

# 18 ALEXANDER STREET COLLARROY

ISSUE FOR DEVELOPMENT  
APPLICATION APPROVAL

NUMBER	SHEET NAME	REVISION
DA000	COVER PAGE & DRAWING LIST	B
DA010	SITE ANALYSIS	A
DA102	PROPOSED SITE PLAN	B
DA110	BASEMENT PLAN	B
DA111	UNDERCROFT FLOOR PLAN	B
DA112	LEVEL 1 FLOOR PLAN	B
DA113	LEVEL 2 FLOOR PLAN	B
DA114	ROOF PLAN	B
DA201	BUILDING SECTIONS - SHEET 1	B
DA202	BUILDING SECTIONS - SHEET 2	B
DA203	BUILDING SECTIONS - SHEET 3	B
DA300	ELEVATIONS	B
DA400	AREA CALCULATIONS - GFA	B
DA401	AREA CALCULATIONS - LANDSCAPE	B
DA500	SHADOW DIAGRAMS - 9AM JUNE 21ST	B
DA502	SHADOW DIAGRAMS - 12PM JUNE 21ST	B
DA503	SHADOW DIAGRAMS - 3PM JUNE 21ST	B
DA511	VIEWS FROM THE SUN - 9, 10 & 11AM	B
DA512	VIEWS FROM THE SUN - 12, 1, 2PM	B
DA513	VIEWS FROM THE SUN - 3PM	B



Regulated Design Record				
Project Address: 18 ALEXANDER ST COLLARROY NSW				
Project Title: THE PALMS		Body Corporate Reg No: NA		
Consent No: DA2021/1766		Drawing No: DA102		
Drawing Title: PROPOSED SITE PLAN				
Rev	Date	Description	DP Full Name	Reg No
A	24.05.2022	FOR CONSTRUCTION	SCOTT WALSH	DEP0001107

**BUILDING WORKS MUST COMPLY WITH THE FOLLOWING PROVISIONS OF THE BCA:**

- CLAUSE B1.4 – MATERIALS & FORMS CONSTRUCTIONS
- SPEC. C1.1 – FIRE RESISTING CONSTRUCTION
- SPEC. C1.9 – NON-COMBUSTIBLE BUILDING ELEMENT
- SPEC. C1.10 – FIRE HAZARD PROPERTIES
- SPEC. C1.11 – PERFORMANCE OF EXTERNAL WALLS IN A FIRE
- CLAUSE C2.6 – VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS
- CLAUSE C2.12 – SEPARATION OF EQUIPMENT
- CLAUSE C2.13 – ELECTRICITY SUPPLY SYSTEM
- CLAUSE C3.4 – ACCEPTABLE METHODS OF PROTECTION (OF OPENINGS)
- CLAUSE C3.8 – OPENINGS IN FIRE ISOLATED EXITS
- CLAUSE C3.15 – OPENINGS FOR SERVICE INSTALLATIONS
- CLAUSE D1.10 – DISCHARGE FROM EXITS
- CLAUSE D2.7 – INSTALLATIONS IN EXITS AND PATHS OF TRAVEL
- CLAUSE D2.13 – GOINGS AND RISERS
- CLAUSE D2.14 – LANDINGS
- CLAUSE D2.15 – THRESHOLDS
- CLAUSE D2.16 – BALUSTRADES
- CLAUSE D2.17 – HANDRAILS
- CLAUSE D2.21 – OPERATION OF LATCH
- CLAUSE D2.23 – SIGN ON DOORS
- CLAUSE D2.24 – PROTECTION OF OPENABLE WINDOWS
- CLAUSE D3.2 – GENERAL BUILDING ACCESS REQUIREMENTS
- CLAUSE D3.3 – PARTS OF BUILDING TO BE ACCESSIBLE
- CLAUSE D3.6 – IDENTIFICATION OF ACCESSIBLE FACILITIES, SERVICES AND FEATURES
- CLAUSE D3.8 – TACTILE INDICATORS
- CLAUSE E1.5 – SPRINKLERS
- CLAUSE F1.7 – WATERPROOFING OF WET AREAS
- CLAUSE F1.7/ F1.10 – DAMP PROOFING
- CLAUSE F2.5 – CONSTRUCTION OF SANITARY COMPARTMENTS
- PART F4 – LIGHTING AND VENTILATION
- CLAUSE F5.4 – SOUND INSULATION OF FLOORS
- CLAUSE F5.5 – SOUND INSULATION OF WALLS
- CLAUSE F5.6 – SOUND INSULATION OF SERVICES
- CLAUSE F5.7 – SOUND INSULATION OF PUMPS

**GENERAL NOTES**

- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWING. CONSULT ARCHITECT IF ANY CLARIFICATION IS REQUIRED.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED
- ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT DOCUMENTATION
- ANY DISCREPANCIES IN DOCUMENTATION ARE TO BE NOTIFIED TO THE PROJECT MANAGER AND ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- REFER TO MATERIALS AND FINISHES SCHEDULE FOR DETAILS ON MATERIAL SELECTION AND SPECIFICATIONS.
- REFER TO DEVELOPMENT APPLICATION NOTICE OF DECISION FOR ANY AND ALL APPROVAL CONDITIONS.
- ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION
- WORK RELATING TO ACCESSIBLE REQUIREMENTS TO MEET AS1428.1, UNLESS NOTED OTHERWISE. IF A DISCREPANCY EXISTS REFER TO PROJECT MANAGER FOR CLARIFICATION.
- WORK RELATING TO OFF-STREET PARKING TO AS2890.1, UNLESS NOTED OTHERWISE. IF A DISCREPANCY EXISTS REFER TO PROJECT MANAGER FOR CLARIFICATION.
- ANY VARIATION IN CONSTRUCTION METHODOLOGY OR IN MATERIAL TYPE OR SPECIFICATION TO BE RECORDED & COMMUNICATED TO THE ARCHITECT & RELATIVE CONSULTANTS TO ENSURE ACCURATE WORK AS EXECUTED DRAWINGS.
- DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING STRUCTURE, SERVICES, BUILDING FABRIC AND SITE FEATURES.
- INSTALLATION OF SYSTEMS AND PROPRIETARY PRODUCTS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS
- LOCATION AND SPECIFICATION OF ALL ELECTRICAL SERVICES, FIXTURES AND FITTINGS TO BE REFERENCED FROM THE ELECTRICAL ENGINEERS DRAWINGS AND SPECIFICATION. ALL FIXTURES TO BE INSTALLED IN COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
- LOCATION AND SPECIFICATION OF ALL MECHANICAL SERVICES, FIXTURES AND FITTINGS TO BE REFERENCED FROM THE MECHANICAL ENGINEERS DRAWINGS AND SPECIFICATION. ALL FIXTURES TO BE INSTALLED IN COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
- LOCATION AND SPECIFICATION OF ALL HYDRAULIC SERVICES, FIXTURES AND FITTINGS TO BE REFERENCED FROM THE HYDRAULIC ENGINEERS DRAWINGS AND SPECIFICATION. ALL FIXTURES TO BE INSTALLED IN COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
- ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE TO BE USED AS A GUIDE ONLY. BUILDER TO ENSURE THEY OVERLAY LATEST CONSULTANT DRAWING.
- ALL STRUCTURAL COLUMN DIMENSIONS SHOWN ON THE ARCHITECTURAL CONCRETE SETOUT DRAWINGS ARE FOR SETOUT PURPOSES ONLY AND SHOULD BE CONFIRMED BY REVIEWING CURRENT STRUCTURAL DRAWINGS
- BUILDER TO UNDERTAKE THEIR OWN DIAL BEFORE YOU DIG

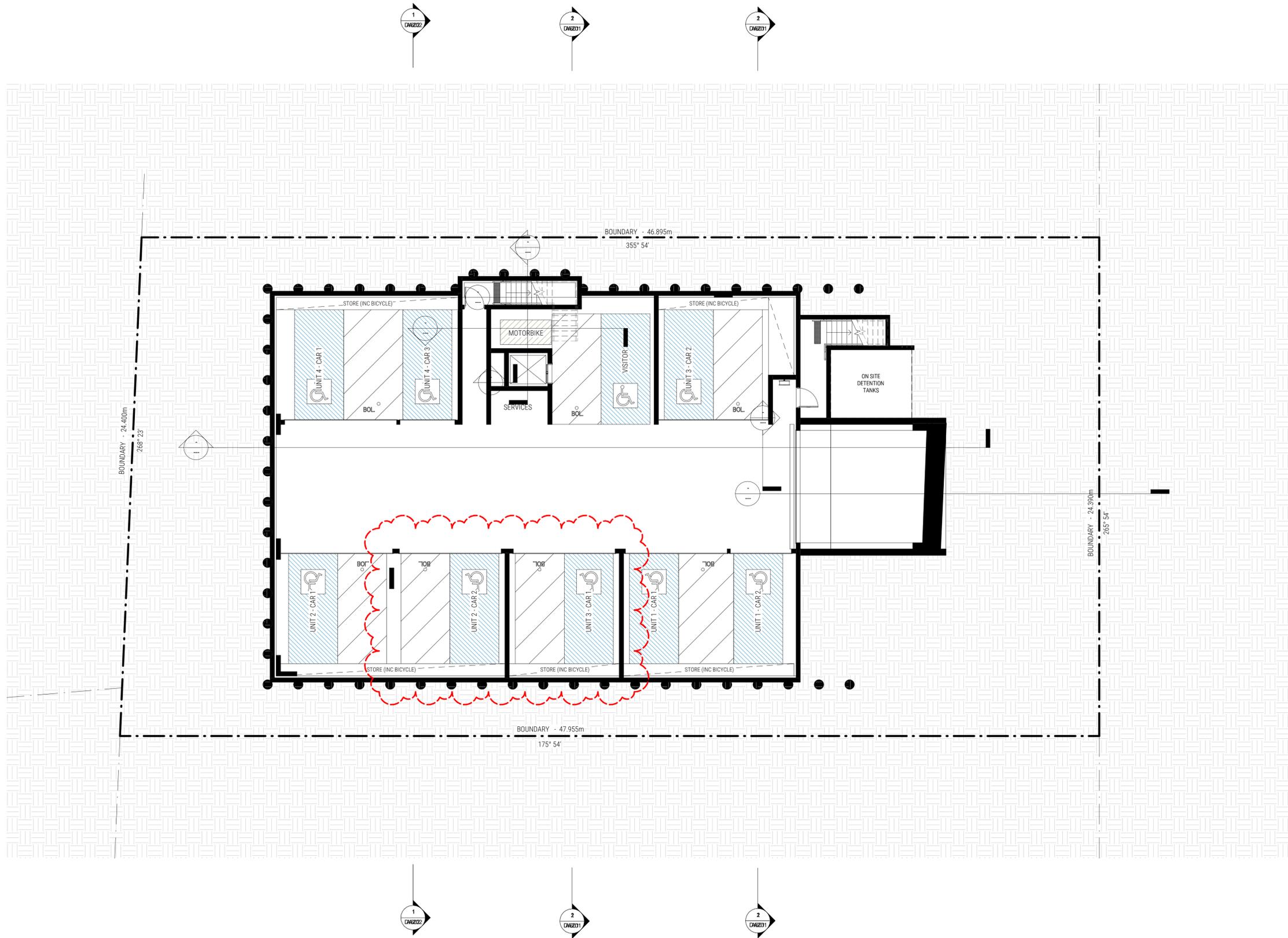


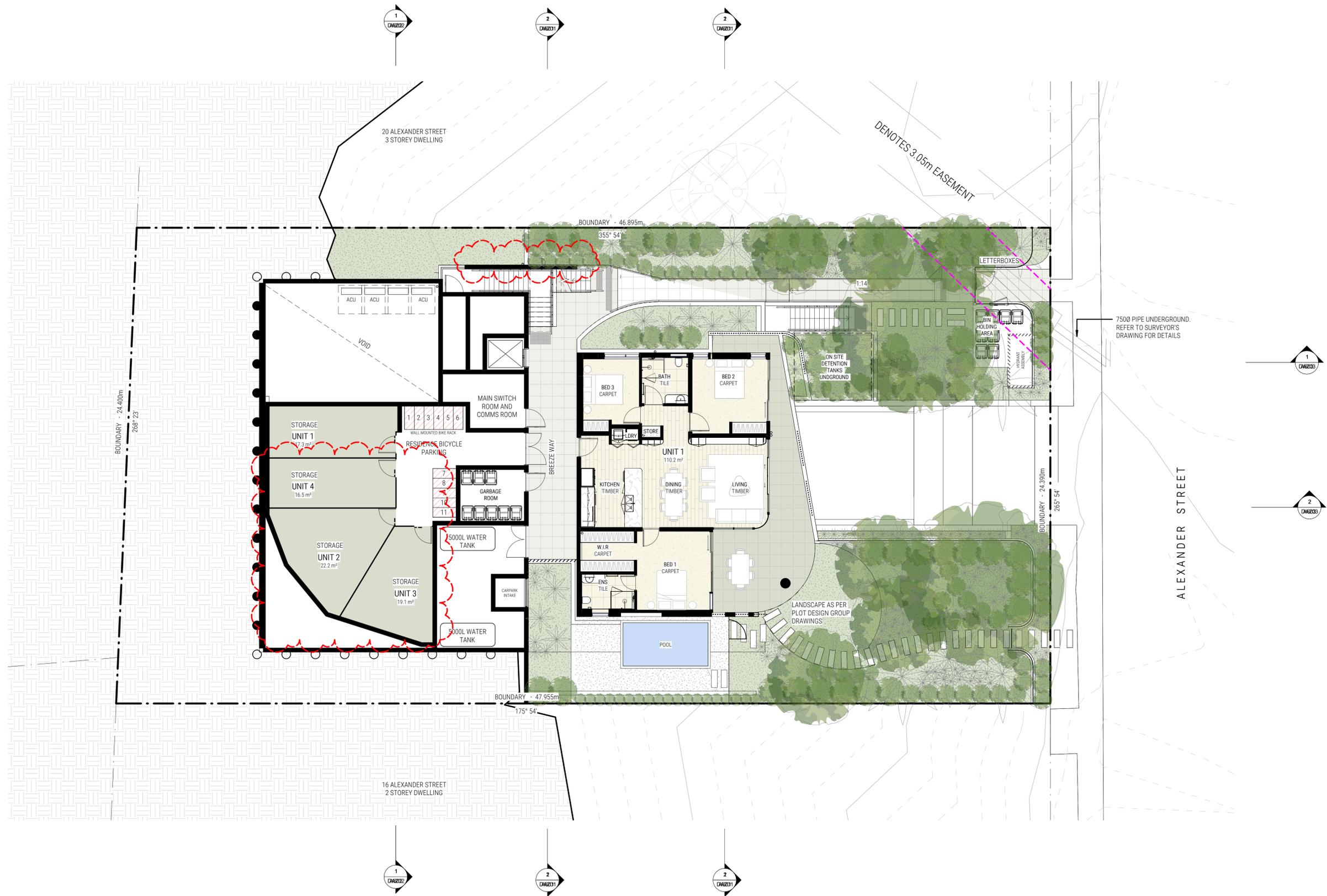
Sept 2022  
 Building Sustainability Assessments  
 enquiries@buildingsustainability.net.au  
 BSA Reference: 15645  
 Ph: (02) 4962 3439  
 www.buildingsustainability.net.au

**Important Note**  
 The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.  
 In NSW both BASIX & the BCA variations must be complied with, in particular the following:  
 - Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1  
 - Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)  
 - Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(i), (ii) & (e) or (c), (d) & (e)  
 - Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

