height design construction and provisions for fire safety and fire resistance
- 4 Where proposed building work involves any alteration or addition to, or rebuilding of an existing building the plan is to be coloured or otherwise marked to distinguish the proposed work to be approved
- 5 Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or marked up to adequately distinguish the modifications
- 6 The specification is
 - a) To describe the construction and materials of which the building is to be built and the method of drainage sewerage and water supply
 - b) State whether the materials proposed to be used are new or second hand and give particulars of any second hand materials used
- 7 Where the application involves an alternative solution to meet the Performance Requirements of the BCA, the application must also be accompanied by
 - a) Details of the Performance Requirements that the alternative solution is intended to meet, and
 Details of the assessment methods used to establish compliance with those Performance Requirements
- 8 Evidence of any accredited component, process or design sought to be relied upon
- 9 Except in the case of any application for or in the respect of a class 1a or class 10 building
 - a) A list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated
 - b) If the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated
 The list must describe the extent capability and basis of design of each of the measures concerned
- 10 The Development Consent conditions together with stamped approved DA drawings are to be provided for our assessment of the development and record purposes
- 11 Under section 109F(1)(b) of the *Environmental Planning and Assessment Act 1979* a Construction Certificate cannot be issued until any long service levy payable under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments the first instalment of the levy) has been paid. The local council may be authorised to accept payment.
- 12 In the case of an application for a Construction Certificate for residential building work (within the meaning of the Home Building Act 1989) attach the following
 - a) In the case of work performed by a licensee under that Act.
 - i) A statement detailing the licensee's name and contract licence number and
 - ii) documentary evidence that the licensee has complied with the applicable requirements of that Act or
 - b) in the case of work done by any other person
 - i) a statement detailing the persons name and owner-builder permit number or
 - ii) a declaration signed by the owner of the land to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of owner-builder work in section 29 of that Act. (If the building work is less than \$12 000 provide a statement that states the proposed work is less than \$12 000)

* A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 to the effect that a person is the holder of an insurance contract issued for the purposes of that Part is sufficient evidence that the person has complied with the requirements of that Part

FIRE SAFETY SCHEDULE



STEVE WATSON
& PARTNERS

6-14 Macpherson Street, Warriewood

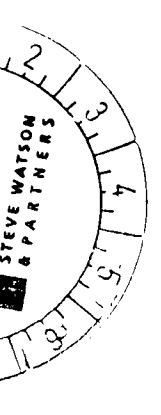
CC No 05/307/05

Existing Fire Safety Schedule

Nil

Proposed Fire Safety Schedule

Measure	Standard of Performance
Access panels, doors and hoppers to fire resisting shafts	BCA2007 Clause C3 13 and tested prototypes (AS 1530 4 – 2005)
Automatic Fail Safe Devices	Scheduled devices release upon trip of smoke detection, fire detection and sprinkler activation in accordance with BCA2006 Clause D2 21
Automatic Fire Detection and Alarm System (<i>smoke detection system</i>)	BCA2007 Specification E2 2a and AS 1670 1 – 2004
Automatic Fire Detection and Alarm System (<i>smoke alarm system</i>)	BCA2007 Specification E2 2a and AS 3786 – 1993
Automatic fire suppression systems (<i>Sprinklers – car park level only</i>)	BCA2007 Specification E1 5 and AS 2118 1 – 1999
Emergency Lighting	BCA2007 Clause E4 2 E4 4 and AS/NZS 2293 1 – 1998
Exit Signs	BCA2007 Clause E4 5 NSW E4 6, E4 7, E4 8 and AS/NZS 2293 1 – 2005
Fire Dampers	BCA2007 Clause C3 15 and AS/NZS 1668 1 – 1998 (AS 1682 1-1990 and AS 1682 2-1990)
Fire Doors	BCA2007 Specification C3 4 and AS/NZS 1905 1 – 2005
Fire Hydrants Systems	BCA2007 Clause E1 3 and AS 2419 1 – 2005
Fire seals protecting opening in fire resisting components of the building	BCA2007 Clause C3 15 Specification C3 15 and AS 1530 4 – 2005 and AS 4072 1 – 2005 and installed in accordance with the tested prototype
Hose Reel System	BCA2007 Clause E1 4 and AS 2441 – 2005
Lightweight Construction	BCA2007 Specifications C1 8, Clause A2 3 and AS 1530 4-2005
Portable Fire Extinguishers	BCA2007 Clause E1 6 and AS 2444 – 2001
Smoke detectors and heat detectors (<i>detectors for the automatic closing operation of horizontal exits</i>)	BCA2007 Clause C3 7 and AS 1670 1 – 2004
Smoke detectors and heat detectors (<i>detectors for the automatic closing operation of smoke doors</i>)	BCA2007 Specification C3 4 and AS 1670 1 – 2004
Warning and Operational signs	BCA2007 Clauses D1 17, D2 23, E1 4 and E3 3



ARCHITECTURAL DRAWING LIST

THE FERNERIES (Building A)

Drawing Title	Drawing No.
Basement Plan	0439/TF/A02
Ground Floor Plan	0439/TF/A03
First Floor Plan	0439/TF/A04
Roof Plan	0439/TF/A05
Elevations	0439/TF/A08
Sections	0439/TF/A10

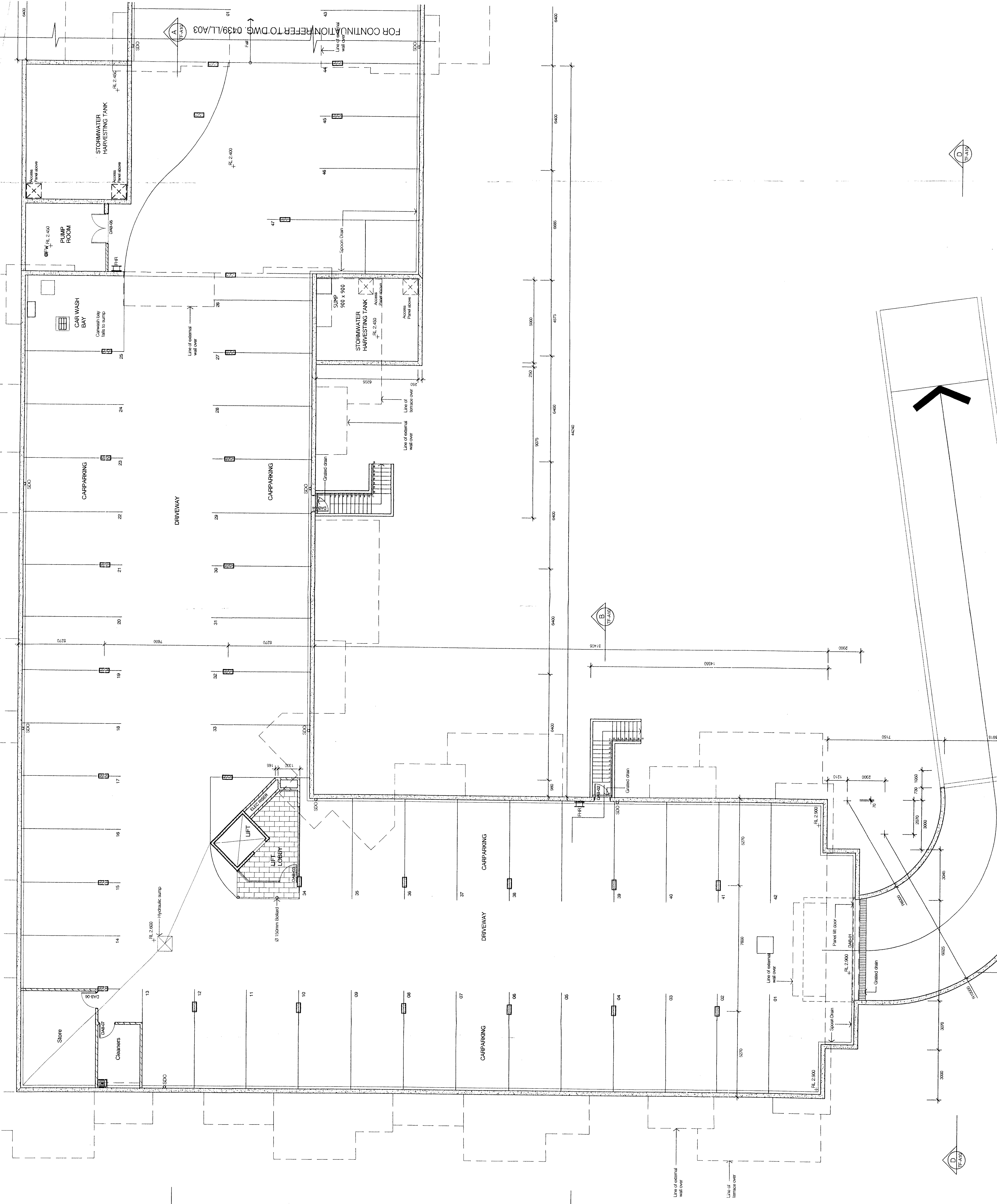
LAKELANDS (Building B&C)

