
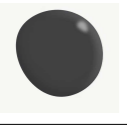

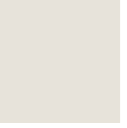

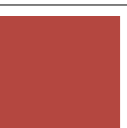

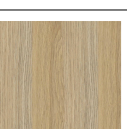



Finishes & Material Schedule


ID	Image	Location	Description	Code	Notes	Supplier
Finish 01 PAINT						
		Paint - Ivory Render	Shopfront Wall Paint	Domino - SG6G8 Weathershield Matt	Allow external grade Weathershield or similar product. Low VOC Matt, Anti-mould.	Dulux
P1		Paint - White	White Paint Finish	Vivid White SW1G1	Low VOC Matt, Anti-mould.	Dulux
P2		Paint - Black	Internal Wall/Joinery Paint	Domino - SG6G8	Low VOC Matt, Anti-mould.	Dulux
P6		Paint - Textured Red	Salmon Pink Textured Paint	Pagoda - Stone Course Finish	Low VOC Matt, Anti-mould.	Porters Paint
PC1		Powdercoat - White	White Powdercoat Finish	Dulux Duratec Zeus Talc Satin #900-84682	Low VOC Satin	Dulux Powdercoatings
PC2		Powdercoat - Black	Black Powdercoat Finish	Dulux Duralloy Black (C/B Night Sky) Satin 27219268	Low VOC Satin	Dulux Powdercoatings
PC3		Powdercoat - Pink Red	Salmon Pink Powdercoat Finish	Dulux Duratec Signal Red Gloss #2654294G	Low VOC Gloss	Dulux Powdercoatings

Finish 02 LAMINATE						
L2		Laminate - Black	Black Melamine Joinery	Black Natural Finish.		Polytec
L3		Laminate - Natural Oak	Timber Laminate	Natural Oak Woodmatt Finish	Woodmatt Finish	Polytec


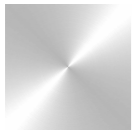






Finish 03 TILE						
T4		Tile - Finger Mosaic	20x145mm Concave Silk White Finger Mosaic Tile	3431-19 Concave Silk White 20x145mm Satin Finish.	EPOXY Grout: Mapei #103 Moon White	Surface Studio

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 <p>LITECO STUDIO</p> <p>Suite 42, Level 7, 591 George St, Sydney P (+61 2) 8068 1755 F (+61 2) 9264 8787 info@liteco.com.au</p>	<p>CLIENT: Get Sashimi Pty Ltd</p>	<p>NOTE:</p> <ul style="list-style-type: none"> All drawings to be read in conjunction with all engineers documentation and specification. Contractor to ensure all new building works, new fittings and fixtures are installed to the current BCA, Australian Standards and Work Cover Regulations. The Contractor shall use figured dimensions in preference to scaled dimensions. All dimensions shall be verified on site by the Contractors prior to commencing any work or preparing shop drawings. All materials are to be used in accordance with manufacturer's specifications and instructions, and to comply with relevant Australian Standards. Partition set-out to be approved by Project Manager on-site prior to construction. COPYRIGHT These drawings and the designs are the property of Liteco Project and must not be used, retained or copied without written permission of Liteco Project. 	<table border="1" style="width: 100%; font-size: 10px;"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> <th>TITLE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>For Owners Consent</td> <td>18/11/24</td> <td rowspan="3">Legends - Finishes</td> </tr> <tr> <td>B</td> <td>For DA</td> <td>21/11/24</td> </tr> <tr> <td>C</td> <td>For DA</td> <td>26/02/25</td> </tr> <tr> <td></td> <td></td> <td></td> <td>DRAWN BY TT</td> </tr> <tr> <td></td> <td></td> <td></td> <td>CLIENT APPROVAL</td> </tr> </tbody> </table>	No.	Description	Date	TITLE	A	For Owners Consent	18/11/24	Legends - Finishes	B	For DA	21/11/24	C	For DA	26/02/25				DRAWN BY TT				CLIENT APPROVAL	<p>DRAWING NO. S005.1</p> <p>SCALE AS SHOWN</p> <p>CHECKED AT</p> <p>ISSUE C 26/02/25</p>
	No.		Description	Date	TITLE																					
A	For Owners Consent	18/11/24	Legends - Finishes																							
B	For DA	21/11/24																								
C	For DA	26/02/25																								
			DRAWN BY TT																							
			CLIENT APPROVAL																							
<p>PROJECT: 2435 Get Sashimi Manly Retail 02 63-67 The Corso Manly NSW 2095</p>																										

Finishes & Material Schedule

ID	Image	Location	Description	Code	Notes	Supplier
T5		Tile - FOH Kitchen Wall	100x300mm Light Grey Chevron Tile	10067-02 CH Light Grey Chevron Tile	EPOXY Grout: Mapei #103 Moon White	Surface Studio
Finish 05 METAL						
SS1		Stainless Steel	Stainless Steel	304 Stainless Steel. Brushed finish.	Brushed finish. Ensure to be brushed same direction.	Shopfitter
Finish 06 FLOOR						
FF1		Floor - Kitchen Epoxy	Hychem Commercial Kitchen Epoxy Floor	Epoxy Flooring. Slip rating P5, colour to be black.	100mm high skirting, allow min. R25mm coving detail to wall/floor junction. To be applied in reversible manner where above existing timber flooring.	Slabtek
FF3		Floor - Retail	Hychem Commercial Retail Epoxy Flooring	APC Hyperflake Sandstone on N23 Natural Grey. P3 slip rating.	Allow P3 slip rating. To be applied in reversible manner to protect existing timber flooring.	Slabtek
FF6		Floor - Mezzanine	Dining Floor Tile	Timeless Beige 600x600mm P5	EPOXY Grout:Mapei #290 Cream	Metz Tile
FF7		Floor - Storage	600x600mm Dark Grey Floor Tile	600x600mm Shine Antracite 2544	EPOXY Grout: Mapei #120 Black	TFO
Finish 07 MISCELLANEOUS						
G1		Glass - Clear	Transparent Glass	Shopfitter Glazier to confirm.	Clear glass for ambient display Polished edges.	Shopfitter
G2		Glass - Mirror	Clear Mirror Panel	TBC by Supplier		Shopfitter
ST3		Stone - Bellini Bianco	White Sintered Stone	Bellini Bianco Matt Finish	20mm thickness.	Smartstone
V2		Upholster - Red	Red Vinyl Upholster	Lustrell Charisma Salsa FLC12SALS	 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2025/0155	Warwick



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Retail 02 63-67 The Corso
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No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE
Legends - Finishes

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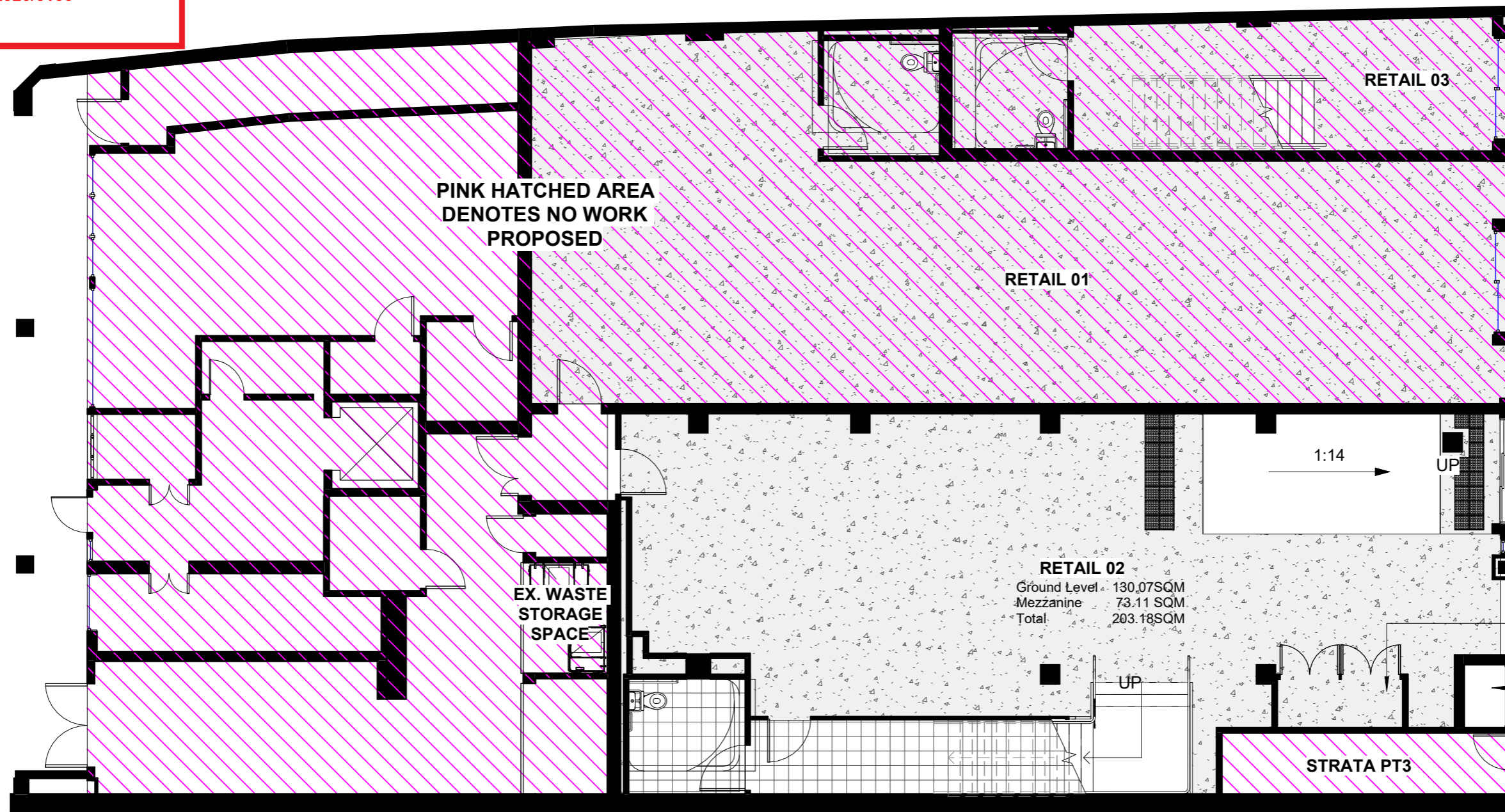
SCALE **AS SHOWN**

CHECKED **AT**

ISSUE **C** 26/02/25

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PINK HATCHED AREA
DENOTES NO WORK
PROPOSED

RETAIL 01

RETAIL 03

EX. WASTE
STORAGE
SPACE

RETAIL 02
Ground Level 130.07SQM
Mezzanine 73.11 SQM
Total 203.18SQM

1:14

UP

UP

STRATA PT3

Existing Sprinkler
control valve.