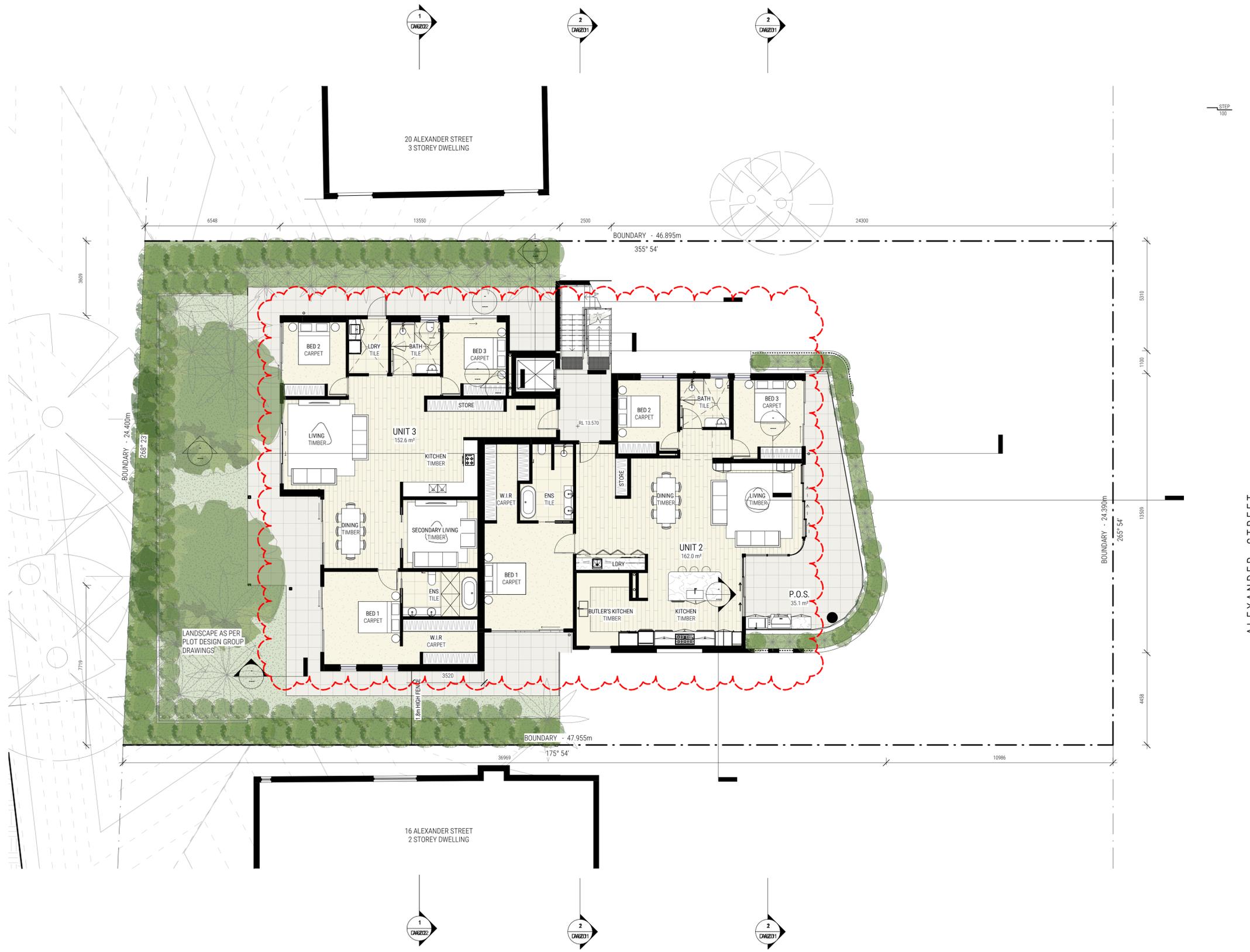
Thermal Performance Specifications (does not apply to garage)			
<b>External Wall Construction</b>	Added Insulation		
Lightweight	R2.0		
<b>Internal Wall Construction</b>	Added Insulation		
Plasterboard on studs (internal to units)	None		
Plasterboard + stud + shaft liner + stud + plasterboard (party wall between units)	None		
Concrete + Plasterboard (adjacent to lift/stair cores)	None		
<b>Ceiling Construction</b>	Added Insulation		
Plasterboard	R3.5 to ceilings adjacent to roof and decks above		
<b>Roof Construction</b>	Colour (Solar Absorbance)	Added Insulation	
Concrete	Any	None	
Metal	Any	Foil + R1.0 blanket	
<b>Floor Construction</b>	Covering	Added Insulation	
Concrete	As drawn (if not noted default values used)	R1.0 to Unit 1	
Concrete	R1.0 where open below		
<b>Windows</b>	Glass and frame type	U value	SHGC Range Area sq m
Performance glazing Type A		5.40	0.44 - 0.54 As drawn
Performance glazing Type B		5.40	0.52 - 0.64 As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
<b>Skylights</b>	Glass and frame type	U	SHGC Area sq m Detail
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
<b>Shade elements</b>	(eaves, verandahs, awnings etc)		
All shade elements modelled as drawn			
<b>Ceiling Penetrations</b>	(downlights, exhaust fans, flues etc)		
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
<b>Additional Notes</b>			
Nil			







REV NO.	DESCRIPTION	REV DATE	UNDERCROFT FLOOR PLAN
3	FOR CONSULTANT CO-ORDINATION	28.08.21	SHEET NUMBER DA111
A	ISSUE FOR DA APPROVAL	03.09.21	REVISION B
B	4.55 MODIFICATION	05.09.22	SCALE @ A1 1 : 100
			18 ALEXANDER ST COLLAROY NSW

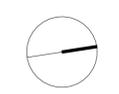


STEP  
100

ALEXANDER STREET

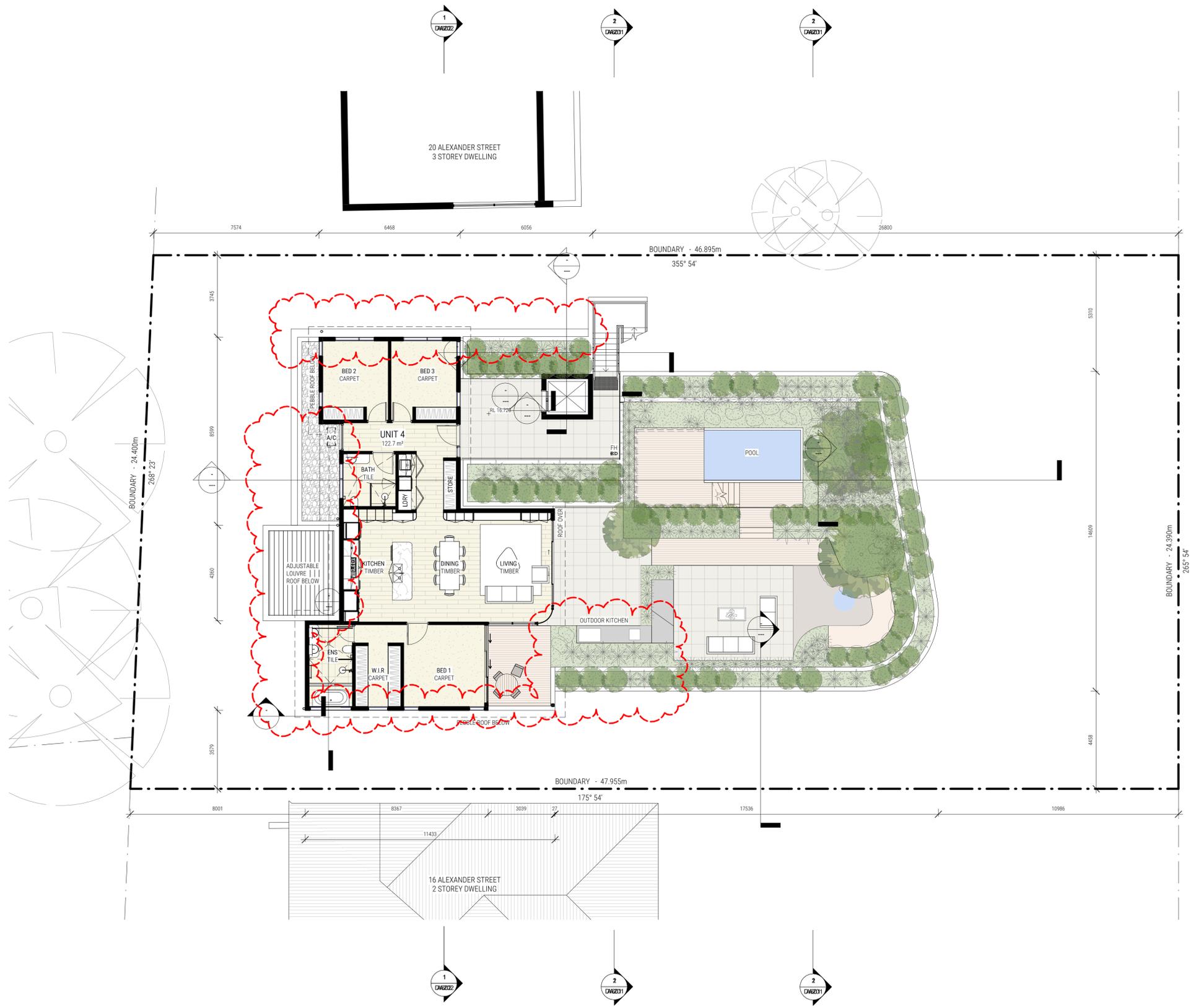


Building 3, 3/1 Dairy Rd,  
Fyshwick ACT 2609  
E: scott@walsharchitects.com.au  
P: 0466 049 880  
Nominated Architect: Scott Walsh  
ACT 2624 | NSW 10366



REV NO.	DESCRIPTION	REV DATE
3	FOR CONSULTANT CO-ORDINATION	28.08.21
A	ISSUE FOR DA APPROVAL	03.09.21
B	4.55 MODIFICATION	05.09.22

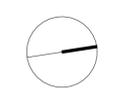
LEVEL 1 FLOOR PLAN	
SHEET NUMBER	DA112
REVISION	B
SCALE @ A1	1 : 100
18 ALEXANDER ST COLLAROY NSW	



ALEXANDER STREET

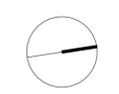
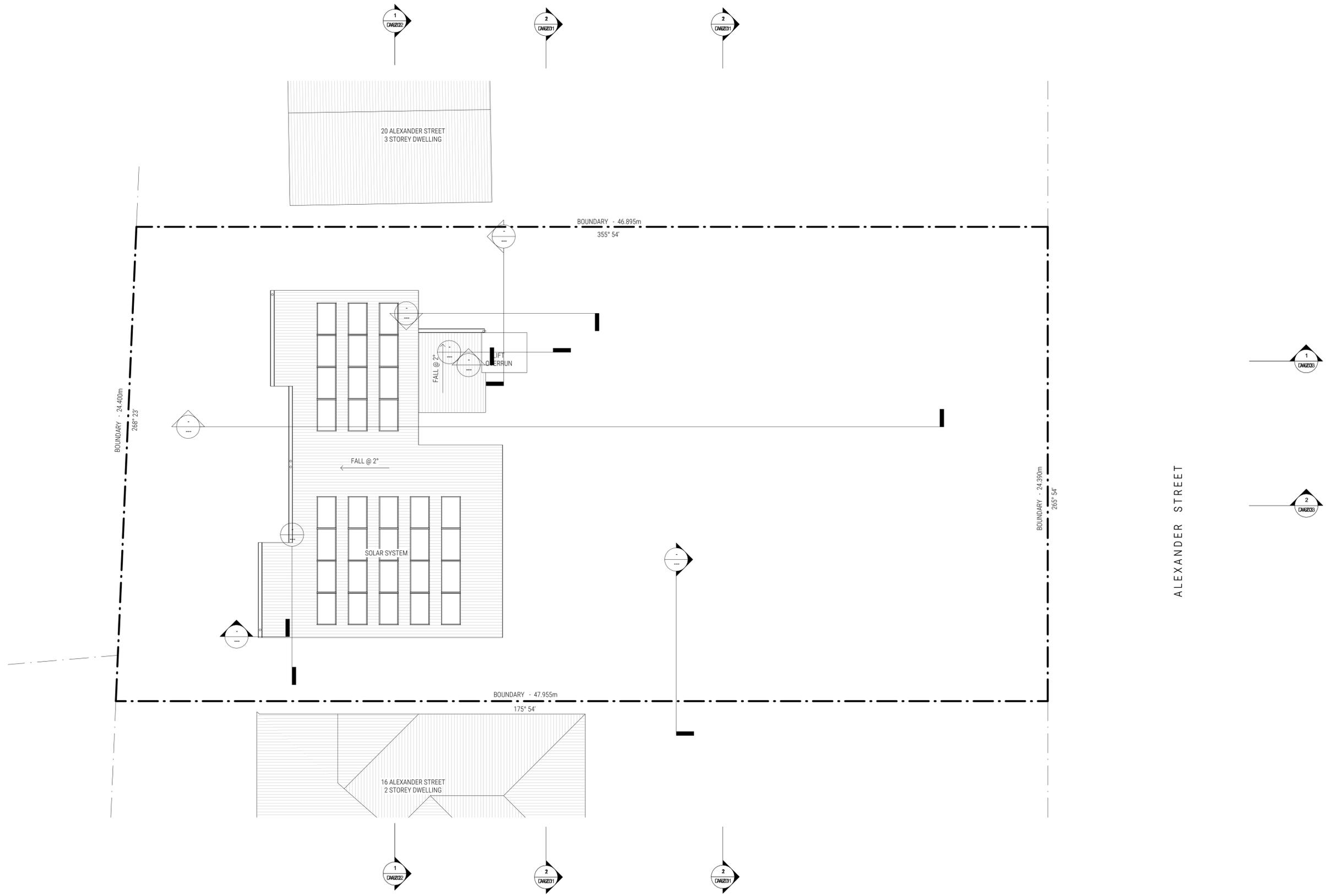


Building 3,3/1 Dairy Rd,  
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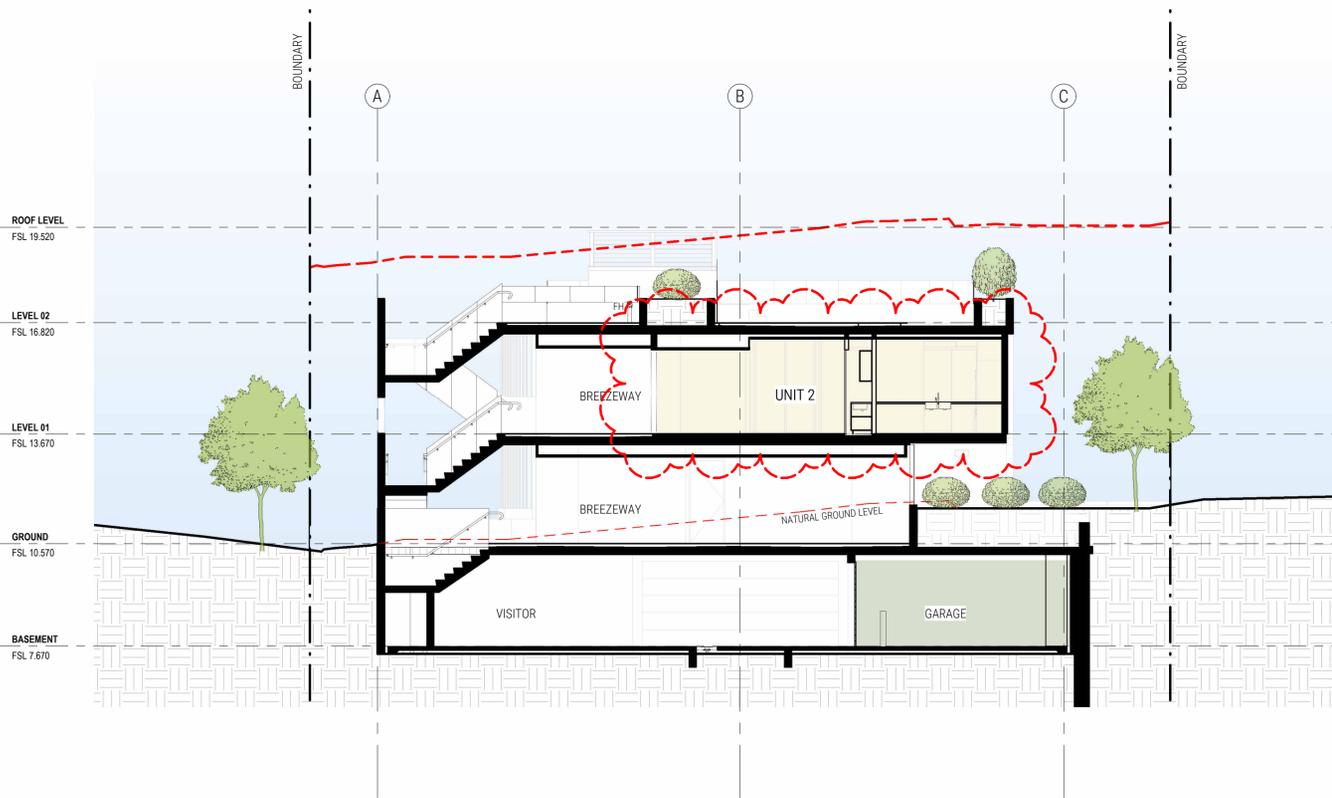
LEVEL 2 FLOOR PLAN	
SHEET NUMBER	DA113
REVISION	B
SCALE @ A1	1 : 100
18 ALEXANDER ST COLLAROY NSW	