Drawing Title	Drawing No.
Basement Plan	0439/LL/A03
Ground Floor Plan	0439/LL/A04
First Floor Plan	0439/LL/A05
Second Floor Plan	0439/LL/A06
Roof Plan	0439/LL/A07
Elevations	0439/LL/A12
Sections	0439/LL/A13

GENERAL DOCUMENTS

Drawing Title	Drawing No.
Site Plan Ground	0439/GIAG01
Stage 1 Overall Basement Plans	0439/GIAB02
The Ferneries/Lakelands	
Sections including Creek Bed	0439/GASE03

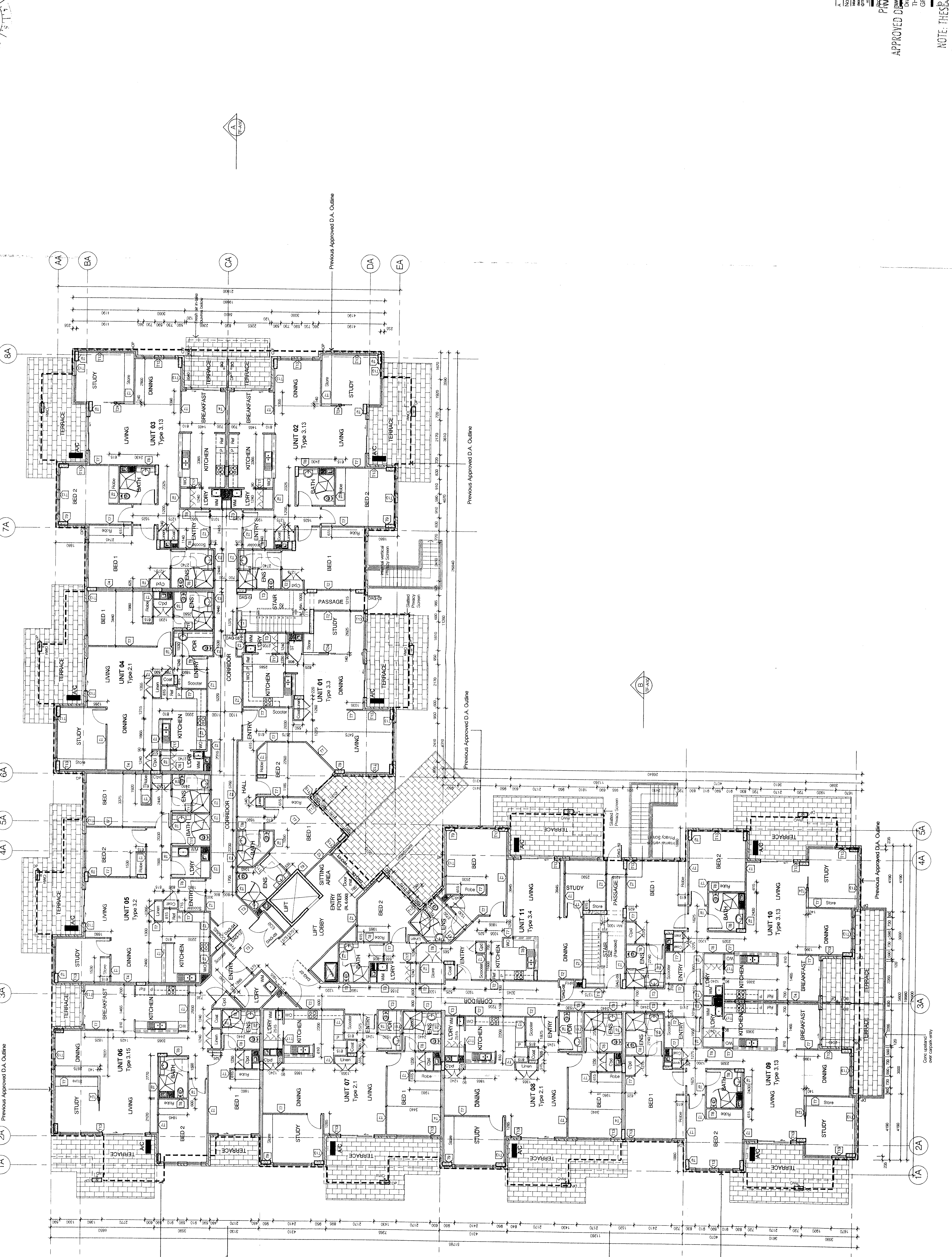
✓	Ex-jamb frame & door as scheduled
✓	Joinery doors, refer to Joinery Dwg. 0439/LA/01
✓	Concrete wall
✓	Block wall
✓	Block wall
✓	Stud wall
✓	Wall Type - As per Schedule
✓	Downpipe
✓	Downpipe with spreader
✓	Bakery outlet
✓	Bakery type - A as Specified
✓	Bakery type - B as Specified



A Stage 1 Section 96 DA Submission 08/02/20
 No. Attachment D:10
 Information contained in this drawing is subject to final coordination. Any variation to this drawing must be approved by the relevant authority. This document, information and design remain the property of Boffa Robertson Group.
 Project: WARRIEWOOD BROOK
 11 MACPHERSON STREET, WARRIEWOOD
 PIPERAITIA COUNCIL
 THE FERNERIES
 APPROVED BASEMENT PLACEMENT PLANS
 boffa robertson group
 Architecture, Health and Aged Care Planning
 Suite 7, Level 1, Epicure Railway Street

