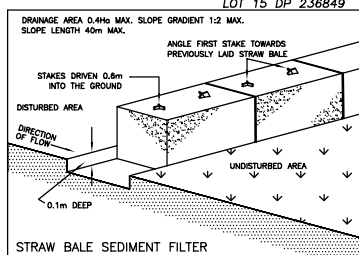
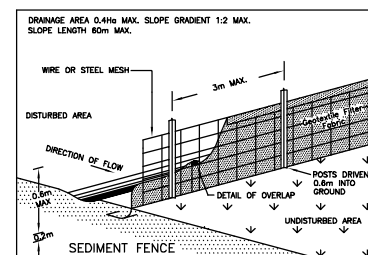
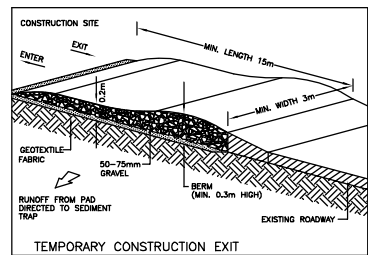
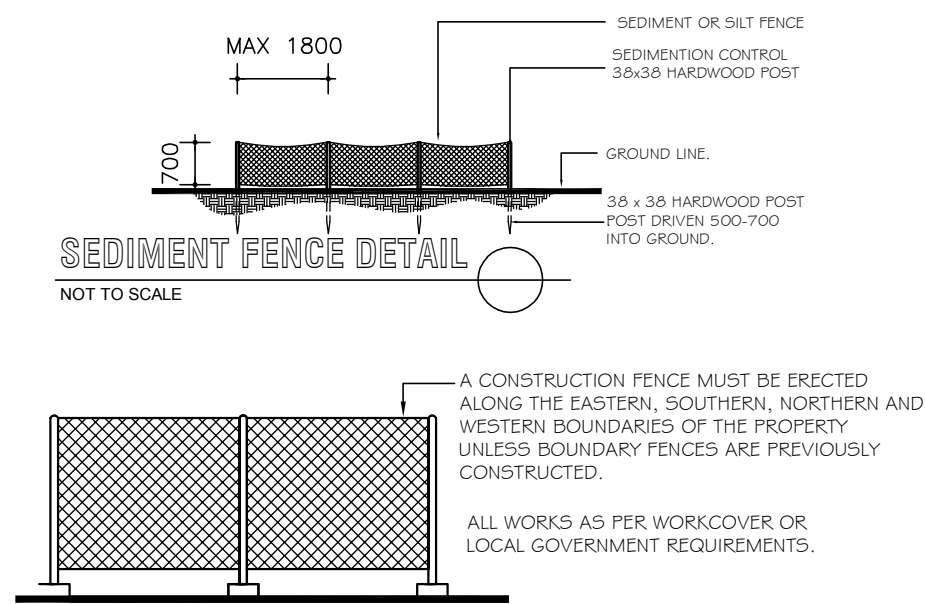


- NOTES
1. Do not scale off drawings. (If in doubt, ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connected to existing system.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.

- SOIL AND WATER MANAGEMENT NOTES
01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
02. MINIMISE DISTURBED AREAS
03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
05. ROADS AND FOOTPATHS TO BE SWEEP DAILY AND KEPT CLEAN AT ALL TIMES
06. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCIL'S REQUIREMENTS.
07. NOT WITHSTANDING DETAILS SHOWN, IT IS THE SITE MANAGERS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.