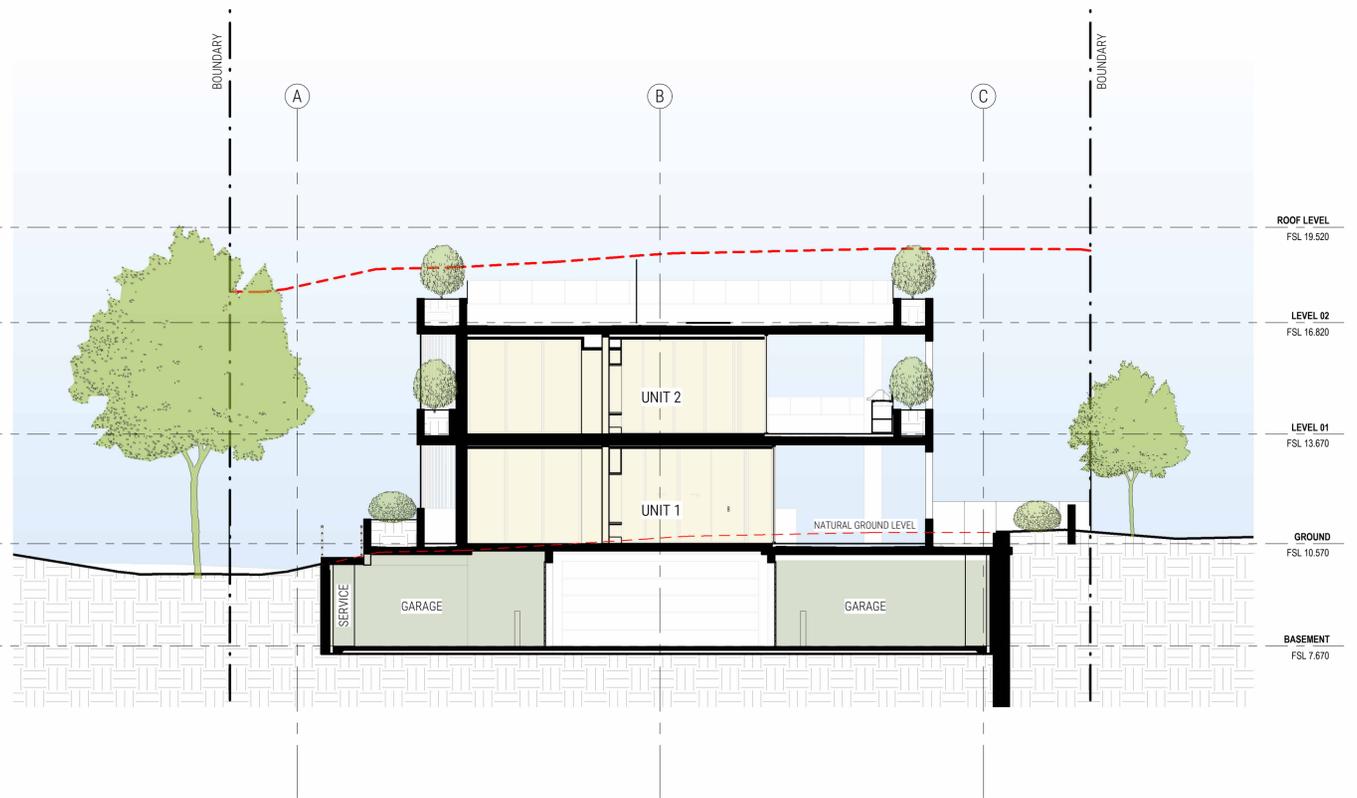
REV NO.	DESCRIPTION	REV DATE
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A	ISSUE FOR DA APPROVAL	03.09.21
B	4.55 MODIFICATION	05.09.22

SHEET NUMBER	REVISION	SCALE @ A1	ROOF PLAN
DA114	B	1:100	18 ALEXANDER ST COLLAROY NSW

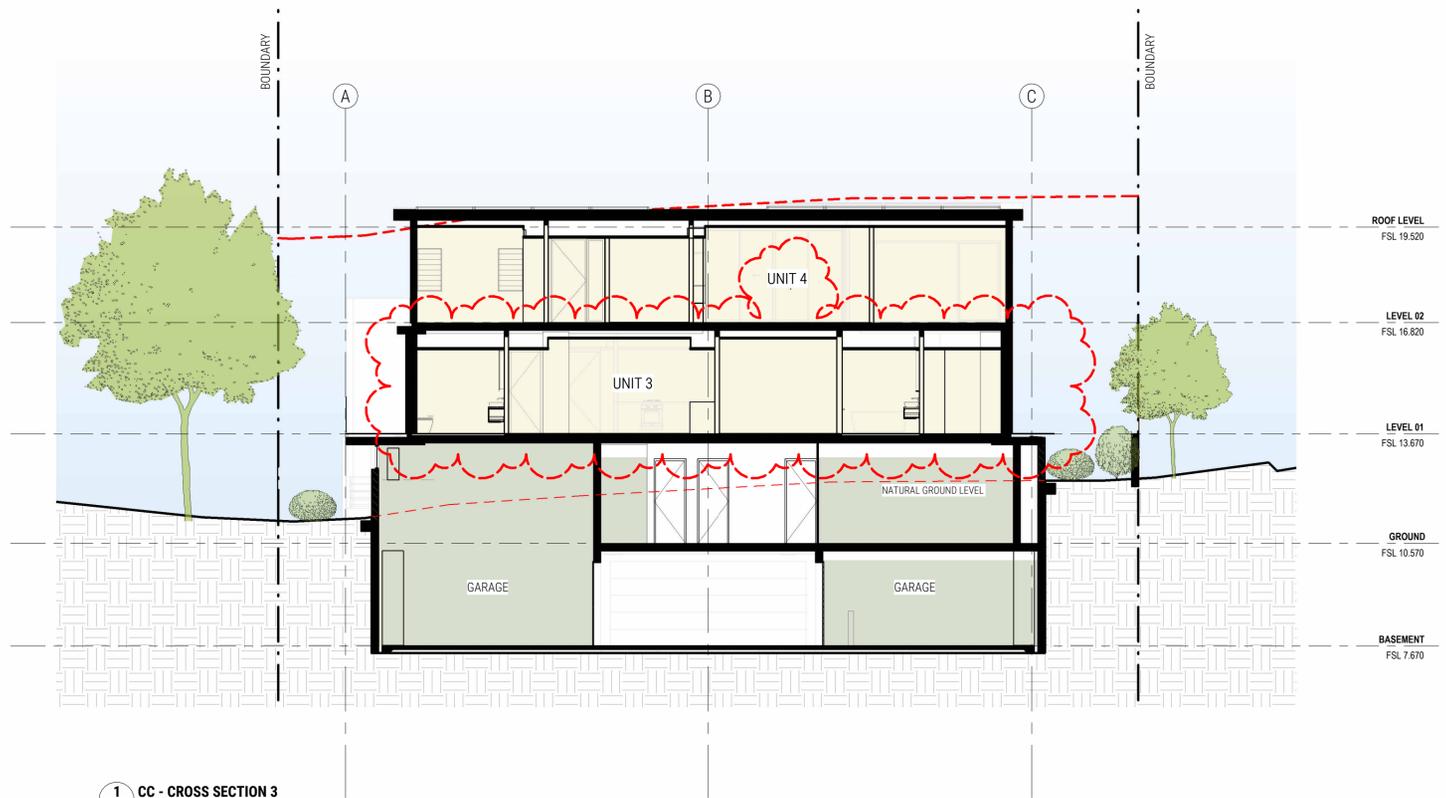
Regulated Design Record				
Project Address: 18 ALEXANDER ST COLLAROY NSW				
Project Title: THE PALMS		Body Corporate Reg No: NA		
Consent No: DA2021/1766		Drawing No: DA201		
Drawing Title: BUILDING SECTIONS - SHEET 1				
Rev	Date	Description	DP Full Name	Reg No
A	24.05.2022	FOR CONSTRUCTION	SCOTT WALSH	DEP0001107



2 CC - CROSS SECTION 1  
DA201 1:100 @ A1



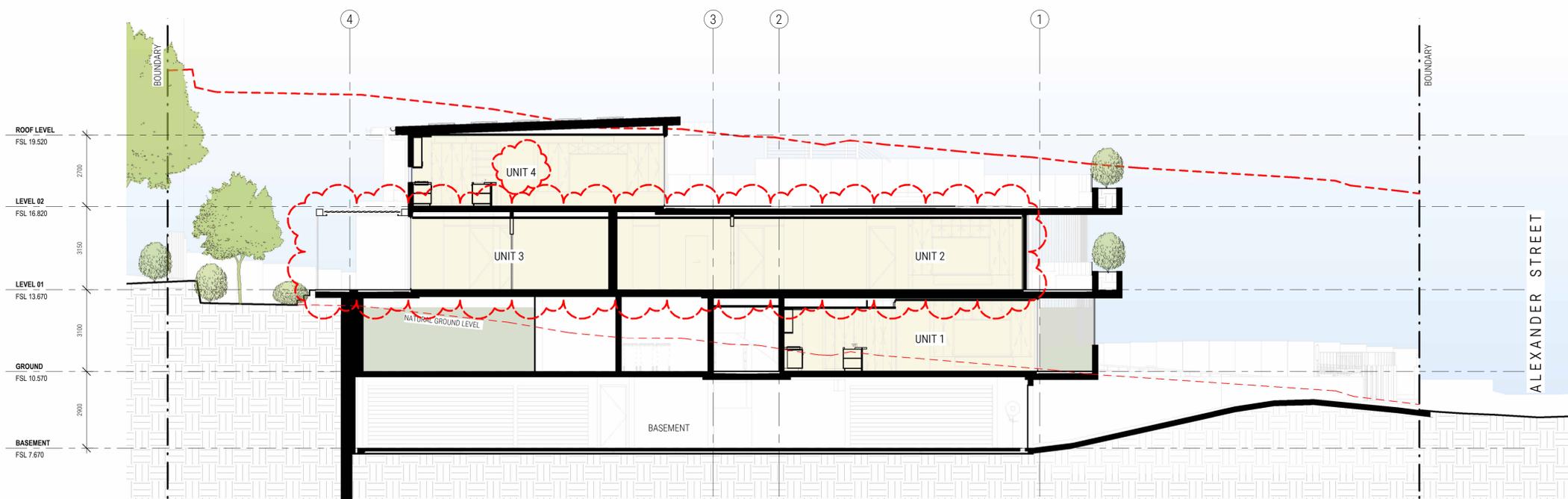
1 CC - CROSS SECTION 2  
DA201 1:100 @ A1



1 CC - CROSS SECTION 3  
DA202 1:100 @A1



**1 CC - LONG SECTION**  
 DA203 1:100 @ A1



**2 CC - LONG SECTION - DRIVEWAY**  
 DA203 1:100 @ A1

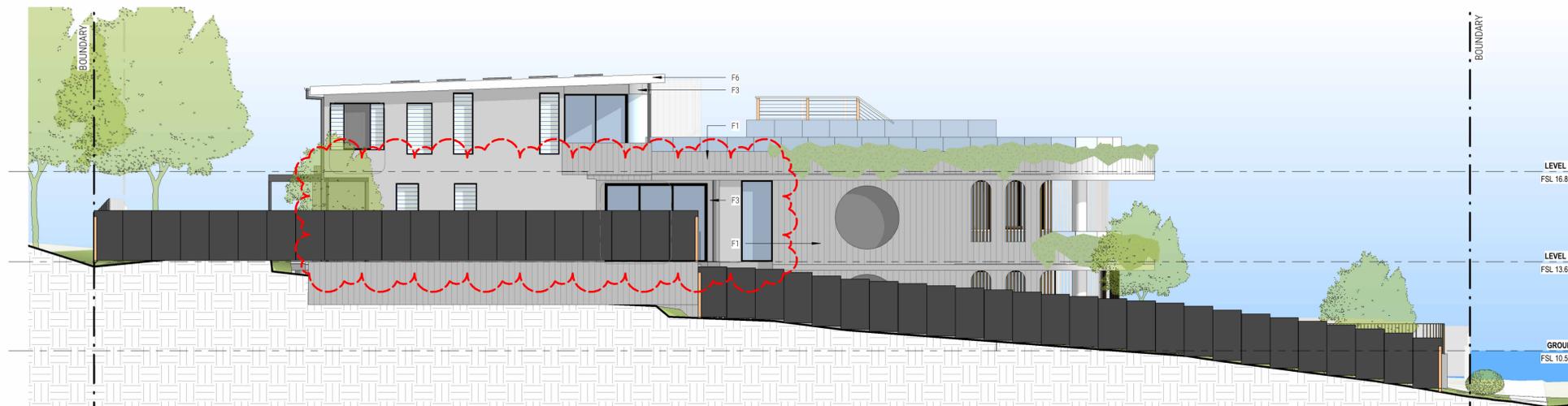
REV NO.	DESCRIPTION	REV DATE
1	PRELIMINARY	15.08.21
A	ISSUE FOR DA APPROVAL	03.09.21
B	4.55 MODIFICATION	05.09.22



**1 PROPOSED NORTH ELEVATION**  
DA300/ 1:100 @ A1



**2 PROPOSED SOUTH ELEVATION**  
DA300/ 1:100 @ A1



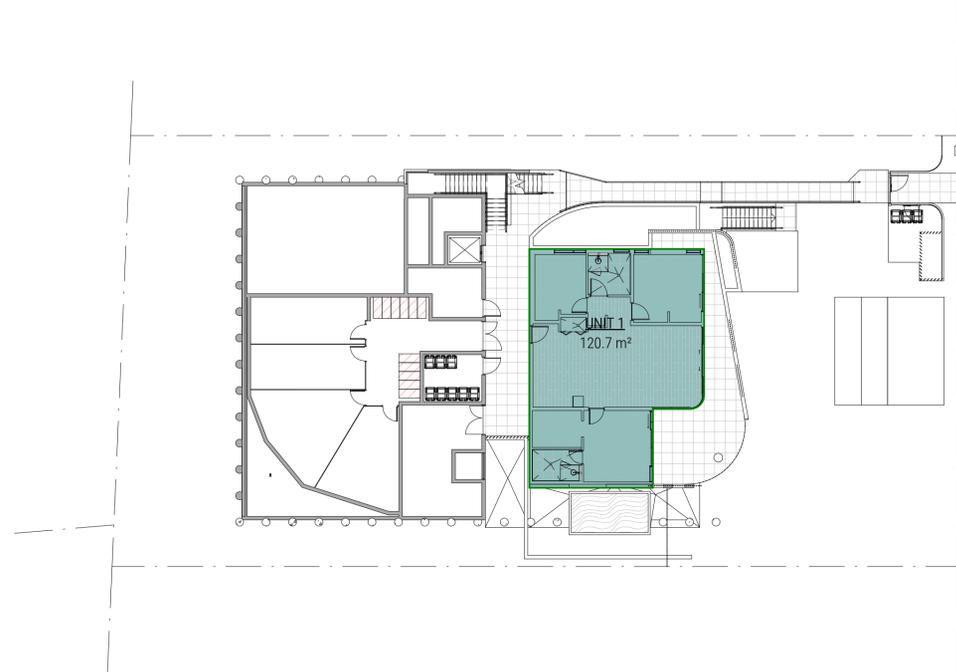
**3 PROPOSED EAST ELEVATION**  
DA300/ 1:100 @ A1