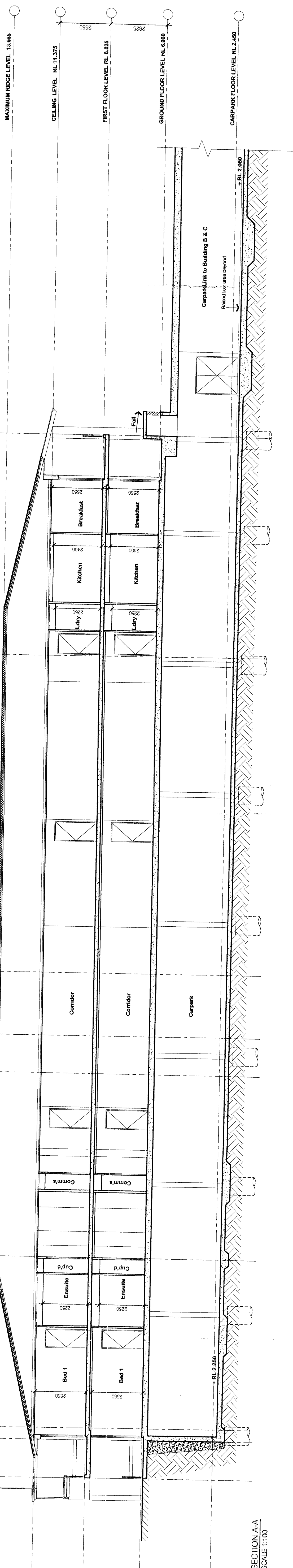
✓	Eyebolt frame & door as scheduled
✓	Specify finish refer to J-Series DWG 0430(GA01)
✓	Concrete wall
✓	Block wall
✓	Block wall
✓	Stud wall
✓	Wall Type - As per Schedule
✓	Downspout
✓	Downspout with sprayer
✓	Balcony railing
✓	Balcony type - A as Specified
✓	Balcony type - B as Specified

NOTES:
 GROUND FLOOR PLAN AREA COMPARISON
 (Bounding line outside face of external wall)
 Approved DA 1526 Sq.m.
 Proposed Stage 1 Section 96 1537 Sq.m.

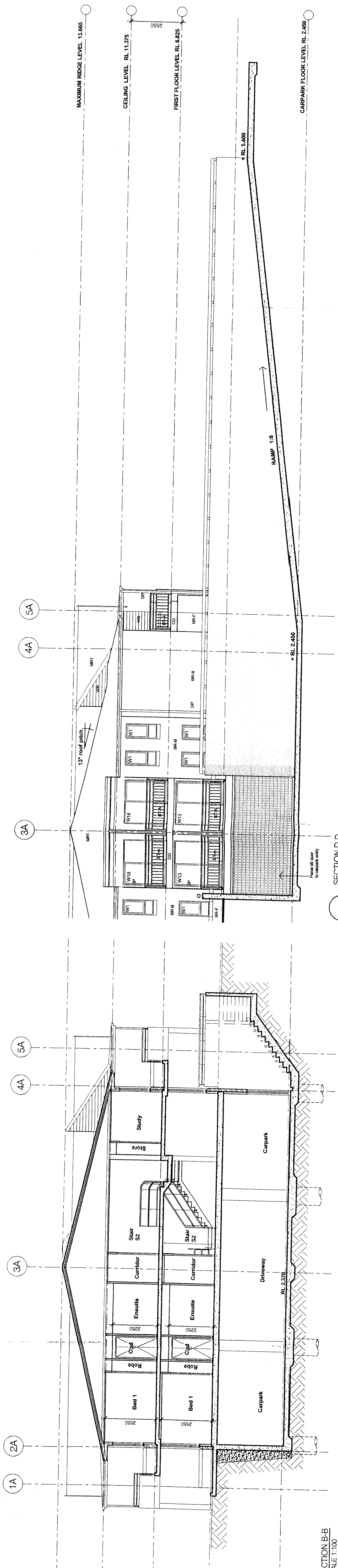


Project: P/WARRIEWOOD BROOK
 1000 WARRIEWOOD STREET, WARRIEWOOD
 THE FERNERIES
 GROUND FLOOR PLAN
 08/02/08
 No. Amendment: 030
 Approved by: [Signature]
 Approved on: [Date]
 Drawn by: [Name]
 Checked by: [Name]
 Prepared by: [Name]
 Scale: 1:100
 Date: 08/02/08
 Note: THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
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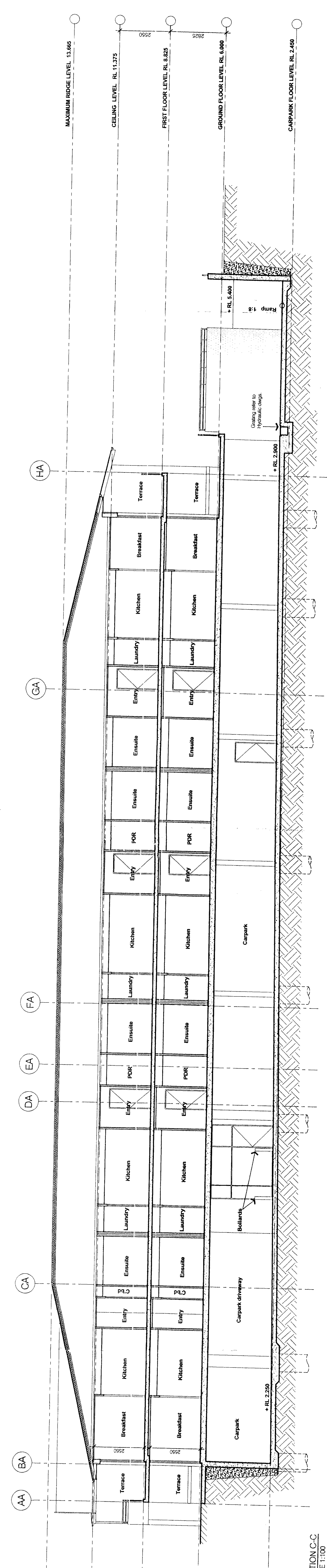
NOTE: THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



SECTION A-A
SCALE 1:100



SECTION B-B
SCALE 1:100



SECTION C-C
SCALE 1:100

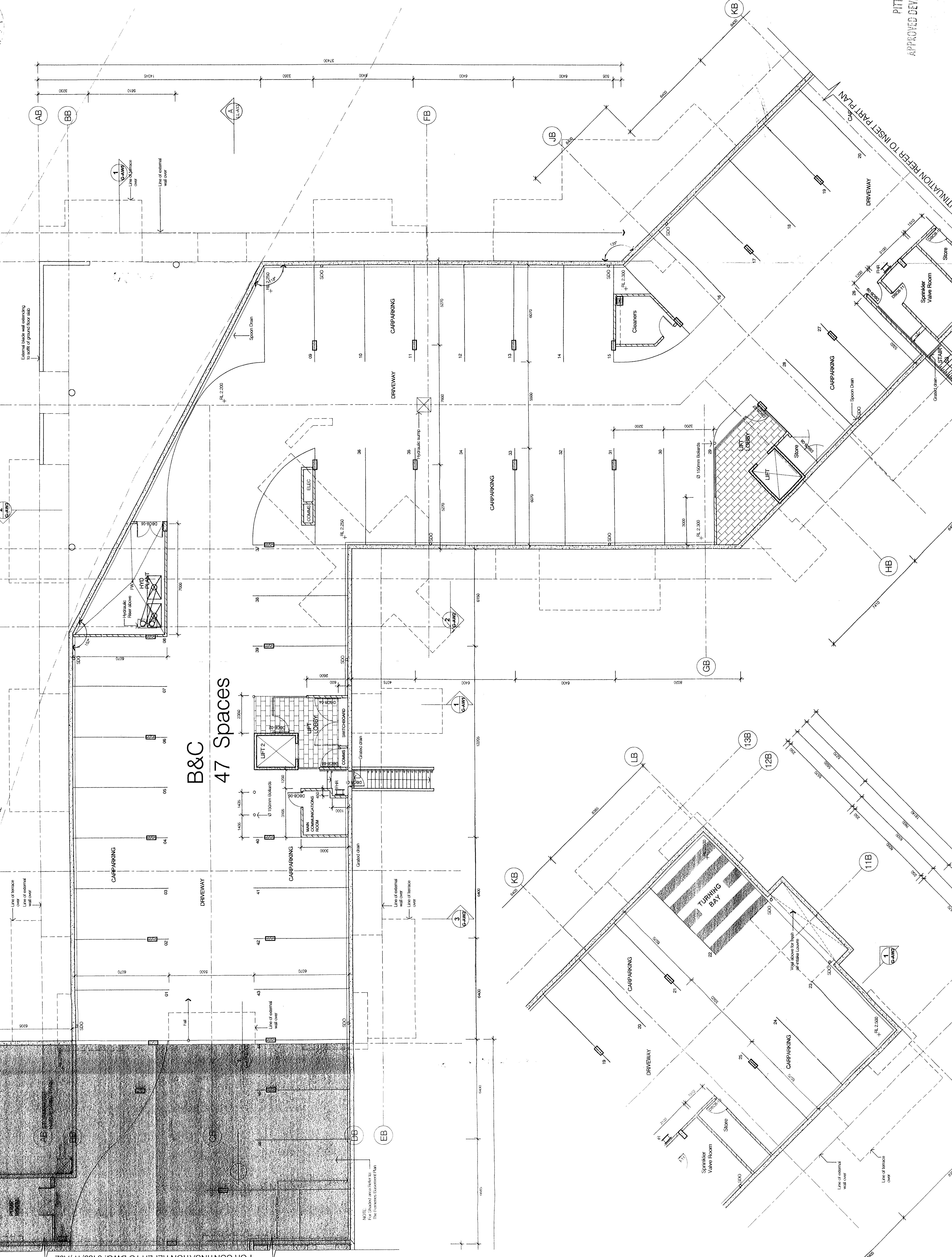
NO.	DATE	DESCRIPTION
1	08/22/23	Stage 1 Section DAA Submission
2	08/22/23	Final Approval

