

N0073/99



TREVOR R HOWSE & ASSOCIATES PTY LTD

ACN 003 753 839

ABN 24 003 753 839

Building Regulations Consultants

15 SEP 2006
Our Ref: CP26022-1 JS
Your Ref: DA N0073/99

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

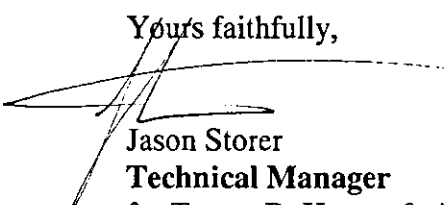
**Re: Construction Certificate No. 4
Regarding Stage 3 of Masterplan for DA N0073/99 for
Pittwater RSL Club, 82 Mona Vale Rd, Mona Vale**

We refer to our engagement in respect of the above and enclose the Construction Certificate for such in accordance with the provisions of the Environmental Planning and Assessment Act 1979.

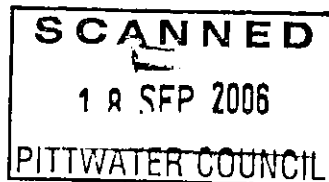
Please note that this is a staged Construction Certificate only and includes a number of exclusions in respect to the works approved for construction.

Should you require any further information please do not hesitate to contact the undersigned.

Yours faithfully,


Jason Storer
Technical Manager
for Trevor R. Howse & Associates Pty Ltd

Encl.



R/201473
\$30 paid

FIRE SAFETY
BUILDING AUDIT
DESIGN ASSESSMENT
CERTIFICATION

Level 8, 210 George St
Sydney, NSW, 2000
PO Box N694
Grosvenor Place, NSW 1220
Telephone (02) 9251 4500
Facsimile (02) 9252 9822
Email trh@trh.com.au



CONSTRUCTION CERTIFICATE

BUILDING WORKS

TREVOR R HOWSE & ASSOCIATES PTY LTD
ACN 003 753 839
ABN 24 003 753 839
Building Regulations Consultants

PRELIMINARIES	
CERTIFICATE NO. :	CP26022-1 JS
PROPERTY :	Pittwater RSL Club, 82 Mona Vale Rd, Mona Vale.
APPLICANT :	Paynter Dixon Constructions

DEVELOPMENT CONSENT	
CONSENT NO. :	DA N0073/99 and Section 96 modification.
DATE OF ISSUE :	6.12.99 and 20.6.02 respectively.
CONSENT AUTHORITY :	Pittwater Council.

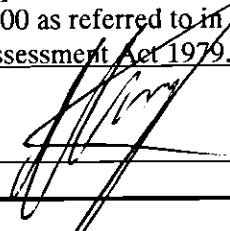
DETERMINATION	
DETERMINATION :	Approved
DATE :	15 SEP 2006
REFUSAL REASONS :	N/A

DEVELOPMENT DESCRIPTION	
APPROVED WORKS :	This approval is for the extension to the upper floor lounge area as well as the extension to the lower ground function area only. The works include all works to the super structure of the extension including the roof but do not include approval of the façade of the new works or balustrading to the new works, which will be subject to a new Construction Certificate. In addition the following BCA clauses are excluded from this Construction Certificate: 1. BCA Clause NSW D2.21 – Operation of latch 2. BCA Clause E.16 – Portable fire extinguishers. 3. BCA Table E2.2a – Smoke detection and alarm system. 4. BCA Table E2.2b – Automatic shutdown of air-handling systems.

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Email trh@trh.com.au

DEVELOPMENT DESCRIPTION	
CLASSIFICATIONS :	9b (POPE)
COST OF WORKS :	\$1,700,000.00
BUILDING SOLUTION :	Deemed-to-satisfy
EXCLUSIONS :	This certificate relates only to those works approved within the Development Consent, and excludes all other works / inconsistencies.

CERTIFYING AUTHORITY	
CERTIFIER :	Hayden L Howse - Accreditation No. P0043.
ACCREDITED BY :	NSW Accreditation Scheme – B.S.A.P.
STATEMENT :	Work completed in accordance with approved documentation, without variation to the Development Consent, will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979.
SIGNED :	

FIRE SAFETY SCHEDULE				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Fire rated access panels & doors	NO		NO	
Automatic fail safe devices	NO		NO	
Automatic fire detection & alarm	YES	AS1670.1		
Automatic fire suppression systems	NO		NO	
Emergency lifts	NO		NO	
Emergency lighting	YES	BCA E4.2, E4.4 AS 2293.1 – 1998	YES	BCA E4.2, E4.4 AS 2293.1 – 2005
EWIS	YES	BCA E4.9 – AS 2220.1 and 2	YES	BCA E4.9, AS 1670.4 – 2004 and AS 44289.4 – 2004.
Exit signs	YES	BCA E4.5, E4.6 AS 2293.1 – 1998	YES	BCA E4.5, E4.6 AS 2293.1 – 2005
Fire control centres & rooms	NO		NO	
Fire dampers	YES	AS 1668.1 and AS 1682.1 and 2.	NO	
Fire doors	YES	AS 1905.1	NO	
Fire hydrant systems	YES	AS 2419.1	YES	BCA Cl. E1.3, AS 2419.1 – 2005.
Fire seals	YES	BCA C3.15	NO	
Fire shutters	NO		NO	
Fire windows	NO		NO	
Hose reel systems	YES	AS 2441	YES	BCA Cl. E1.4, AS 2441 – 2005.

FIRE SAFETY SCHEDULE				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Lightweight construction	YES	BCA C1.8	NO	
Mechanical air handling systems				
1. Auto-shutdown of air-handling System.	YES	AS/NZS 1668.1	NO	
Perimeter emergency vehicle access	NO		NO	
Portable fire extinguishers	YES	AS 2444	NO	
Safety curtain in proscenium opening	NO		NO	
Smoke & heat vents	NO		NO	
Smoke dampers	NO		NO	
Smoke detectors & heat detectors	NO		NO	
Smoke doors	NO		NO	
Solid core doors	NO		NO	
Standby power systems	NO		NO	
Wall-wetting sprinkler / drenchers	NO		NO	
Warning & operational signs	YES	NSW H101.8	NO	
OTHER	NO		NO	

CONSTRUCTION CERTIFICATE DOCUMENTATION		
ANNEXURE	TITLED	DATED
1	CONSTRUCTION CERTIFICATE APPLICATION FORM	13.9.06
2	BCA CERTIFICATION	18.8.06
2	RECEIPT AND LETTER FROM COUNCIL RE SECTION 94 CONTRIBUTIONS E1	13.9.06
2	CERTIFICATION RE ARCHITECTURAL PLANS BEING DESIGNED AS PER BCA RE CONDITION F1 AND F6 OF THE CONSENT.	18.8.06
2	HYDRAULIC ENGINEERS CERTIFICATION	15.8.06
2	STRUCTURAL ENGINEERS CERTIFICATION	4.8.06
2	MECHANICAL ENGINEERS CERTIFICATION	28.2.06
2	FIRE COMPARTMENTATION PLAN OF THE EXISTING BUILDING AND NEW WORKS PLAN 6.01/C	2.8.06
2	CERTIFICATION FROM STRUCTURAL ENGINEER RE THE FIRE RATINGS	13.9.06
2	CERTIFICATION FOR FIRE HYDRANTS AND FIRE HOSE REELS	11.9.06
2	CERTIFICATION FOR ELECTRICAL SERVICES	13.9.06
2	RECEIPT FOR LONG SERVICE LEVY	13.9.06

CONSTRUCTION CERTIFICATE PLANS - ARCHITECTURAL		
PLAN NO	TITLED	DATED
1.01/01	SITE PLAN	1.9.06
1.02/02	UPPER AND LOWER FLOOR PLANS	1.9.06
1.03/02	PART FLOOR PLANS AND ROOF PLANS	1.9.06
2.01/01	ELEVATIONS	1.9.06
2.02/01	REFLECTED CEILING PLAN AND SECTION AA	1.9.06

CONSTRUCTION CERTIFICATE PLANS – STRUCTURAL PLANS		
PLAN NO	TITLED	DATED
C500/P1	NOTES, LEGEND AND DETAIL SHEET	8.9.06
C501/P1	SITE WORKS AND STORMWATER PLAN	8.9.06

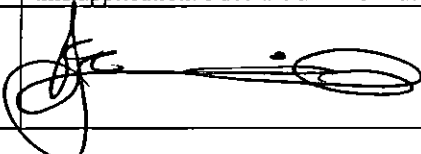
CONSTRUCTION CERTIFICATE PLANS – CIVIL PLANS		
PLAN NO	TITLED	DATED
CC-S001/P1	STRUCTURAL NOTES	8.9.06
CC-S01/A	GROUND FLOOR, FOOTING PLAN AND COLUMNS SCHEDULE AND DETAILS	8.9.06
CC-S02/A	SECTION AND DETAIL SHEET 1	8.9.06
CC-S04/A	FIRST FLOOR PLAN	8.9.06
CC-S07/A	ROOF STEELWORK MARKING PLAN	8.9.06
CC-S08/A	ROOF STEELWORK ELEVATIONS	8.9.06

ANNEXURE "1"

**CONSTRUCTION CERTIFICATE
APPLICATION FORM**

APPLICATION FORM

☐	COMPLYING DEVELOPMENT CERTIFICATE (CDC)	
☒	CONSTRUCTION CERTIFICATE (CC)	TREVOR R HOWSE & ASSOCIATES PTY LTD
☐	INTERIM OCCUPATION CERTIFICATE (IOC)	ACN 003 753 839
☐	OCCUPATION CERTIFICATE (OC)	ABN 24 003 753 839 Building Regulations Consultants

APPLICANT (complete for any application)	
NAME / COMPANY :	PAYNTER DIXON CONSTRUCTIONS
ADDRESS :	320 LIVERPOOL ROAD
SUBURB / STATE :	ASHFIELD NSW 2131
STATEMENT :	I apply for approval to carry out the development / works described within this application. I declare all information given to be true and correct.
SIGNED :	

CONSENT OF OWNER (complete for CDC & CC only)	
NAME / COMPANY :	PITTWATER RSL CLUB
ADDRESS :	82 MONA VALE ROAD
SUBURB / STATE :	MONA VALE NSW 2103
STATEMENT :	As owner (s) of the subject land, I / we consent to this application and Trevor R. Howse & Associates Pty Ltd entering the land for inspection.
SIGNED :	REFER ATTACHED LETTER OF CONSENT.

SUBJECT LAND (complete for any application)	
ADDRESS :	PITTWATER RSL CLUB- 82 MONA VALE ROAD
SUBURB / STATE :	MONA VALE NSW 2103
COUNCIL AREA :	PITTWATER.
LOT NO :	26, 20, 28
DP / SP :	654 262, 5055

DEVELOPMENT DESCRIPTION (complete for any application)	
CLASSIFICATION :	9b
COST OF WORKS :	\$1.7M.
D/A CONSENT NO. :	N0073/99
DATE :	6-12-1999

FIRE SAFETY
BUILDING AUDIT
DESIGN ASSESSMENT
CERTIFICATION

Level 8, 210 George St
Sydney, NSW, 2000
PO Box N694
Grosvenor Place, NSW 1220
Telephone (02) 9251 4500
Facsimile (02) 9252 9822
Email trh@trh.com.au

DEVELOPMENT DESCRIPTION (complete for any application)	
- PROPOSED WORKS - AREA OF OCCUPATION :	Proposed additions to Club premises 690m ² including plant room.

