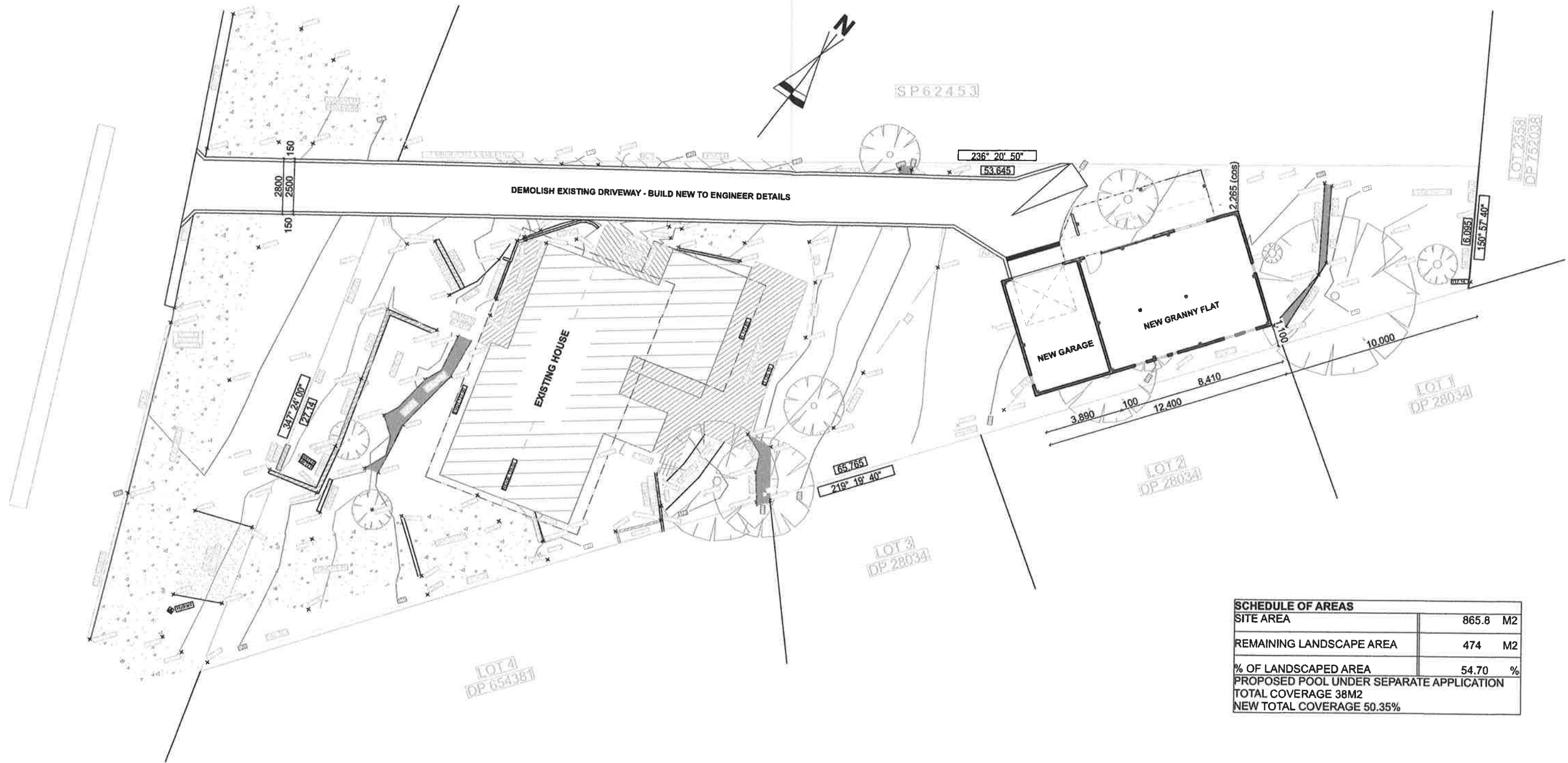




SCHEDULE OF AREAS	
SITE AREA	865.8 M2
REMAINING LANDSCAPE AREA	474 M2
% OF LANDSCAPED AREA	54.70 %
PROPOSED POOL UNDER SEPARATE APPLICATION	
TOTAL COVERAGE 38M2	
NEW TOTAL COVERAGE 50.35%	