APPROVED
DRAWING
THE FERRERIES
SECTIONS

PROJECT: 10661230 n-gt o up
ARCHITECT: HERRING & CO
PLANNING: HERRING & CO

PROPOSED DEVELOPMENT
WARRIEWOOD BROOK T PLANS
BROOKFIELD WARRIEWOOD

✓	Ex-Jamb frame & door as scheduled
✓	Jamb doors, refer to Jambing DWG. D03B/G/A01
✓	Concrete wall
✓	Block wall
✓	Block wall
✓	Shut wall
✓	Shut wall
✓	Wall Type - As per Schedule
✓	Downpipe
✓	Downpipe with spreader
✓	Balcony outlet
✓	Balcony type - A as Specified
✓	Balcony type - B as Specified



B&C
47 Spaces

NOTE:
For shaded area refer to
The Fireworks Basement Plan

Voids above for three
peristyle columns

A	Stage 1 Section 98 DA Submission	06.02.08
No.	ATTACHMENT	Date
Information contained in this drawing is subject to the conditions. Any reliance on this information is at the user's risk. The user shall be responsible for checking the accuracy of the information and for obtaining any necessary approvals from the relevant authorities.		
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Project
WARREWOOD BROOK
PITTMAN LAKE COUNCIL
DRAWING NO. 0439/TF/A02
APPROVED DEVELOPMENT PLANS
BASEMENT PLAN

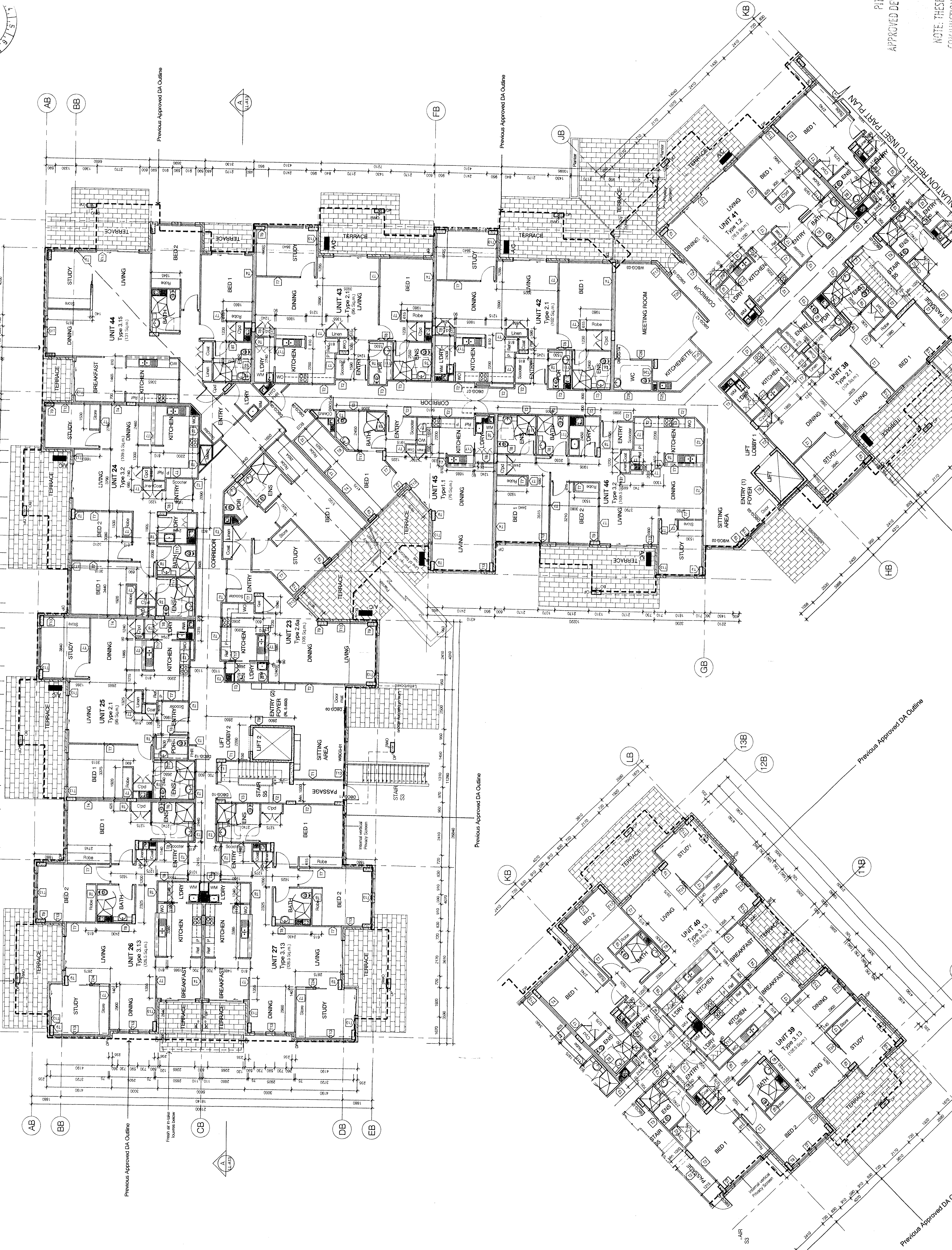
boffarobertson group
Architecture, Health and Age Care Planning

FOR CONTINUATION REFER TO DWG. 0439/TF/A02

TINUTION REFER TO INSET PART PLAN

Partition frame & door as scheduled	✓
Ex-Jamb frame & door as scheduled	✓
Jamb doors, refer to Jambery amp. 048/04/04/01	✓
Concrete wall	✓
Block wall	✓
Brick wall	✓
Stud wall	✓
Wall Type - As per Schedule	✓
Downpipe	✓
Downpipe with spreader	✓
Balcony outlet	✓
Balcony type - A as Specified	✓
Balcony type - B as Specified	✓