Existing Fire
Sprinkler Booster.

1 Existing Plan - Overall
E102 1 : 100@A3

Existing Plan Notes:

1. No new work proposed to existing unless noted or indicated on plans.
2. Shopfitter to visit and inspect the site prior to construction to confirm latest condition.

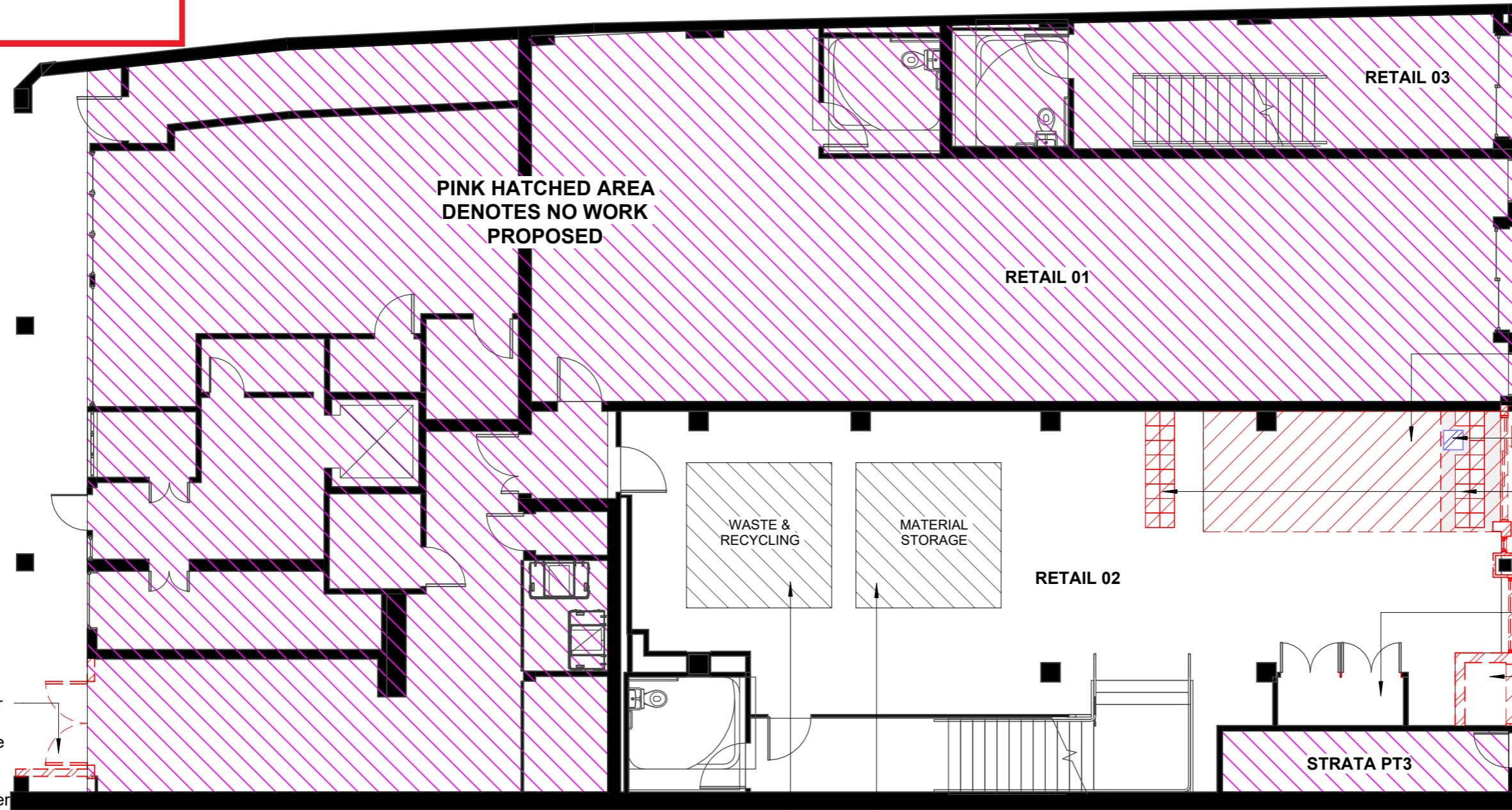
No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24
D	For DA	26/02/25

TITLE	Existing Plan
DRAWN BY	TT
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DRAWING NO.	P101
SCALE	AS SHOWN
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ISSUE	D 26/02/25

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Existing double door to be removed and replaced with double panel door on right hand side to allow relocation of sprinkler booster.

- Existing ramp to be removed or covered by new floor finish.
- Existing column to be relocated.
- Existing floor tactile to be removed.
- Existing column remain. Allow new finish.
- Existing sprinkler booster to remain.
- Existing sprinkler booster to be relocated to rear side of building.

1 Demolition Plan - Overall
E102 1 : 100@A3

Nominated area of temporarily storage space of material and generated waste during demolition/construction.

Demolition Legend:

RED HATCHED ITEM TO BE REMOVED/DEMOLISHED.

BLUE HATCHED ITEM TO BE REUSED AND RELOCATED.

Demolition Plan Notes:

1. All items to remain and reused unless stated on plans or indicated in hatches.
2. Any unused core holes to be capped and concealed.
3. Shopfitter to allow make good and patch existing finish after demolition/removal of items where possible.

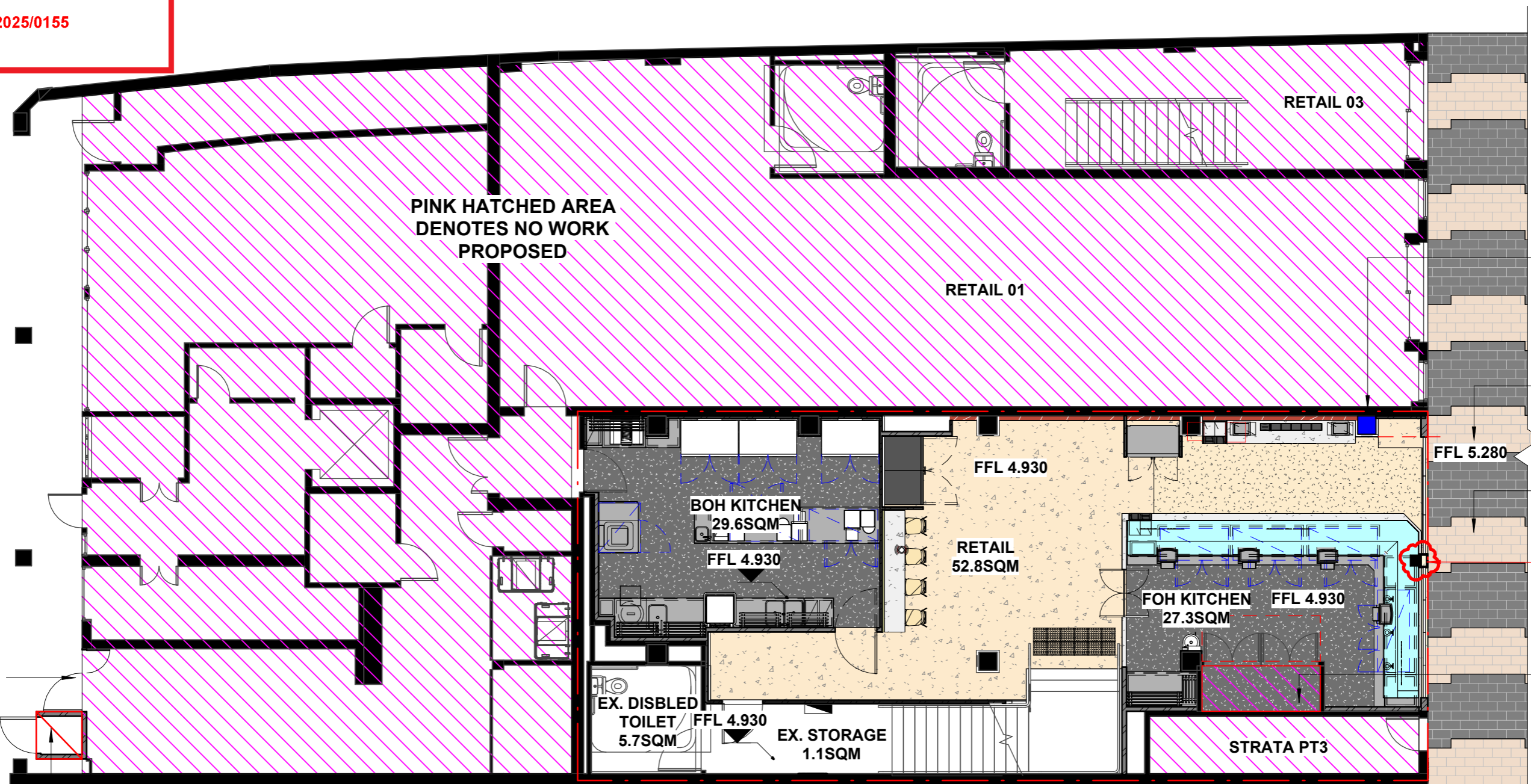
No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24
D	For Strata Approval/For DA	13/12/24
E	For Strata Approval/For DA	30/01/25
F	For DA	26/02/25

TITLE	DRAWN BY	CLIENT APPROVAL
Demolition Plan	TT	

DRAWING NO.	SCALE	CHECKED	ISSUE
P102	AS SHOWN	AT	F
			26/02/25

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**PINK HATCHED AREA
DENOTES NO WORK
PROPOSED**

Blue box denotes relocated column as per structural engineer drawings.