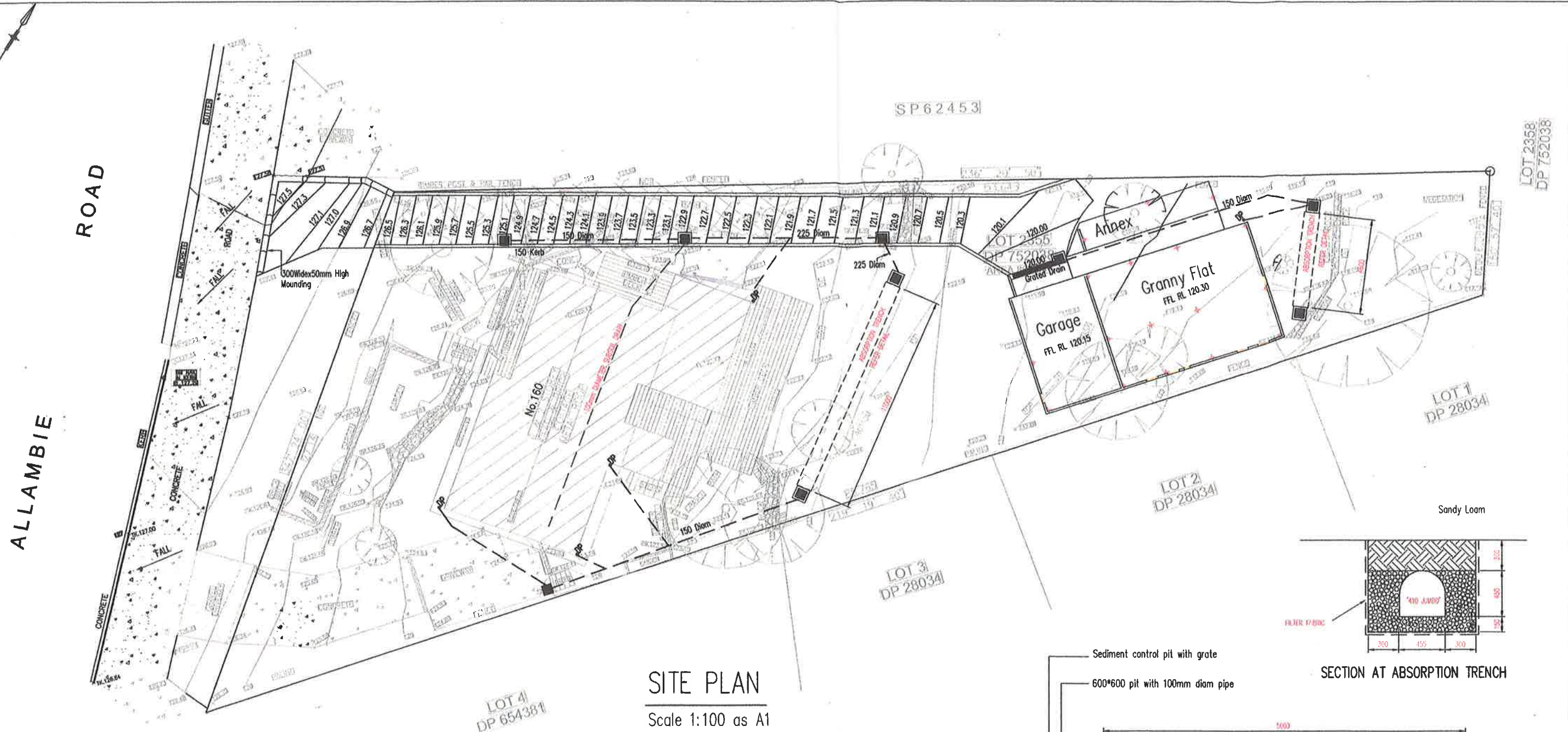
1

Site Plan

1:200

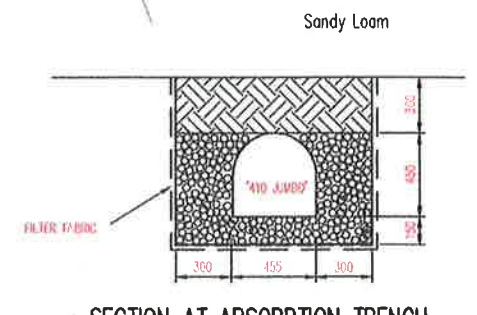
Granny Flat and Garage for Ashley and Victoria Monro
For D.A purposes only - not for construction