STANDARD DETAILS



ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH,

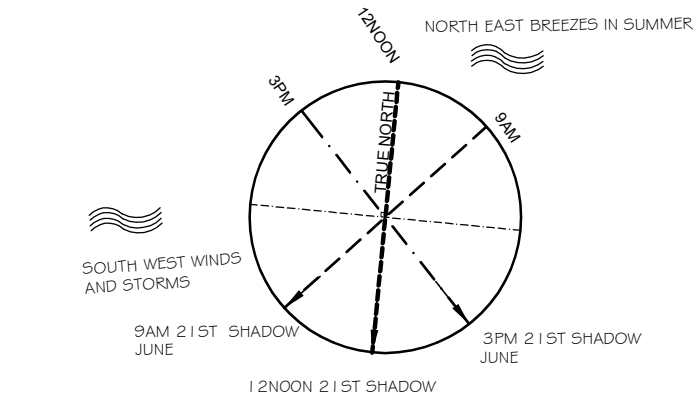
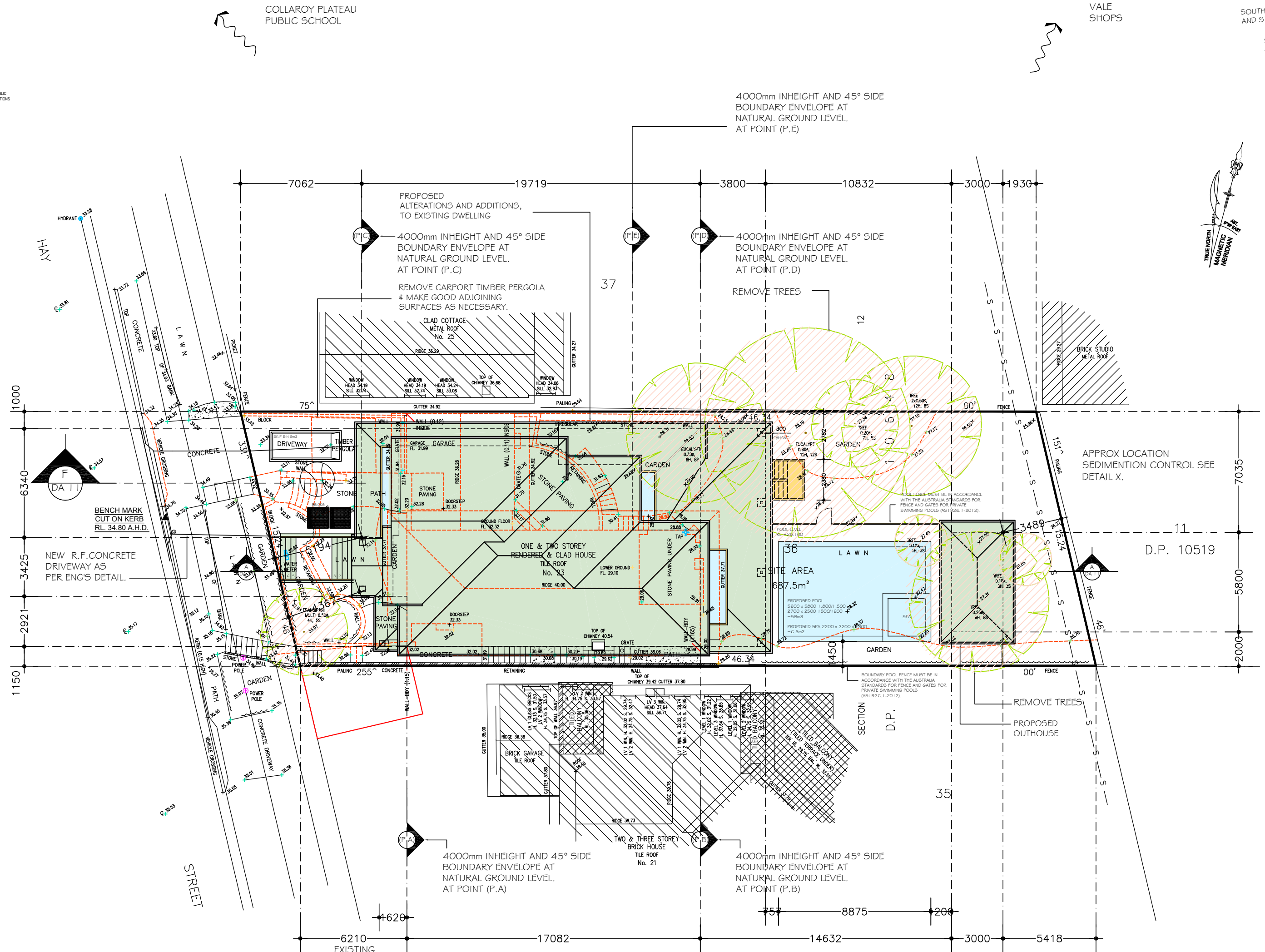
WHITE GEOTECHNICAL GROUP,

BASIX REPORT
PERPARED BY SAMMY FEDELE


PROPOSED SEDIMENT CONTROL PLAN / SOIL AND WASTE MANAGEMENT / AND SITE PLAN

SCALE 1:200

- LEGEND
- UNDISTURBED VEGETATION
- SILT FENCE
- STOCK PILE
- BARRIER FENCE
- FABRIC FILLED WITH GRAVEL
- SAND AND SOIL STOCKPILE
- INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.
- DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.
- CARELESS DIGGING CAN:
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXTENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED
- MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100



No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF



Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097 DP 10648 LOT 36 SEC 12

PLAN

SCALE: 1:100

DATE: 10.06.2021

REV: A JOB: 41/20

SHEET No : **DA01**

A2

- NOTES
1. Do not scale off drawings. *(If in doubt- ask.)*

2. All measurements to be checked on site prior to commencement of construction.

3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.

4. Supply & install selected smoke alarm system to comply with AS3786.

5. All storm water to be connect to existing system .

6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances,regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.

