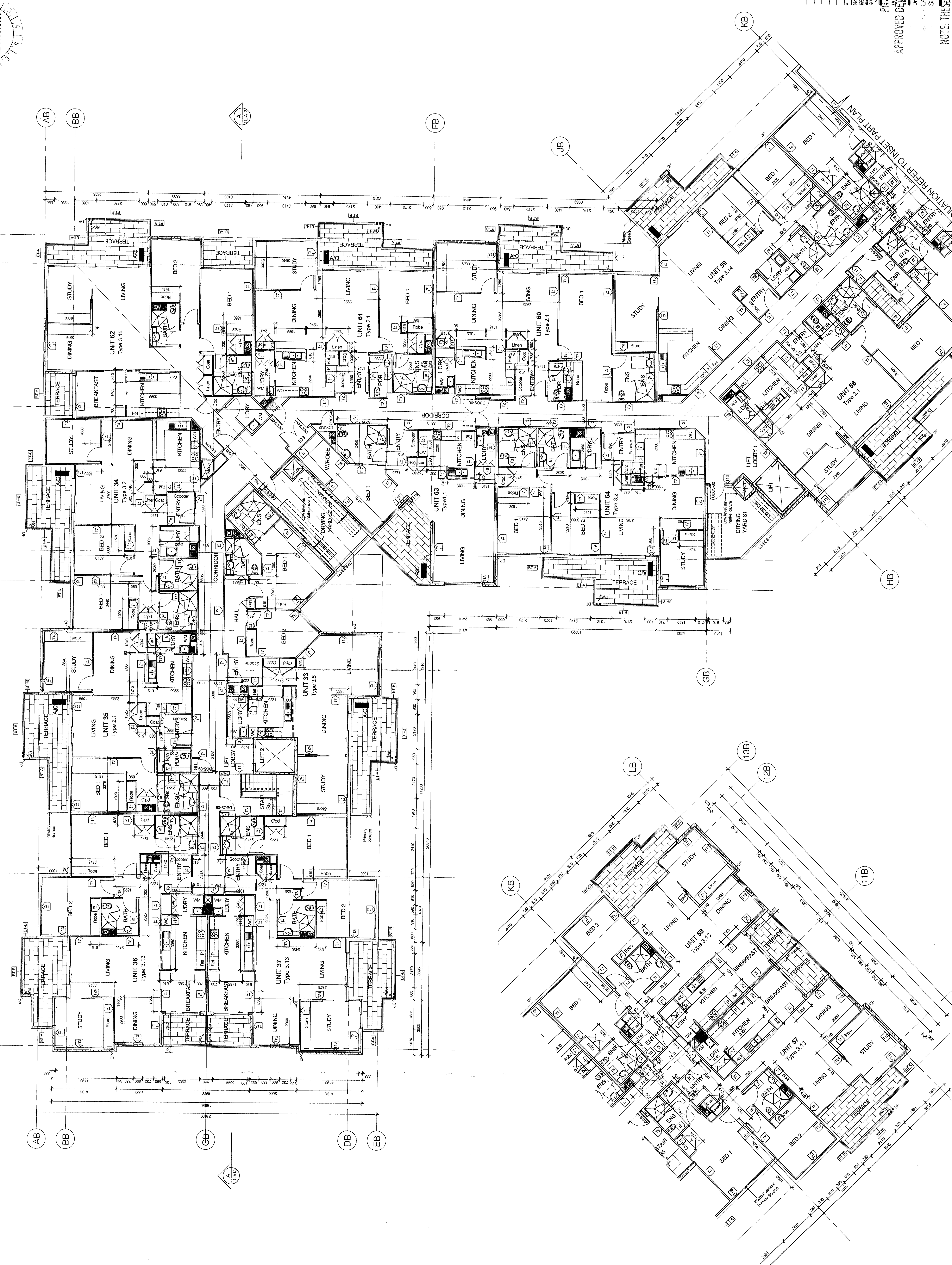
NOTES:
 GROUND FLOOR PLAN AREA COMPARISON
 (Bounding line outside face of external wall)
 Approved DA 1887 Sq.m.
 Proposed Stage 1 Section 96 1953 Sq.m.



Project: **PIT**
 Approved **DEWARREWOOD BROOKLANDS**
 8 MACPHERSON STREET, WARRIEWOOD
 Drawing: **GROUND FLOOR PLAN**
 Lakelands
 Note: THESE
 FROM HUNTERWOOD BOTIFA COLBERTSON

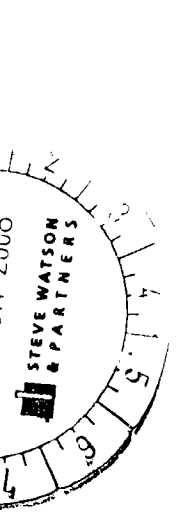
Pattern frame & door as scheduled	
Ezy-Jamb frame & door as scheduled	
Aluminum doors, frame to primary ring, UACB/CAS/01	
Concrete wall	
Block wall	
Stick wall	
Slab wall	
Wall Type - As per Schedule	
Downspout	
Downspout with apron	
Balcony outlet	
Balcony type - A as Specified	
Balcony type - B as Specified	

NOTES:
 SECOND FLOOR PLAN AREA COMPARISON
 (Bounding line outside face of external wall)
 Approved DA 1887 Sq.m.
 Proposed Stage 1 Section 96 1898 Sq.m.



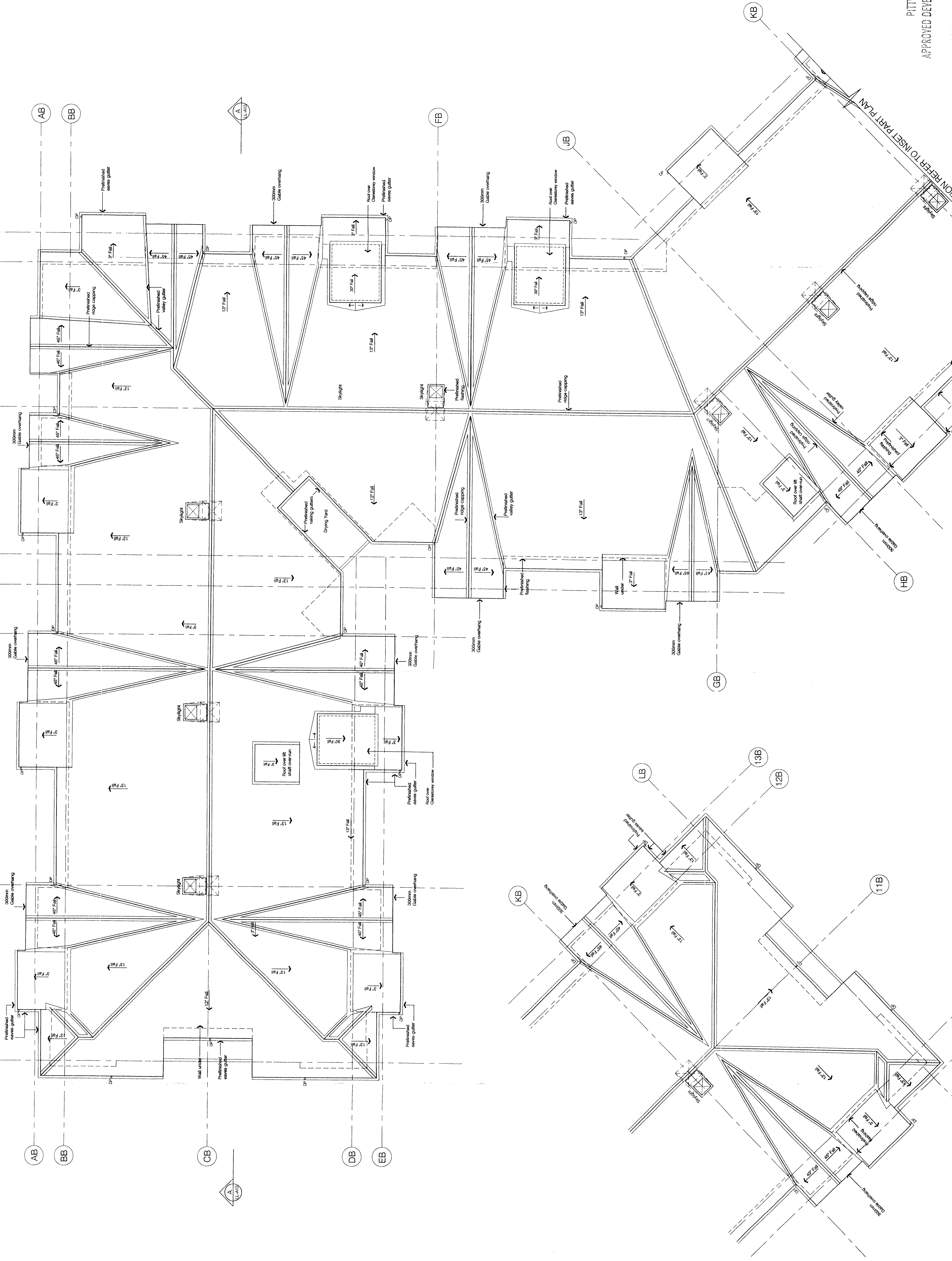
A	Stage 1 Section 96 DA Submission	18.02.08
NO.	ACTING CHIEF OFFICER	18.02.08
NO.	ACTING CHIEF OFFICER	18.02.08
NO.	ACTING CHIEF OFFICER	18.02.08
NO.	ACTING CHIEF OFFICER	18.02.08