DESIGN - BILL FIRTH B.arch FRAIA B. Sup. Cert. 499255 0412 415 415 Copyright Reserved	Email: bill@altiusprojects.com Web: www.altiusprojects.com	Amendments	Date	Stage; Development Application Notes: Figured dimensions must be taken in preference to scaling. All dimensions to be checked by contractor on site before commencing work. This drawing has a copyright and must not be retained, copied or used without explicit authority from the architect.	Dwg Title: Site Plan						
		B Minor Alts. to notes	11/05/16								
					Project: 160 Allambie Rd. Allambie Heights NSW						
					Job No: 1604	Scale: 1:200	Drawing No: DA01	Rev: B		Date: 11.05.2016	Drawn by: JS
					Checked by: JS						

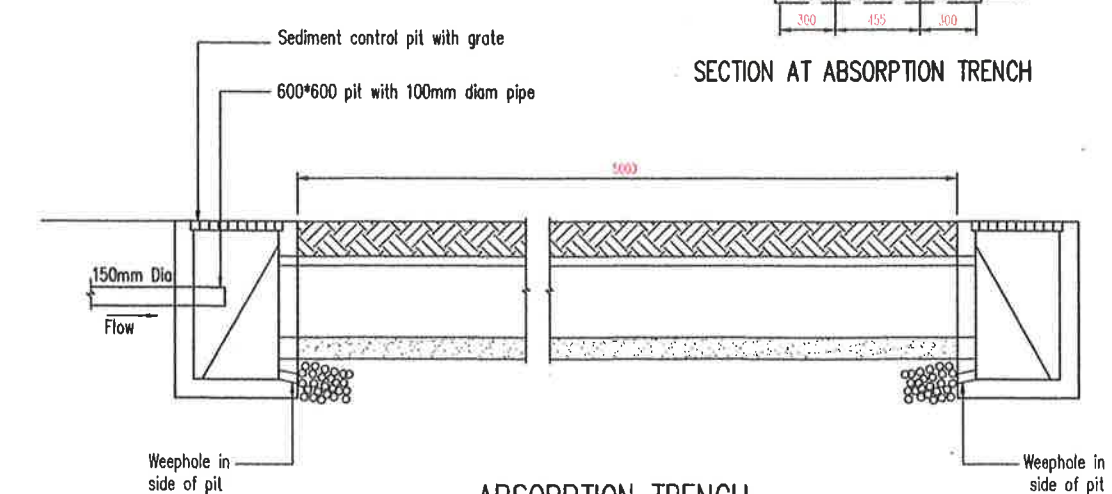


SITE PLAN

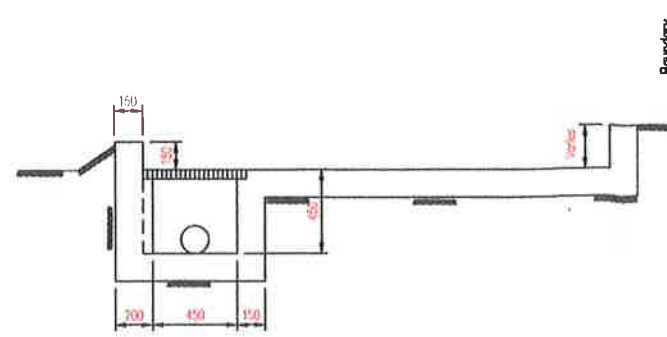
Scale 1:100 as A1



SECTION AT ABSORPTION TRENCH



ABSORPTION TRENCH



DRIVEWAY SECTION

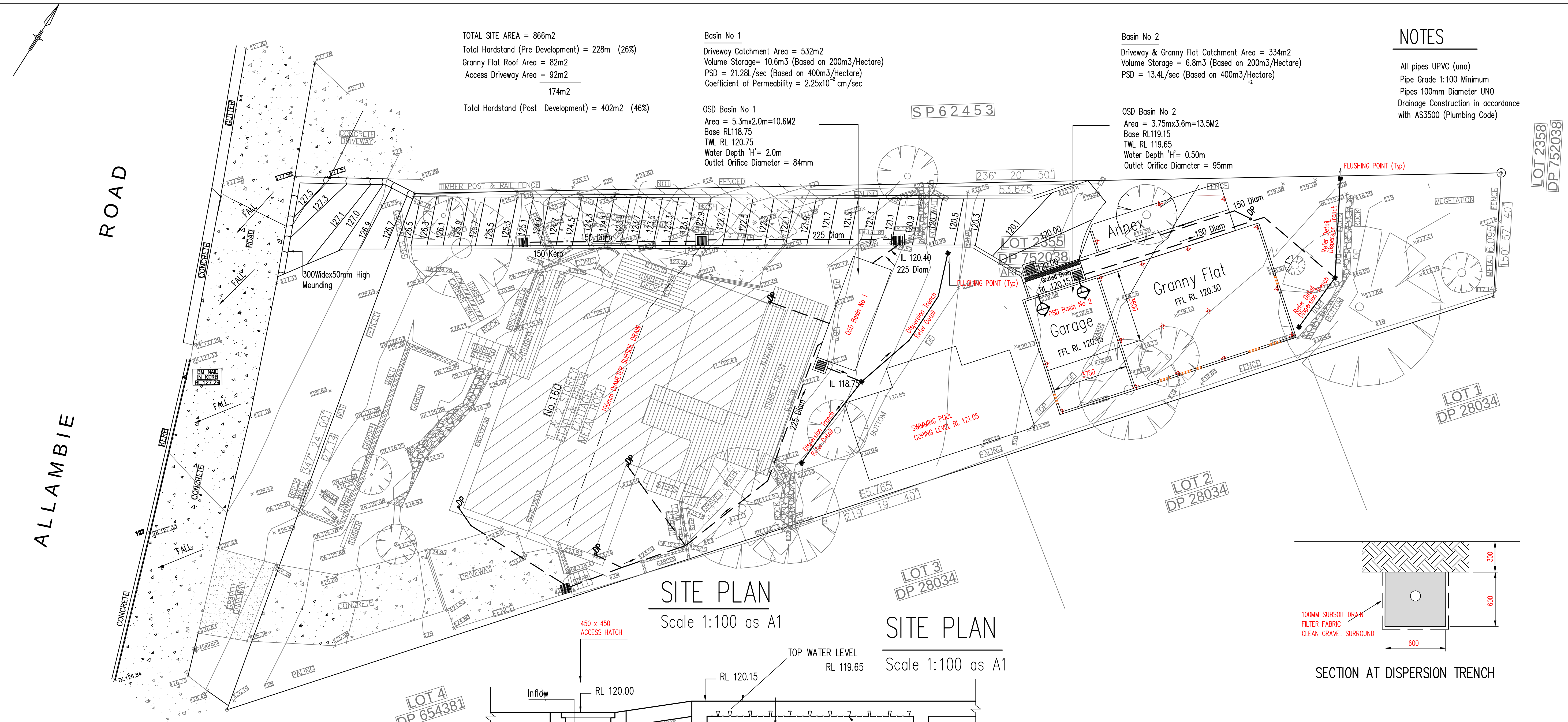
Scale 1:20 as A1

TOTAL SITE AREA = 866m²
 Total Hardstand (Pre Development) = 228m² (26%)
 Granny Flat Roof Area = 82m²
 Access Driveway Area = 92m²
 174m²
 Total Hardstand (Post Development) = 402m² (46%)

NOTES

All pipes UPVC (uno)
 Pipe Grade 1:100 Minimum
 Pipes 100mm Diameter UNO
 Drainage Construction in accordance
 with AS3500 (Plumbing Code)