No change to Floor Finish level and remain aligned with existing pedestrian paving.

Existing outdoor public paving remain. No work proposed.

**COLUMN
CLADDING
REVISED.**

Existing sprinkler control valve.

Existing double door opening to be filled with new wall and double panel door.

Nominated position of relocated sprinkler booster to rear side of building enclosed with solid masonry walls with adequate fire seal. Access door to be fire rated 90/90/90. Base Building Fire Engineer to review and confirm.

1 Proposed Plan - Overall
E102 1 : 100@A3

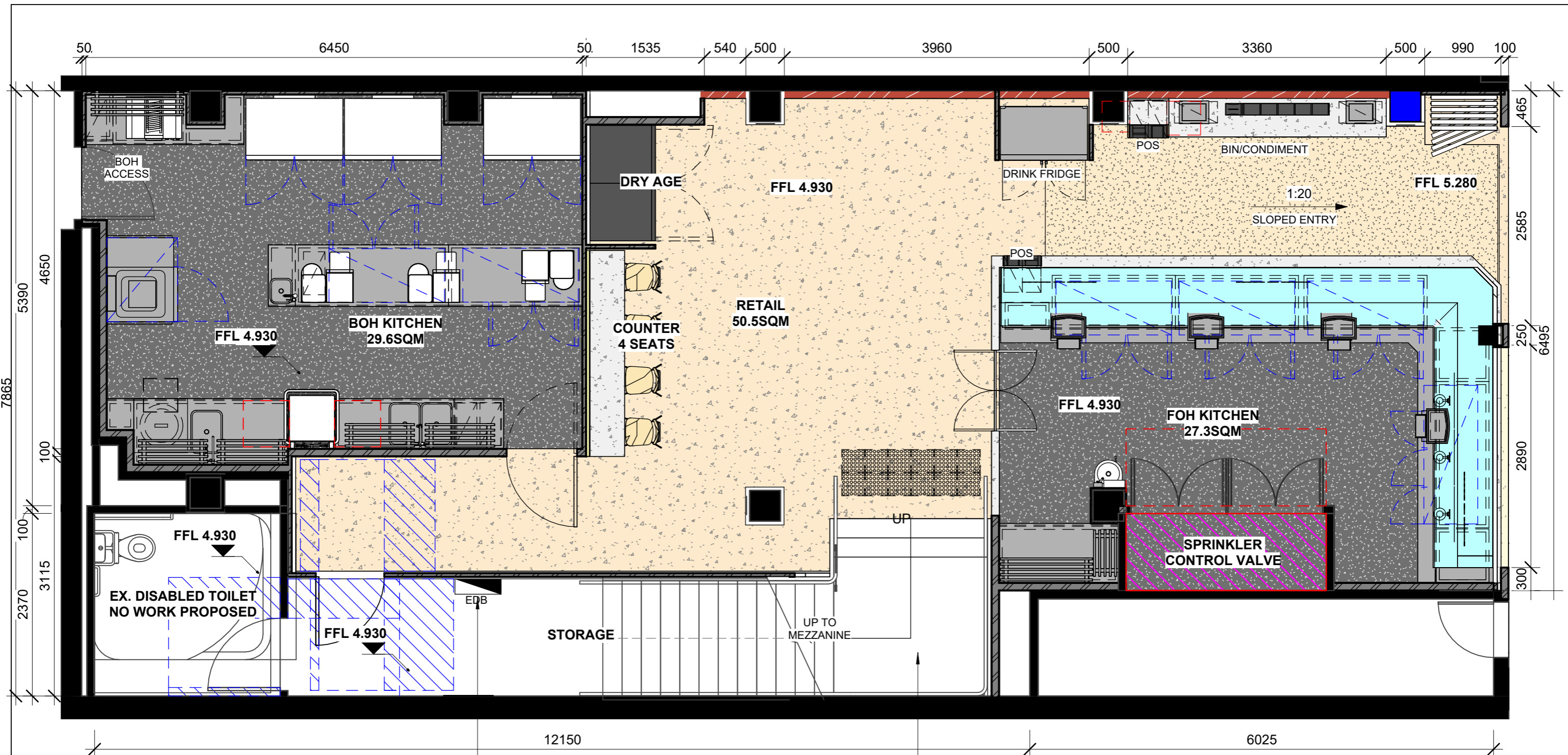
Wall Legend:

	EXISTING WALL
	METAL STUD
	TIMBER STUD
	SOLID CONSTRUCTION

No.	Description	Date
H	For Client Review	20/02/25
I	For Client Review	24/02/25
J	For DA	26/02/25
K	For Client Review	05/03/25
L	For DA	01/04/25
M	For DA	07/04/25

TITLE	Proposed Plan
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CLIENT APPROVAL	

DRAWING NO.	P103
SCALE	AS SHOWN
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ISSUE	M 07/04/25



1 Layout Plan - Ground
1 : 50@A3

Existing stair case.
No work proposed.

Existing EDB. No work proposed.

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NOTE:

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No.	Description	Date
E	For DA	21/11/24
F	For Strata Approval	28/11/24
G	For Strata Approval/For DA	13/12/24
H	For Strata Approval/For DA	30/01/25
I	For Client Review	18/02/25
J	For DA	26/02/25

TITLE
Layout Plan - Ground Level

DRAWN BY
TT

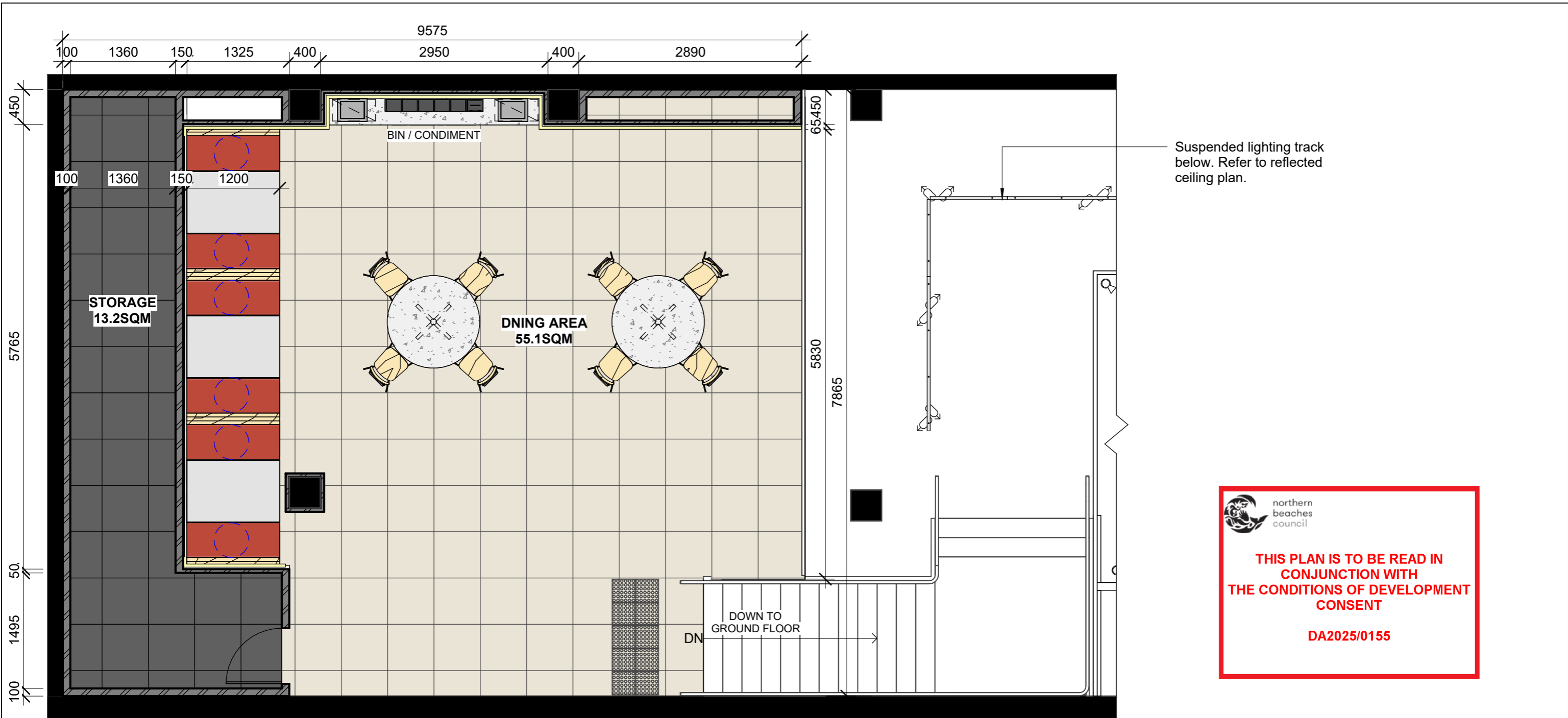
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P103.1

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J 26/02/25




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1
Layout Plan - Mezzanine
 1 : 50@A3



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No.	Description	Date
A	Preliminary Layout Plan	04/11/24
B	Revised Layout	06/11/24
C	Initial Concept	13/11/24
D	For Owners Consent	18/11/24
E	For DA	21/11/24
F	For DA	26/02/25