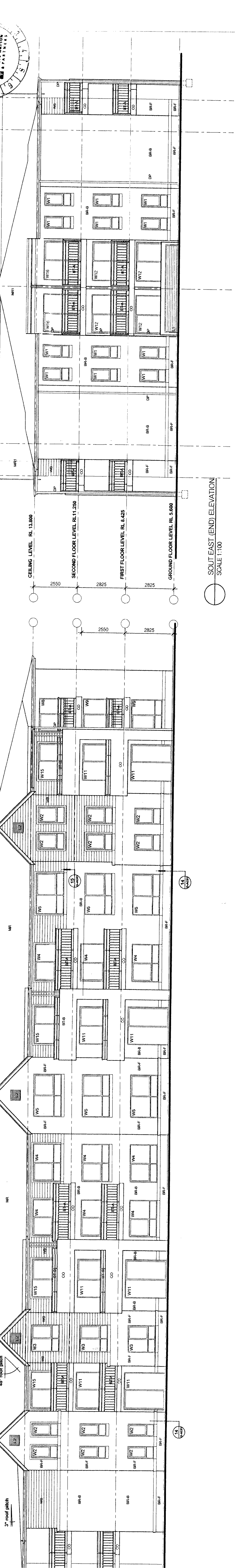
PROPERTY CONSULTANT
 WARRIEWOOD BROOK
 ARCHITECTS
 1/111 WARRIEWOOD ROAD, WARRIEWOOD
 NSW 2120
 APPROVED DA
 LAKELANDS
 SECOND FLOOR PLAN
 NOTE: THIS IS A PRELIMINARY PLAN



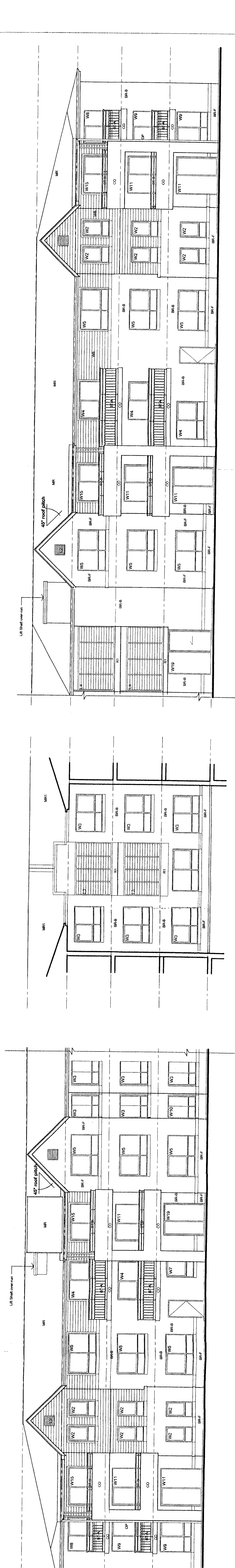
Project	WARRIMOOD BROOK
Location	15 WACHERS STREET, WARRIMOOD
Client	LAKELANDS
Architect	LAKELANDS ARCHITECTURE
Scale	1:100
Date	10/02/20
Drawn by	LAKELANDS ARCHITECTURE
Checked by	LAKELANDS ARCHITECTURE
Approved by	LAKELANDS ARCHITECTURE