15/05/18 For Approval		GPH	
REVISION	DATE	BY	
GEOFF HOPKINS & ASSOCIATES CONSULTING STRUCTURAL & CIVIL ENGINEERS 7 LATONA STREET, WEST PYMBLE N.S.W. 2073 Tel. 948 88635 Fax 9488 8635 Mobile 0419 600545 Email: ghop@bigpond.net.au			
PROPOSED RESIDENCE (GRANNY FLAT) 160 ALLAMBIE ROAD, ALLAMBIE HEIGHTS			
SITE LAYOUT - CIVIL WORKS			
APPROVED	DATE	SCALE	DRAWN
	12/04/2018	1/100	GPH
		CDS No.	REVISION
		1/2	92843



TOTAL SITE AREA = 866m²
Total Hardstand (Pre Development) = 228m² (26%)
Granny Flat Roof Area = 82m²
Access Driveway Area = 92m²
174m²
Total Hardstand (Post Development) = 402m² (46%)

Basin No 1
Driveway Catchment Area = 532m²
Volume Storage= 10.6m³ (Based on 200m³/Hectare)
PSD = 21.28L/sec (Based on 400m³/Hectare)
Coefficient of Permeability = 2.25x10⁻² cm/sec

OSD Basin No 1
Area = 5.3mx2.0m=10.6M²
Base RL118.75
TWL RL 120.75
Water Depth 'H'= 2.0m
Outlet Orifice Diameter = 84mm