ACCOMPANYING DOCUMENTATION (complete for any application)	
NO.	TITLED
1	Application form, plans, certification

FIRE SAFETY SCHEDULE (complete for CDC & CC only)				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Fire rated access panels & doors	(Note Attached Over)			BCA C3.13
Automatic fail safe devices				
Automatic fire detection & alarm				AS 1670 AS 3786
Automatic fire suppression systems				AS 2118.1
Emergency lifts				BCA C3.4
Emergency lighting				AS/NZS 2293.1
EWIS		AS 2220.1/2		AS 1670.4 + AS 4428.4
Exit signs				AS/NZS 2293.1
Fire control centers & rooms				BCA E1.8
Fire dampers				AS/NZS 1668.1, 2
Fire doors				AS 1905.1
Fire hydrant systems				AS 2419.1
Fire seals				BCA C3.15, C3.16
Fire shutters				AS 1905.1
Fire windows				BCA Spec. C3.4
Hose reel systems				AS 2441
Lightweight construction				BCA C1.8
Mechanical air handling systems				AS/NZS 1668.1, 2
Perimeter emergency vehicle access				BCA C2.4
Portable fire extinguishers				AS 2444
Safety curtain in proscenium opening				BCA H101.10
Smoke & heat vents				BCA Spec. E2.2c
Smoke dampers				AS/NZS 1668.1, 2
Smoke detectors & heat detectors				AS 1670
Smoke doors				BCA Spec. C3.4
Solid core doors				BCA Spec. C3.4
Standby power systems				
Wall-wetting sprinkler / drenchers				BCA C3.2
Warning & operational signs				BCA C3.6, D2.23, E3.3, H101.8
OTHER				

FIRE SAFETY SCHEDULE				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Fire rated access panels & doors	NO		NO	
Automatic fail safe devices	NO		NO	
Automatic fire detection & alarm	YES	AS1670.1		
Automatic fire suppression systems	NO		NO	
Emergency lifts	NO		NO	
Emergency lighting	YES	BCA E4.2, E4.4 AS 2293.1 –1998	YES	BCA E4.2, E4.4 AS 2293.1 – 2005
EWIS	YES	BCA E4.9 – AS 2220.1 and 2	YES	BCA E4.9, AS 1670.4 – 2004 and AS 44289.4 – 2004.
Exit signs	YES	BCA E4.5, E4.6 AS 2293.1 – 1998	YES	BCA E4.5, E4.6 AS 2293.1 – 2005
Fire control centres & rooms	NO		NO	
Fire dampers	YES	AS 1668.1 and AS 1682.1 and 2.	NO	
Fire doors	YES	AS 1905.1	NO	
Fire hydrant systems	YES	AS 2419.1	YES	BCA Cl. E1.3, AS 2419.1 – 2005.
Fire seals	YES	BCA C3.15	NO	
Fire shutters	NO		NO	
Fire windows	NO		NO	
Hose reel systems	YES	AS 2441	YES	BCA Cl. E1.4, AS 2441 – 2005.
Lightweight construction	YES	BCA C1.8	NO	
Mechanical air handling systems 1. Auto-shutdown of air-handling System.	YES	AS/NZS 1668.1	NO	
Perimeter emergency vehicle access	NO		NO	
Portable fire extinguishers	YES	AS 2444	NO	
Safety curtain in proscenium opening	NO		NO	
Smoke & heat vents	NO		NO	
Smoke dampers	NO		NO	
Smoke detectors & heat detectors	NO		NO	
Smoke doors	NO		NO	
Solid core doors	NO		NO	
Standby power systems	NO		NO	
Wall-wetting sprinkler / drenchers	NO		NO	
Warning & operational signs	YES	NSW H101.8	NO	
OTHER	NO		NO	

AUSTRALIAN BUREAU OF STATISTICS (complete for CDC & CC only)											
Legislative requirement											
PARTICULARS OF BUILDING											
What is the area of the land (m ²)?										4 hectares	
What are the proposed uses of all parts of the building(s)/Land?										EXISTING USE.	
How many pre-existing dwellings?										ONE CLUB	
What is the gross floor area of the existing building (m ²)										5430 m ²	
What are the current uses of the building?										CLUB USE	
Does the site contain a dual occupancy?										—	
How many dwellings are to be demolished?										—	
How many dwellings are proposed?										—	
What is the gross floor area of the proposed addition or new building (m ²)?										690 m ²	
How many storeys will the building consist of?										TWO	
MATERIALS TO BE USED											
(tick the empty box as applicable)											
ROOF			WALL			FLOOR			FRAME		
Tiles	10		Brick (double)	11	✓	Concrete / slate	20	✓	Timber	40	
Concrete / slate	20		Brick (vener)	12		Timber	40		Steel	60	✓
Fibre cement	30		Concrete / stone	20		Other	80		Aluminium	70	
Steel	60		Fibre cement	30		Not specified	90		Other	80	
Aluminium	70	✓	Timber	40					Not specified	90	
Other	80		Curtain glass	50							
Not specified	90		Steel	60							
			Aluminium	70							
			Other	80							
			Not specified	90							

RESIDENTIAL WORKS – BUILDER DETAILS (complete for CDC & CC only)	
NAME :	N/A
ADDRESS :	N/A
SUBURB / STATE :	
LICENSE NO : (attach copy of license)	
OWNER BUILDER :	Where the works are to be performed by an owner builder, a declaration signed by the owner of the land is required, to the effect that reasonable market cost of the labour and materials is less than the amount prescribed in section 29 of the Home Building Act for <i>owner builder work</i>



Ref: L4031

11 September 2006

Trevor R Howse and Associates
P O Box N694
GROSVENOR PLACE NSW 1220

Dear Sir/Madam,

**Re: Proposed Alterations & Additions to Pittwater RSL Club
Gaming Room Extension**

This letter serves as confirmation that Paynter Dixon Constructions Limited is authorised to lodge construction certificate applications on behalf of Pittwater RSL Club Ltd, in relation to the above project.

Yours sincerely,

A handwritten signature in black ink, appearing to read "B. Smith".

**BRUCE SMITH JP ACCM
GENERAL MANAGER**

cc. Paynter Dixon Constructions Limited
Attn: Robert Clarke

ANNEXURE "2"

OTHER DOCUMENTATION

18 August 2006

Tony Fucile
PAYNTER DIXON CONSTRUCTIONS

RE : Construction Certificate – Pittwater RSL - PRL 1/2

Further to the correspondence from Trevor R Howse and Associates Pty Ltd dated 12 July 2006 we make the following comments, responses and observations.

DA drawings.

We confirm that we do not have a copy of the endorsed approved plans however we attach a reduced copy of the Drawings referred to under the project number 10067 and dated December 1998 and February 1999 which we believe to be the applicable drawings lodged with the application. We are unaware of any makings or endorsements that may or may not have been added by the council or others at the time that the Application was approved.

We note the request to provide certification that the items outlined below "will be installed" can not be provided by this office as we have no involvement in the actual construction process. We will certify only that the intent of the design and documentation requires compliance with all regulatory requirements. Refer to attached certification.

In relation to the points outlined in the tabulated Information / Documentation required we comment as follows;

BCA Clause	Comment / observation	
Part B	Refer to design certification attached	
Spec. C1.1	Refer to design certification attached	
Spec. C1.10a	Refer to design certification attached	
C2.7	Refer to design certification attached, we note that there are no new fire walls required however, it is proposed to fire isolate the new plant area from adjacent areas of the building.	
C2.12, C2.13	Refer to design certification attached, we note that there are no new fire walls required however it is proposed to fire isolate the new plant area from adjacent areas of the building.	
C3.3	There are no non compliances in respect to vertical or horizontal separation that we are aware of based on the fire compartments currently existing and / or the proposed extensions.	
C3.5	Refer to design certification attached, we note that there are no new fire walls required however, it is proposed to fire isolate the new plant area from adjacent areas of the building.	
C3.8	Refer to design certification attached, we note that there are no new fire walls required however, it is proposed to fire isolate the new plant area from adjacent areas of the building.	
C3.15	Refer to design certification attached	
C3.16	Refer to design certification attached	

Level 7/ 28 Foveaux Street, Surry Hills NSW 2010
P O Box K238, Haymarket, NSW 1240
t +61 2 8264 0102 f +61 2 8264 0108
pdt@pdtsydney.com.au www.pdt.com.au



master planning / architecture / interior design

100 FIVE POINTS DRIVE, SYDNEY NSW 2000

D1.6	1. Door at grid A4 is 1m clear width of all hardware and obstructions or protrusions. 2. No work is proposed in the function room and therefore we do not agree that any change to this door is required. There is no indication in the drawings that we are aware of that refers to population reductions we assume that this is an inference that THA is drawing from the reduction of total egress width available and is valid. The existing 1400 clear width door is proposed to be replaced with a new 1m clear width door at grid A4. We understand that total population related to the POPE requirements are a management issue for the club and have had no involvement in this aspect of the project. We note that the approvals for the previous stage completed were provided by TRH and rely on their advice as to the population calculation methods adopted and numbers accommodated since we have not been copied on any of these matters.	
D1.10	Refer to design certification attached We presume that this relates to the path of travel from the base of the stair at Grid A4 which will land on the existing paved external area with no changes proposed to existing grades.	
D2.13	Refer to design certification attached We assume that this refers to stair at grid A4.	
D2.14	Refer to design certification attached We assume that this refers to stair at grid A4.	
D2.15	Refer to design certification attached We assume that this refers to stair at grid A4.	
D2.16	Refer to design certification attached We assume that this refers to the new balcony adjacent to the stair.	
D2.19	We confirm that signage as requested will be indicated on the documents for construction.	
D2.21	Door has been replaced with a new swing door.	
D2.23	No new doors are required. Door to Plant room to be provided with signage.	
E1.3	Refer Hydraulic Consultant	
E1.6	Refer Hydraulic Consultant	
E2.2a	We presume that TRH has inferred from the description of this space that the area will be for staff use only. Our understanding is that the space is intended as a training room which could be used by staff or for functions and therefore there is no change of use from that already described. Refer Electrical Consultant	
E2.2b	Refer Mechanical Consultant	
E4.2 E4.5 E4.6 E4.7	Refer Electrical Consultant	
E4.9	Refer Electrical Consultant	
F1.1	Refer to design certification attached Refer to Civil Consultant	
F1.5(D)	Refer to design certification attached	
F1.6 F1.9 F1.10 F1.13	Refer to design certification attached	

F2.3	We understand that total population related to the POPE requirements are a management issue for the club and have had no involvement in this aspect of the project. We note that the approvals for the previous stage completed were provided by THA and rely on their advice as to the population calculation methods adopted and numbers accommodated since we have not been copied on any of these matters.	
F3.1	We confirm that all ceilings will be no less than 2.7m throughout the extension areas.	
F4.4	Refer Electrical Consultant	
F4.5	Refer Mechanical Consultant	
NSW HO1.20/1	Refer to design certification attached Refer Electrical Consultant	
NSW HO1.20/2	Refer to design certification attached Refer Electrical Consultant	
General	Refer to PD and Club	
General	Refer to PD	
General	Refer to PD	
General	Refer to TRH	
Annexure A	The requirements stated are noted.	

We trust that this adequately responds to the requests outlined above.

Yours faithfully

PDT ARCHITECTS

.....
Mike Strazds

Director

Nom Architect NSW
Reg no 5502

master planning / architecture / interior design

Pittwater Council

DAEI



Telephone (02) 9970 1111

Facsimile (02) 9970 7150

Facsimile

To:	Tony Fucile	Company:	Paynter Dixon
Fax:	9799 6149	Date:	13 September 2006
From:	Ross McWhirter	Re:	Pittwater RSL - S94 Payments
CC:		Pages:	3

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply

Message: - S94 Payments related to Consent No. N0073/99.

Tony,

Council confirms that all Section 94 payments have been paid in relation to Consent No. N0073/99.

The final payment of \$141,442.93 was made on 6 September 2004. Please find attached a copy of Pittwater RSL Club's letter and a copy of Council's receipt for the payment.

Please contact the undersigned if you have any queries concerning this matter.

Regards,

R. McWhirter

Ross McWhirter

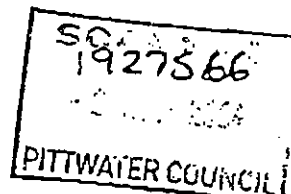
PROJECT LEADER WARRIEWOOD INFRASTRUCTURE

CONFIDENTIALITY NOTICE TO RECIPIENTS EXTERNAL TO PITTWATER COUNCIL

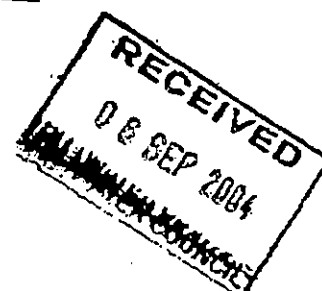
The information in this facsimile is intended for the named recipient only. It may contain privileged and confidential information. If you are the intended recipient, you must not copy, distribute, take action in reliance on it, or disclose any details of the facsimile to any person, firm or corporation. If you have received this facsimile in error, please notify us immediately by reverse charge call and return the original to us by mail. We will reimburse you any costs you may incur in notifying us and returning the original facsimile to us.



REF:L3659



Ross McWhirter
Project Leader - Warriewood Infrastructure
Pittwater Council
P O Box 882
MONA VALE NSW 2103



Dear Ross,

RE: Consent No. N0073/99 – Section 94 Contributions

Please find attached a cheque for \$141,442.93 being the remaining Section 94 Contribution payment.

We now ask that Council return the Bank Guarantee to Pittwater RSL Club as soon as possible.

Yours sincerely

A handwritten signature in black ink, appearing to read "Bruce Smith".