7. Setting out dimensions shown on the drawings shall be verified by the builder

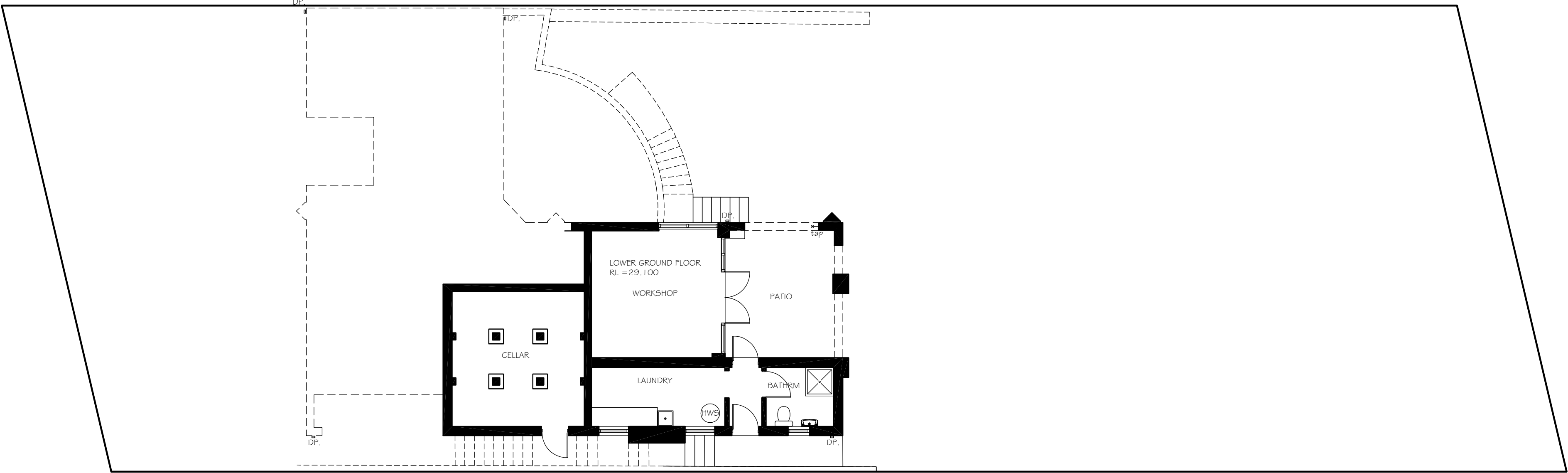
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.

9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.

10. Supply and install lift off hinges to all wet area doors .

LEGEND:

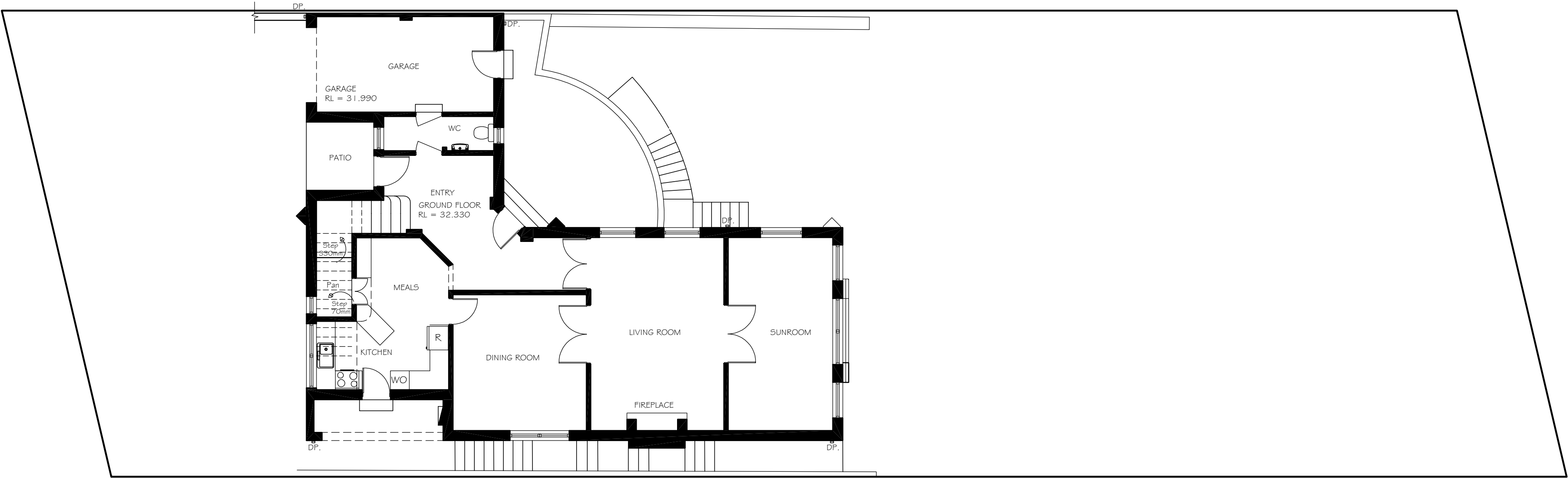
	SMOKE ALARM AS 3786
	FAN MECHANICAL
	DOWN PIPE
	M/HOLE (ACCESS TO ROOF)
	EXTERNAL TAP
	METER BOX
	GAS METER
	AIR-CONDITION UNIT
	SKYLIGHT
	FLOOR WASTE
	EXISTING WALLS
	DEMOLITION WALLS
	NEW WALLS
	BRICK CONTROL JOINT
	AERIAL OVER
	SATELLITE DISH ANTENNA OVER