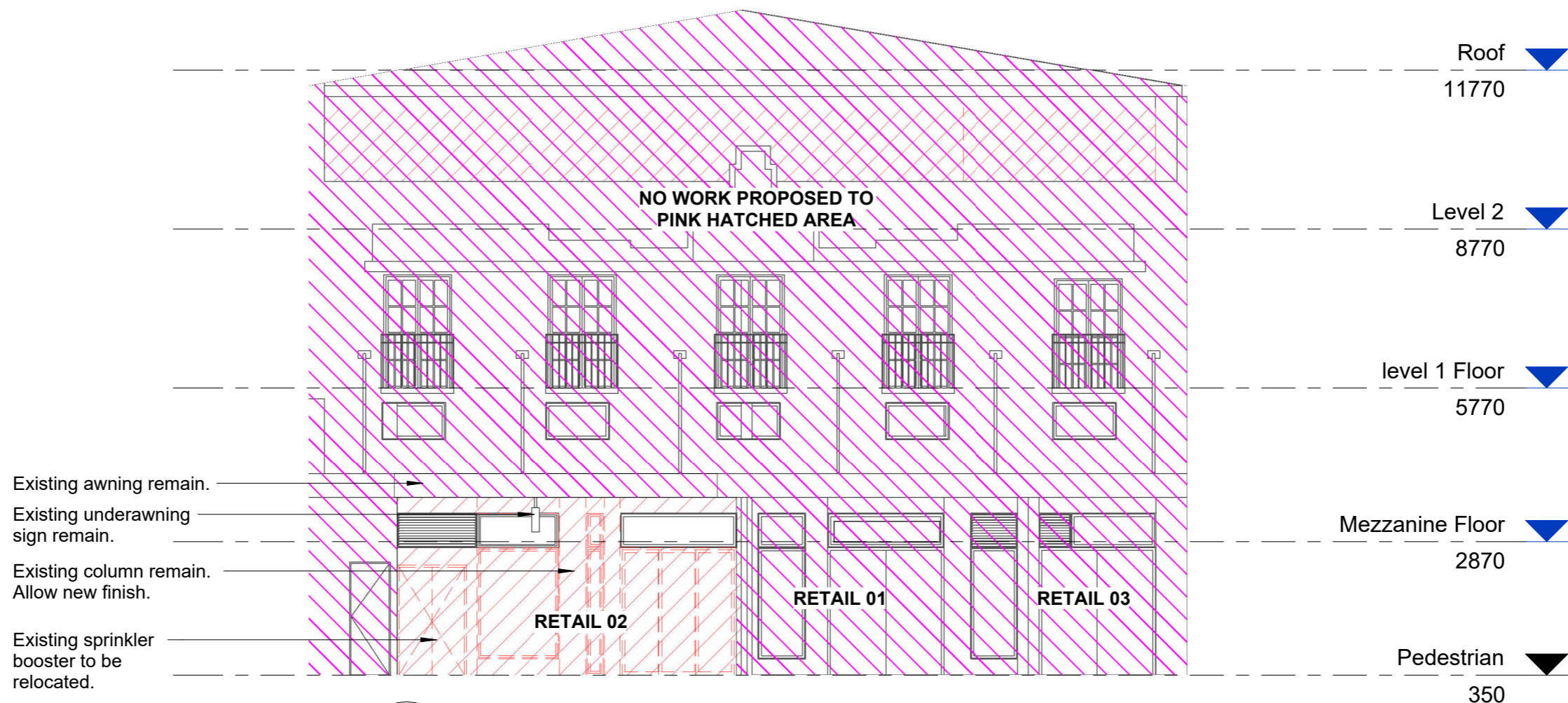
TITLE	
Layout Plan - Mezzanine Level	
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DRAWING NO.	
P103.2	
SCALE	AS SHOWN
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1 South Elevation - Demolition
1 : 100@A3



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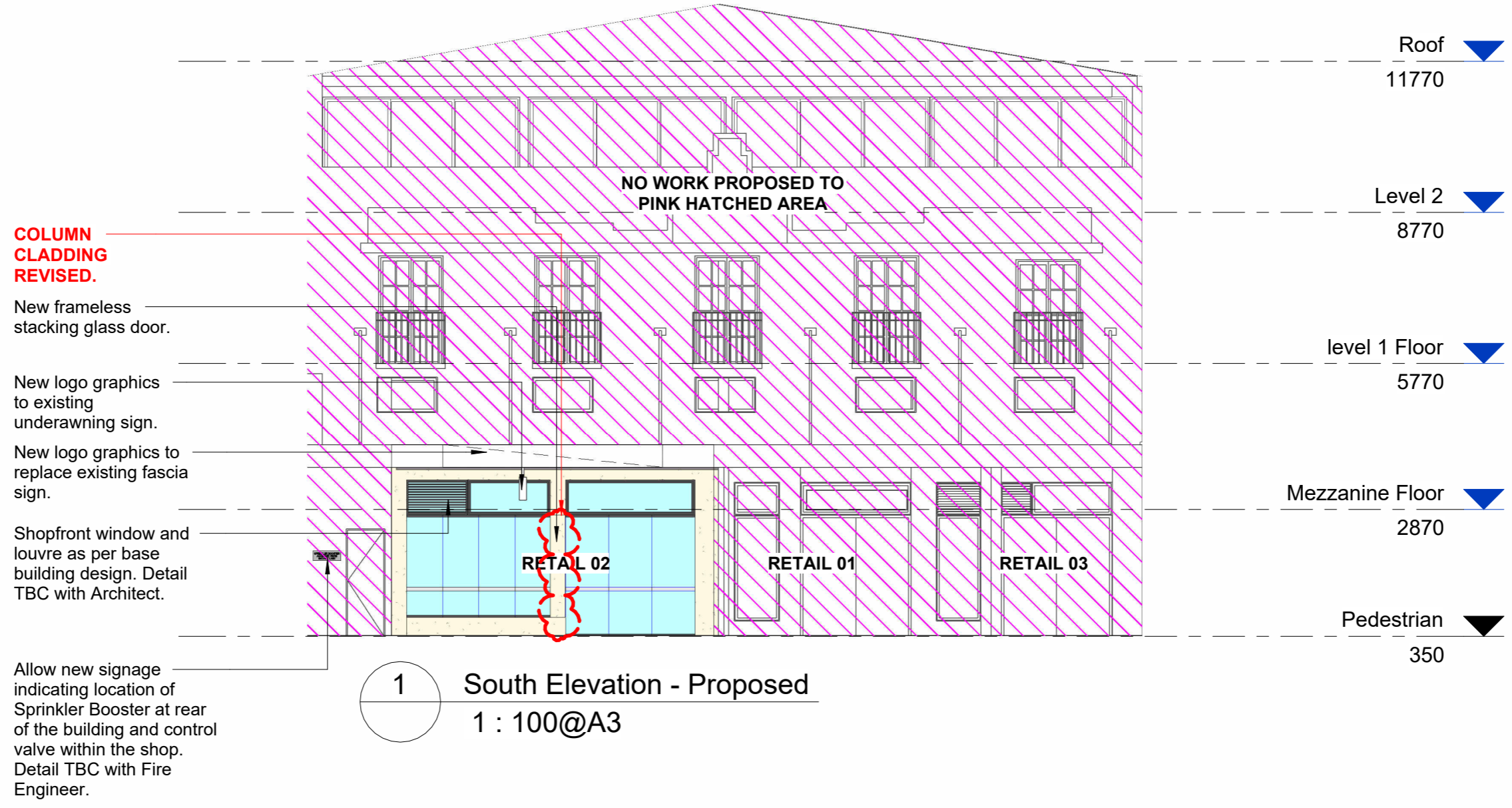
TITLE	
South Elevation - Demolition	
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E101.2	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	D 26/02/25


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1 South Elevation - Proposed
 1 : 100@A3



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D	For DA	26/02/25
E	For Client Review	20/03/25
F	For DA	01/04/25

TITLE
 South Elevation - Proposed

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DRAWING NO. E101.3
SCALE AS SHOWN
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ISSUE F 01/04/25


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1 North Elevation
 1 : 100@A3

Nominated position of relocated sprinkler booster. Finish to match existing wall facade colour.

Existing double door to be replaced with new double panel door retain approved door opening.



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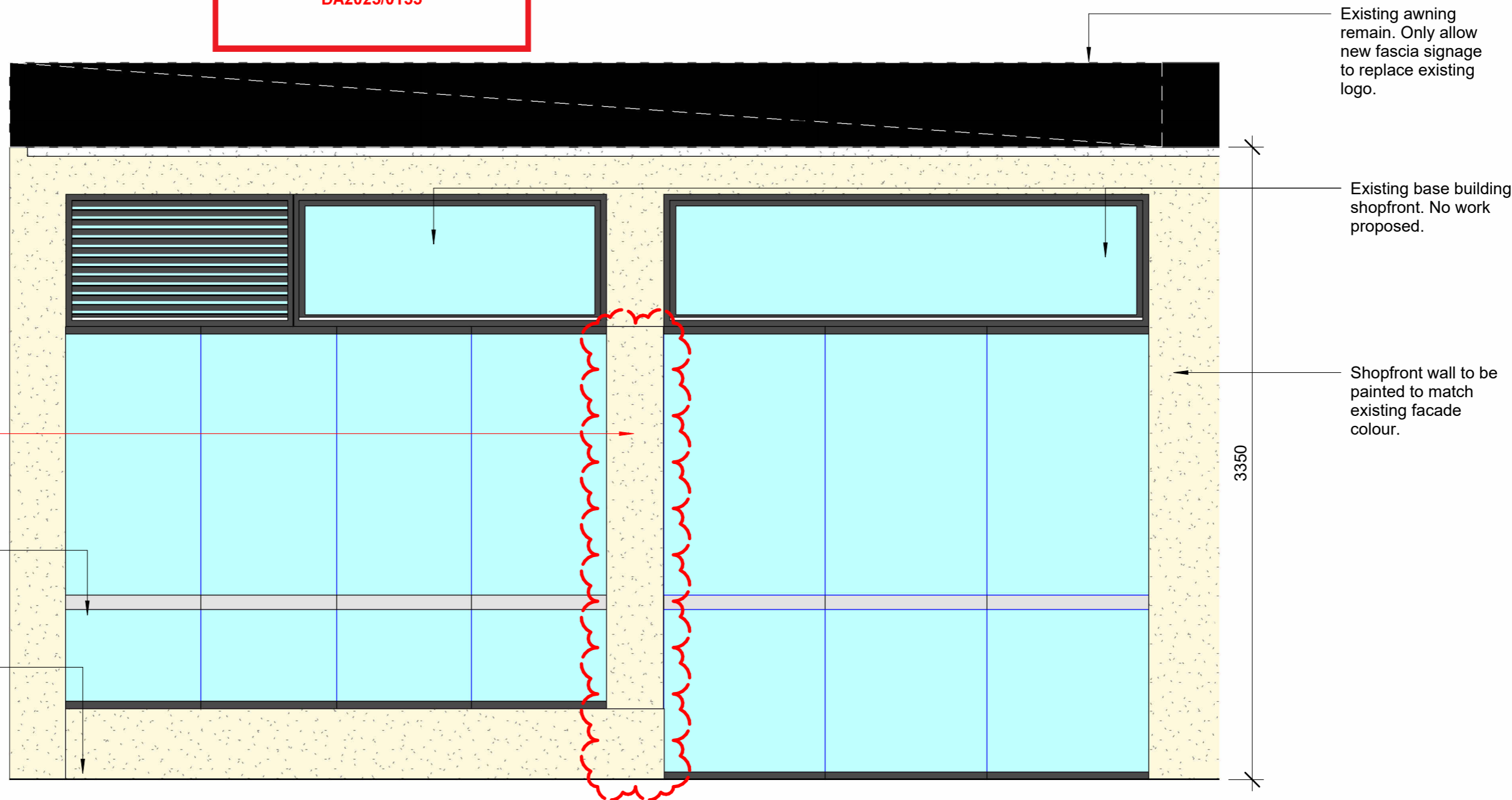
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C	For Strata Approval	28/11/24
D	For Strata Approval/For DA	13/01/25
E	For DA	26/02/25