**BRUCE SMITH JP ACCM
GENERAL MANAGER**

rec: 150938

Section 94 Contribution Breakdown (Warriewood Valley)

NOTE:- PLEASE ENSURE THAT PAYMENT IS SUBMITTED TO CASHIER WITH THIS FORM

DA Consent No.:

N0073/99

(For Receipt Description)

Consent Date:

6/12/99

DA Consent Description:

EXTENSIONS TO PITTWATER RSL CLUB

Property Address:

80 MONA VALE ROAD, MONA VALE

S94 Subset

Contribution Amount Cashier Code Account No. Responsible Business

Traffic and Transport

\$ 72,550.25

SWTT

91310C1210000

Urban Infrastructure

Creekline corridor (works)

\$ 31,565.37

SWCW

91317C1210000

Urban Infrastructure

Creekline corridor (land)

\$ 31,565.37

SWCL

91303C1210000

Urban Infrastructure

Community Facilities

\$

SWCF

91316C1210000

Community & Library Services

Public Recreation

\$

SWPR

91312C1210000

Reserves & Recreation

Pedestrian Cycleway

\$ 3,206.64

SWPC

91311C1210000

Reserves & Recreation

Bushfire

\$ 2,555.30

SWBF

91314C1210000

Natural Resources

Library Services

\$

SWLS

91315C1210000

Community & Library Services

Ponderosa Parade

\$

SWVP

91250C1210000

Urban Infrastructure

Plan Management

\$

SWPM

91318C2210000

Total Payment

\$ 141,442.93

To be completed by Cashier

Date Paid:

6/9/04

Receipt Number:

150938

NOTE TO CASHIER:-

PLEASE SEND COMPLETED FORM AND A COPY OF THE RECEIPT TO PROJECT LEADER WARRIEWOOD INFRASTRUCTURE

Pittwater Council

OFFICIAL RECEIPT

06/09/2004 Receipt No 150938

TO: PITTWATER RSL

80 MONA VALE ROAD
MONA VALE 2103

Applic Reference	Amount
GL Ref SWBF-994	\$2,555.30
GL Ref N0073/99	
GL Ref SWPC-994	\$3,206.64
GL Ref N0073/99	
GL Ref SWTT-994	\$72,550.25
GL Ref N0073/99	
GL Ref SWCL-994	\$31,565.37
GL Ref N0073/99	
Total:	\$141,442.93

Amounts Tendered	
Cash	\$0.00
Change	\$141,442.93
Card	\$0.00
Money Order	\$0.00
Agency Recd	\$0.00
Total	\$141,442.93
Rounding	\$0.00
Change	\$0.00
Nett	\$141,442.93

Printed: 06/09/2004 1:04:28
Cashier: A0149

18 August 2006

PAYNTER DIXON CONSTRUCTIONS

DA F1

RE : Conforming Design Certificate – Pittwater RSL Club

We hereby confirm that the proposed extensions to the Pittwater RSL Club prepared by pdt Architects NSW Pty Ltd are designed and documented to comply with all the relevant provisions of the Building Code of Australia, relevant Australian Standards and the relevant conditions contained in the development Approval dated 6th December 1999.

Yours faithfully

PDT ARCHITECTS

.....
Mike Strazds

Director

Nom Architect NSW
Reg No. 5502

Level 7/ 28 Foveaux Street, Surry Hills NSW 2010
P O Box K238, Haymarket, NSW 1240
t +61 2 8264 0102 f +61 2 8264 0108
pdt@pdtsydney.com.au www.pdt.com.au



master planning / architecture / interior design

PDT ARCHITECTS NSW PTY LTD ABN 42 143 751 471



TaylorThomsonWhitting

13 September 2006

061117

Trevor R Howse & Associates Pty Ltd
Level 8, 210 George Street
SYDNEY NSW 2000

DA F8

Attention: Mr Jason Storer

**PITTWATER RSL CLUB
CIVIL DESIGN CERTIFICATE**

Dear Sir,

We certify that we have prepared the stormwater design of Pittwater RSL Club as shown on project 061117 Drawing No(s), C500 Rev P1 and C501 Rev P1 in accordance with the following:

AS 3500 National Plumbing and Drainage Code

AS 3725 Loads on Buried Concrete Pipes

Australian Rainfall and Runoff 1997

LandCom Managing Urban Stormwater; Soils and Construction 2004.

Development Application N0073/99, consent condition F8 points 1 and 2.

Structural

Civil

Traffic

Facade

Engineers

For and on behalf of
TAYLOR THOMSON WHITTING (NSW) PTY LTD

PAUL YANNOULATOS
Technical Director - Civil

TTW Group

Directors

Mr Greenfield Consulting, 50 FLS Ave
D/Garden St, North King St, 105 Ave
Riverside, 100 and Duff St, 100 Ave
Pittwater, 100 and 100 Ave
St Marys, 100 and 100 Ave

Technical Directors

Mr Greenfield Consulting, 50 FLS Ave
D/Garden St, North King St, 105 Ave
Riverside, 100 and Duff St, 100 Ave

Associates

Mr Greenfield Consulting, 50 FLS Ave
D/Garden St, North King St, 105 Ave
Riverside, 100 and Duff St, 100 Ave
Pittwater, 100 and 100 Ave
St Marys, 100 and 100 Ave
Mr Rogers, 100 and 100 Ave

N.S.W. PLUMBING SERVICES PTY. LIMITED

Contractors Authority No. A567 Inc. in NSW ABN 78 000 369 059
47/A BAYVIEW STREET TENNYSON. N.S.W. 2111.
TELEPHONE: 9879-6645 FAX: 9879-4074

15th August 2006

Ref: 7619

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD. NSW. 2131.

Attention: Mr. T. Fucile

Dear Sir,

Re: Pittwater RSL Club

We herein confirm that the intent of the hydraulic services design is that on completion the installation of the new works will have been carried out to comply with the requirements ANZ3500 and the relevant sections of the Building Code of Australia.

If we can be of any further assistance, please contact me at your convenience.

Yours faithfully
N.S.W. PLUMBING SERVICES PTY LTD


W.C. BLAKE



TaylorThomsonWhitting

4th August 2006

061117

Paynter Dixon
320 Liverpool Road
Ashfield NSW 2131

Attention: Tony Fucile

**EXTENSIONS TO GAMING ROOM; PITTWATER RSL CLUB
DESIGN INTENT CERTIFICATE**

Dear Sir,

We certify that the structural design of Outdoor Terrace extensions of Pittwater RSL Club will be in accordance with the following Australian Standards:

AS 3600	Concrete Structures
AS 4100	Steel Structures

and the structure shown would be sufficient to carry the relevant loads specified in the AS 1170 Parts 0, 1 and 2, Minimum design loads on structures.

For and on behalf of
TAYLOR THOMSON WHITTING (NSW) PTY LTD

ROB MACKELLAR
Director

Structural
Civil
Traffic
Facade
Engineers

TTW Group

Directors

Technical Directors

Associates

.....

Engineered Environments Pty. Ltd.
Suite 2 / 6 Faraday Rd. Padstow NSW 2211
Postal Address: P.O. Box 648 Padstow NSW 2211
Phone: 9792 8833 Fax : 9792 6744
ACN : 092 062 523
www.environments.com.au

Engineered Environments Pty. Ltd.

28 February 2006

Paynter Dixon Constructions Pty. Ltd.
Locked Bag No. 9
Ashfield NSW 2131

Attention: Mr. R Clarke
Project : Pittwater RSL Club – Northern Extension

Dear Sir,

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, this is to certify that the mechanical services design to be carried out by Engineered Environments Pty. Ltd. for works at the above project will be in accordance with normal engineering practice and meet our interpretation of the requirements of the Building Code of Australia, relevant Australian Standards and the relevant conditions of the Development Consent. In particular our design is in accordance with our interpretation of the following statutory requirements.

Item.	Requirement.
Ventilation	BCA Part F4 and AS1668.2 (1991)
Fire Separation	BCA Part C3 and AS1668.1 (1998) as applicable.
Smoke Hazard Management	BCA Part E2 as applicable. (excluding Smoke Detection and Alarm Systems and Fire Fans Control panel)

I am an appropriately qualified and competent person in the area of mechanical services and am an Accredited Practitioner by the Australian Institute of Refrigeration Air Conditioning and Heating (AIRAH) and as such can certify that the design of the works will comply with the above.

Engineered Environments possess Professional Indemnity Insurance to the satisfaction of our client.

Sincerely,

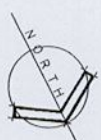


Ross Warner AP (AIRAH)
Director.

DATE	08/03/20
DRAWING AUTHOR	08/03/20
DATE	08/03/20
DATE	08/03/20

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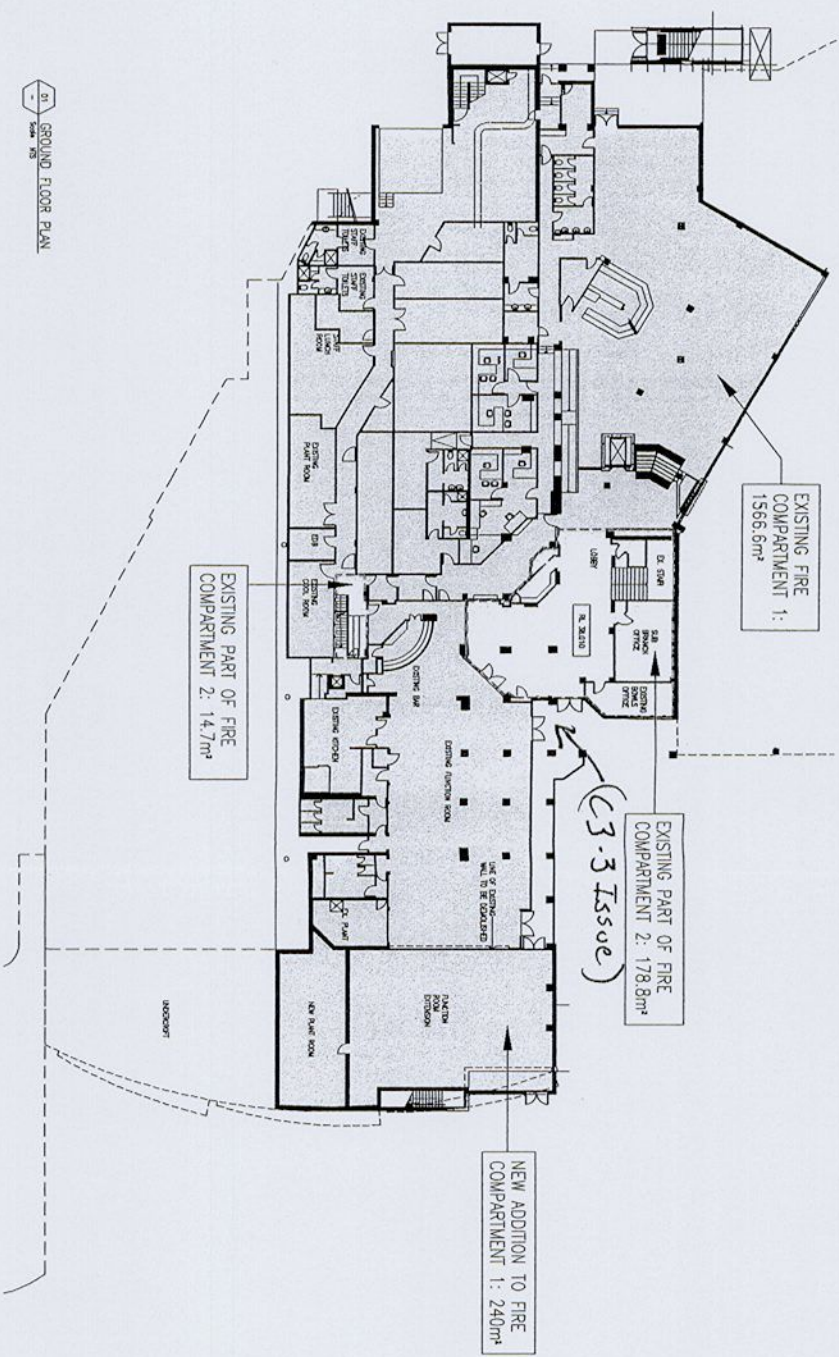
PAYNTER DIXON
Paynter Dixon Construction Pty Limited
100 Liverpool Road, Liverpool NSW 2157
Tel: (02) 9797 5555 Fax: (02) 9797 5149
133 Condonwood Road, East Horseshoe NSW 2122
Tel: (02) 9501 9550 Fax: (02) 9504 0222

pdt architects
PDT ARCHITECTS (NSW) PTY LTD
Level 1, 100 Liverpool Road, Liverpool NSW 2157
Bong Bong NSW 2100
Tel: (02) 9797 5555 Fax: (02) 9797 5149
Email: info@pdtarchitects.com.au