EXISTING

LOWER GROUND FLOOR PLAN

SCALE 1 : 100



EXISTING

GROUND FLOOR PLAN

SCALE 1 : 100

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

Sammy Fedele

abn 36 627 664 311

Architectural Drafting Services

0404 037 606

email:sammyfedele@primus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 10648 LOT 36 SEC 12

PLAN

SCALE: 1 : 100

DATE: 10.06.2021

REV: A

JOB: 41/20

SHEET No : DA02

A2

- NOTES
1. Do not scale off drawings. *(If in doubt- ask.)*

2. All measurements to be checked on site prior to commencement of construction.

3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.

4. Supply & install selected smoke alarm system to comply with AS3786.

5. All storm water to be connect to existing system .

6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances,regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.

















7. Settling out dimensions shown on the drawings shall be verified by the builder

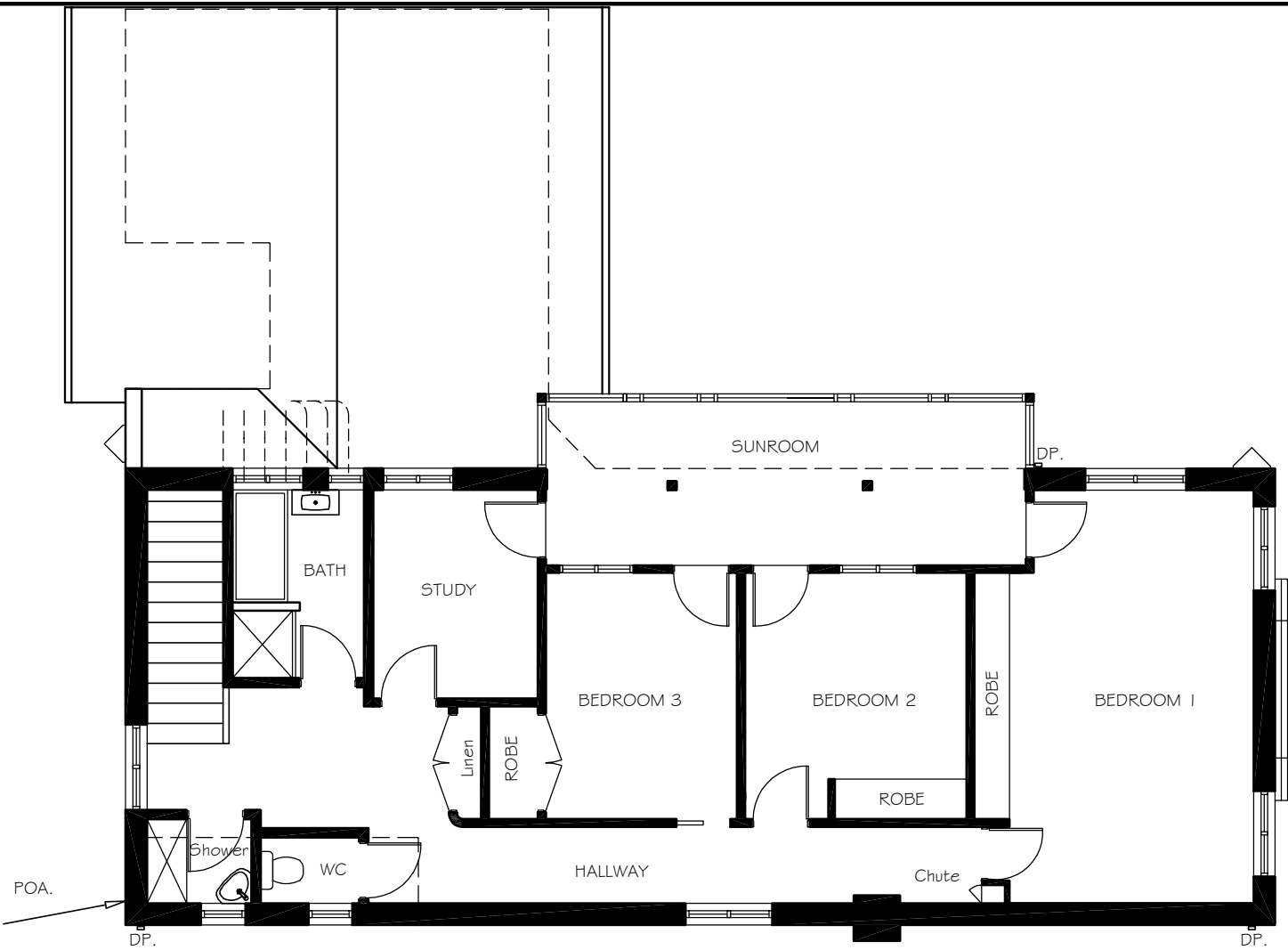
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.