TITLE	
Shopfront Elevations	
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DRAWING NO.	
E102	
SCALE	AS SHOWN
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ISSUE	E 26/02/25


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1 Shopfront Elevation - Close
 P104.1 1 : 25@A3


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F	For DA	01/04/25
G	For DA	07/04/25

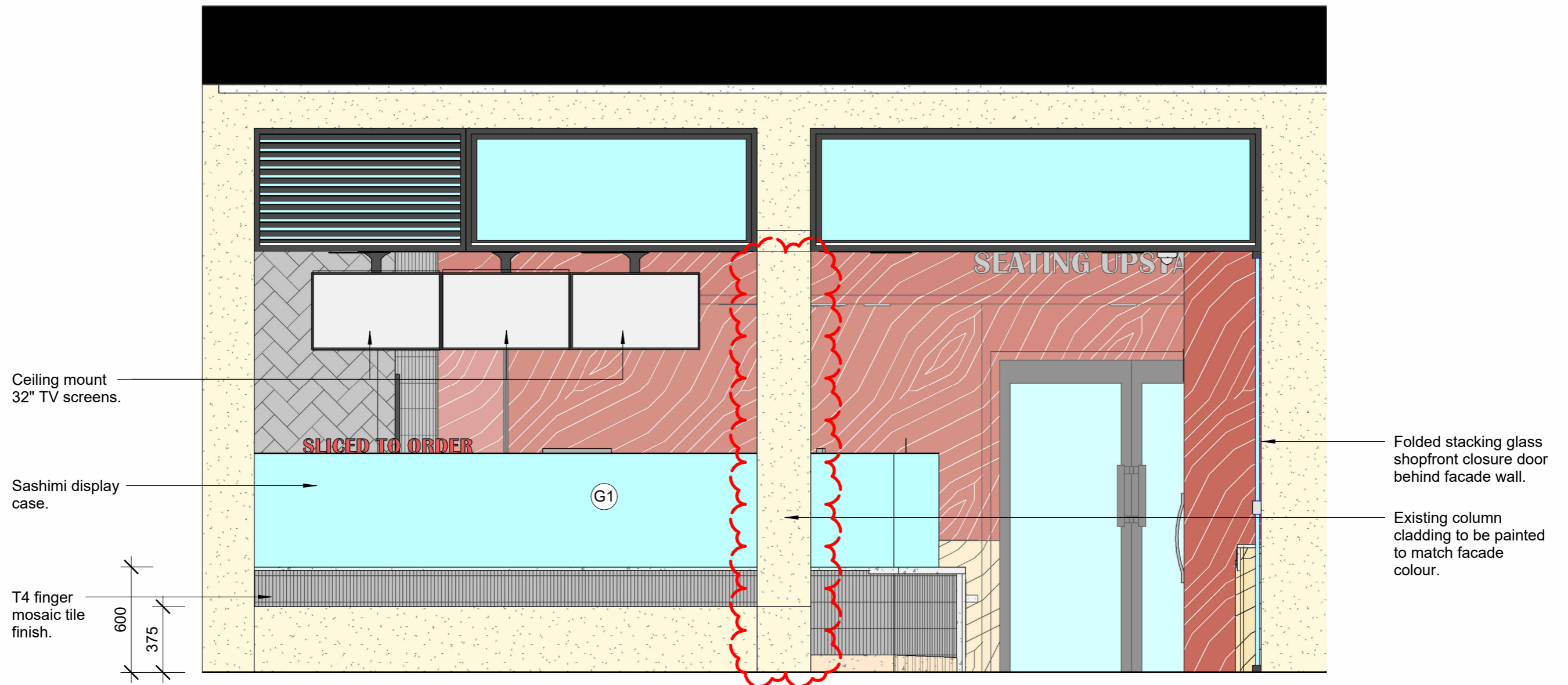
TITLE	
Shopfront Elevations	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
E103	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	G 07/04/25



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1 Shopfront Elevation - Open
 P104.1 1 : 25@A3

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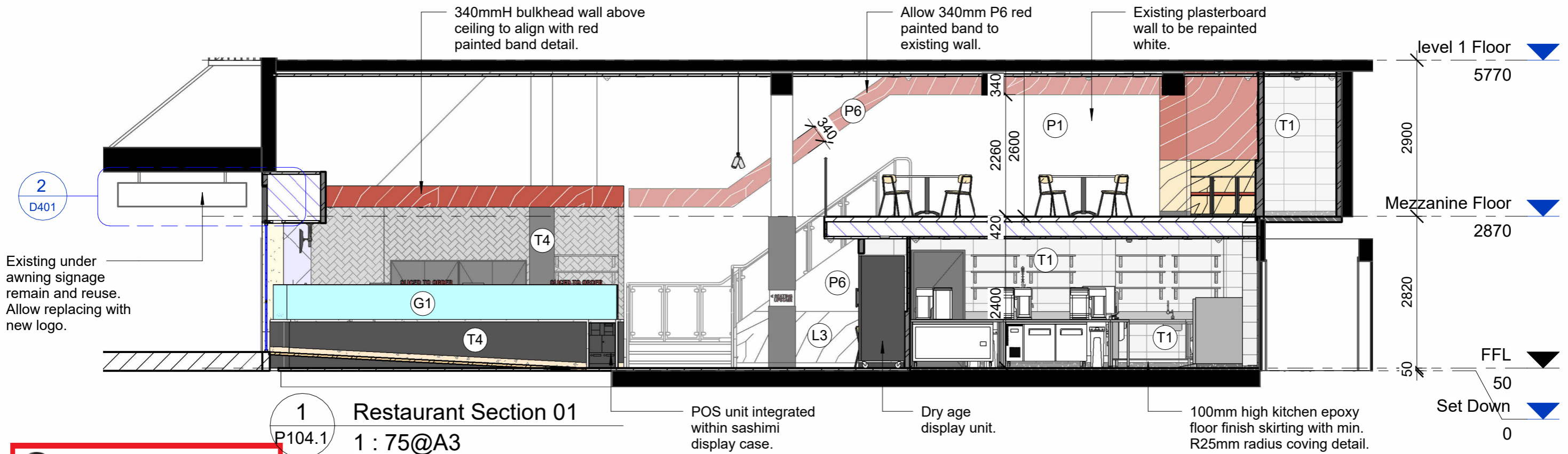
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F	For DA	26/02/25
G	For Client Review	20/03/25
H	For Client Review	26/03/25
I	For DA	01/04/25
J	For DA	07/04/25

TITLE
 Shopfront Elevations
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DRAWING NO. **E104**
 SCALE AS SHOWN
 CHECKED AT
 ISSUE J 07/04/25



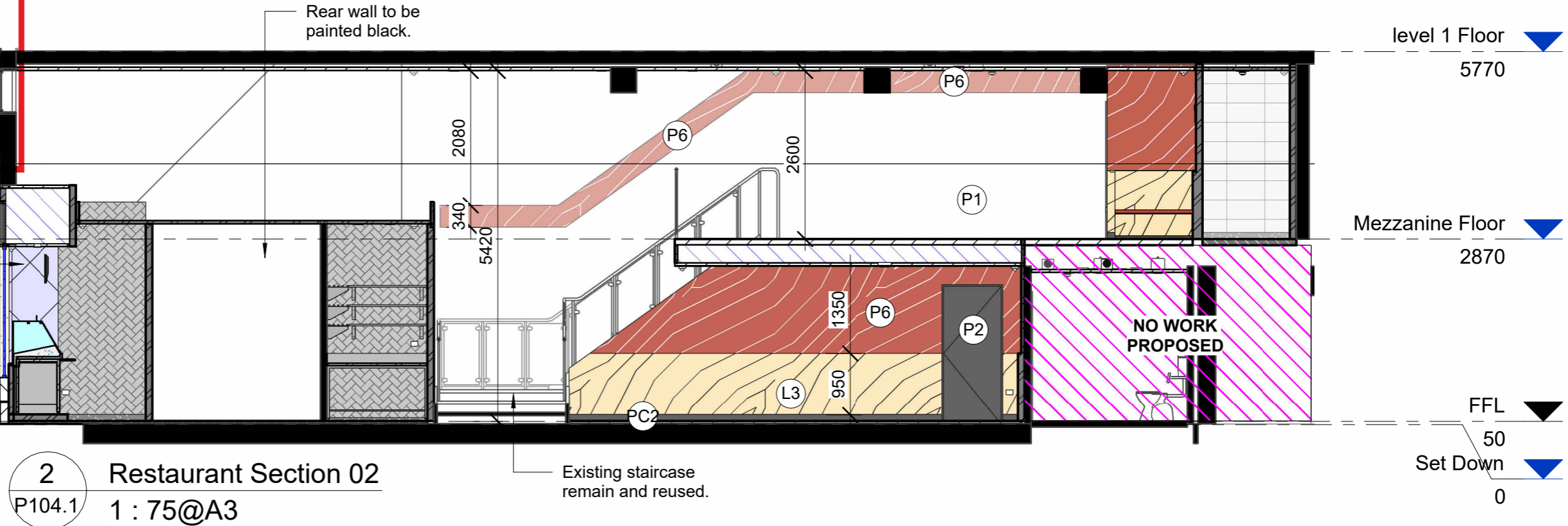
1 Restaurant Section 01
P104.1 1 : 75@A3

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2025/0155



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Adjacent wall to be finished mirror glass.