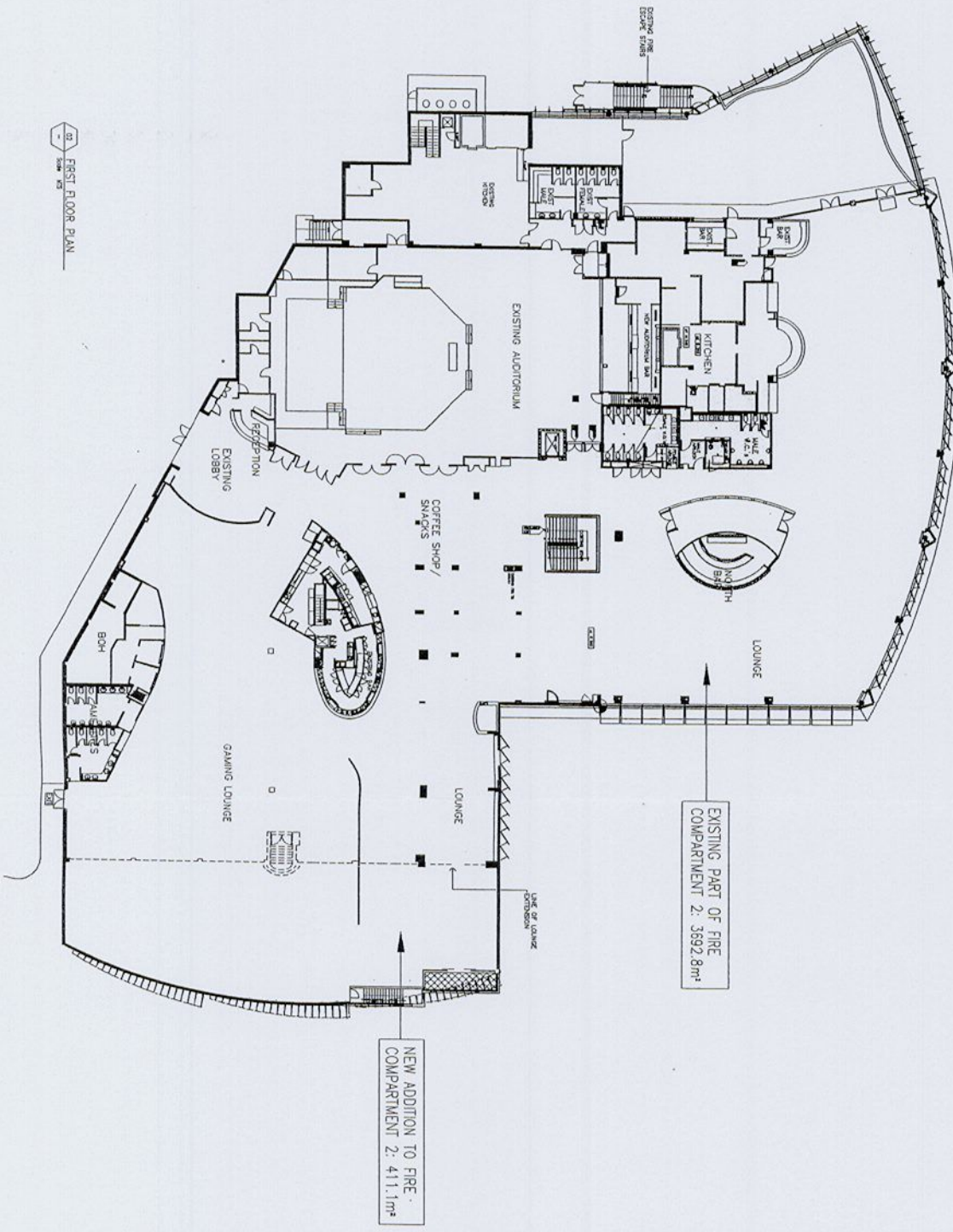
PITTSWATER RSL CLUB
80-82 MONA VALE ROAD
PROPOSED OUTDOOR TERRACES
FIRE COMPARTMENTATION

NTS			
11379	CC	6.01	C
22878	CC	6.01	C
		20/03/20	20/03/20

21 GROUND FLOOR PLAN



22 FIRST FLOOR PLAN



AREA TOTALS:

- EXISTING:
- ☐ FIRE COMPARTMENT 1: 1566.6m²
 - ☐ FIRE COMPARTMENT 2: (3669.2m² + 178.8m² + 14.7m²) = 3862.7m²
- NEW:
- ☐ FIRE COMPARTMENT 1: (1566.6m² + 240m²) = 1806.6m²
 - ☐ FIRE COMPARTMENT 2: (3862.7m² + 411.1m²) = 4273.8m²

Tony Fucile

From: Graham Petschack [Graham.Petschack@ttw.com.au]
Sent: Wednesday, 13 September 2006 3:44 PM
To: Tony Fucile
Subject: Pittwater RSL Terrace Extension[Scanned]

Tony,
Further to our conversation today we confirm that the suspended slab and columns will be designed for a min fire rating of 2 hours.

Regards,

Graham Petschack

Graham Petschack
Senior Structural Drafter
Graham.Petschack@ttw.com.au

Taylor Thomson Whitting (NSW) Pty Ltd Consulting Engineers ACN: 113 578 377
48 Chandos Street St Leonards NSW 2065 Australia
T +61 2 9439 7288 F +61 2 9439 3146

TTW
TaylorThomsonWhitting

Please consider our environment before printing this email.

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13/09/2006

N.S.W. PLUMBING SERVICES PTY. LIMITED

Contractors Authority No. A567 Inc. in NSW ABN 78 000 369 059

47/A BAYVIEW STREET TENNYSON. N.S.W. 2111.

TELEPHONE: 9879-6645 FAX: 9879-4074

11th September 2006

Ref: 7650

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD. NSW. 2131.

Attention: Mr. T. Fucile

Dear Sir,

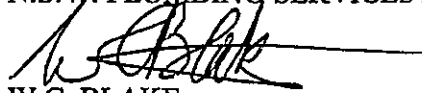
Re: Pittwater RSL Club

We herein confirm that the intent of the hydraulic services design is that on completion the installation of the new works will have been carried out to comply with the requirements ANZ3500 and the relevant sections of the Building Code of Australia Fire Hydrants AS2419.1 & Fire Hose Reels AS2441.

If we can be of any further assistance, please contact me at your convenience.

Yours faithfully

N.S.W. PLUMBING SERVICES PTY LTD



W.C. BLAKE

13 September, 2006

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD NSW 2131

Attention: Tony Fucile

RE: PITTWATER RSL CLUB – GAMING LOUNGE EXTENSION & TERRACE
ELECTRICAL SERVICES STATEMENT OF DESIGN INTENT

The Electrical Services for the above project in the new and refurbished areas covered under DA No. 0073/99 (Stage 3) shall be documented in accordance with the following:

- The Smoke Detection System shall be designed in accordance with Specification E2.2a of the Building Code of Australia 2006.
- The Emergency Warning and Intercommunication System shall be designed in accordance with Clause E4.9 of the Building Code of Australia 2006.
- The Emergency and Exit Sign Lighting System shall be designed in accordance with Clause E4.2 to E4.8 of the Building Code of Australia 2006.
- The electricity supply system shall be designed in accordance with Clause C2.13 of the Building Code of Australia 2006.
- The interior lighting shall be designed in accordance with Clause F4.4 of the Building Code of Australia 2006.
- The external lighting within the development shall be designed in accordance with Australian Standard AS 4282-1997 "Control of the obtrusive effects of outdoor lighting".

Please note a copy of the Client's Emergency Procedures (in accordance with AS 3745) is required to be positioned next to the Indicator Panel. The Client may already have existing procedures that would need to be revised.

When the design documentation is complete, our office shall issue a Design Certificate (as per Building Code of Australia) confirming that the systems have been designed in accordance with the requirements of the Building Code of Australia.

When the Electrical Services Contractor has completed the installation, testing and commissioning of the systems they shall have to provide a Statement of Compliance (as per Building Code of Australia) that the systems have been installed, tested and found to operate in accordance with the requirements of the Building Code of Australia and the relevant Australian Standards.

PITTWATER RSL CLUB – GAMING LOUNGE EXTENSION & TERRACE
ELECTRICAL SERVICES STATEMENT OF DESIGN INTENT

HARON ROBSON
Electrical Consultants and Lighting Designers

Should you have any questions on this matter please do not hesitate to contact Mr CK Chan or the undersigned at this office.

Yours faithfully,
HARON / ROBSON PTY LTD

A handwritten signature in black ink that reads "Murray Robson". The signature is fluid and cursive, with the first name "Murray" and the last name "Robson" clearly distinguishable.

Murray Robson
Director

mrobson@haronrobson.com.au

Pittwater Council

OFFICIAL RECEIPT

13/09/2006 Receipt No 201201

To PITTWATER RSL CLUB LTD

C/- PAYNTER & DIXON
320 LIVERPOOL RD
ASHFIELD 2131

Applic Reference	Amount
GL Re QLSL-Buil N0078/99	\$5,250.00

Total: \$5,250.00

Amounts Tendered

Cash	\$0.00
Cheque	\$5,250.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
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Rounding	\$0.00
Change	\$0.00
Nett	\$5,250.00

Printed 13/09/2006 4:59:07

Cashier RLinds

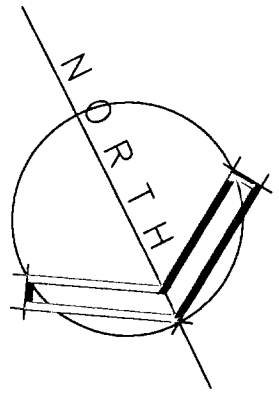
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Project Location	NS
Project Date	24.02.06

DRAWING REVIEW	
Date	24.02.06
By	CC
For	NS
Project Name	NS

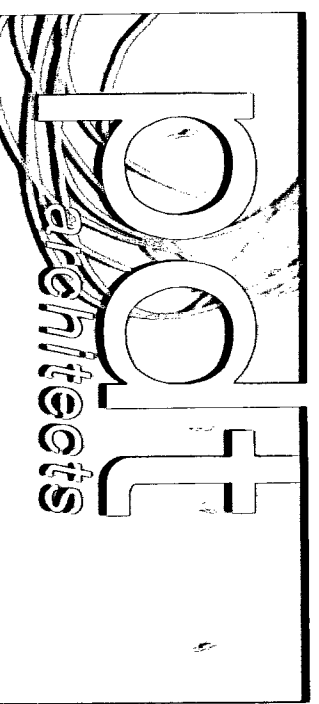
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For	NS
Project Name	NS

REVISIONS	
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Date	24.02.06
By	CC
For	NS
Project Name	NS

REVISIONS	
No.	1
Date	24.02.06
By	CC
For	NS
Project Name	NS



PAVENTER DIXON
123 Cornhill Road, East Hotham VIC 3123
Tel: (03) 9811 9900 Fax: (03) 9804 0522



P.D.T. ARCHITECTS (NSW) Pty Ltd
Level 7, 28 Foreman St, North Sydney NSW 1585
Tel: (02) 9284 0182 Fax: (02) 9284 0188
www.pdt.com.au