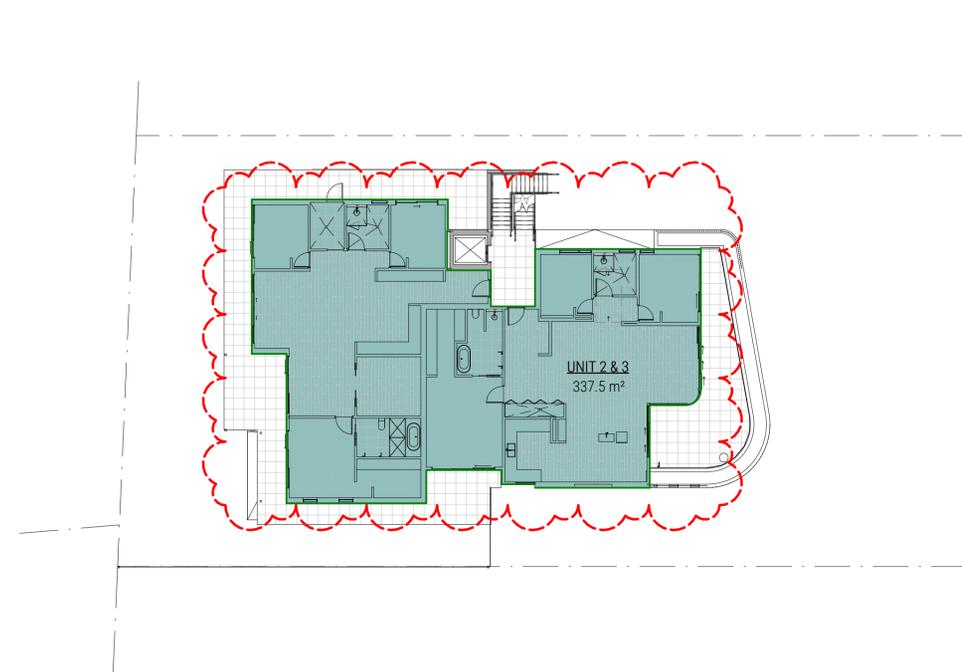
**4 PROPOSED WEST ELEVATION**  
DA300/ 1:100 @ A1

**EXTERNAL FINISHES SCHEDULE**

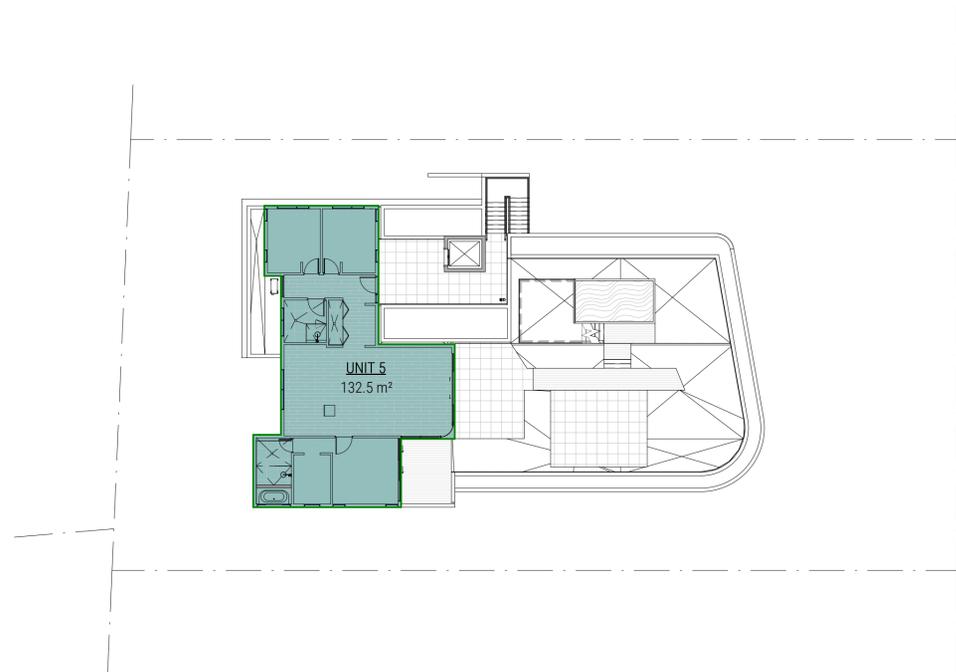
CODES	EXTERIOR
F1	- BOARD-FORMED INSITU CONCRETE
F2	- POWDER COATED ALUMINIUM BATTENS
F3	- WHITE - PAINTED EASYLAP FC
F4	- SANDSTONE - EXTERIOR BASEMENT WALL & RETAINING WALLS
F5	- ALUMINIUM WINDOW FRAME - NIGHT SKY
F6	- LYSAGHT METAL ROOF - SURFMIST



**1 GFA - GROUND**  
DA400/ 1:200 @ A1



**2 GFA - LEVEL 01**  
DA400/ 1:200 @ A1



**3 GFA - LEVEL 02**  
DA400/ 1:200 @ A1

SEPP SENIORS 2004  
50 STANDARDS THAT CANNOT BE USED TO REFUSE DEVELOPMENT CONSENT FOR SELF-CONTAINED DWELLINGS

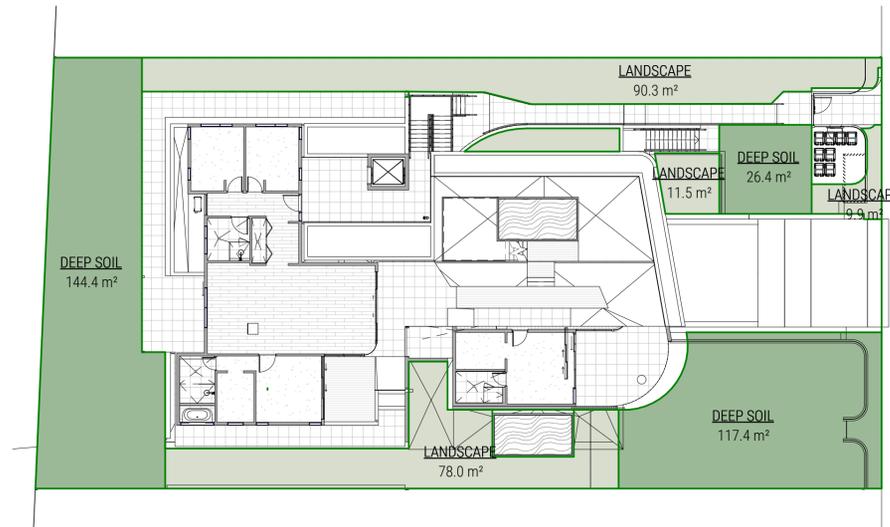
A CONSENT AUTHORITY MUST NOT REFUSE CONSENT TO A DEVELOPMENT APPLICATION MADE PURSUANT TO THIS CHAPTER FOR THE CARRYING OUT OF DEVELOPMENT FOR THE PURPOSE OF A SELF-CONTAINED DWELLING (INCLUDING IN-FILL SELF-CARE HOUSING AND SERVICED SELF-CARE HOUSING) ON ANY OF THE FOLLOWING GROUNDS-

(B) DENSITY AND SCALE: IF THE DENSITY AND SCALE OF THE BUILDINGS WHEN EXPRESSED AS A FLOOR SPACE RATIO IS 0.5:1 OR LESS,

AREA SCHEDULE - GFA		
Level	Area	FSR
Not Placed	0.0 m <sup>2</sup>	0.00
GROUND	120.7 m <sup>2</sup>	0.10
LEVEL 01	337.5 m <sup>2</sup>	0.29
LEVEL 02	132.5 m <sup>2</sup>	0.11
	590.7 m <sup>2</sup>	0.51

THE DEVELOPMENT HAS A FLOOR TO SPACE RATIO OF 0.5:1 AND THUS SEEKS A VARIATION WITH SEPP SENIORS 50(B)





50 STANDARDS THAT CANNOT BE USED TO REFUSE DEVELOPMENT CONSENT FOR SELF-CONTAINED DWELLINGS  
 A CONSENT AUTHORITY MUST NOT REFUSE CONSENT TO A DEVELOPMENT APPLICATION MADE PURSUANT TO THIS CHAPTER FOR THE CARRYING OUT OF DEVELOPMENT FOR THE PURPOSE OF A SELF-CONTAINED DWELLING (INCLUDING IN-FILL SELF-CARE HOUSING AND SERVICED SELF-CARE HOUSING) ON ANY OF THE FOLLOWING GROUNDS—

- (C) LANDSCAPED AREA: IF—
  - (i) IN ANY OTHER CASE—A MINIMUM OF 30% OF THE AREA OF THE SITE IS TO BE LANDSCAPED,
  - (D) DEEP SOIL ZONES: IF, IN RELATION TO THAT PART OF THE SITE (BEING THE SITE, NOT ONLY OF THAT PARTICULAR DEVELOPMENT, BUT ALSO OF ANY OTHER ASSOCIATED DEVELOPMENT TO WHICH THIS POLICY APPLIES) THAT IS NOT BUILT ON, PAVED OR OTHERWISE SEALED, THERE IS SOIL OF A SUFFICIENT DEPTH TO SUPPORT THE GROWTH OF TREES AND SHRUBS ON AN AREA OF NOT LESS THAN 15% OF THE AREA OF THE SITE (THE DEEP SOIL ZONE). TWO-THIRDS OF THE DEEP SOIL ZONE SHOULD PREFERABLY BE LOCATED AT THE REAR OF THE SITE AND EACH AREA FORMING PART OF THE ZONE SHOULD HAVE A MINIMUM DIMENSION OF 3 METRES.

LANDSCAPE AREA DEFINITION UNDER THE SEPP

LANDSCAPED AREA MEANS A PART OF A SITE USED FOR GROWING PLANTS, GRASSES AND TREES, BUT DOES NOT INCLUDE ANY BUILDING, STRUCTURE OR HARD PAVED AREA.

LANDSCAPED AREA		
Name	LANDSCAPE AREA	PERCENTAGE OF SITE AREA
DEEP SOIL	288.2 m <sup>2</sup>	24.9%
LANDSCAPE	199.8 m <sup>2</sup>	17.3%
	488.0 m <sup>2</sup>	42.2%

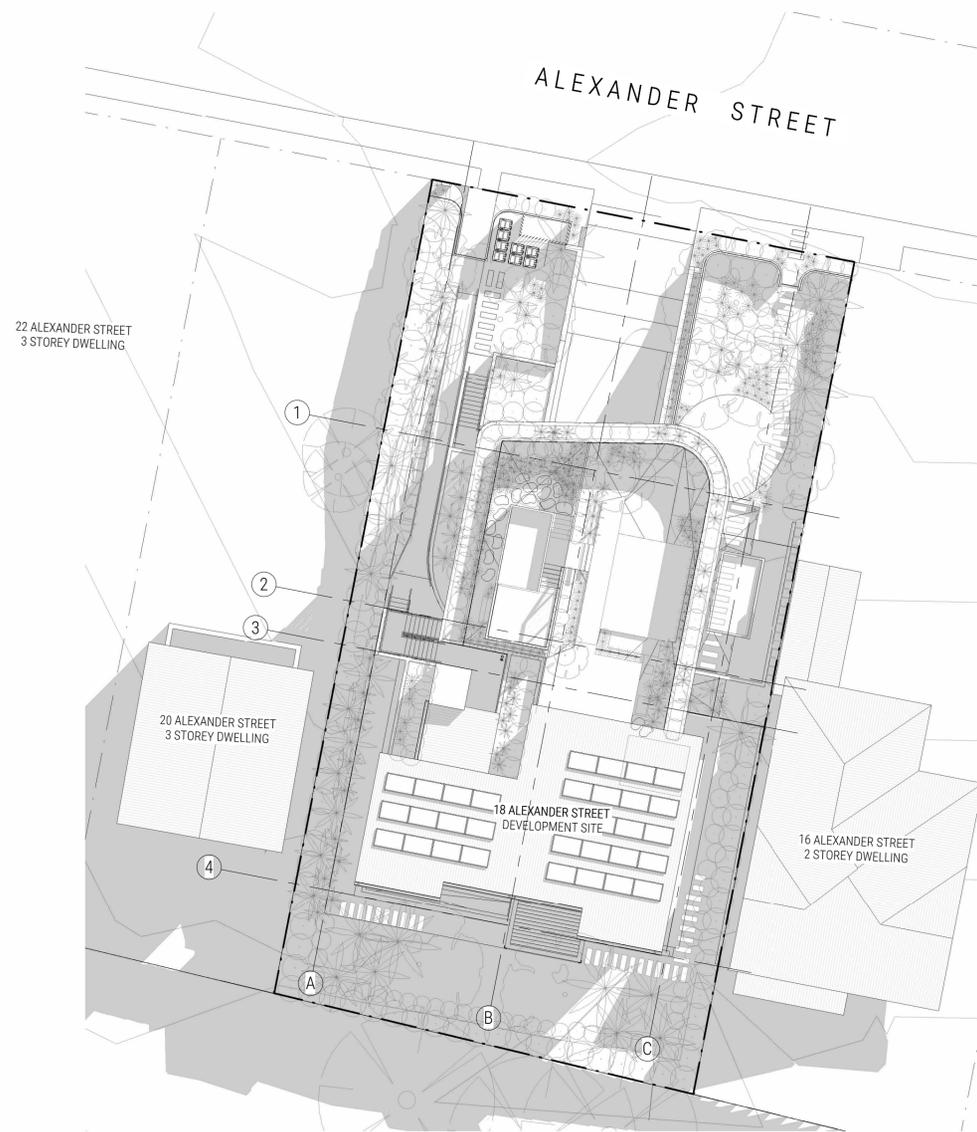
THE DEVELOPMENT HAS A LANDSCAPE AREA >30% ANDD THUS COMPLIES WITH SEPP SENIORS 50(C)

THE DEVELOPMENT HAS A DEEP SOIL ZONE >15% ANDD THUS COMPLIES WITH SEPP SENIORS 50(D)