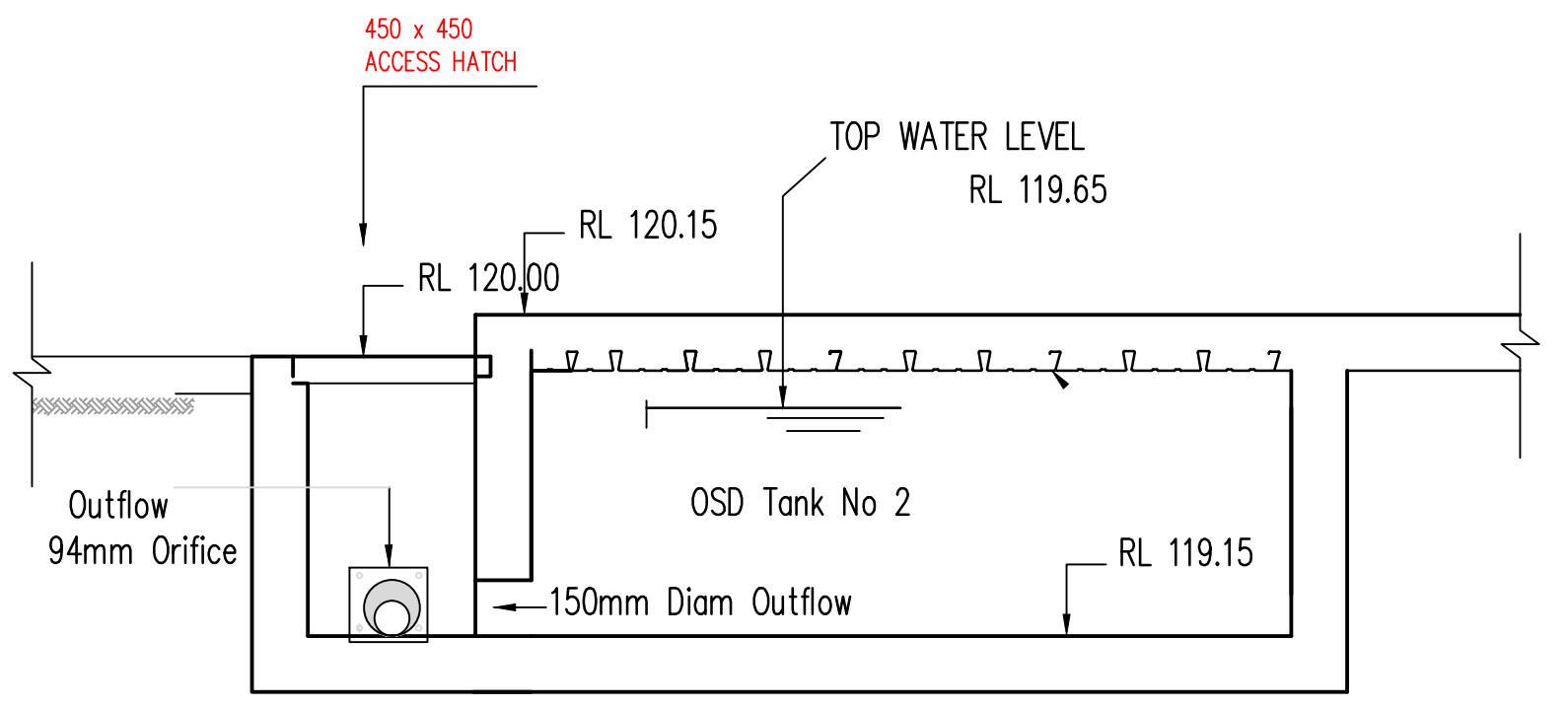
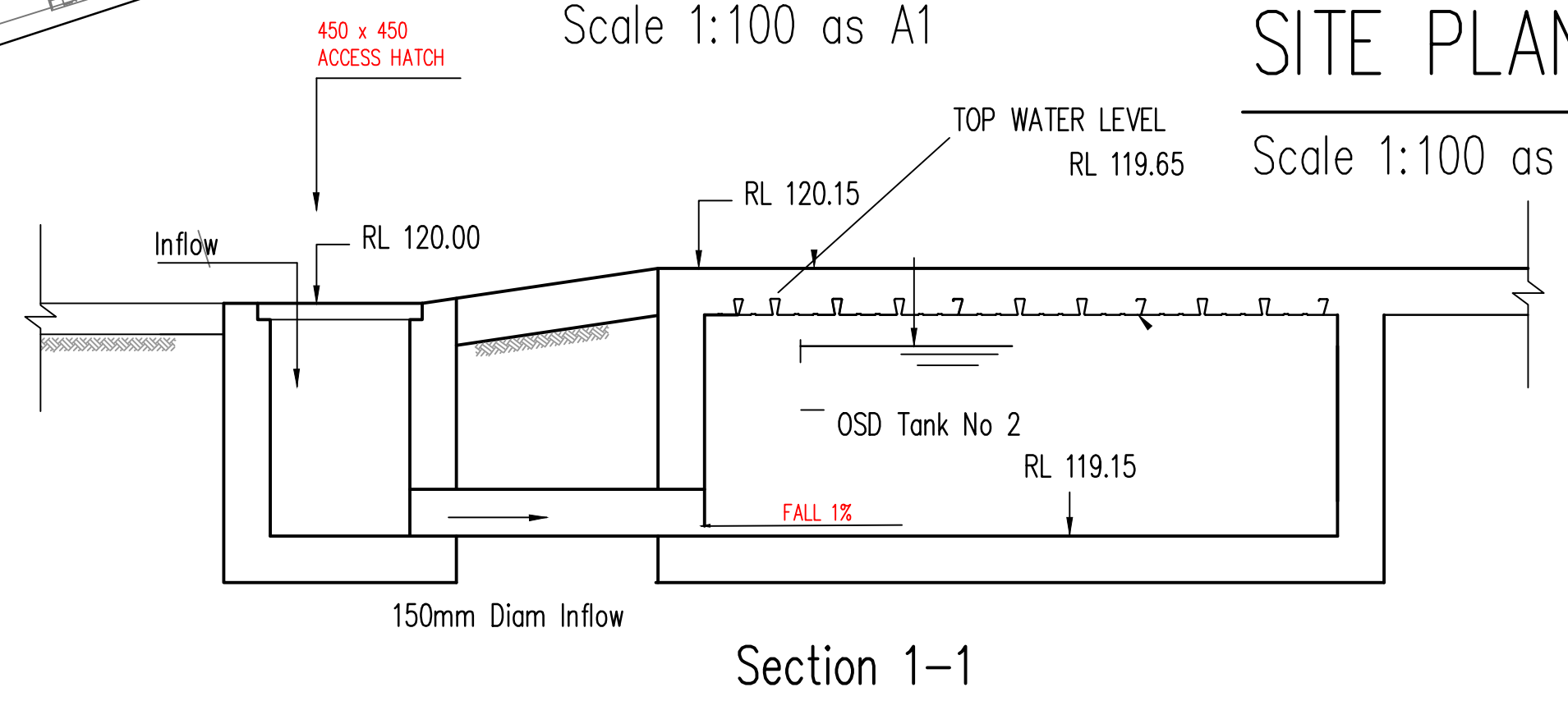
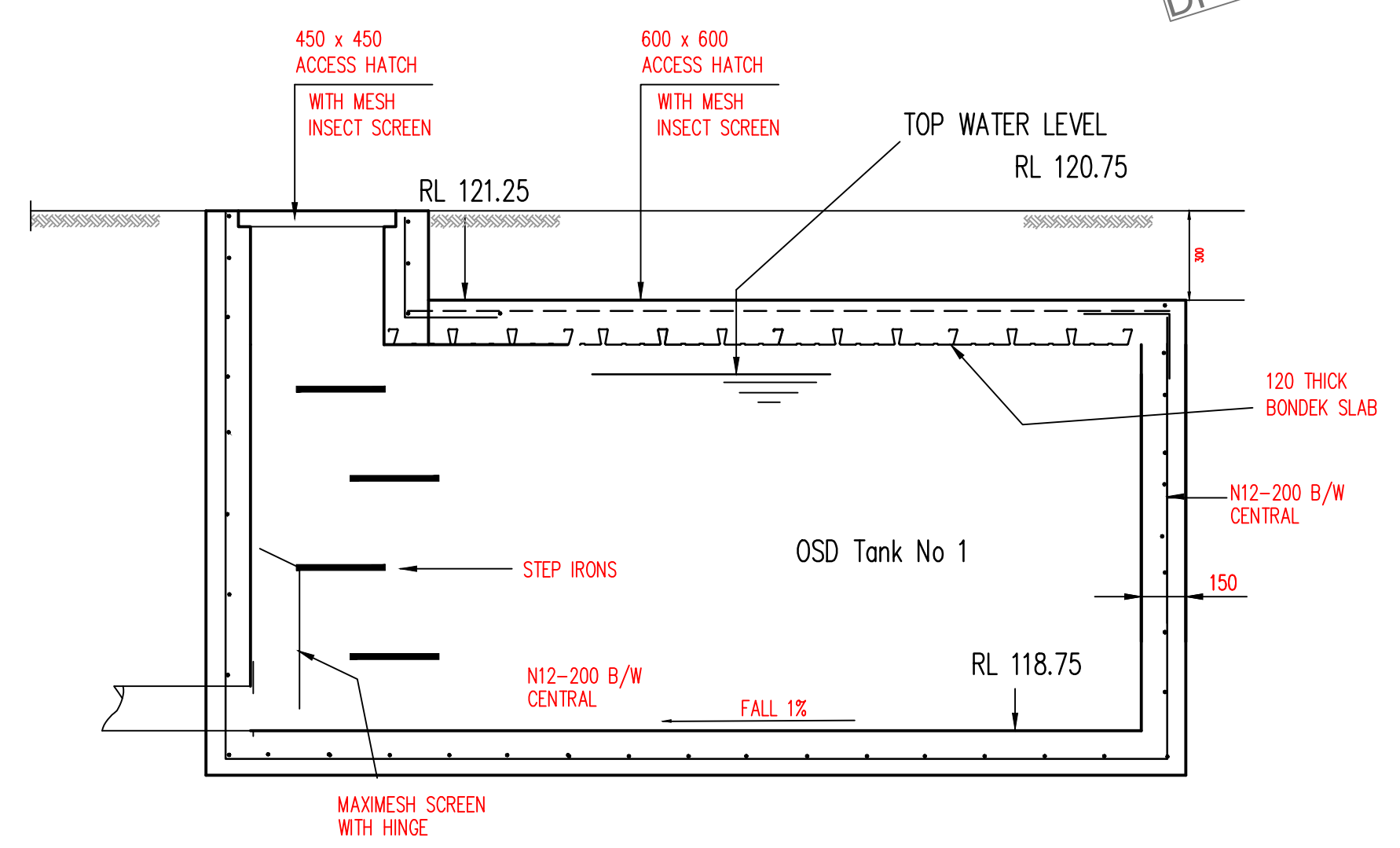