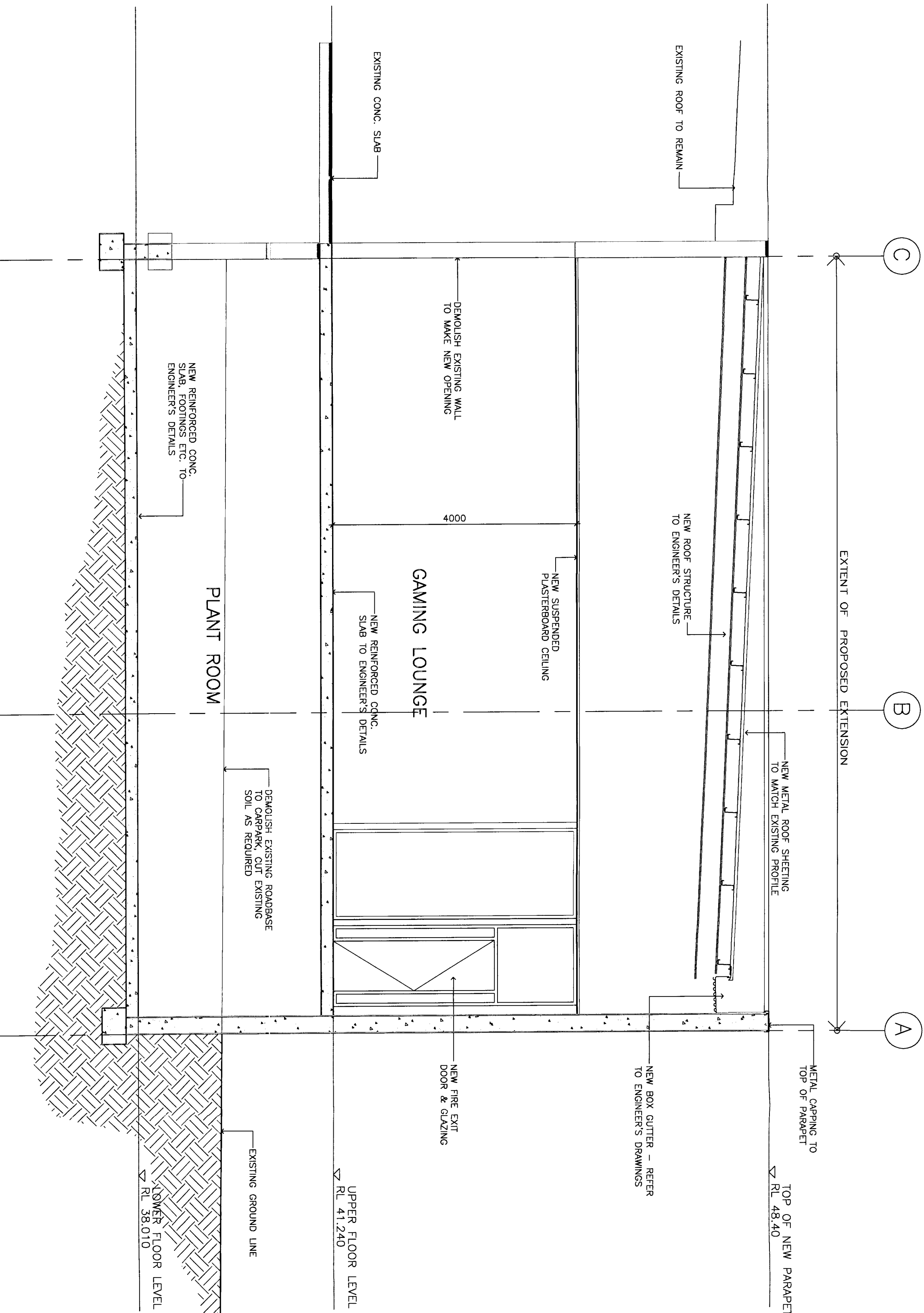
PITTVATER RSL CLUB
80-82 MONA VALE ROAD

PROPOSED OUTDOOR TERRACES

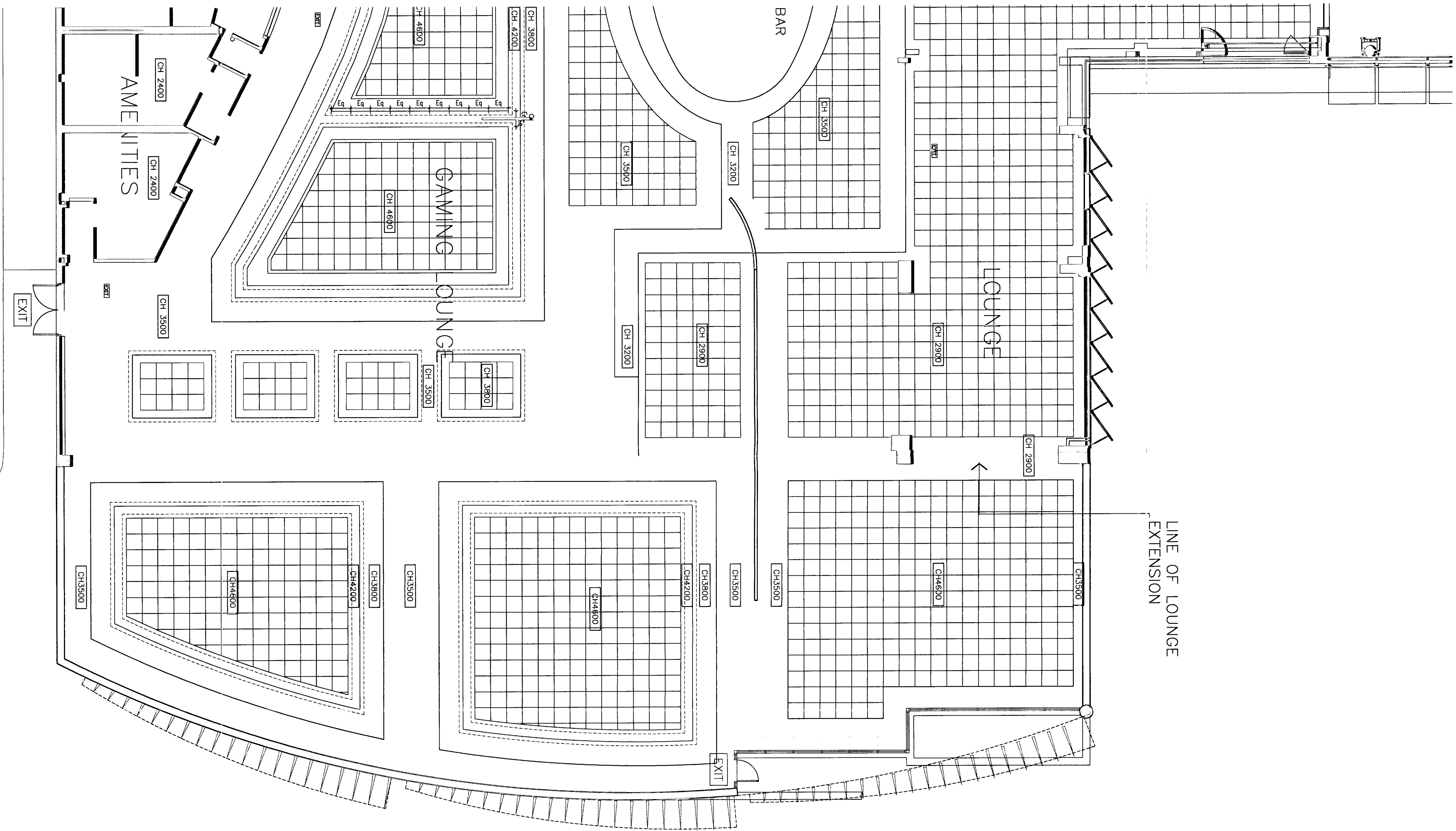
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& SECTION AA

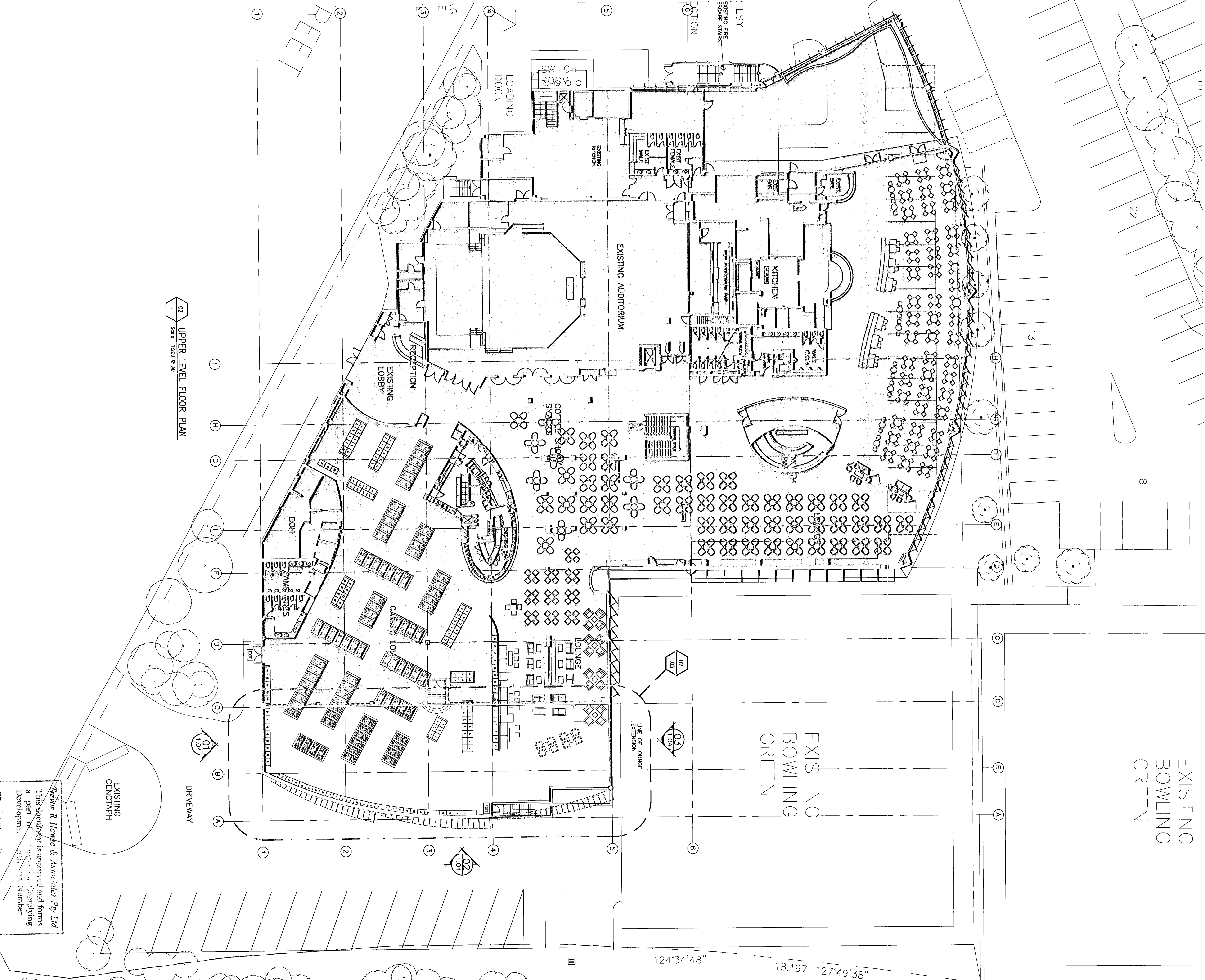
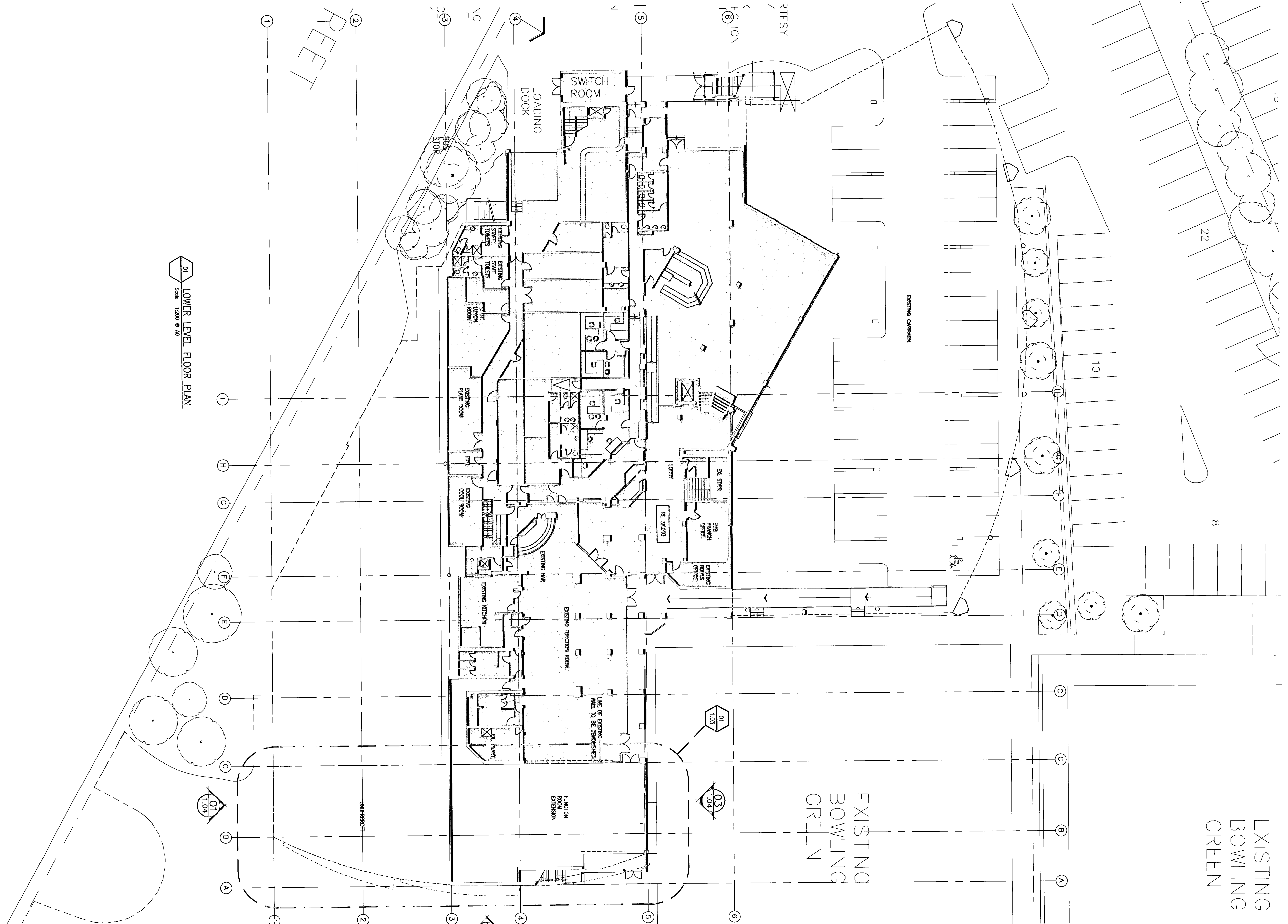
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11/3/79	CC	202	01