2 Restaurant Section 02
P104.1 1 : 75@A3

LITECO
STUDIO
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info@liteco.com.au

CLIENT:
Get Sashimi Pty Ltd

PROJECT: 2435
Get Sashimi Manly
Retail 02 63-67 The Corso
Manly NSW 2095

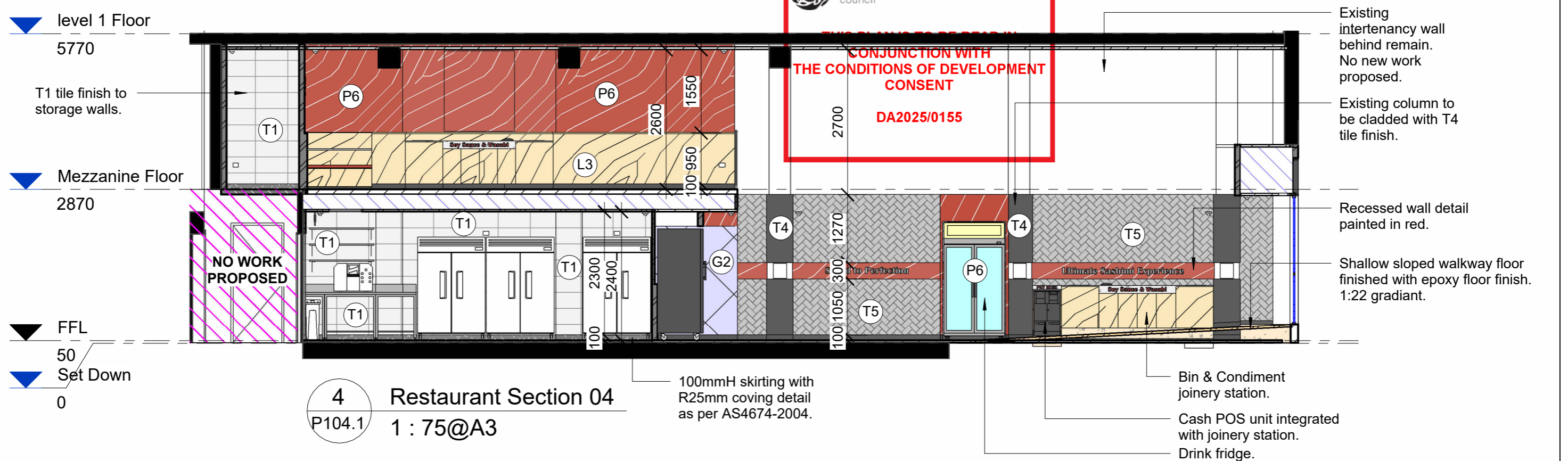
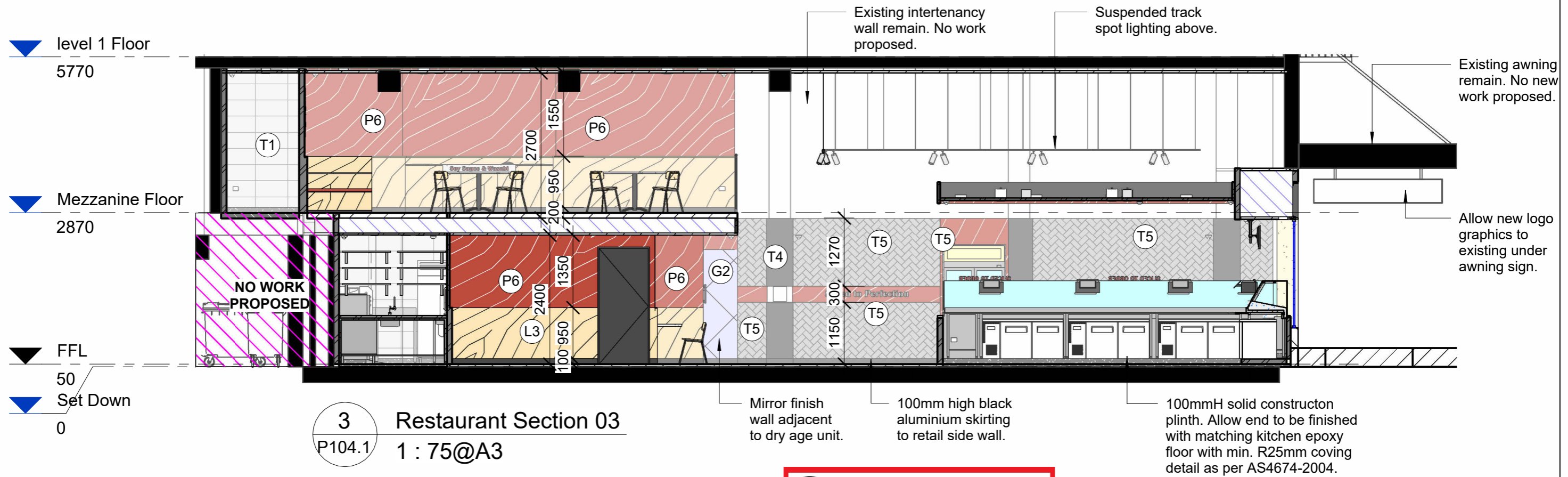
NOTE:
• All drawings to be read in conjunction with all engineers documentation and specification.
• Contractor to ensure all new building works, new fittings and fixtures are installed to the current BCA, Australian Standards and Work Cover Regulations.
• The Contractor shall use figured dimensions in preference to scaled dimensions. All dimensions shall be verified on site by the Contractors prior to commencing any work or preparing shop drawings.
• All materials are to be used in accordance with manufacturer's specifications and instructions, and to comply with relevant Australian Standards.
• Partition set-out to be approved by Project Manager on-site prior to construction.
• COPYRIGHT These drawings and the designs are the property of Liteco Project and must not be used, retained or copied without written permission of Liteco Project.

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval/For DA	13/12/24
D	For Strata Approval/For DA	30/01/25
E	For DA	26/02/25

TITLE
Elevations and Sections

DRAWN BY TT
CLIENT APPROVAL

DRAWING NO. **E105**
SCALE AS SHOWN
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ISSUE E 26/02/25



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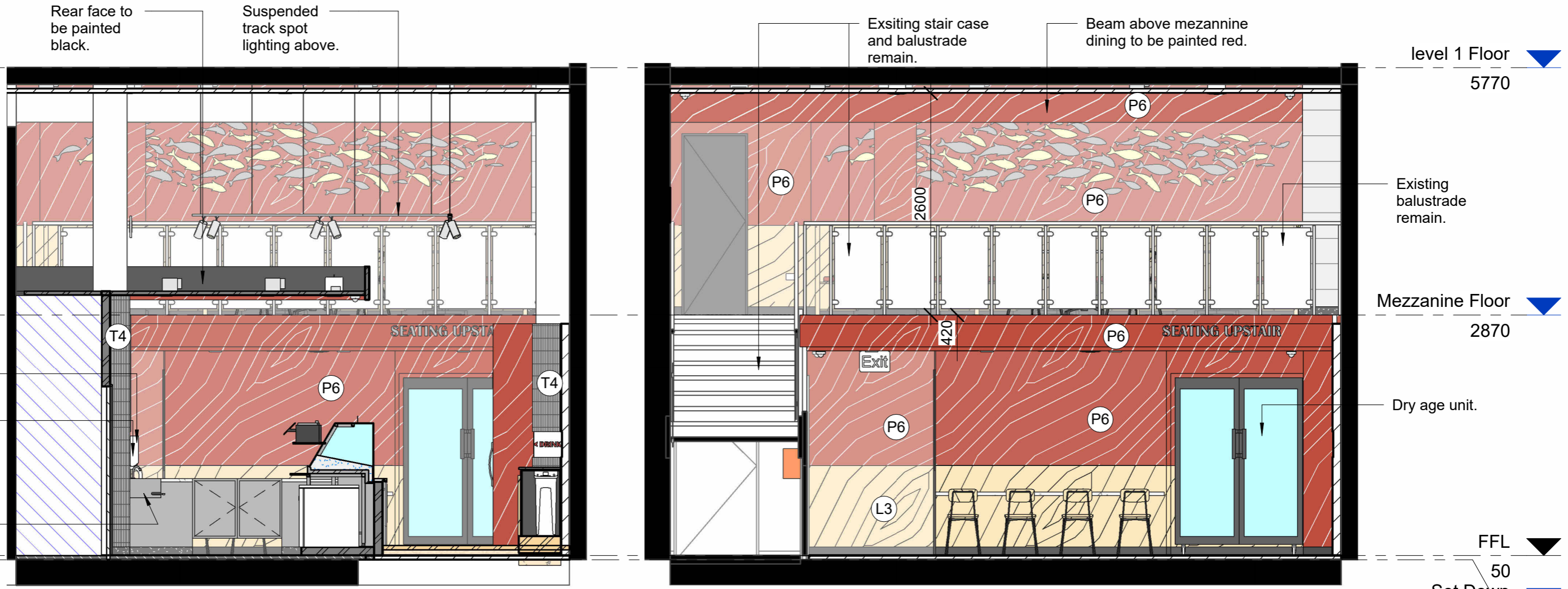
No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval/For DA	13/12/24
D	For Strata Approval/For DA	30/01/25
E	For DA	26/02/25