**1** EXISTING SHADOW DIAGRAM - 9AM JUNE 21ST  
 DA500/ 1:200 @ A1



**2** PROPOSED SHADOW DIAGRAM - 9AM JUNE 21ST  
 DA500/ 1:200 @ A1

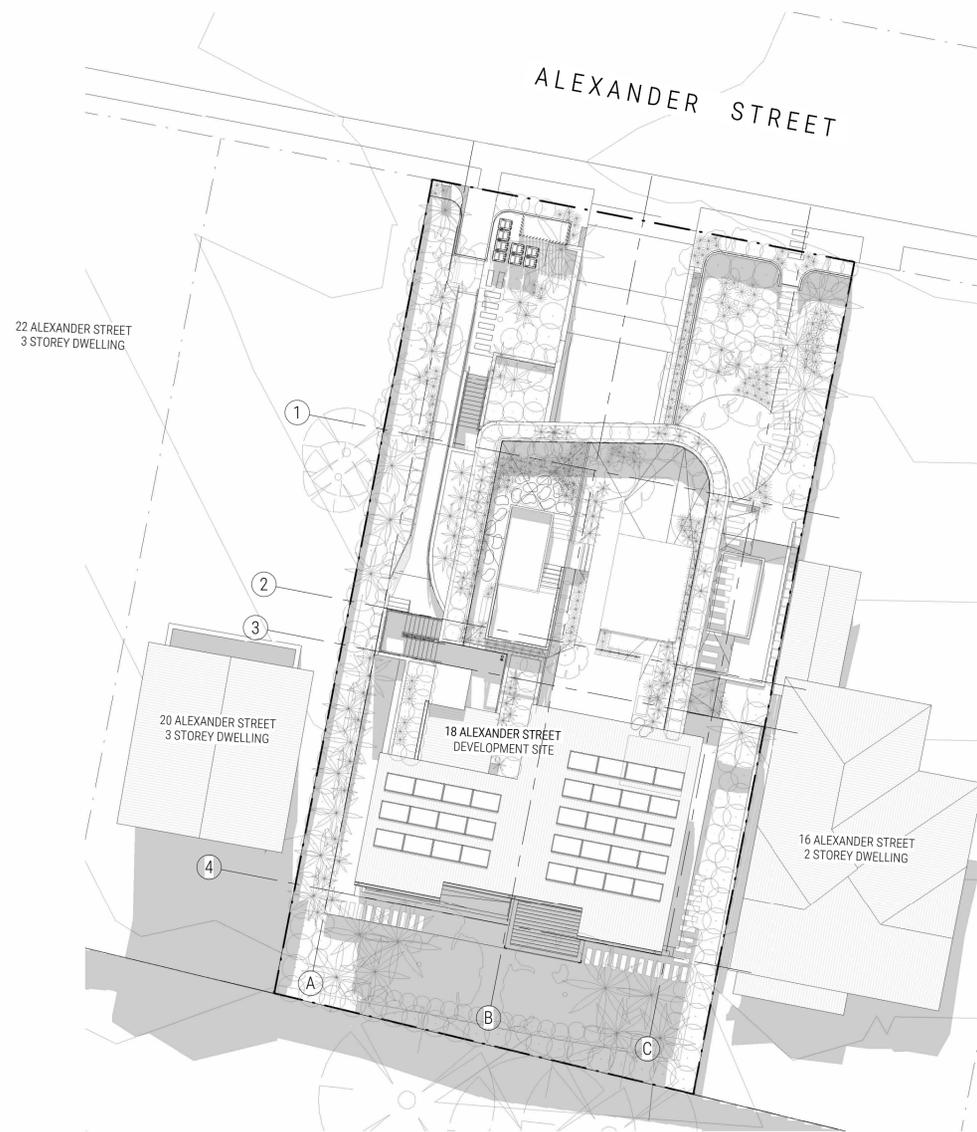


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2	FOR CONSULTANT CO-ORDINATION	28.08.21
A	ISSUE FOR DA APPROVAL	03.09.21
B	4.55 MODIFICATION	05.09.22

SHADOW DIAGRAMS - 9AM JUNE 21ST	
SHEET NUMBER	DA500
REVISION	B
SCALE @ A1	1:200
18 ALEXANDER ST COLLAROY NSW	



**1** EXISTING SHADOW DIAGRAM - 12PM JUNE 21ST  
DA502/ 1:200 @ A1



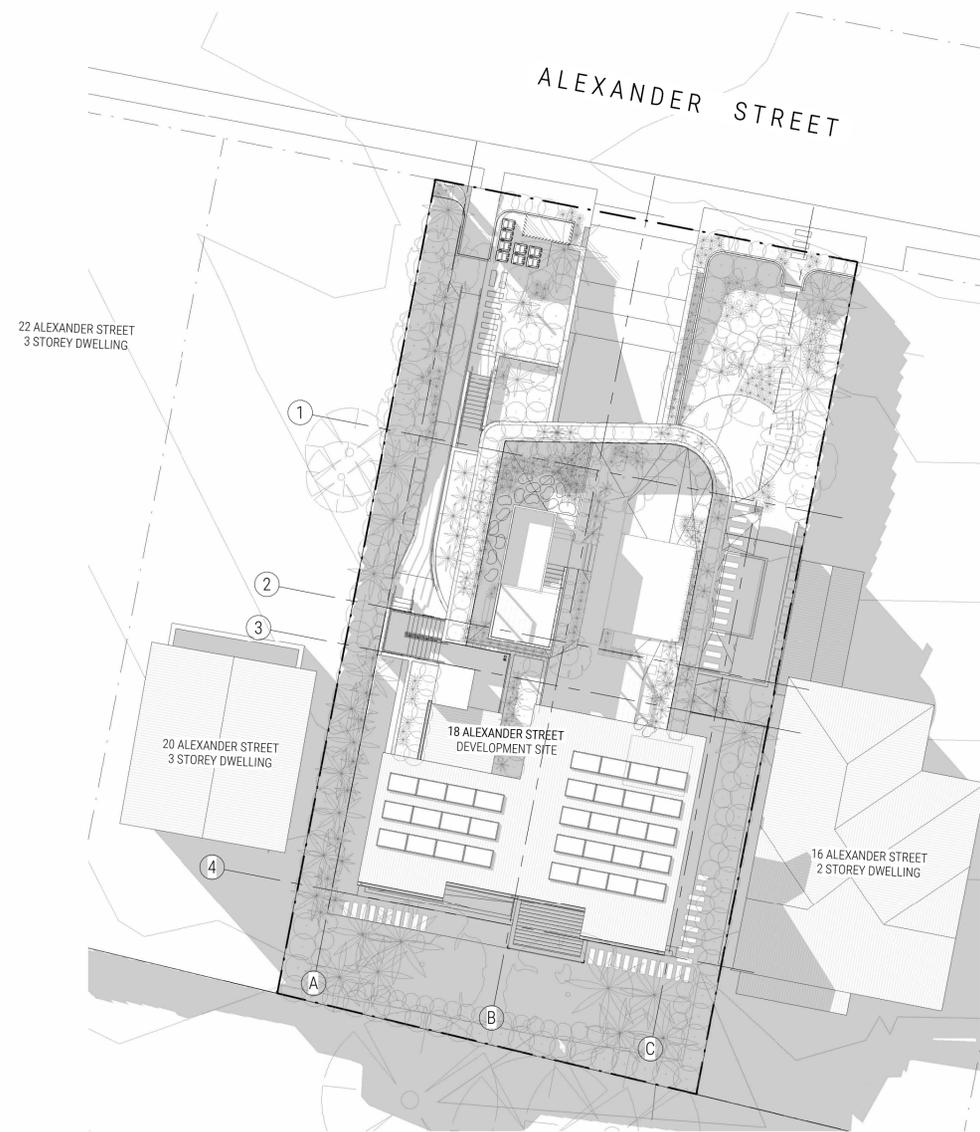
**2** PROPOSED SHADOW DIAGRAM - 12PM JUNE 21ST  
DA502/ 1:200 @ A1



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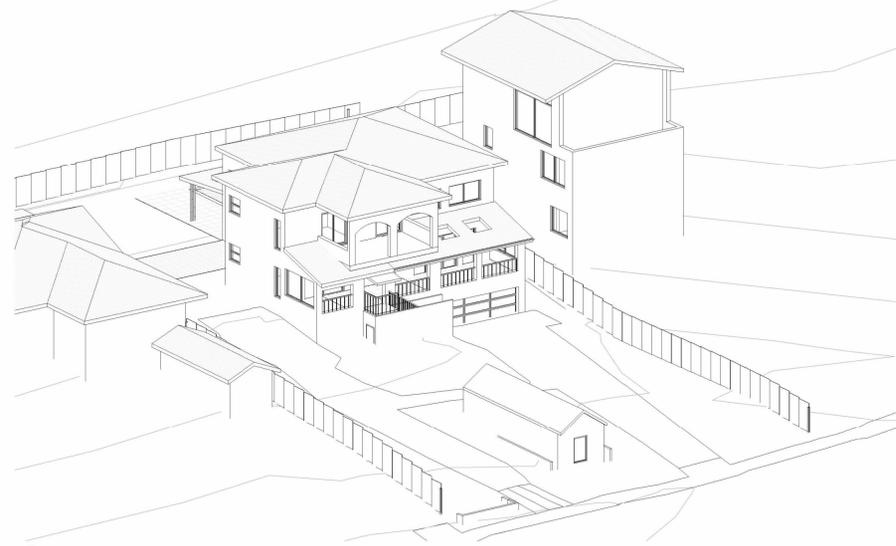
**1 EXISTING SHADOW DIAGRAM - 3PM JUNE 21ST**  
DA503/ 1:200 @ A1



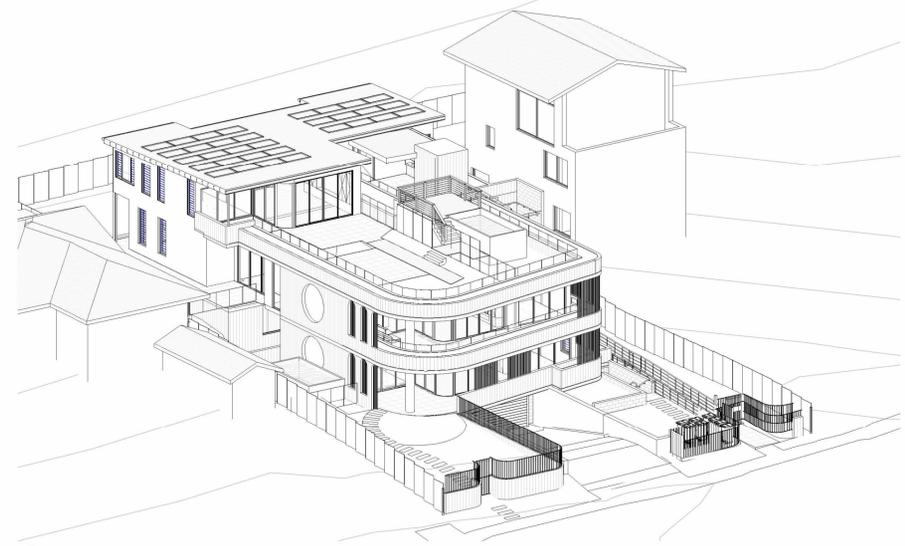
**2 PROPOSED SHADOW DIAGRAM - 3PM JUNE 21ST**  
DA503/ 1:200 @ A1



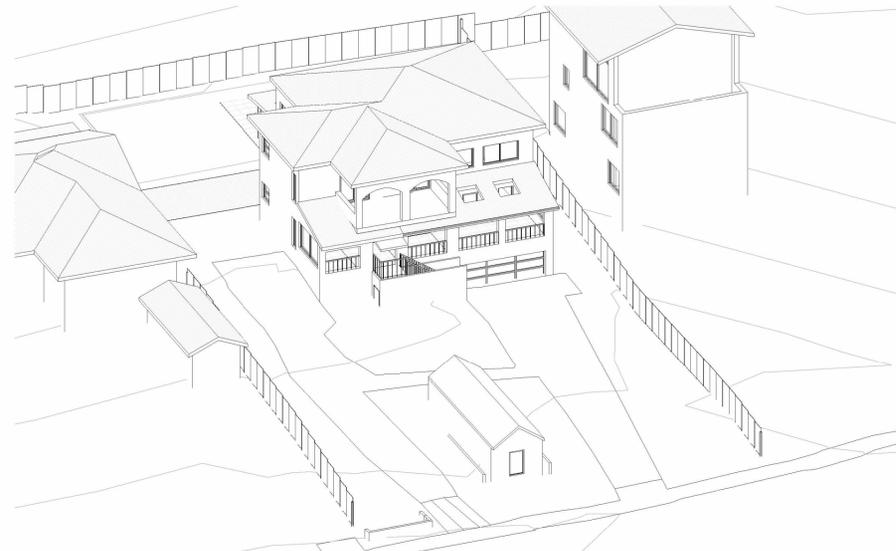
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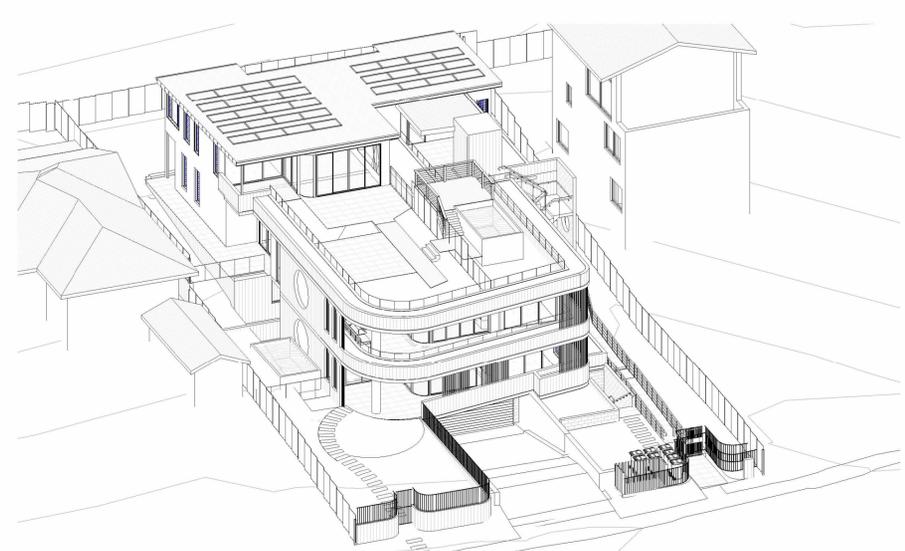
1 VIEW FROM SUN - 9AM JUNE 21ST - EXISTING  
DA511



2 VIEW FROM SUN - 9AM JUNE 21ST - PROPOSED  
DA511



3 VIEW FROM SUN - 10AM JUNE 21ST - EXISTING  
DA511



4 VIEW FROM SUN - 10AM JUNE 21ST - PROPOSED  
DA511



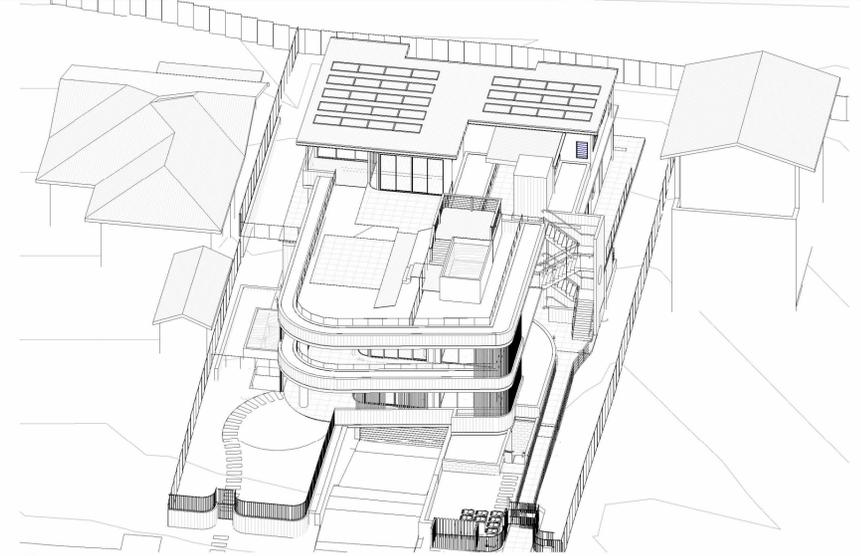
5 VIEW FROM SUN - 11AM JUNE 21ST - EXISTING  
DA511



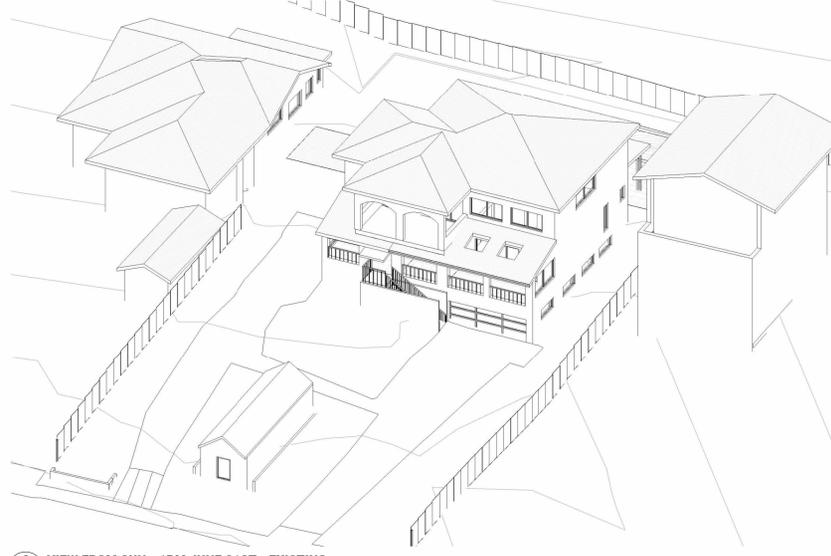
6 VIEW FROM SUN - 11AM JUNE 21ST - PROPOSED  
DA511