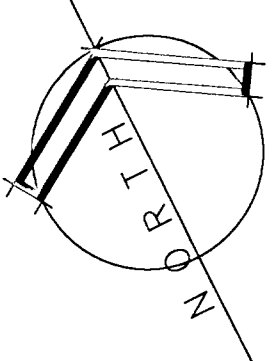
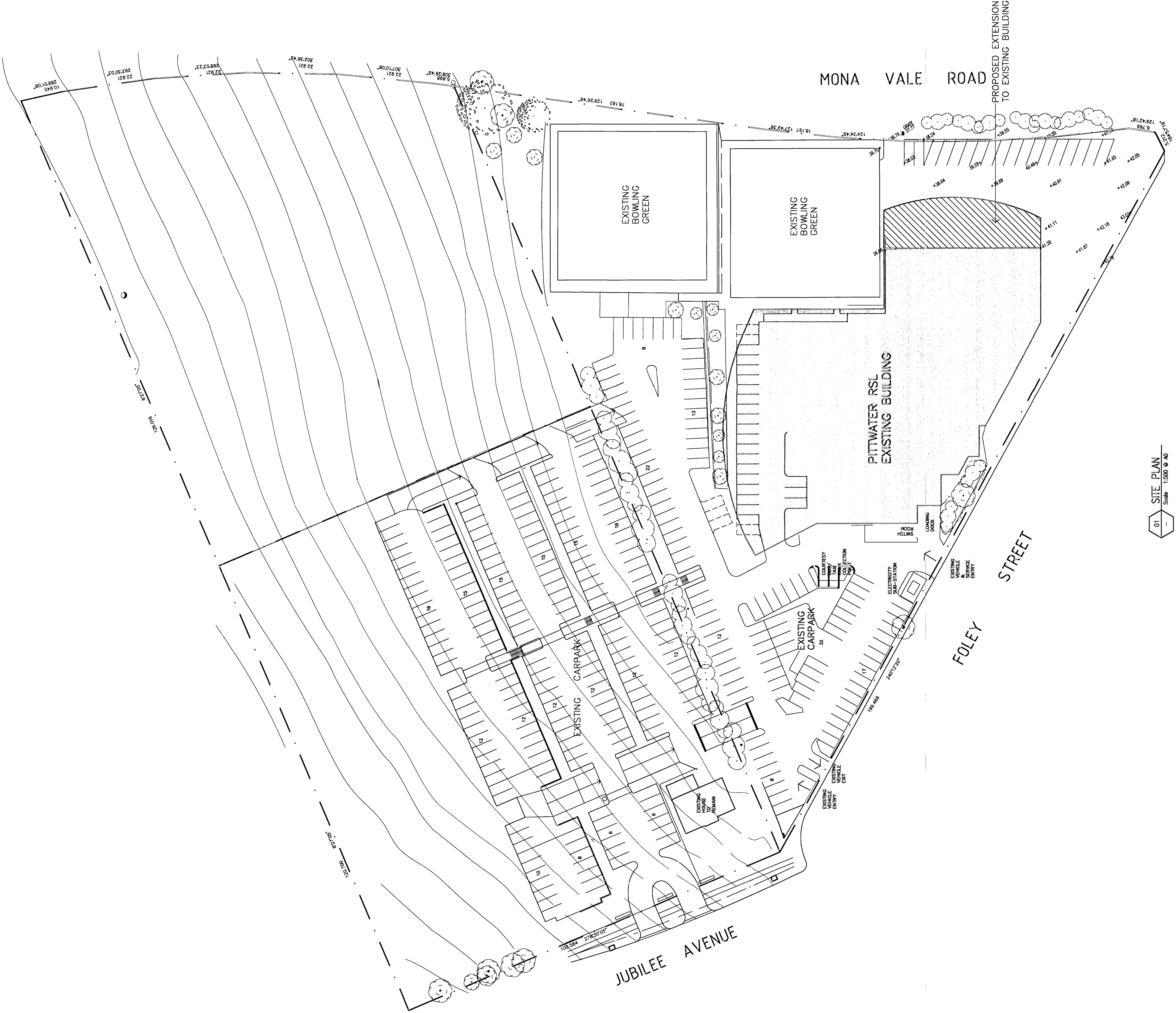
02 SECTION A-A
SCALE 1:50



01 REFLECTED CEILING PLAN
SCALE 1:50



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DRAWING AUTHORS									
DATE		24.02.06		REVISIONS					
ISSUED FOR CC		MS							
DRAWING REVIEW									
DATE		24.02.06		ISSUE		ACTION		SIGNATURE	
		CC				MS		MS	
AMENDMENTS									
DATE		ISSUE		ACTION		DATE		SIGNATURE	
24.02.06		P1		PRELIMINARY ISSUE		MS		MS	
07.03.06		P2		PRELIMINARY ISSUE		MS		MS	
18.08.06		01		ISSUED FOR CC		MR		MS	
01.09.06		01		RESUBMITTED FOR CC		MR		MS	



PAYNTER DIXON
P.O. Box 1000, Pittwater NSW 1503
Tel (02) 9797 5555 Fax (02) 9799 6149
123 Commercial Road, Pittwater NSW 1503
Tel (02) 9811 9550 Fax (02) 9804 0222

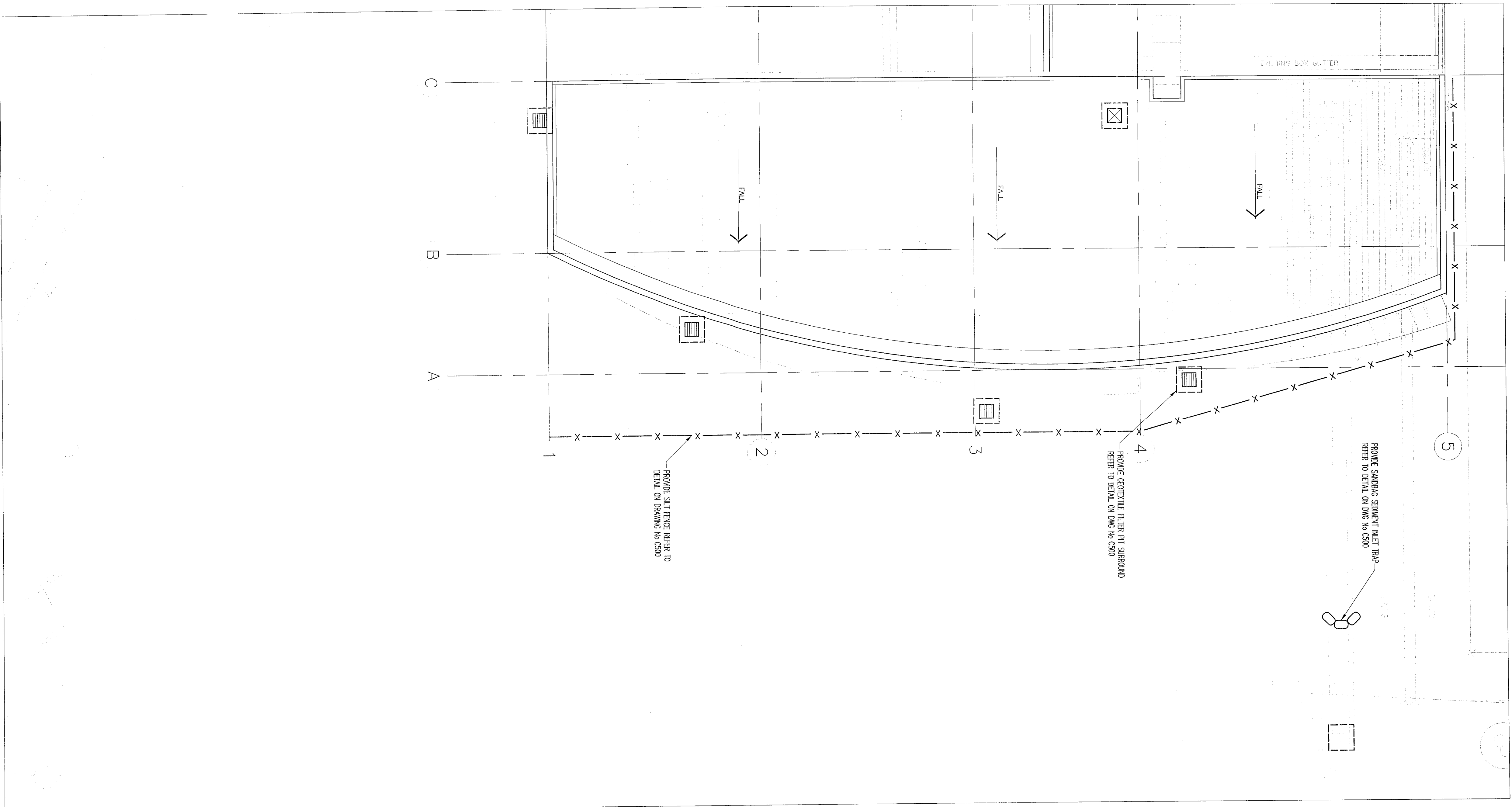
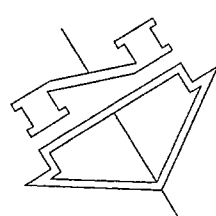
PDT ARCHITECTS (NSW) Pty Ltd.
Level 7, 100 Pittwater Road, Pittwater NSW 1503
Tel (02) 9797 5555 Fax (02) 9799 6149
123 Commercial Road, Pittwater NSW 1503
Tel (02) 9811 9550 Fax (02) 9804 0222

PITTWATER RSL CLUB
80-82 MONA VALE ROAD
Pittwater NSW 1503
sydney@pittwater.com.au

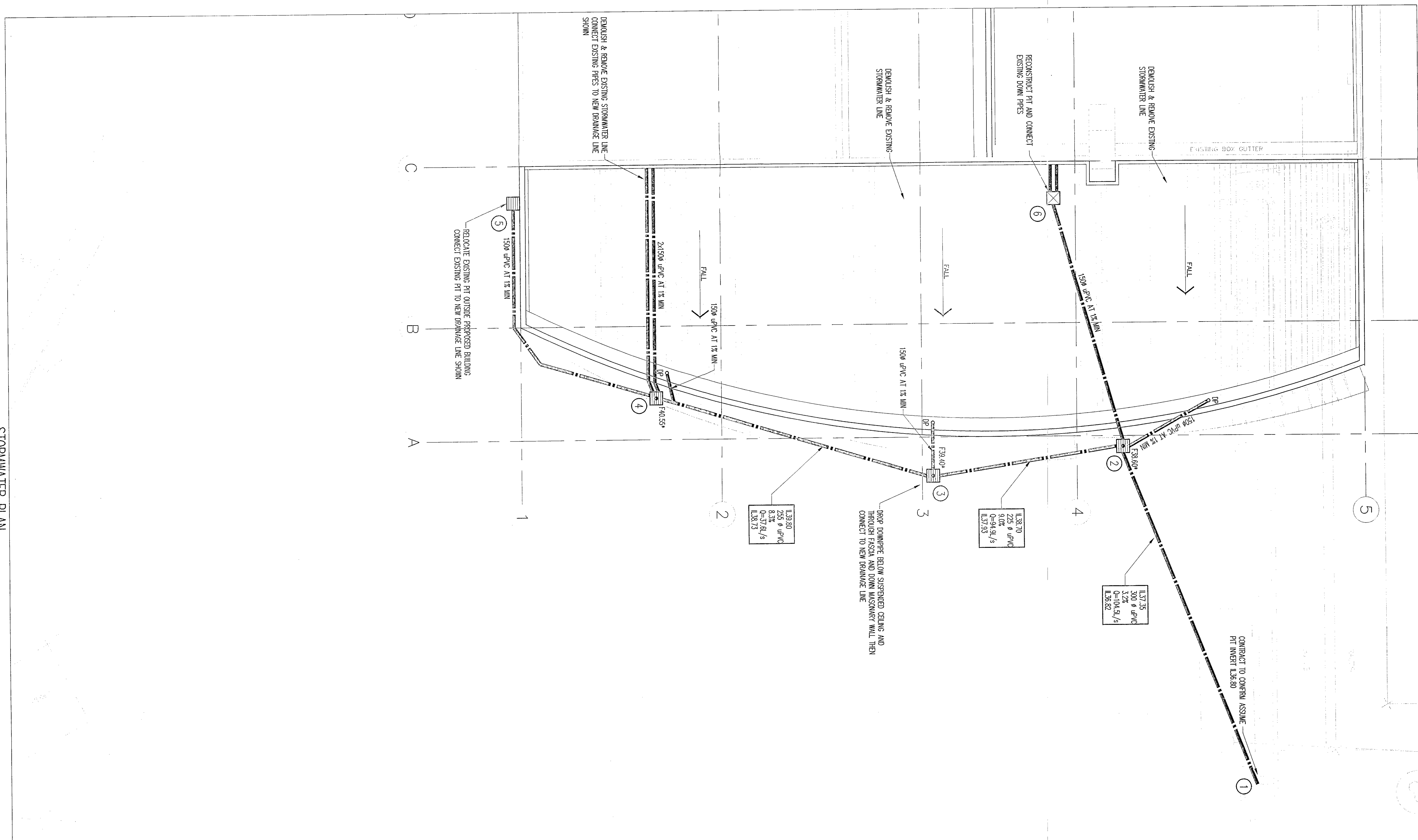
PROPOSED OUTDOOR TERRACES
Pittwater RSL Club
80-82 MONA VALE ROAD
Pittwater NSW 1503
sydney@pittwater.com.au