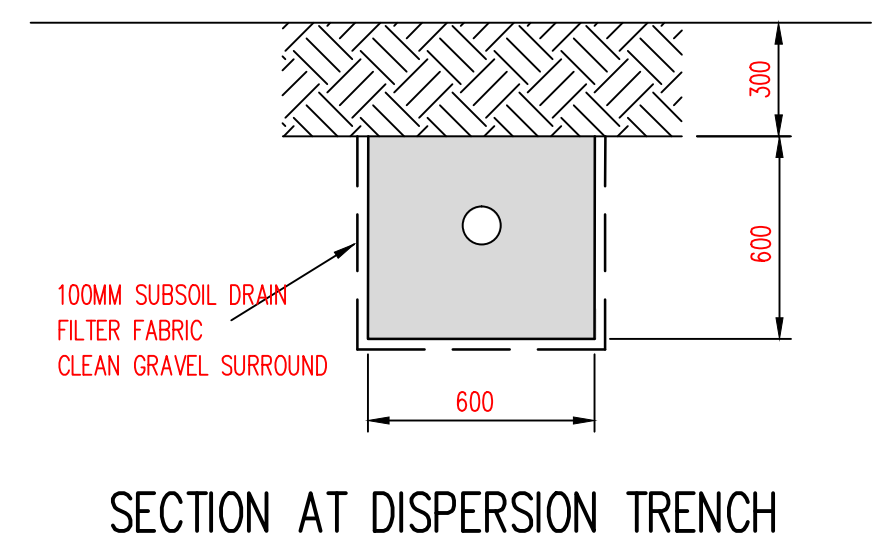
Basin No 2
Driveway & Granny Flat Catchment Area = 334m²
Volume Storage = 6.8m³ (Based on 200m³/Hectare)
PSD = 13.4L/sec (Based on 400m³/Hectare)