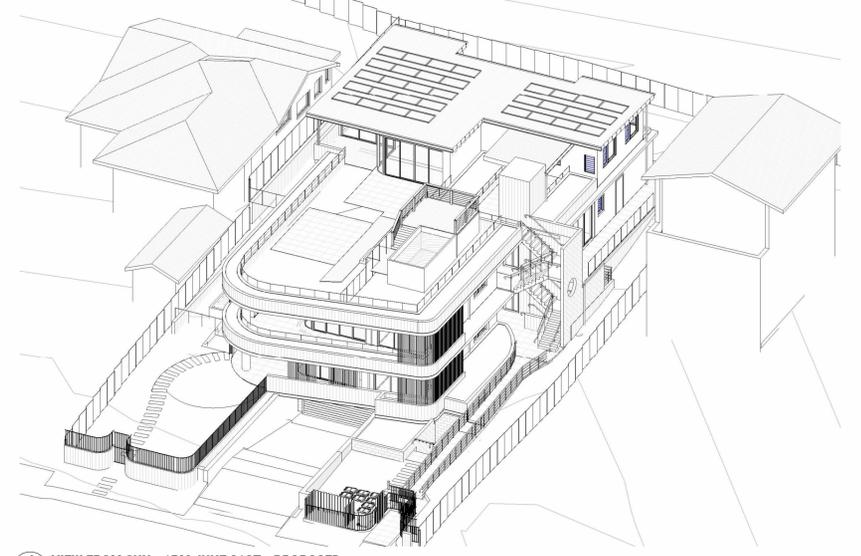
1 VIEW FROM SUN - 12PM JUNE 21ST - EXISTING  
DA512



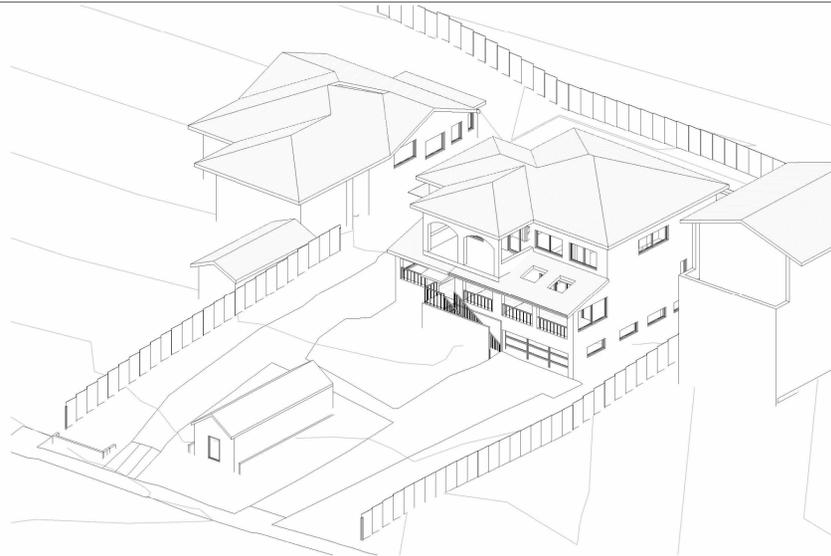
2 VIEW FROM SUN - 12PM JUNE 21ST - PROPOSED  
DA512



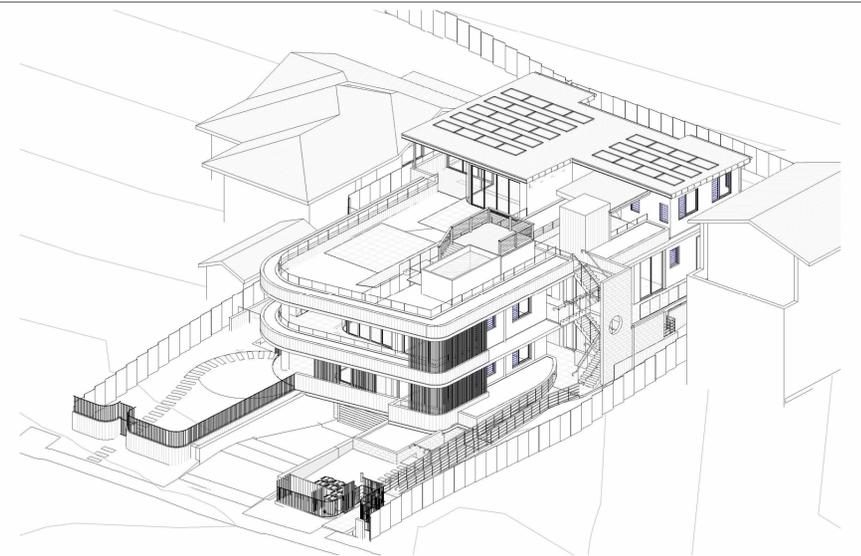
3 VIEW FROM SUN - 1PM JUNE 21ST - EXISTING  
DA512



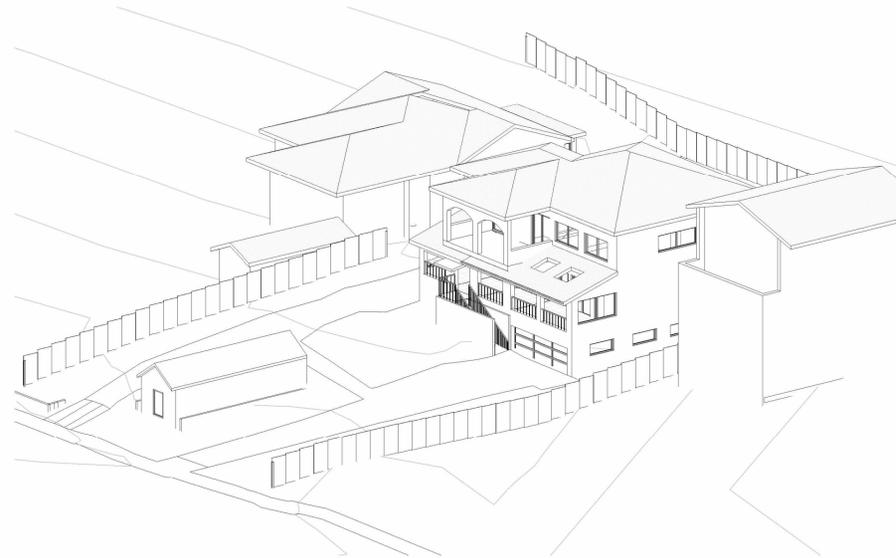
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DA512



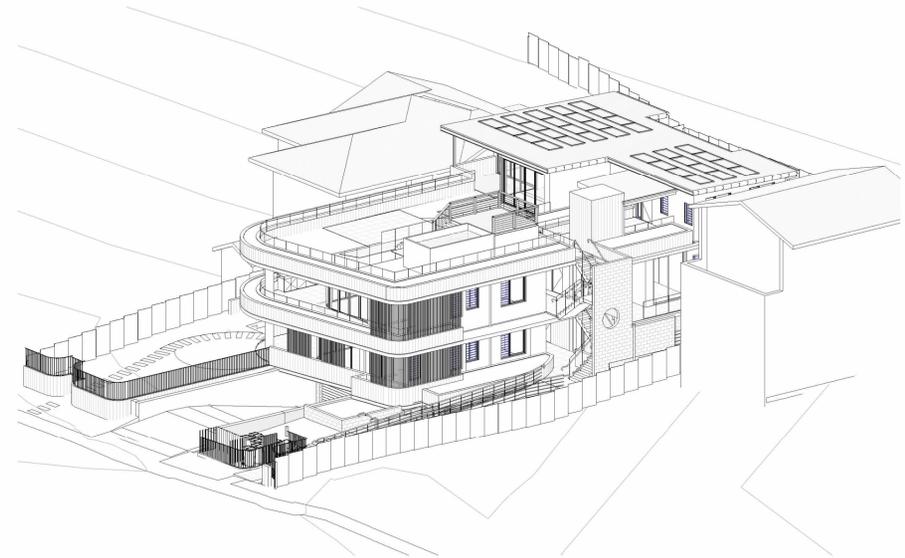
5 VIEW FROM SUN - 2PM JUNE 21ST - EXISTING  
DA512



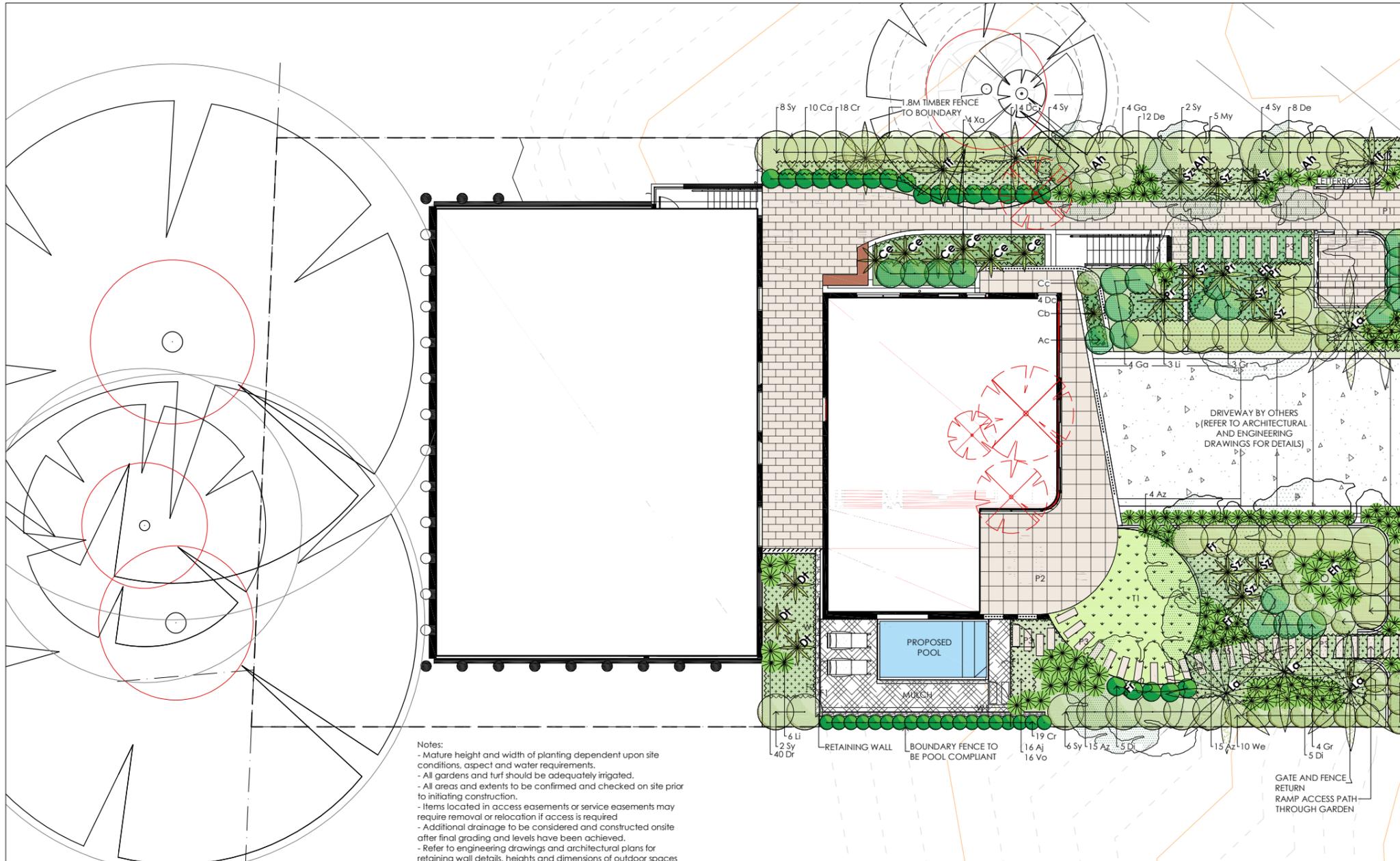
6 VIEW FROM SUN - 2PM JUNE 21ST - PROPOSED  
DA512



1 VIEW FROM SUN - 3PM JUNE 21ST - EXISTING  
DA513



2 VIEW FROM SUN - 3PM JUNE 21ST - PROPOSED  
DA513



### LEGEND

- SITE BOUNDARY
- EXISTING TREE TO BE RETAINED AND PROTECTED  
Refer to arborists report for tree protection requirements. TPZ and SRZ shown
- TREE NOMINATED FOR REMOVAL  
Refer to arborists report for additional information.

### HARD ELEMENTS

- PAVING TYPE 1  
Unit pavers - colour to match balcony tiling
- PAVING TYPE 2  
Balcony tiling - refer to architectural plans
- PAVING TYPE 3  
Unit paver stepping stone
- WALL TYPE 1  
Sandstone retaining wall
- PROPOSED ABOVE GROUND POOL  
Pool to be in accordance with all applicable Australian Standards.
- FENCE TYPE 1  
Fencing to be in accordance with AS 1926.1

### SOFT ELEMENTS

- SHRUB BED TYPE 1  
Mulch: 20mm grade tan bark mulch
- SHRUB BED TYPE 2  
Planter box - refer to architectural plans
- MULCH TYPE 1  
Informal access to blend with garden  
Mulch: to match shrub bed type 1
- TURF  
Type: Soft Leaf Buffalo or artificial lawn
- PROPOSED TREES
- PROPOSED SHRUBS AND ACCENT PLANTS
- PROPOSED GROUNDCOVER/ MASS PLANTING

**Notes:**

- Mature height and width of planting dependent upon site conditions, aspect and water requirements.
- All gardens and turf should be adequately irrigated.
- All areas and extents to be confirmed and checked on site prior to initiating construction.
- Items located in access easements or service easements may require removal or relocation if access is required.
- Additional drainage to be considered and constructed onsite after final grading and levels have been achieved.
- Refer to engineering drawings and architectural plans for retaining wall details, heights and dimensions of outdoor spaces

**PLANTING IMAGERY**



Plumeria rubra Angophora hispida Eucalyptus haemastoma Livistona australis Gardenia radicans Cordyline Electric Pink Gardenia Florida Syzygium Resilience Strelitzia reginae Dicksonia antarctica Dietes grandiflora Philodendron 'Xanadu' Ajuga reptans 'Burgundy Lace' Dichondra repens Viola hederacea Dichondra 'Silver Falls' Casuarina 'Cousin It'