APPROVED DEVELOPMENT CONSENT PLAN
LAKELANDS
ROOF PLAN



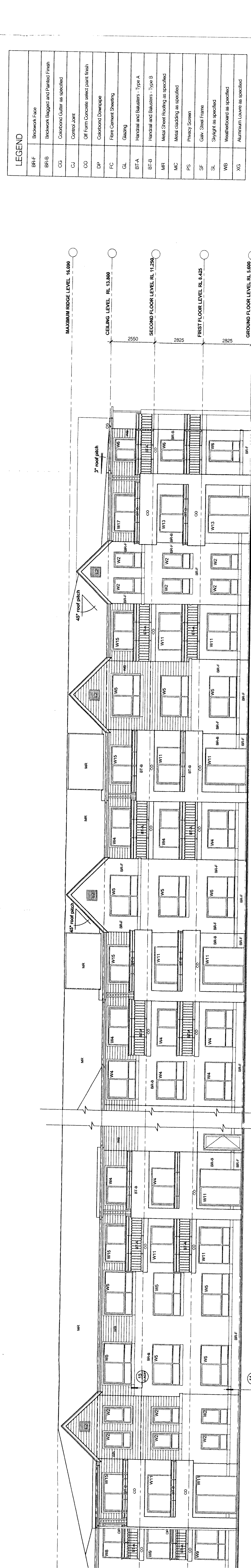


SOUTH EAST (END) ELEVATION
SCALE 1:100

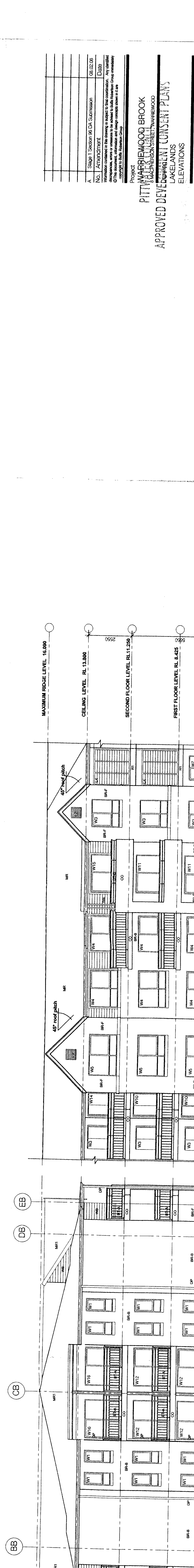


SOUTH WEST ELEVATION
SCALE 1:100

INTERNAL CORNER ELEVATION
SCALE 1:100



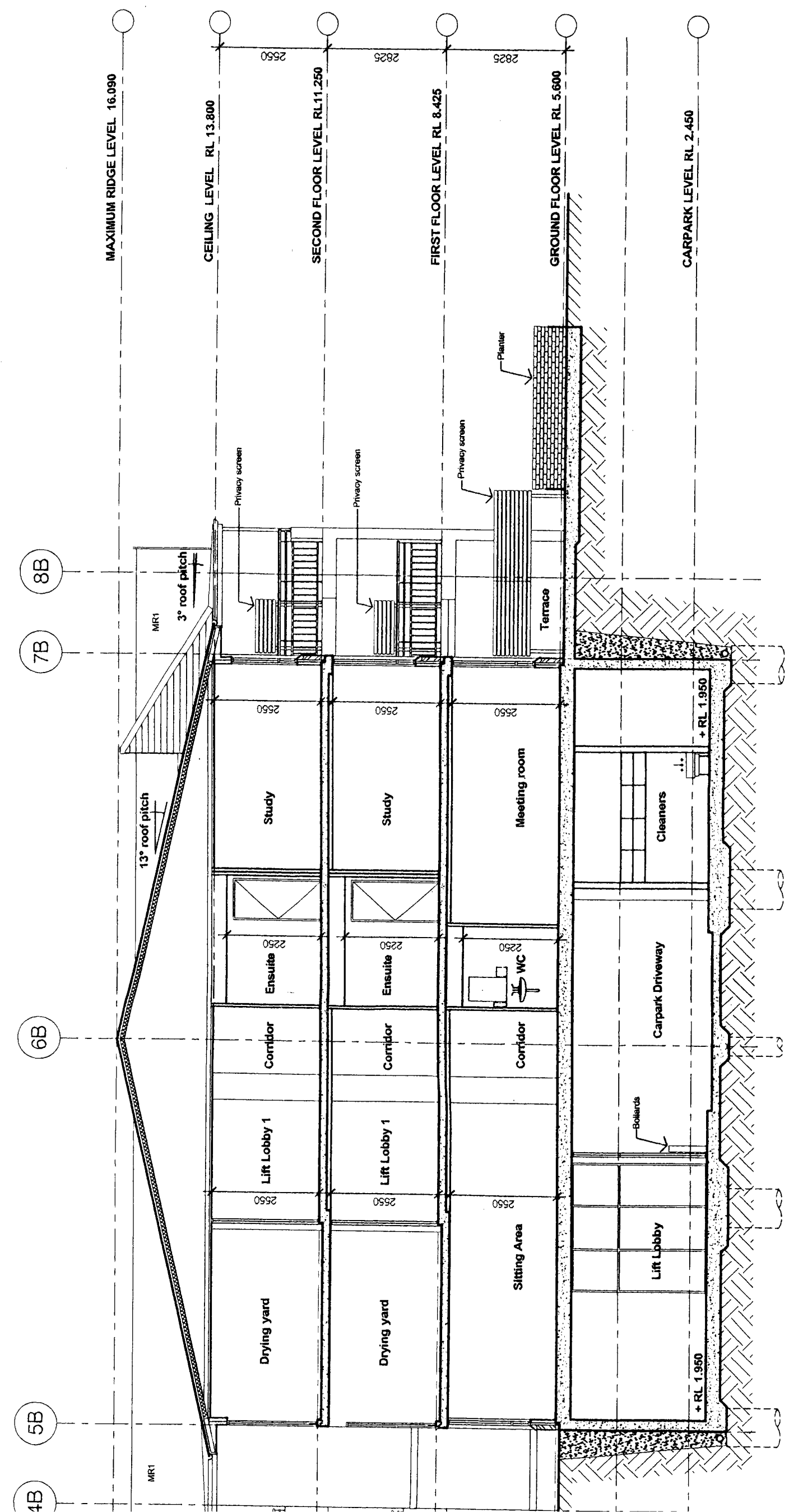
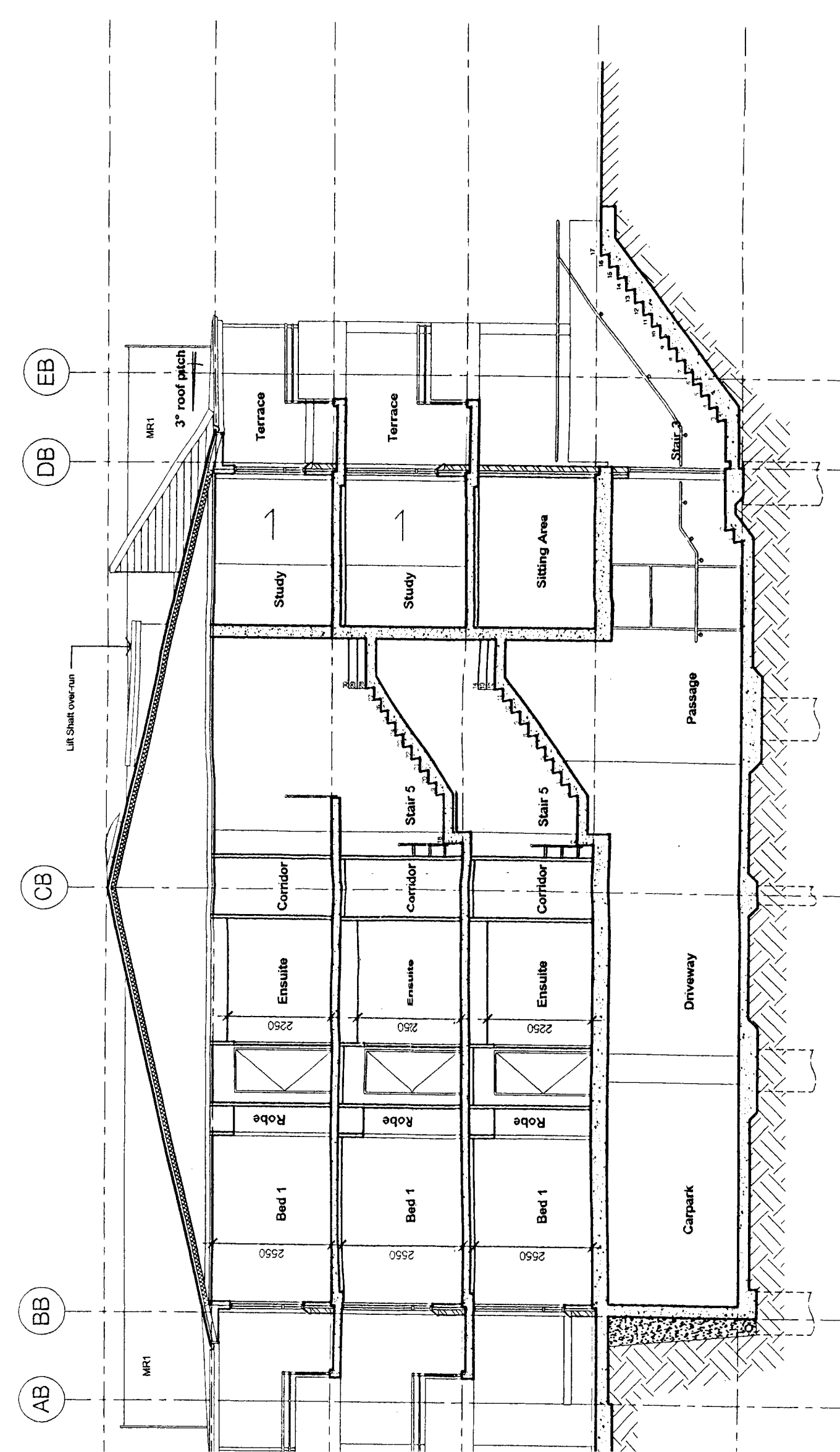
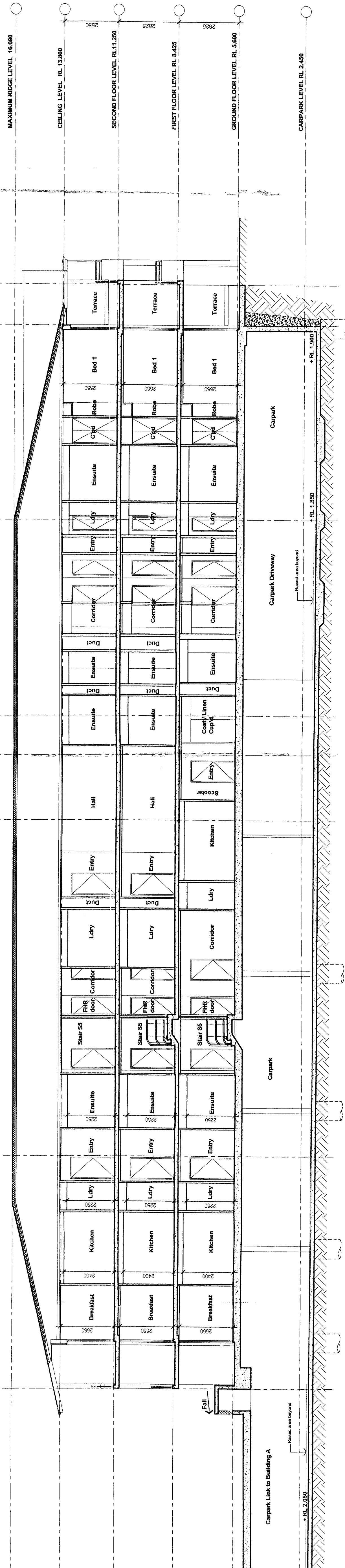
EAST ELEVATION
SCALE 1:100