OSD Basin No 2
Area = 3.75mx3.6m=13.5M²
Base RL119.15
TWL RL 119.65
Water Depth 'H'= 0.50m
Outlet Orifice Diameter = 95mm

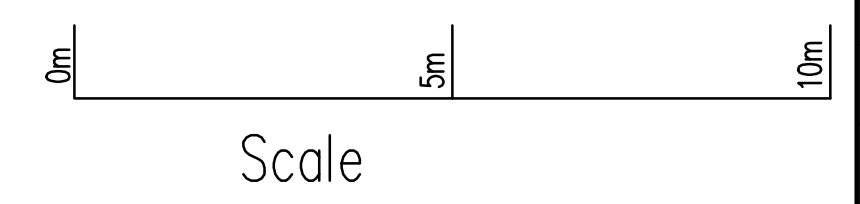
NOTES
All pipes UPVC (uno)
Pipe Grade 1:100 Minimum
Pipes 100mm Diameter UNO
Drainage Construction in accordance with AS3500 (Plumbing Code)

SITE PLAN
Scale 1:100 as A1

SITE PLAN
Scale 1:100 as A1



DRIVEWAY SECTION
Scale 1:20 as A1



B	15.09.16	Amended for Stormwater Dispersal	GPH
A	12.06.16	For Approval	GPH
---	16.05.16	For Approval	GPH
REVISION	DATE		BY
GEOFF HOPKINS & ASSOCIATES CONSULTING STRUCTURAL & CIVIL ENGINEERS 7 LATONA STREET, WEST PYMBLE N.S.W. 2073 Tel. 9488 88635 Fax 9488 8635 Mobile 0419 600545 Email : ghop@bigpond.net.au			
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SITE LAYOUT - CIVIL WORKS			
APPROVED	DATE	SCALE	DRAWN
	12/04/2016	1/100	GPH
DWG No.	REVISION	JOB No.	
C1	B	92843	