TITLE	DRAWING NO.
Elevations and Sections	E106
SCALE	AS SHOWN
DRAWN BY	TT
CHECKED	AT
CLIENT APPROVAL	ISSUE E 26/02/25


 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/0155



5 Restaurant Section 05
 P104.1 1 : 50@A3

6 Restaurant Section 06
 P104.1 1 : 50@A3



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 Get Sashimi Manly
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No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

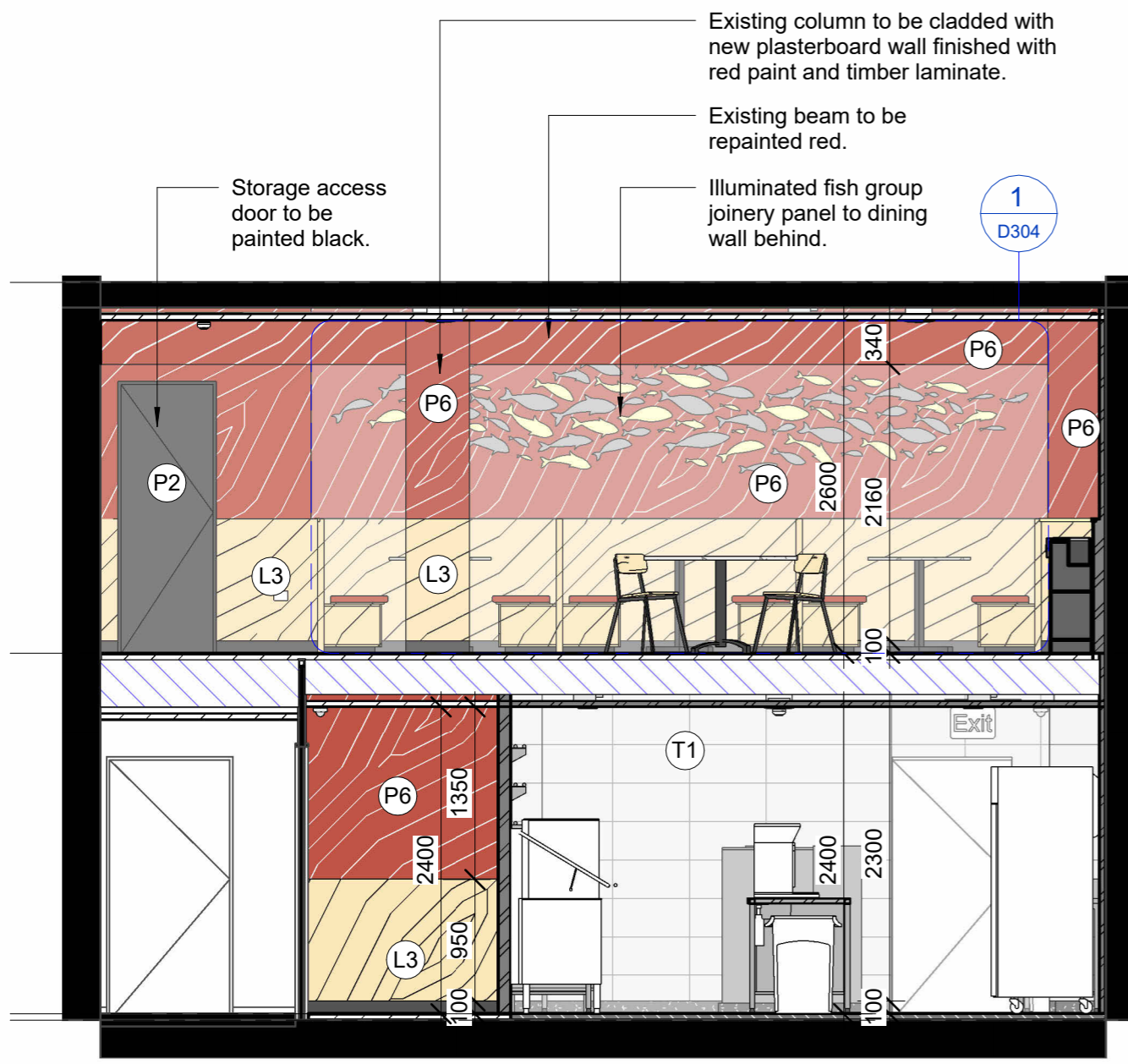
TITLE
 Elevations and Sections

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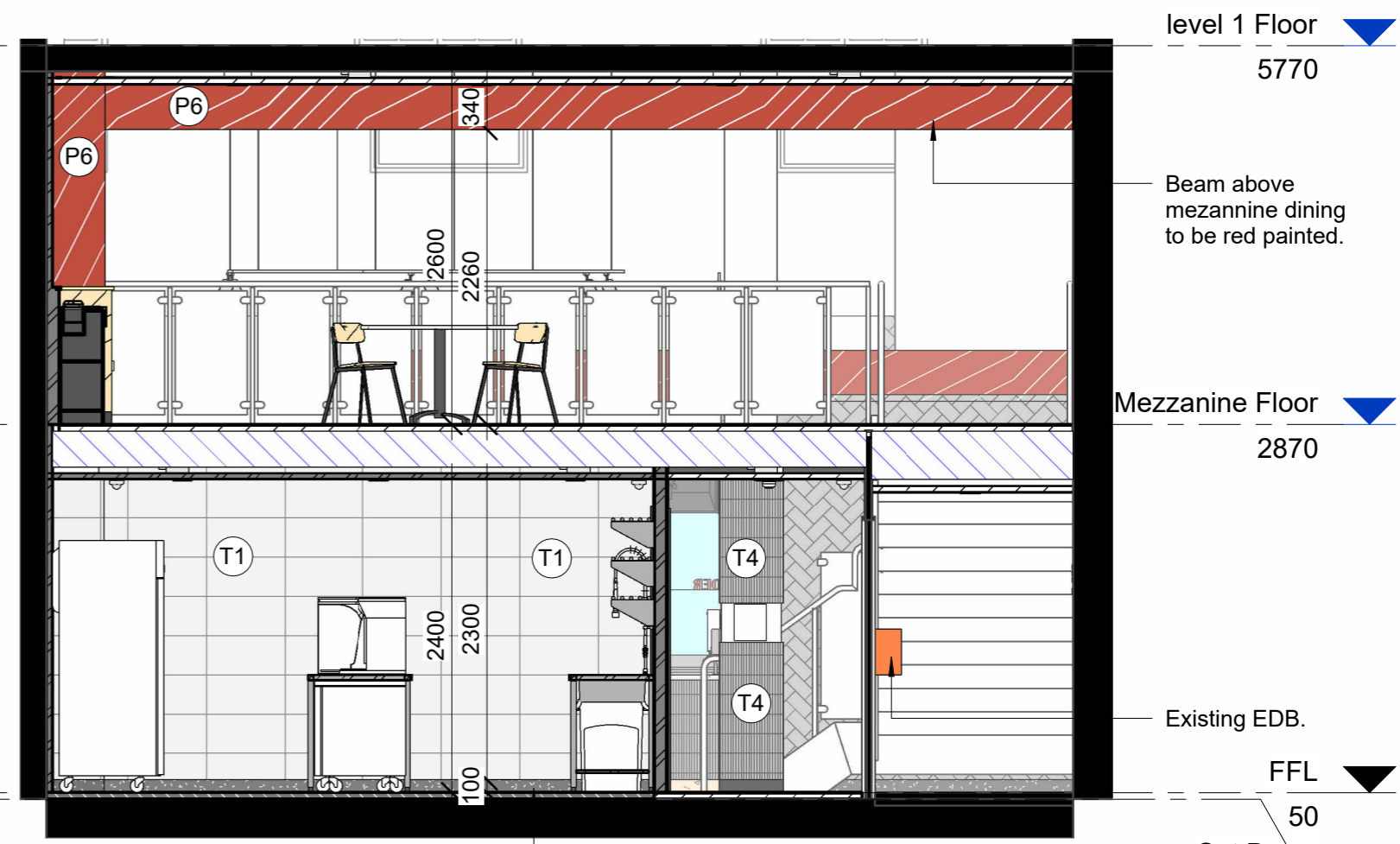
DRAWING NO.
E107

SCALE AS SHOWN
CHECKED AT
ISSUE C 26/02/25


 northern beaches council
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 DA2025/0155



7 Restaurant Section 07
 P104.1 1 : 50@A3



8 Restaurant Section 08
 P104.1 1 : 50@A3

100mmH kitchen epoxy flooring with min. 25mm radius coving detail as per AS4674-2004.

level 1 Floor 5770
 Beam above mezzanine dining to be red painted.
 Mezzanine Floor 2870
 Existing EDB.
 FFL 50
 Set Down 0