LEGEND	
BR-F	Brickwork Face
BR-B	Brickwork Bagged and Painted Finish
CS	Castoroid Gutter as specified
CJ	Control Joint
CO	Off Form Concrete select paint finish
DP	Colorbond Downpipe
FC	Fine Corner Flashing
GL	Glazing
HT-A	Horizontal and Balusters - Type A
HT-B	Horizontal and Balusters - Type B
MR	Metal Sheet Roofing as specified
MC	Metal cladding as specified
PS	Privacy Screen
SF	Galv. Steel Frame
SL	Skylight as specified
WB	Weatherboard as specified
XG	Aluminium Louvre as specified

A	Stage 1 Section No. DA Submission	08.02.08
	No. / Amendment	Date
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Project: **PITTSBURGH WARRIWOOD BROOK**
 Location: **WARRIWOOD BROOK**
APPROVED DEVELOPMENT CONSENT PLANS
LAKELANDS
ELEVATIONS



Project	WARREWOOD BROOK
Location	54 MACQUEEN STREET, WARREWOOD
Client	WARREWOOD COUNCIL
Architect	Dotif Robertson Group
Scale	1:1000
Date	08/02/08
Drawn by	DAVID
Checked by	DAVID
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WARREWOOD BROOK
 54 MACQUEEN STREET, WARREWOOD
 WARREWOOD COUNCIL
 Dotif Robertson Group
 Architecture, Health and Aged Care Planning
 Suite 7, Level 1, 100, 9 Railway Street
 Warwood, SA 5000
 APPROXIMATE DEVELOPMENT CONSENT PLANS

25m SETBACK

40m SETBACK

PMF permeation zone

External blade walls extending from ground to soffit of ground floor

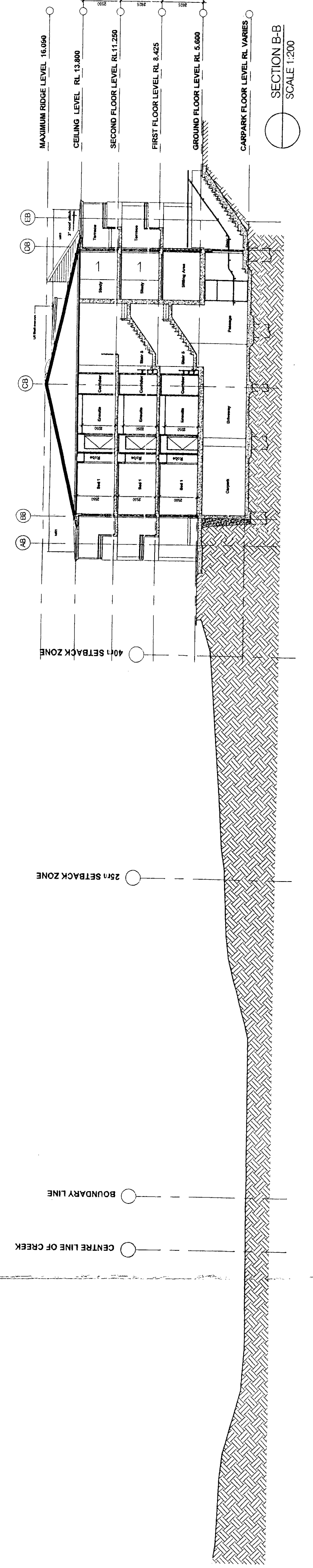
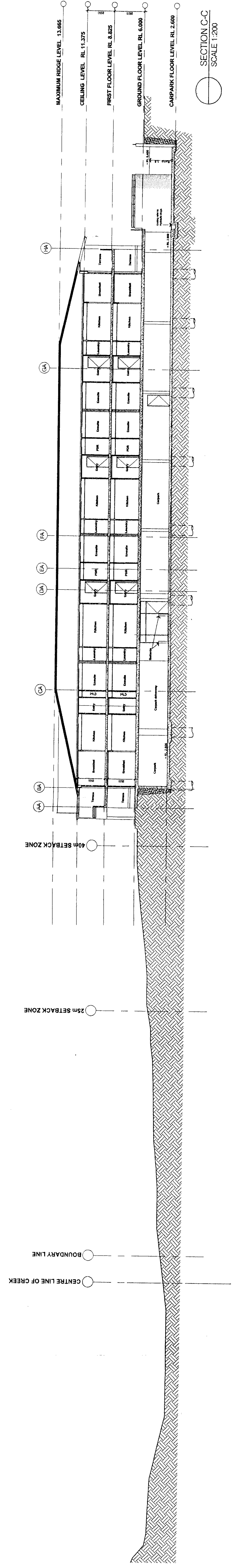
Structure as required

STORMWATER HARVESTING

B&C 47 Spaces

A 42 Spaces

A	Shop 1 Section 90 DA Submission	06/02/08		
	No. Amendment	0		
	Date	0		
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Project	WARREWOOD BROOK
Client	WARREWOOD BROOK DEVELOPMENT
Site	100 WARREWOOD BROOK
Scale	1:200
Date	08/02/08
Author	DRB
Checker	DRB
Designer	DRB
Engineer	DRB
Architect	DRB
Structural Engineer	DRB
MEP Engineer	DRB
Quantity Surveyor	DRB
Cost Consultant	DRB
Environmental Consultant	DRB
Other	DRB

Project
 WARREWOOD BROOK
 100 WARREWOOD BROOK
 THE FERRIERES/ CARKELANDS PLANS
 SECTIONS INCLUDING CREEKBEDS

APPROVED DEVELOPMENT CONSENT PLANS

boffa robertson group
 Architecture, Health and Ageed Care Planning

NOTE: THE ARCHITECTURE, HEALTH AND AGEED CARE PLANNING