9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.

10. Supply and install lift off hinges to all wet area doors .

LEGEND:

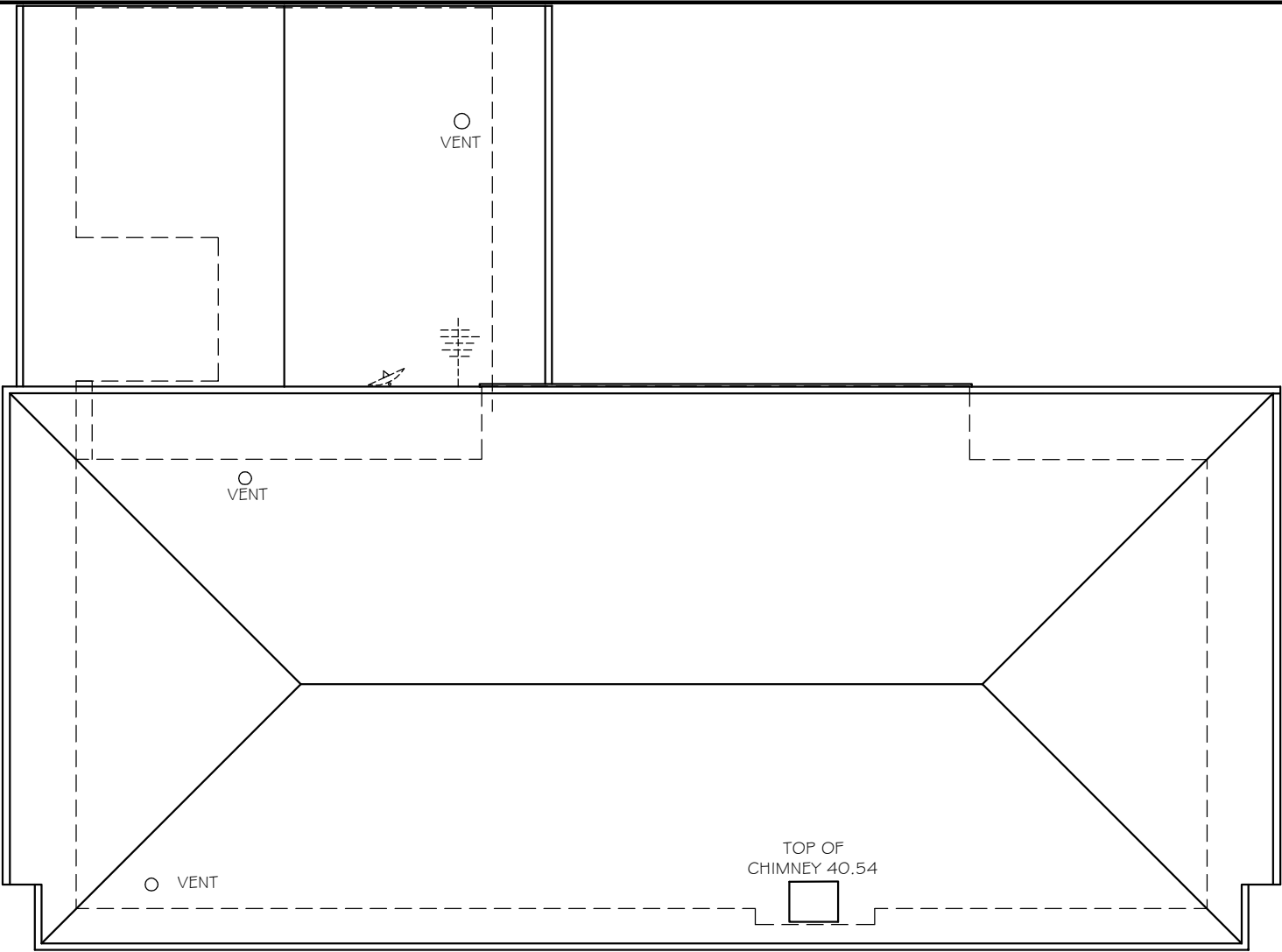
	SMOKE ALARM AS 3786
	FAN MECHANICAL
	DOWN PIPE
	M/HOLE (ACCESS TO ROOF)
	EXTERNAL TAP
	METER BOX
	GAS METER
	AIR-CONDITION UNIT
	SKYLIGHT
	FLOOR WASTE
	EXISTING WALLS
	DEMOLITION WALLS
	NEW WALLS
	BRICK CONTROL JOINT
	AERIAL OVER
	SATELLITE DISH ANTENNA OVER