**PLANTING TABLE**

Code	Botanical Name	Common Name	Height (m)	Width (m)	Density	Pot Size	No
<b>Trees</b>							
Fr	Plumeria rubra	Frangipani	4m	4m	As shown	75L	3
Ah	Angophora hispida	Dwarf Apple Gum	6m	4m	As shown	75L	3
Eh	Eucalyptus haemastoma	Scribbly Gum	25m	8m	As shown	100L	2
<b>Shrubs</b>							
Cr	Crowea saligna	Willow Leafed Crowea	1m	1m	As shown	140mm	37
Ga	Gardenia florida	Gardenia	1m	1m	0.9m C	200mm	8
Gr	Gardenia radicans	Low Gardenia	0.5m	1.2m	1m C	200mm	7
Sy	Syzygium 'Resilience'	Lilly Pilli	4m	2m	1.2m C	300mm	26
Vi	Viburnum 'Emerald Lustre'	Sweet Viburnum	4m	2m	1.2m C	300mm	17
We	Westringia 'Blue Gem'	Native Rosemary	0.9m	0.9m	As shown	140mm	10
<b>Accents</b>							
La	Livistona australis	Cabbage Tree Palm	20m	4.5m	As shown	45L	4
Ce	Cordyline fruticosa 'Electric Pink'	Pink Cordyline	1.5m	1.5m	As shown	200mm	6
Dt	Dicksonia antarctica	Tree Fern	2m	1.5m	As shown	500 trunk	3
Pr	Phoenix roebelenii	Pygmy Date Palm	2m	2m	As shown	300mm	3
Sz	Strelitzia reginae	Bird of Paradise	1.5m	1m	0.8m C	200mm	9
Tf	Trachycarpus fortunei	Windmill Palm	20m	2.5m	As shown	300mm	3
Xa	Philodendron 'Xanadu'	Xanadu	1m	1m	0.7m C	200mm	18
<b>Flaxes and Grasses</b>							
Az	Anigisanthos 'Landscape Red'	Kangaroo Paw	0.8m	0.8m	As shown	140mm	34
De	Dietes iridoides	Native Flag Iris	0.7m	0.7m	0.6m C	140mm	31
Di	Dianella caerulea 'King Alfred'	Blue Flax Lily	0.7m	0.7m	0.6m C	140mm	29
Ll	Liriope 'Isabella'	Liriope	0.4m	0.4m	0.4m C	140mm	35
<b>Groundcovers</b>							
Aj	Ajuga reptans 'burgundy lace'	Bugle Weed	0.2m	0.6m	2/m <sup>2</sup>	Tube ^	56
Ca	Carpobrotus rossii	Native Pigface	0.3m	2m	1/m <sup>2</sup>	140mm	17
Dc	Dichondra 'Silver Falls'	Pony's Foot	0.1m	2m	0.3m C	140mm	26
Dr	Dichondra reptans	Pony's Foot	0.1m	2m	2/m <sup>2</sup>	Tube	40
My	Myoporum parvifolium 'Yareena'	Creeping Boobialla	0.2m	1.5m	1/m <sup>2</sup>	140mm	15
Vo	Viola hederacea	Native Violet	0.2m	0.3m	2/m <sup>2</sup>	Tube ^	56
<b>Planter Boxes</b>							
Ac	Acacia cognata 'Waterfall'	Prostrate Wattle	0.3m	1.5m	As shown	200mm	1
Cb	Crassula 'Bluebird'	Crassula	0.8m	0.8m	As shown	200mm	1
Cc	Casuarina 'Cousin It'	Prostrate Casuarina	0.3m	1.5m	As shown	200mm	1
Dc	Dichondra 'Silver Falls'	Pony's Foot	0.1m	2m	As shown	140mm	4

**Notes**  
Contractor to confirm numbers on site prior to ordering planting stock.  
^ Mix species evenly together

ISSUE	REASON FOR ISSUE	DATE	DESIGN	CHECKED
B	For DA approval	07.09.2021	PG	PG
C	Updated as per council comments	27.01.2022	PG	PG
D	For approval - pool added	14.04.2022	PG	PG
E	Issue for 4.55 [1a] modification	28.07.2022	PG	PG
F	For approval - floor plans amended	28.07.2022	PG	PG
G	4.55 Modification	12.09.2022	PG	PG

CONSULTANT

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PRIMARY CONTACT: PHOEBE GORDON  
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AFFILIATED CONSULTANTS  
ARCHITECT: Wash Architects

CLIENT  
Laxland Group Pty Ltd

PROJECT  
18 Alexander Street  
Collaroy

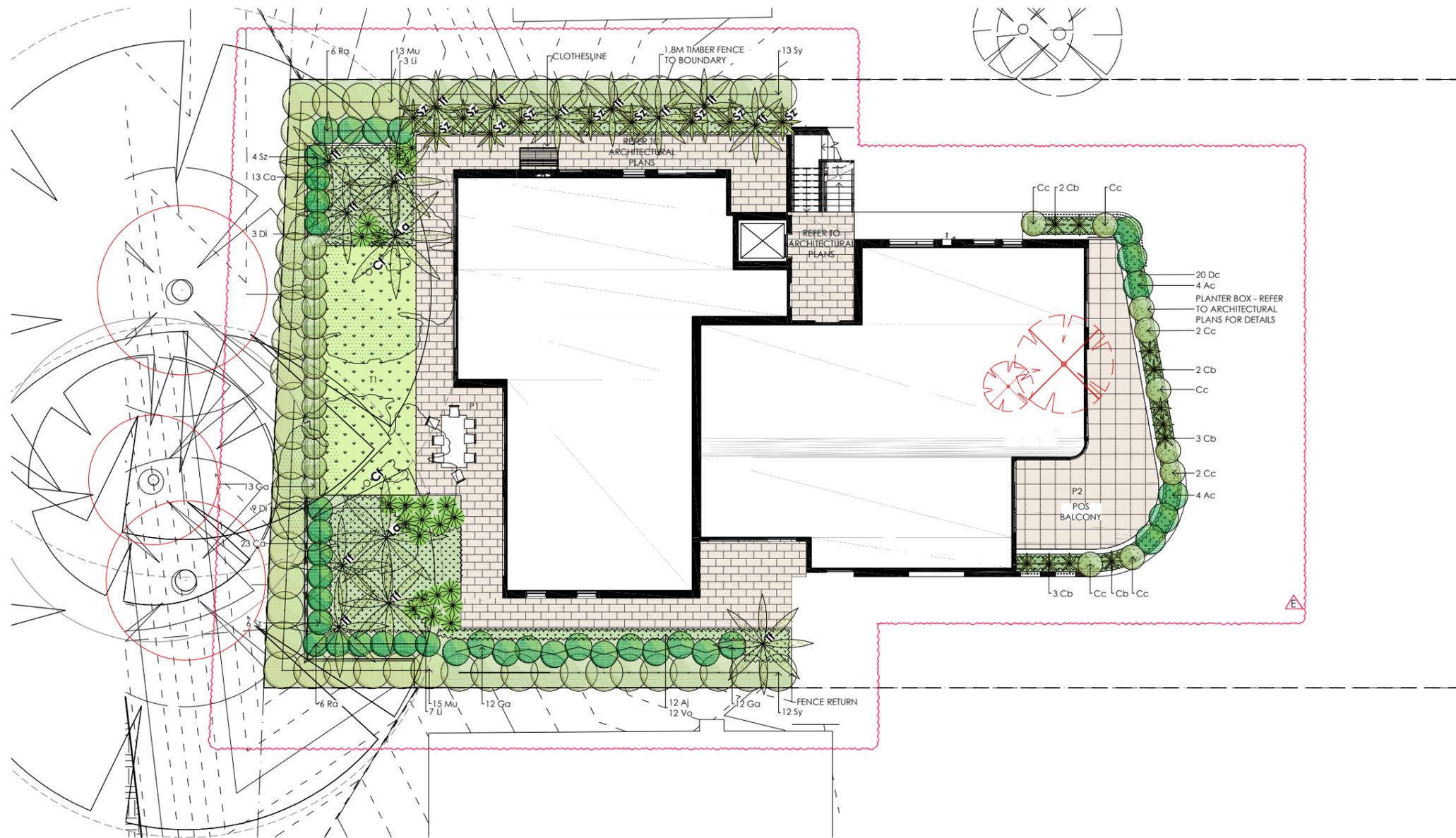
DRAWING  
GROUND LEVEL - LANDSCAPE PLAN - SHEET 1

PROJECT No  
21-319

DRAWING No.  
LS501.1

ISSUE  
G

SCALE  
A1 1:100 A3 1:200



ALEXANDER STREET

### LEGEND

**SITE BOUNDARY**

**EXISTING TREE TO BE RETAINED AND PROTECTED**  
 Refer to arborists report for tree protection requirements. TPZ and SRZ shown

**TREE NOMINATED FOR REMOVAL**  
 Refer to arborists report for additional information.

**HARD ELEMENTS**

**PAVING TYPE 1**  
  
 P1 Unit pavers - colour to match balcony tiling (01 503.1)

**PAVING TYPE 2**  
  
 P2 Balcony tiling - refer to architectural plans

**PAVING TYPE 3**  
  
 P3 Unit paver stepping stone (02 503.1)

**WALL TYPE 1**  
  
 W1 Sandstone retaining wall (01 503.1)

**SOFT ELEMENTS**

**SHRUB BED TYPE 1**  
  
 SB1 Mulch: 20mm grade tan bark mulch (05 503.1)

**SHRUB BED TYPE 2**  
  
 SB2 Planter box - refer to architectural plans

**MULCH TYPE 1**  
  
 M1 Informal access to blend with garden Mulch: to match shrub bed type 1

**TURF**  
  
 T1 Type: Soft Leaf Buffalo or artificial lawn (07 503.1)

**PROPOSED TREES**  
  
 (04 503.1)

**PROPOSED SHRUBS AND ACCENT PLANTS**  
  
 (05 503.1)

**PROPOSED GROUNDCOVER/ MASS PLANTING**  
  
 (05 503.1)

**Notes:**

- Mature height and width of planting dependent upon site conditions, aspect and water requirements.
- All gardens and turf should be adequately irrigated.
- All areas and extents to be confirmed and checked on site prior to initiating construction.
- Items located in access easements or service easements may require removal or relocation if access is required
- Additional drainage to be considered and constructed onsite after final grading and levels have been achieved.
- Refer to engineering drawings and architectural plans for retaining wall details, heights and dimensions of outdoor spaces

PLANTING IMAGERY



PLANTING TABLE

Code	Botanical Name	Common Name	Height (m)	Width (m)	Density	Pot Size	No
<b>Trees</b>							
Cf	<i>Corymbia ficifolia</i>	Flowering Gum	10m	5m	As shown	75L	2
<b>Shrubs</b>							
Ga	<i>Gardenia florida</i>	Gardenia	1m	1m	0.9m C	200mm	37
Mu	<i>Murraya paniculata</i>	Mock Orange	4m	3m	1.2m C	300mm	28
Sy	<i>Syzygium 'Resilience'</i>	Lily Pilli	4m	2m	1.2m C	300mm	25
<b>Accents</b>							
La	<i>Livistona australis</i>	Cabbage Tree Palm	20m	4.5m	As shown	45L	2
Sz	<i>Strelitzia reginae</i>	Bird of Paradise	1.5m	1m	0.8m C	140mm	20
Tf	<i>Trachycarpus fortunei</i>	Windmill Palm	20m	2.5m	As shown	300mm	14
<b>Flaxes and Grasses</b>							
Di	<i>Dianella caerulea 'King Alfred'</i>	Blue Flax Lily	0.7m	0.7m	0.6m C	140mm	12
Li	<i>Liriope 'Isabella'</i>	Liriope	0.4m	0.4m	0.4m C	140mm	10
<b>Groundcovers</b>							
Aj	<i>Ajuga reptans 'burgundy lace'</i>	Buggle Weed	0.2m	0.6m	2/m <sup>2</sup>	Tube ^	12
Ca	<i>Carpobrotus rossii</i>	Native Pigface	0.3m	2m	1/m <sup>2</sup>	140mm	36
Vo	<i>Viola hederacea</i>	Native Violet	0.2m	0.3m	2/m <sup>2</sup>	Tube ^	12
<b>Planter Boxes</b>							
Ac	<i>Acacia cognata 'Waterfall'</i>	Prostrate Wattle	0.3m	1.5m	As shown	200mm	8
Cb	<i>Crassula 'Bluebird'</i>	Crassula	0.8m	0.8m	As shown	200mm	11
Cc	<i>Casuarina 'Cousin It'</i>	Prostrate Casuarina	0.3m	1.5m	As shown	200mm	9
Dc	<i>Dichondra 'Silver Falls'</i>	Pony's Foot	0.1m	2m	As shown	140mm	20

Notes  
 Contractor to confirm numbers on site prior to ordering planting stock.  
 ^ Mix species evenly together

NOTE:  
 ALL SERVICES AND INFRASTRUCTURE LOCATIONS ARE INDICATIVE ONLY. CONTRACTOR TO CONFIRM LOCATION OF ALL SERVICES AND INFRASTRUCTURE PRIOR TO INITIATING LANDSCAPE WORKS.

ISSUE	REASON FOR ISSUE	DATE	DESIGN	CHECKED
A	Draft for client review	27.08.2021	PG	PG
B	For DA approval	07.09.2021	PG	PG
C	Updated as per council comments	27.01.2022	PG	PG
D	For approval - floor plans amended	28.07.2022	PG	PG
E	4.5S Modification	12.09.2022	PG	PG

CONSULTANT  
**PLOT**  
 DESIGN GROUP

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 ABN: 19629570396

AFFILIATED CONSULTANTS  
 ARCHITECT: Wash Architects

CLIENT  
 Laxland Group Pty Ltd

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 18 Alexander Street  
 Collaroy

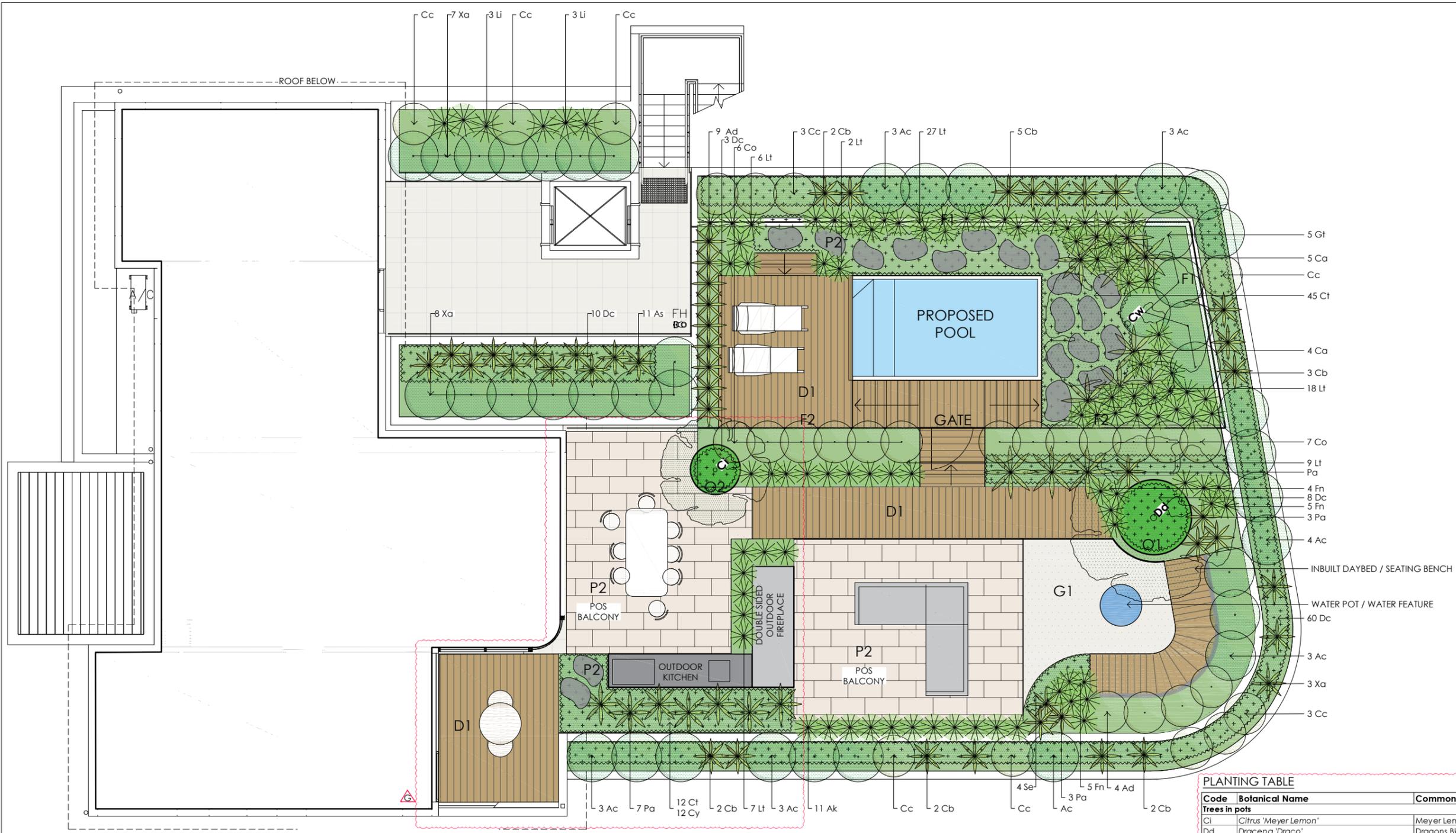
DRAWING  
 LEVEL 1 - LANDSCAPE PLAN - SHEET 2