SCALE	1:500 (A4)
DATE	11/03/06
ISSUE	CC
REVISIONS	MS
DATE	01

SHADING DENOTES NO NEW WORK
PROPOSED TO EXISTING BUILDING



EROSION CONTROL PLAN
SCALE 1:100



STORMWATER PLAN
SCALE 1:100

SCAN 1
18 SEP 2005
PITTSWATER COUNCIL

TaylorThomsonWhitling
48 Charlotte Street, Sydney NSW 2005
Tel: (02) 9550 2200 Fax: (02) 9550 2201
Email: info@taylorthomsonwhitling.com.au

Scale: 1:100
Date: 18/09/05
Author: TB
Checked: PY

Project No: 061117
Drawing No: CS01
Revision: P1

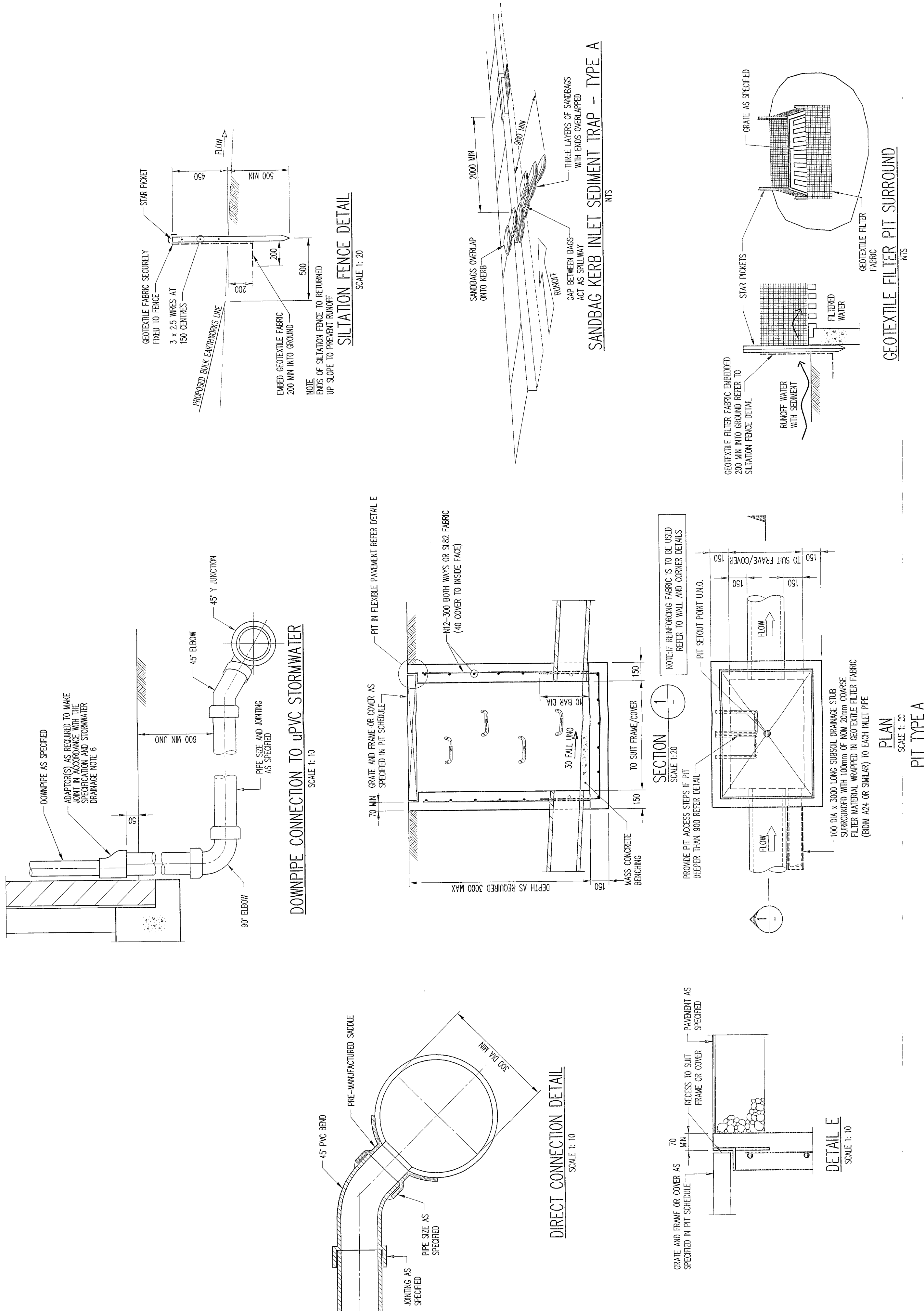
SITEWORKS AND
STORMWATER PLAN

Author:
POT ARCHITECTS (NSW) PTY LTD
LEVEL 7/281 FIVEBAUX ST SUITE 701 MELB VIC 3000

PITTSWATER RSL CLUB

Rev	Description	By	Date
1	Issue for C.D.	BN	18/09/05

CIVIL WORKS
FOR
PITTWATER RSL CLUB



PITTSBURGH RSL CLUB

Street Subject
NOTES, LEGEND AND
DETAIL SHEET

Architect:
PDT ARCHITECTS (NSW) PTY LTD
LEVEL 7 28 FOVEAUX ST SURRY HILLS NSW 2010

TaylorThomsonWhitting

Consulting Engineers
8 Chandos Street, St Leonards, NSW 2065
Tel: +61 2 9439 3140 Fax: +61 2 9439 3140 tlways@tlw.com.au
Peter Thomson, Managing Director, A.C.N. 115 576 377

Scale : B1	Drawn	Authorized
AS SHOWN	TB	PY

Job No 061117 Drawing No C500 P1
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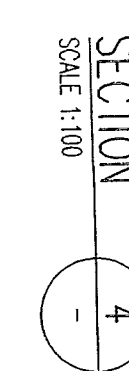
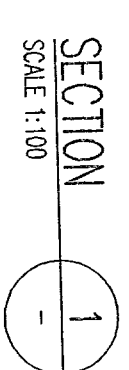
PRELIMINARY

RECEIVED
18 SEP 2006
PITTSBURGH COUNCIL

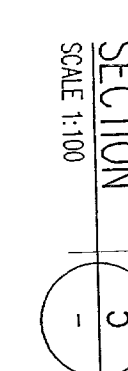
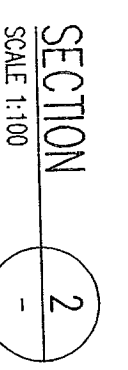
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7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10