EXISTING

FIRST FLOOR PLAN

SCALE 1 : 100



EXISTING

ROOF PLAN

SCALE 1 : 100

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

Sammy Fedele

abn 36 627 664 311

Architectural Drafting Services

0404 037 606

email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED ; ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097 DP 10648 LOT 36 SEC 12

PLAN

SCALE: 1:100

DATE: 10.06.2021

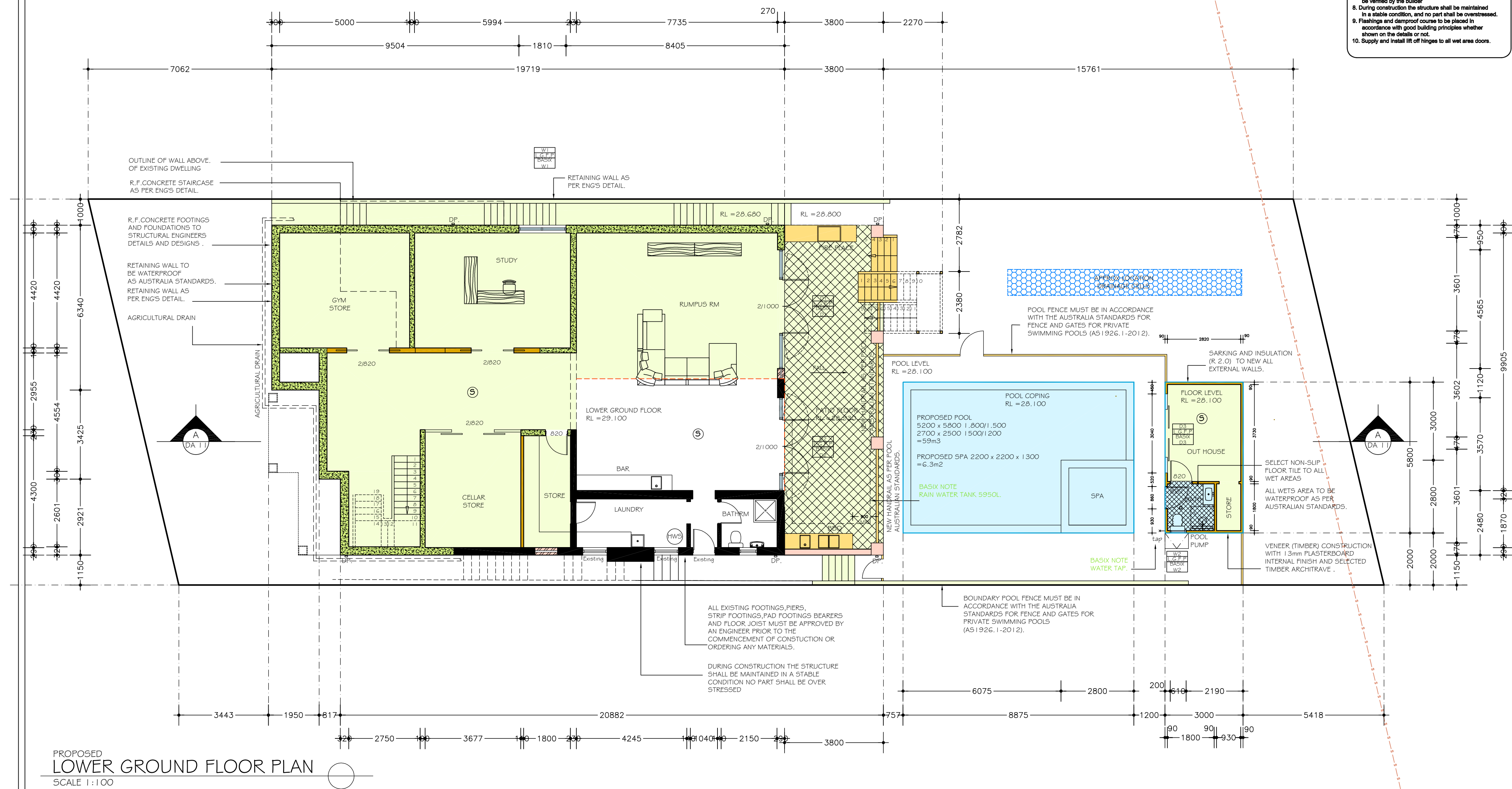
REV: A JOB: 41/20

SHEET No :


DA03

A2

- ## NOTES
1. Do not scale off drawings. **(If in doubt-ask)**
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, road pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install external smoke alarm system to comply with AS3786.
 5. All storm water to be connect to existing system .
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the relevant standards, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be checked and approved by the client.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install off hit hinges to all wet area doors.