PROJECT No  
 21-319

DRAWING No.  
 LS501.2

ISSUE  
 E

SCALE



- ### LEGEND
- SITE BOUNDARY**
- HARD ELEMENTS**
- P2** PAVING TYPE 2  
Balcony tiling - refer to architectural plans
  - D1** DECKING TYPE 1  
To be finished flush with adjacent surface treatments. Natural or composite decking.
  - G1** GRAVEL TYPE 1  
10mm rounded river gravel
  - PROPOSED ABOVE GROUND POOL**  
Pool to be in accordance with all applicable Australian Standards.
  - F1** FENCE TYPE 1  
Fencing to be in accordance with AS 1926.1  
Height: 1200mm
  - F2** FENCE TYPE 2  
Fencing to be in accordance with AS 1926.1  
Height: 2800mm
- SOFT ELEMENTS**
- SB2** SHRUB BED TYPE 2  
Planter box - refer to architectural plans  
Minimum depth - 300mm
  - PROPOSED SHRUBS AND ACCENT PLANTS**
  - PROPOSED GROUNDCOVER/ MASS PLANTING**
  - O1-POT TYPE 1**  
1800mm x 1000mm - Quatro cylinder lightweight pot (colour white)
  - O2-POT TYPE 2**  
1200mm x 750mm - Quatro cylinder lightweight pot (colour white)
  - O2-POT TYPE 3**  
800mm x 1000mm - Quatro cylinder lightweight pot (colour white)
- Notes:**
- Mature height and width of planting dependent upon site conditions, aspect and water requirements.
  - All gardens and turf should be adequately irrigated.
  - All areas and extents to be confirmed and checked on site prior to initiating construction.
  - Items located in access easements or service easements may require removal or relocation if access is required
  - Additional drainage to be considered and constructed onsite after final grading and levels have been achieved.
  - Refer to engineering drawings and architectural plans for retaining wall details, heights and dimensions of outdoor spaces

### PLANTING TABLE

Code	Botanical Name	Common Name	Height (m)	Width (m)	Density	Pot Size	No
<b>Trees in pots</b>							
Ci	Citrus 'Meyer Lemon'	Meyer Lemon	2m	1.5m	A s shown	45L	1
Dd	Dracena 'Draco'	Dragons Blood Tree	4m	1.5m	A s shown	600mm	1
Cw	Corymbia ficifolia 'Wildfire'	Flowering Gum	4m	2.5m	A s shown	45L	1
<b>Shrubs</b>							
Co	Correa alba	White Correa	1.5m	1.5m	A s shown	200mm	13
Ad	Adenanthos sericeus 'Dwarf Woolly Bush'	Dwarf Woolly Bush	1m	1m	A s shown	300mm	13
<b>Accents</b>							
As	Aloe polyphylla	Spiral Aloe	0.5m	0.7m	A s shown	300mm	11
Ca	Cardyline australis	Cabbage tree	2m	1m	A s shown	300mm	9
<b>Flaxes and Grasses</b>							
Pa	Phomium 'Green Apple'	Green Flax	1m	1m	A s shown	200mm	14
Ak	Anigozanthos 'Ruby Velvet'	Kangaroo Paw	0.4m	0.3m	0.3m C	140mm	11
Lt	Lomandra longifolia 'Tanika'	Lomandra	0.6m	0.6m	0.5m	140mm	69
Fn	Ficinea nodosa	Knobby Club Rush	0.6m	0.6m	A s shown	140mm	14
<b>Groundcovers</b>							
Cy	Chrysocephalum apiculatum 'Desert Flame'	Yellow Buttons	0.2m	0.5m	A s shown	140mm	12
Ct	Thymus serpyllum	Creeping Thyme	0.1m	0.3m	A s shown	Tube	57
Gt	Grevillea 'Mt Tamboritha'	Dwarf Grevillea	0.3m	1.2m	A s shown	140mm	5
Se	Senecio serpens	Blue Chaik Sticks	0.2m	0.3m	0.2m C	140mm	4
<b>Planter Boxes</b>							
Ac	Acacia cognata 'Waterfall'	Prostrate Wattle	0.3m	1.5m	A s shown	200mm	20
Cb	Crassula 'Bluebird'	Crassula	0.8m	0.8m	A s shown	200mm	16
Cc	Casuarina 'Cousin It'	Prostrate Casuarina	0.3m	1.5m	A s shown	200mm	12
Xa	Philodendron 'Xanadu'	Xanadu	1m	1m	0.7m C	200mm	18
Lj	Liriope 'Isabella'	Liriope	0.4m	0.4m	0.4m C	140mm	6
Dc	Dichondra 'Silver Falls'	Pony's Foot	0.1m	2m	A s shown	140mm	81

**Notes:**  
Contractor to confirm numbers on site prior to ordering planting stock.

### PLANTING IMAGERY



Acacia 'Waterfall' Crassula 'Bluebird' Casuarina 'Cousin It' Dichondra 'Silver Falls' Philodendron 'Xanadu' Dracena 'Draco' Agave attenuata Chrysocephalum Senecio serpens Lomandra 'Little Con' Ficinea nodosa

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ISSUE	REASON FOR ISSUE	DATE	DESIGN	CHECKED
B	For DA approval	07.09.2021	PG	PG
C	Updated as per council comments	27.01.2022	PG	PG
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E	Issue for 4.55 (1a) modification	28.07.2022	PG	PG
F	For approval - floor plans amended	28.07.2022	PG	PG
G	4.55 Modification	12.09.2022	PG	PG

**CONSULTANT**  
**PLOT**  
DESIGN GROUP

**CONTACT DETAILS**  
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**AFFILIATED CONSULTANTS**  
ARCHITECT: Wash Architects

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18 Alexander Street  
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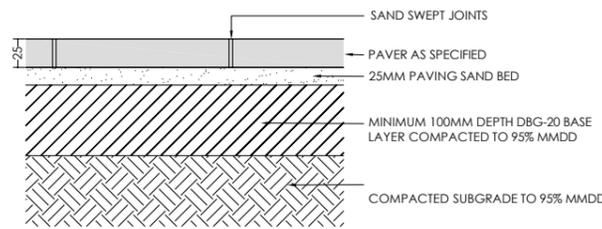
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LEVEL 2 LANDSCAPE PLAN - SHEET 3

**SCALE**  
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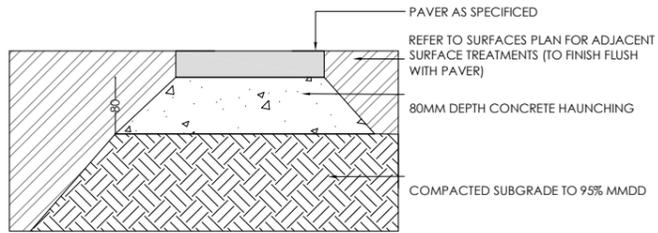
**PROJECT No**  
21-319

**DRAWING No.**  
LS501.3

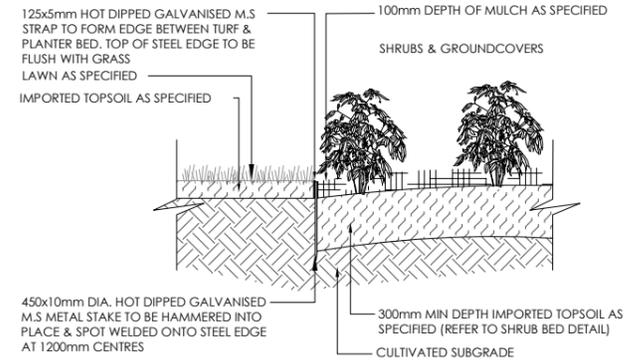
**ISSUE**  
G



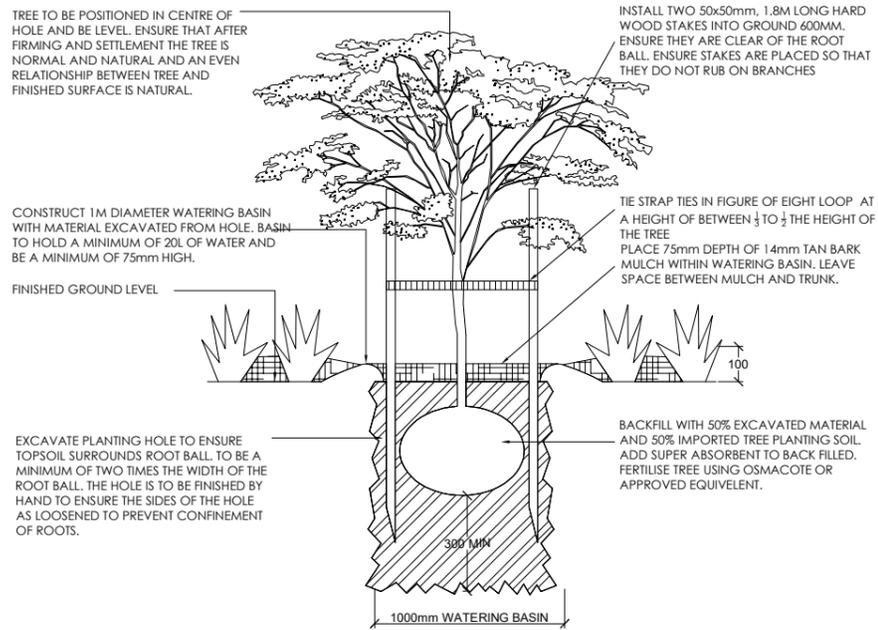
**1 PAVING TYPE 1 - UNIT PAVING**  
SCALE 1:10@ A3 1:5@A1



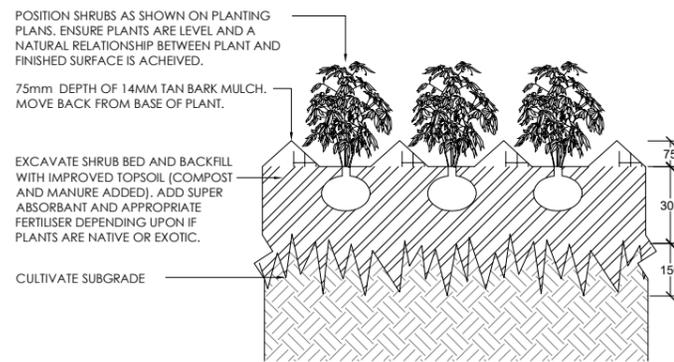
**2 PAVING TYPE 2 - STEPPING STONES**  
SCALE 1:10@ A3 1:5@A1



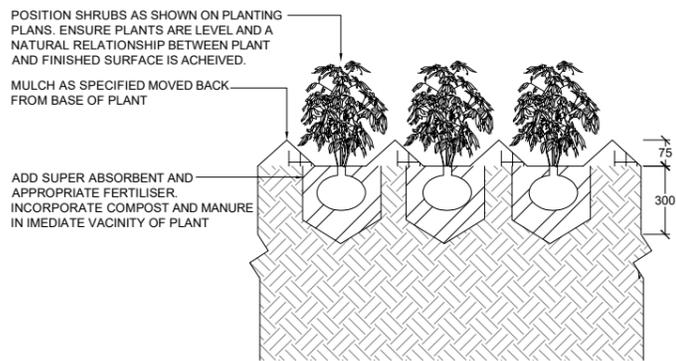
**3 EDGE TYPE 1 - STEEL EDGE**  
SCALE 1:20@ A3 1:10@A1



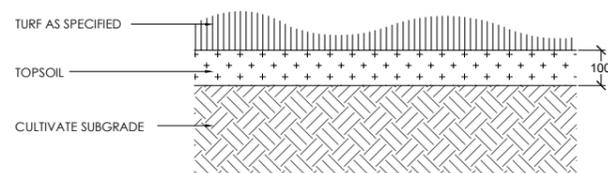
**4 TREE PLANTING**  
SCALE 1:40@ A3 1:20@A1



**5 SHRUB / TUBE PLANTING**  
SCALE 1:20@ A3 1:10@A1



**6 SHRUB / TUBE PLANTING IN TREE PROTECTION ZONE**  
SCALE 1:20@ A3 1:10@A1



**7 TURF**  
SCALE 1:20@ A3 1:10@A1

**LANDSCAPE SPECIFICATION NOTES**

- SITE PREPARATION**  
Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.
- PROTECTION OF EXISTING TREES:**  
Prior to commencement of work, a continuous Tree Protection Fence shall be erected around the perimeter of the Tree Protection Zone (TPZ) in accordance with the tree protection requirements set out in the associated arboricultural report. The Tree Protection Fence shall be a minimum of 1800mm high chain link fabric on 2400mm star picket or 50 Ømm GWI pipe anchor posts driven 600mm into the ground. Take necessary precautions to protect the Structural Root Zone (SRZ) as per AS 4970-2009 Australian Standard for Protection of Trees on Development Sites. Tree protection measures shall remain intact until the completion of all construction works. A 600mm x 450mm prohibition sign complying with AS8319 stating "NO ENTRY - TREE PROTECTION ZONE" and including contact details of the site foreman is to be attached to the fence.  
Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:  
- entry of machinery or storage of building materials  
- parking of any kind of vehicle  
- erection or placement of site facilities  
- removal or stockpiling of soil or site debris  
- disposal of liquid waste including paint & concrete wash  
- excavation or trenching of any kind (including irrigation or electrical connections),  
- attaching any signs or any other objects to the tree  
- placement of waste disposal or skip bins  
- pruning and removal of branches, other than those by a qualified Arborist  
Compacted Ground/Coring: Avoid compaction of the ground under trees. If compaction nevertheless occurs loosen the soil by Coring. Coring to be carried out by a qualified Arborist.
- ELIMINATE WEEDS**  
Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.
- EXCAVATION & SUB SOIL PREPARATION**  
Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.
- SUB SOIL DRAINAGE**  
Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding.  
Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to sw system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.
- REUSE EXISTING TOPSOIL**  
Existing site topsoil should be salvaged & appropriately stockpiled where possible.
- IMPORTED TOPSOIL**  
Quality System: AS 4419 or as specified below.  
Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.  
Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.
- PLANTING**  
Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species.  
Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%.  
Stock selection should be based on NATSPEC Guide Specifying Trees: a Guide to Assessment of Tree Quality.
- STAKING**  
Install 2 x 1800mm 40x40 hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.
- MULCHING**  
Quality system: AS 4454  
All planting area to be mulched with 50mm depth of river pebbles unless otherwise specified. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.
- TURFING**  
As specified.  
Excavate / grade all areas to be turfed to 120mm below finished levels. Ensure that all surface runoff is directed away from buildings. Ensure that no pooling or ponding will occur. Further rip the subgrade to 150mm. Install 100mm of imported turf underlay. Rolls to be closely butted and laid in a brickwork pattern. Fill any small gaps with topsoil and water thoroughly.
- WATERING**  
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

All services and infrastructure locations are indicative only. Contractor to confirm location of all services and infrastructure prior to initiating landscape works.

NOTE:  
ALL SERVICES AND INFRASTRUCTURE LOCATIONS ARE INDICATIVE ONLY. CONTRACTOR TO CONFIRM LOCATION OF ALL SERVICES AND INFRASTRUCTURE PRIOR TO INITIATING LANDSCAPE WORKS.

ISSUE	REASON FOR ISSUE	DATE	DESIGN	CHECKED
B	For DA approval	07.09.2021	PG	PG
C	Updated as per council comments	27.01.2022	PG	PG
D	For approval - pool added	14.04.2022	PG	PG
E	Issue for 4.55 (1a) modification	28.07.2022	PG	PG
F	For approval - floor plans amended	28.07.2022	PG	PG
G	4.55 Modification	12.09.2022	PG	PG

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Collaroy

DRAWING		SCALE	
LANDSCAPE DETAILS - SHEET 4		VARIES	
PROJECT No 21-319	DRAWING No. LS503.1	ISSUE G	