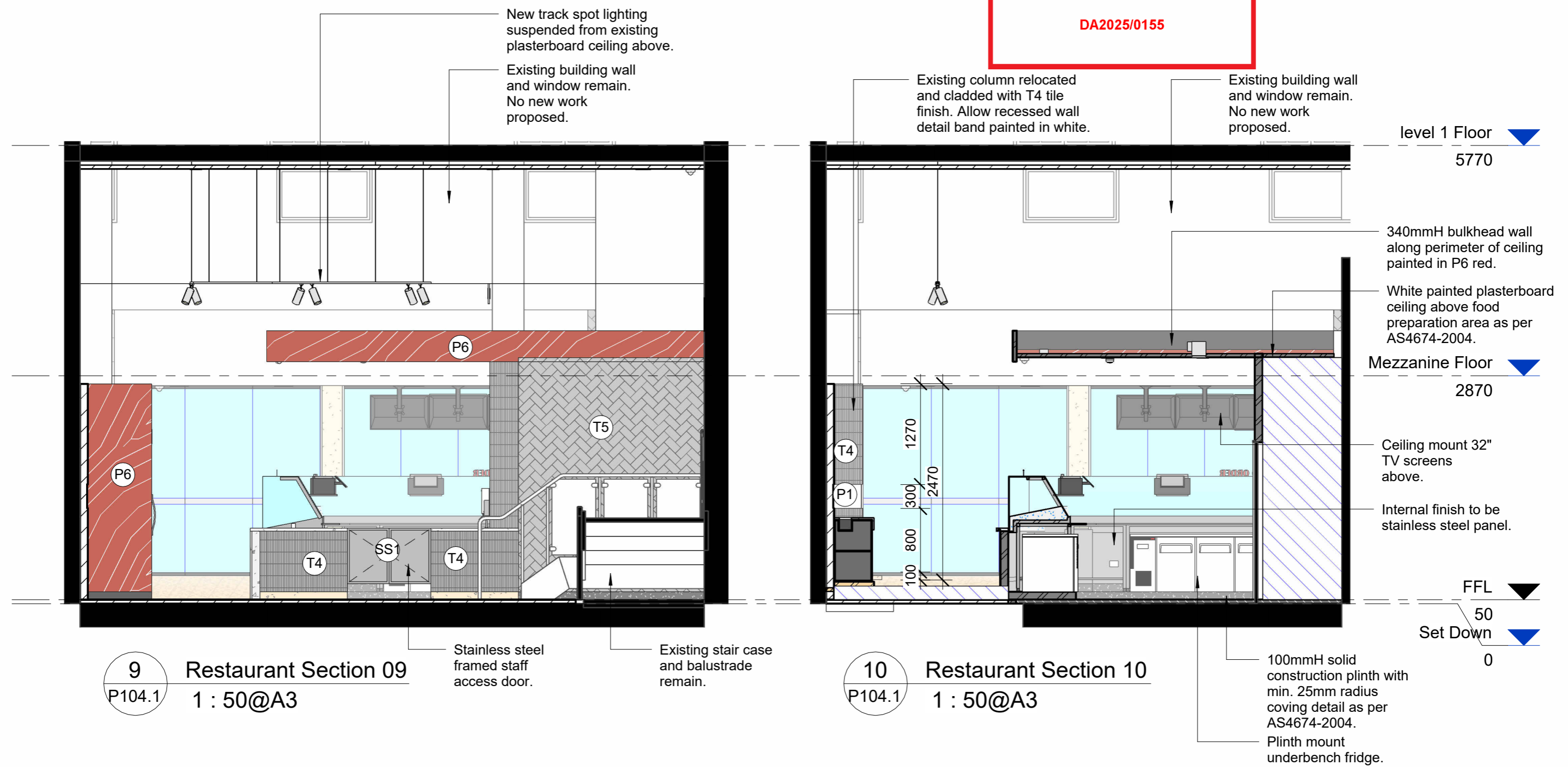
No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE	DRAWING NO.
Elevations and Sections	E108
DRAWN BY TT	SCALE AS SHOWN
CLIENT APPROVAL	CHECKED AT
	ISSUE C 26/02/25



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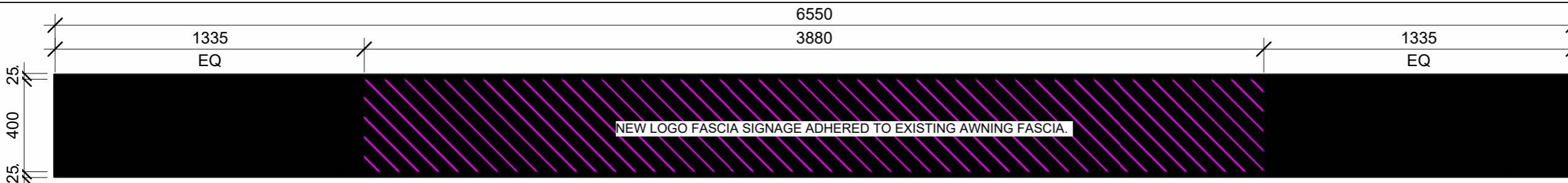
DA2025/0155



No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval/For DA	13/12/24
D	For DA	26/02/25

TITLE	Elevations and Sections
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	E109
SCALE	AS SHOWN
CHECKED	AT
ISSUE	D 26/02/25

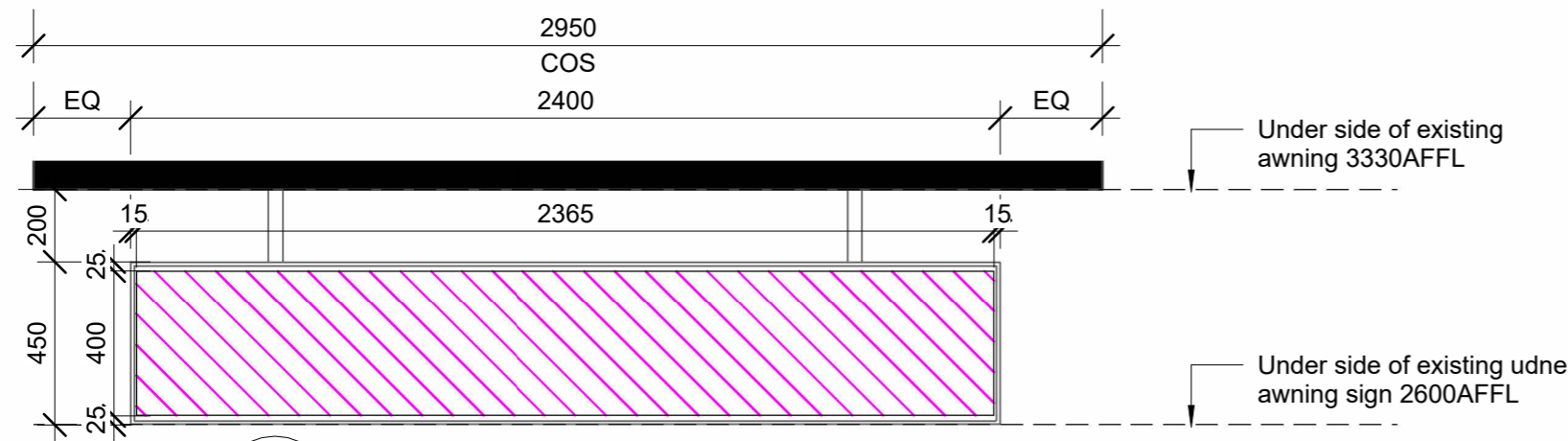


Reference Photo - Existing awning

1 Sign A - Awning Fascia Sign
1 : 20@A3



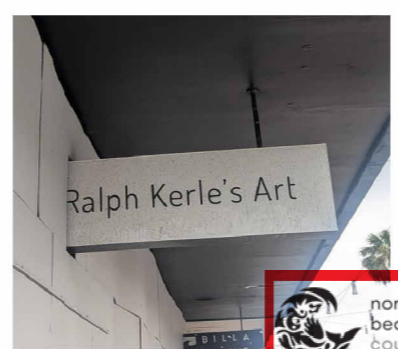
SIGN A - Awning Fascia Sign
 OVERALL SIZE: 400mmH X 3380mmW
 MATERIAL: Printed logo graphics board fixed to existing awning fascia
 FIXINGS: Adhered to existing awning fascia.
 QUANTITY: 1
 NOTES: Colour to match logo brand colour. Artwork Graphics to be provided by Graphic Designer. Final size to be confirmed on site to suit existing awning. To be center position of shopfront.



2 Sign B - Under Awning Sign
E105
1 : 20@A3

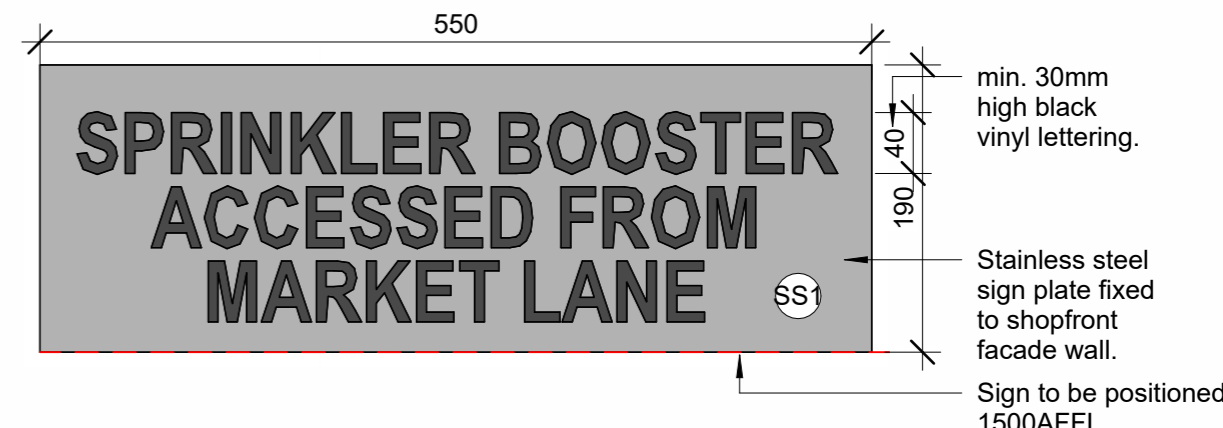


SIGN B - Under Awning sign
 OVERALL SIZE: 2400mmW X 450mmH
 MATERIAL: Existing illuminated udner awning signage.
 FIXINGS: Replacing logo graphics only.
 QUANTITY: 1 (double sided)
 NOTES: Colour to match logo brand colour. Artwork Graphics to be provided by Graphic Designer.



Reference Photo - Existing Under awning sign

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
 DA2025/0155



3 Sign C - Fire Booster Location Sign
1 : 5@A3

SIGN C - Fire Booster Location Sign
 OVERALL SIZE: 190mmH X 550mmW
 MATERIAL: Stainless steel plate with vinyl printed lettering.
 FIXINGS: Adhered to existing shopfront wall behind.
 QUANTITY: 1
 NOTES: Final wording TBC with Fire Engineer. Artwork Graphics to be provided by Graphic Designer. Final size and position to be confirmed on site to suit existing wall.

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval/For DA	13/01/25
D	For Strata Approval/For DA	30/01/25
E	For DA	26/02/25
F	For Client Review	05/03/25

TITLE	Signage
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	D401
SCALE	AS SHOWN
CHECKED	AT
ISSUE	F 05/03/25