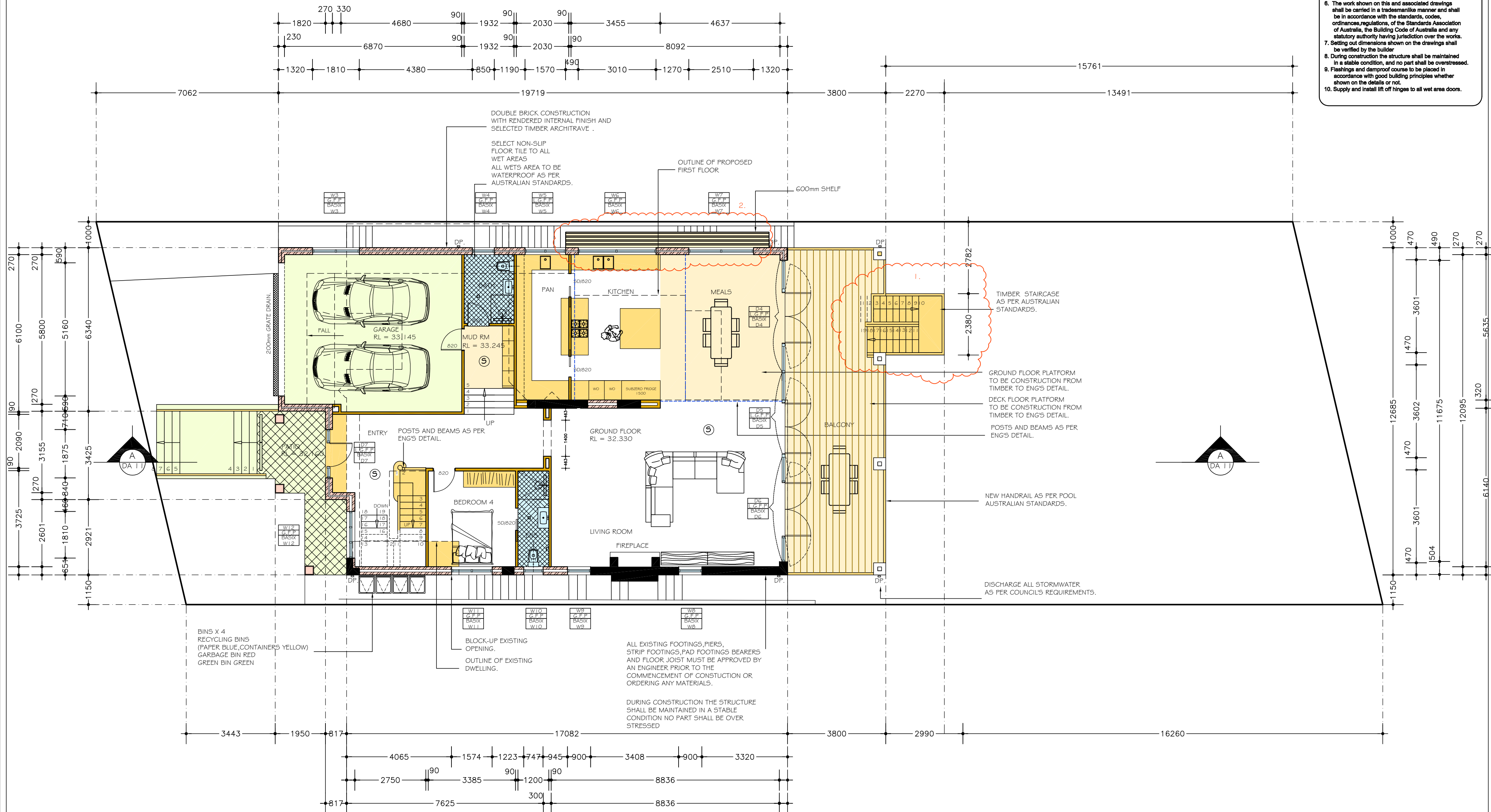


No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

 Sammy Fedele <small>abn 36 627 664 311</small>	Architectural Drafting Services 0404 037 606 <u>email:sammyfedele@primus.com.au</u>	C AND A PARISI		PLAN		A2	
		PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE		SCALE: 1 : 100			SHEET No : DA04
		ADDRESS : 23 HAY STREET DP 1 OC48 COLLAROY NSW 2097 LOT 36 35°C J3		DATE: 10.06.2021 REV: A JOB: 41/20			

NOTES

1. Do not scale off drawings. (If in doubt ask)
2. All measurements to be checked on site prior to commencement of construction.
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10. Supply and install lift off hinges to all wet area doors.