81

REFER TO DRAWING S00 FOR STRUCTURAL NOTES



REFER TO DRAWING S00 FOR STRUCTURAL NOTES



Row	Description	Eng	Draft	Date
A	ISSUED FOR CC APPROVAL	RM	WALLY	10/26/00

EXTENSIONS

ELEVATIONS

LEVEL, 20 FLOORS
PH. 8264 0102 FAX. 8264 0108

TaylorThomsonWhitting

Taylor Thompson Whaling (NSW) Pty Ltd A.C.N. 112 676 577

Scale: A1
Drawn
G.J.P.
AUTUMN 1980

Publ File Created: Sep 08, 2006 - 11:25am

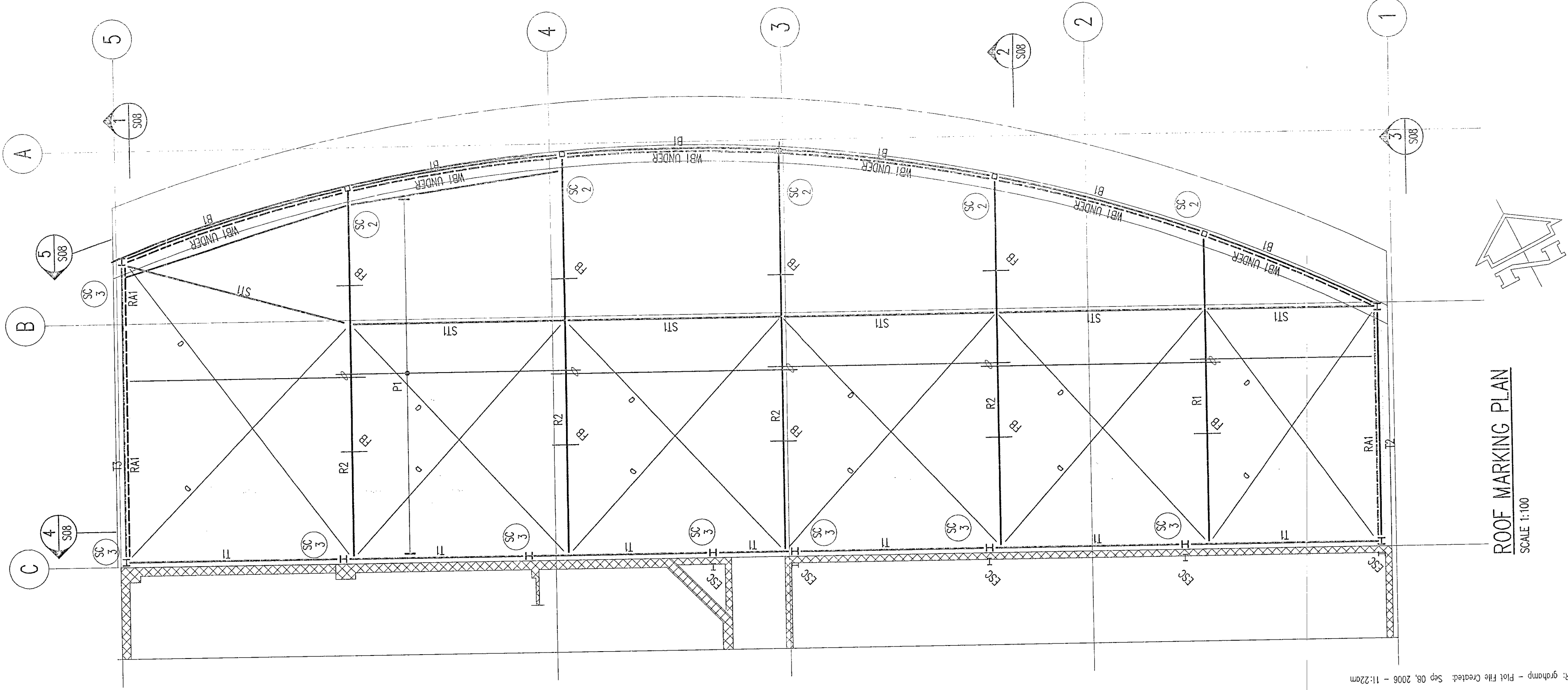
PRELIMINARY

FileNo

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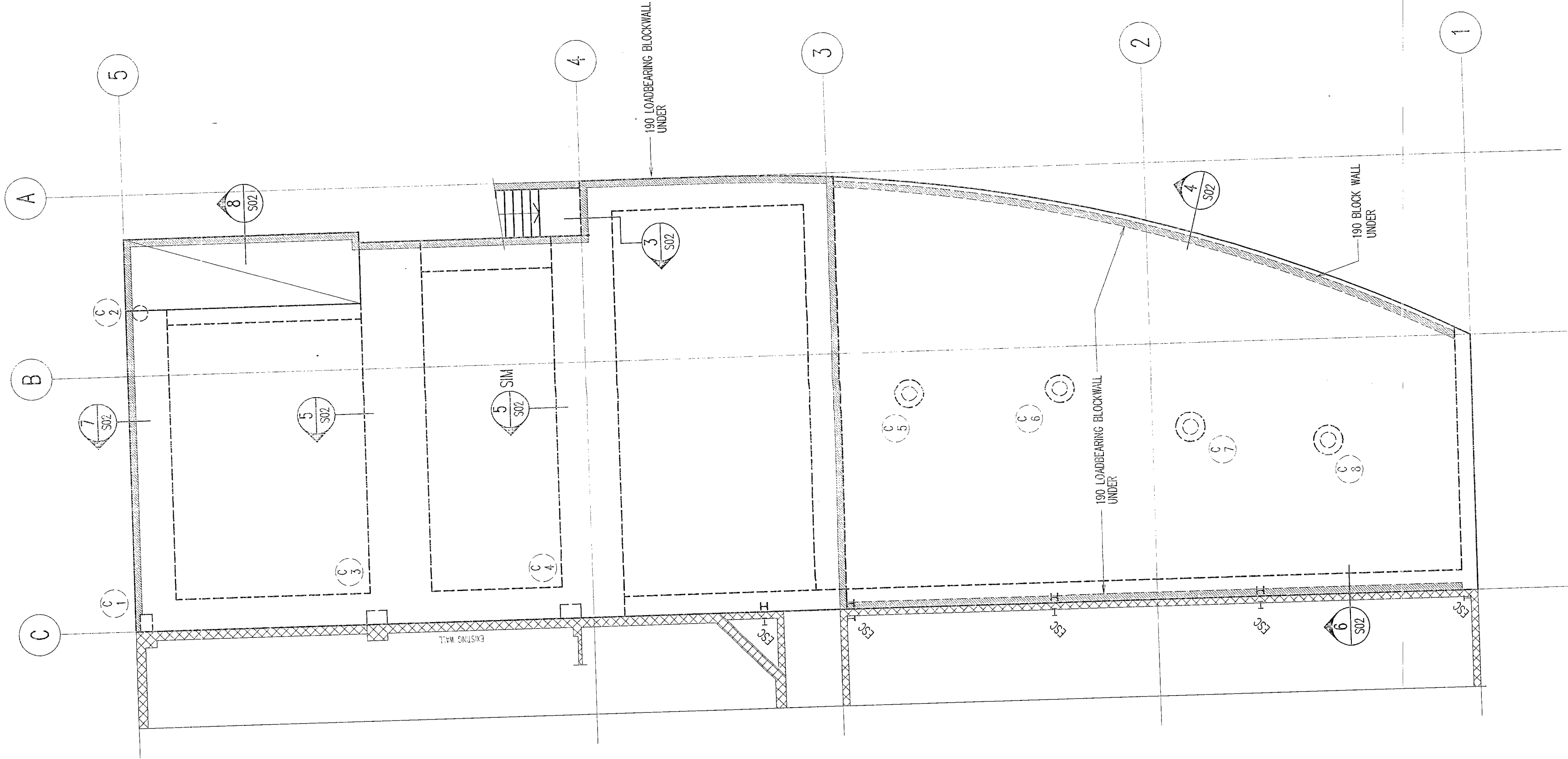
REFER TO DRAWING 500 FOR STRUCTURAL NOTES

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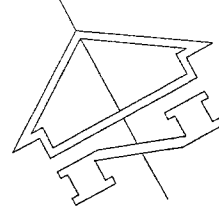


GROUP - STRUCT - 1 - 00000 1:2500 PM

This drawing is to be used with the support of TAYLOR THOMSON WHITING PTY LTD and must not be used without their permission.
REFER TO DRAWING S00 FOR STRUCTURAL NOTES



FIRST FLOOR PLAN - 200 SLAB UNO



- NOTES:
1. EX. REMOVED EXISTING STEEL COLUMN
 2. EX. REMOVED EXISTING WALL

A	ISSUED FOR C. APPROVAL	M.K.	N.A.	08/03/06
B	FOR CONSTRUCTION	Eng	Draft	Date

PITTSWATER RSL
SMOKERS TERRACE
EXTENSIONS
Sheet Subject
FIRST FLOOR PLAN

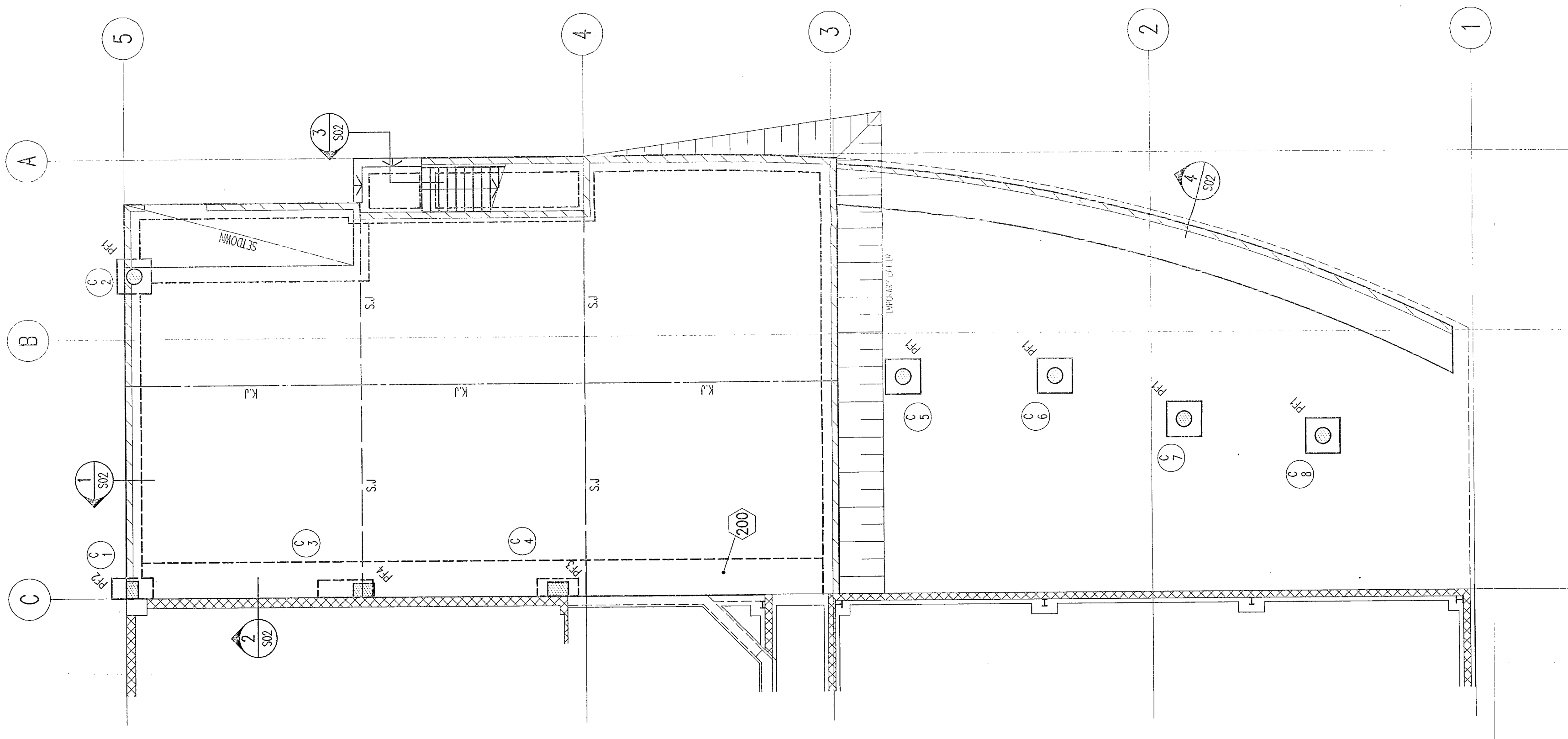
Prepared
POT ARCHITECTS
LEVEL 7, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010
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Checked
Taylor Thomson Whiting
Consulting Engineers
1/55-57/24-28 FIVE OAKS, NSW 2008
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Taylor Thomson Whiting Pty Ltd ACN 113 028 377
Engineered
PITTSWATER COUNCIL
Scale: A1

Job No
Drawing No
Revision
06117
CC-S04
A
POT Pty Limited Sep 05, 2005 - 11:22am

PRELIMINARY

Plotting: 09/04/06 - 12:28 plotting - Plot File Created: Sep 08, 2006 - 11:22am



FOOTING AND GROUND FLOOR PLAN - 120 SLAB ON GROUND U.N.O. SCALE 1:100

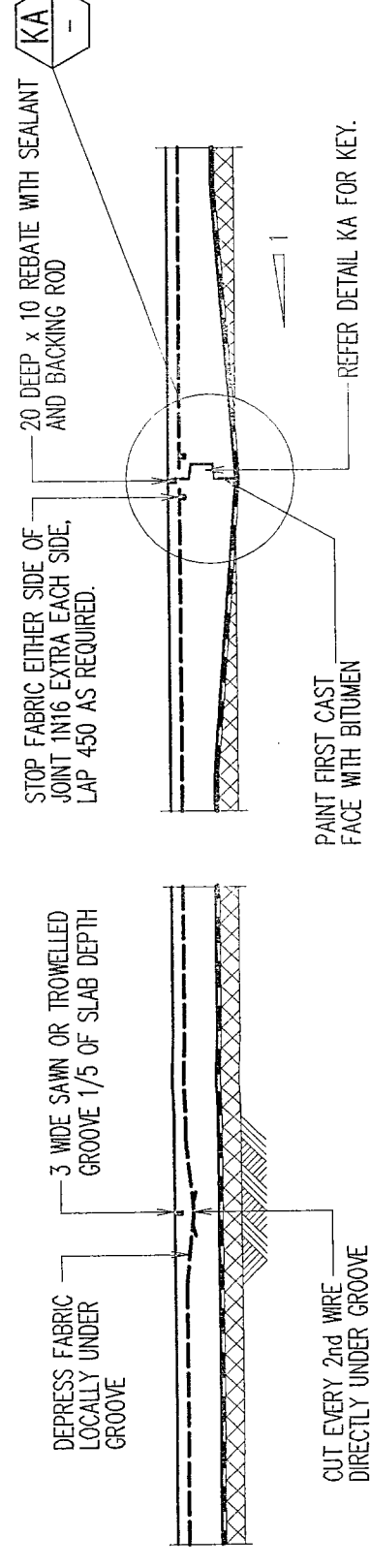
- NOTES:
1. TOP OF FINISH LEVELS TO BE DETERMINED BY THE BUILDING. 250 MM BELOW PLATFOOM LEVEL.
 2. ALL EXISTING SERVICES TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCING EXCAVATION. EXISTING SERVICES WERE INDICATED ON SERVICES CONSULTANTS DRAWINGS.
 3. REINFORCE SLAB ON GROUND WITH 5/12 REIN TOP THROUGHOUT (2X COVER)
 4. PROVIDE 50mm FREDERBACHS BASECOURSE AND A WINDUP BARBER
 5. - - - - - INDICATES FOR BLOWN WALLS
 6. x x x x x x x INDICATES EXISTING WALL

P.A.D. FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
P.F1	1000 x 1000 x 600 MM	3NO2 EACH WAY - TOP & Btm
P.F2	600 x 1200 x 600 MM	4NO2 TOP & Btm LONGITUDINAL, 1NO2-300 TOP & Btm TRANSVERSE
P.F3	500 x 1200 x 600 MM	4NO2 TOP & Btm LONGITUDINAL, 1NO2-300 TOP & Btm TRANSVERSE
P.F4	500 x 1500 x 600 MM	4NO2 TOP & Btm LONGITUDINAL, 1NO2-300 TOP & Btm TRANSVERSE

COLUMN SCHEDULE									
UPPER LEVEL	2	4	2	2	3	3	3	3	4
SIZE	300 x 300	450M	600 x 400	400 x 600	450M	450M	450M	450M	450M
VERTICAL REIN	6N20	6N20	6N20	6N20	6N20	6N20	6N20	6N20	6N20
DETAIL NUMBER	1	1	1	1	1	1	1	1	1
REMARKS	1. REINFORCE SLAB ON GROUND WITH 5/12 REIN TOP THROUGHOUT (2X COVER)								
DETAIL MARK	C1	C2	C3	C4	C5	C6	C7	C8	C9

NOTES:

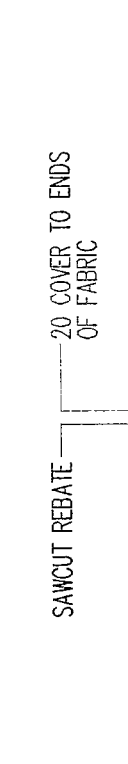
1. * REMAINS REFER TO TYPICAL COLUMN DETAIL



S.J. - SAWN CONTROL JOINT SCALE 1:20

NOTE: SAWN JOINT TO BE MADE WITHIN 16 HOURS OF CASTING SLAB

K.J. - KEVED CONSTRUCTION JOINT SCALE 1:20



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