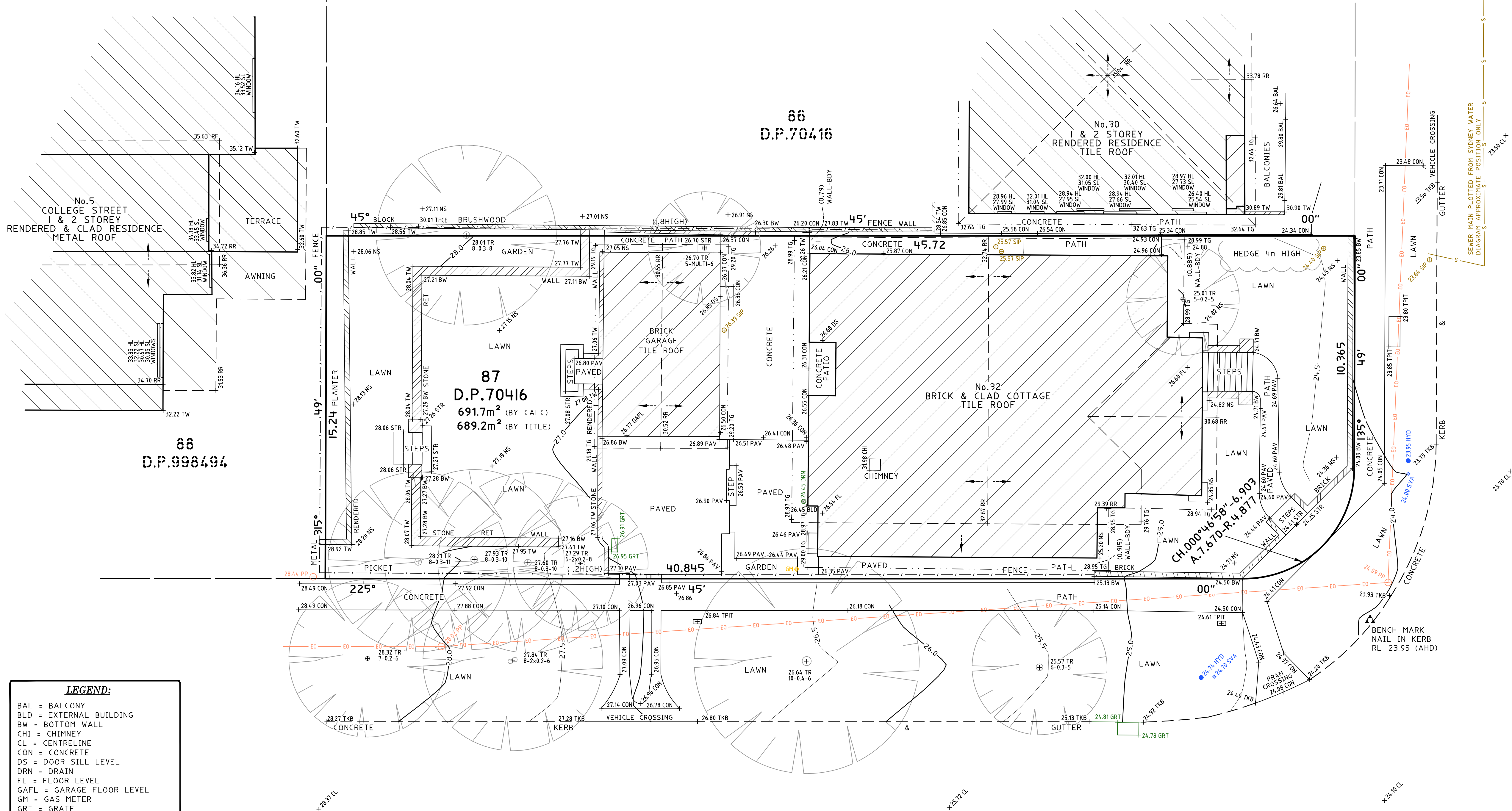
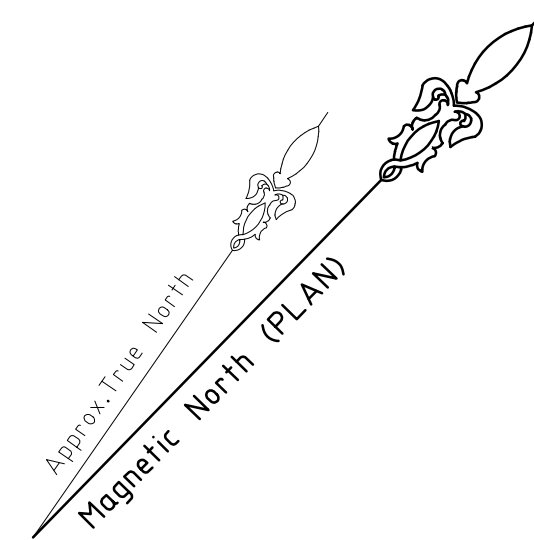


**LEGEND:**

BAL = BALCONY
 BLD = EXTERNAL BUILDING
 BW = BOTTOM WALL
 CHI = CHIMNEY
 CL = CENTRELINE
 CON = CONCRETE
 DS = DOOR SILL LEVEL
 DRN = DRAIN
 FL = FLOOR LEVEL
 GAFL = GARAGE FLOOR LEVEL
 GM = GAS METER
 GRT = GRATE
 HYD = HYDRANT
 NS = NATURAL SURFACE
 PAR = PARAPET
 PAV = PAVING
 PP = POWER POLE
 RR = ROOF RIDGE
 SIP = SEWER INSPECTION PIT
 STR = STAIRS
 SVA = STOP VALVE
 TFCE = TOP OF FENCE
 TG = TOP OF GUTTER
 TKB = TOP OF KERB
 TPIT = TELSTRA PIT
 TR = TREE
 TW = TOP OF WALL
 ——— = ELECTRICITY OVERHEAD
 - - - - - = SEWER UNDERGROUND



TITLE INDICATES THAT LOT 87 IN D.P.70416 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - QUALIFIED TITLE, CAUTION PURSUANT TO SECTION 28(J)(1) AND 28(J)(A)
 OF THE REAL PROPERTY ACT, 1900, ENTERED 18.8.1997 BK 1053 NO 564

NOTES

- A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF BELLE PROPERTY.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (db 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2018.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

STEPHEN EHREY
 REGISTERED SURVEYOR BOSTI NUMBER 1605

HORIZONTAL DATUM:
 CO-ORDINATE SYSTEM: ASSUMED
 MARKS ADOPTED: N/A

VERTICAL DATUM:
 DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
 B.M. ADOPTED: PM 870
 R.L. 23.56 (ORDER 4)
 SOURCE: S.C.I.M.S. (03/08/18)

3	DETAIL UPDATED	21/12/20
2	BOUNDARIES DEFINED	8/12/20
1	FIRST ISSUE	20/08/18

CLIENT:

STEVE THOMAS
32 REDDALL STREET
MANLY NSW 2095

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 87 IN D.P.70416
32 REDDALL STREET
MANLY NSW 2095

C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

PO Box 463 Dee Why
 NSW 2099
 2/20A South Creek Road,
 Dee Why NSW 2099
 Telephone: (02) 9971 4802
 Facsimile: (02) 9971 4822
 E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED H.H.	DRAWN R.N.	CHECKED H.H.	APPROVED D.R.
SURVEY INSTRUCTION 17970	SCALE 1:100 @ A1	DATE OF SURVEY 06/08/18 & 21/12/20	ISSUE 3
DRAWING NAME 17970detail	CAD FILE 17970detail 3.dwg		