PROPOSED
GROUND FLOOR PLAN
SCALE 1:100

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
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email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
SEC 12

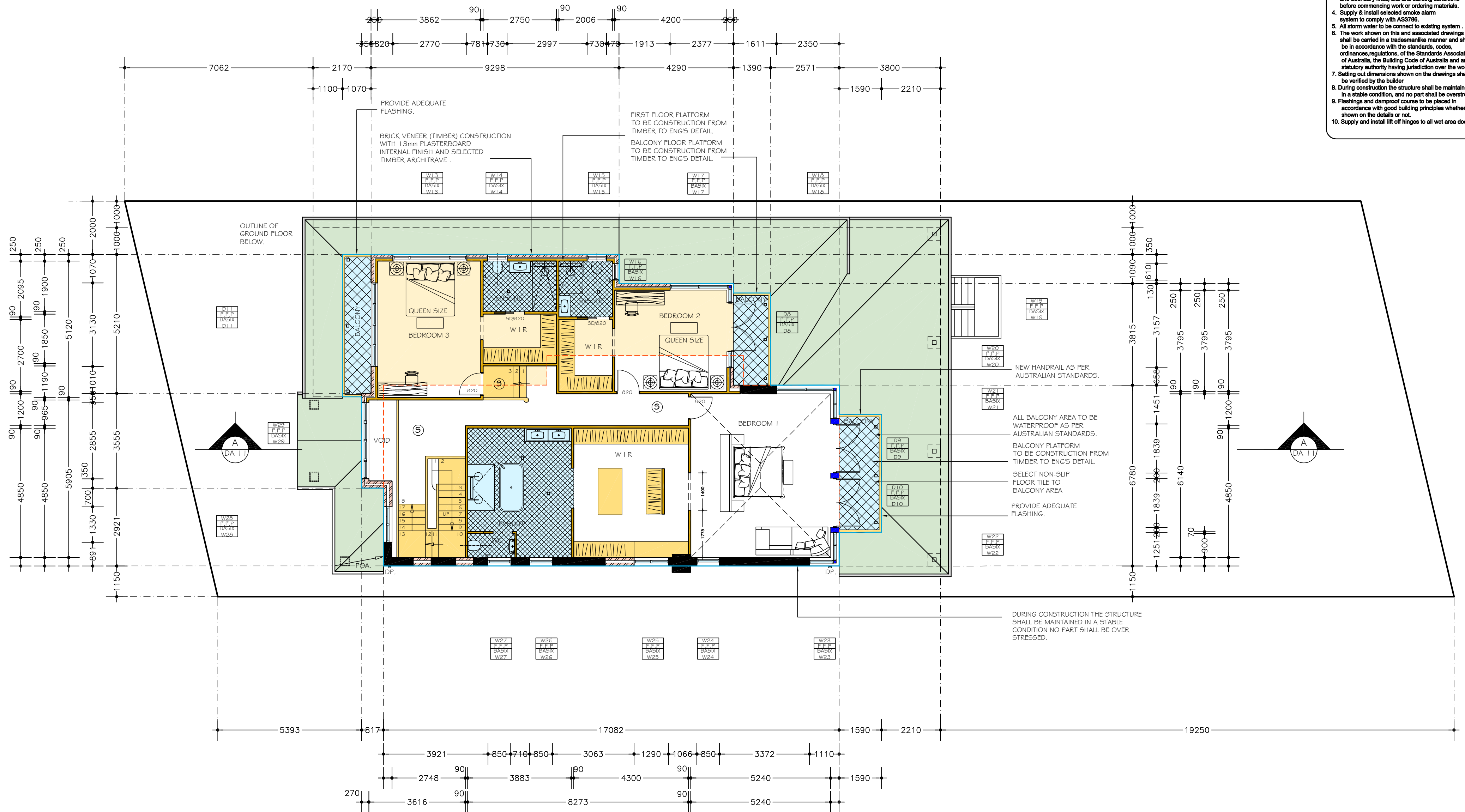
PLAN

SCALE: 1:100
DATE: 10.06.2021
REV: A JOB: 41/20

SHEET No :
DA05

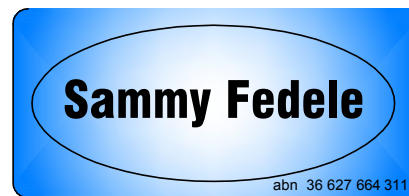
A2

- NOTES
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 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
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 9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.



PROPOSED
FIRST FLOOR PLAN
SCALE 1:100

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF



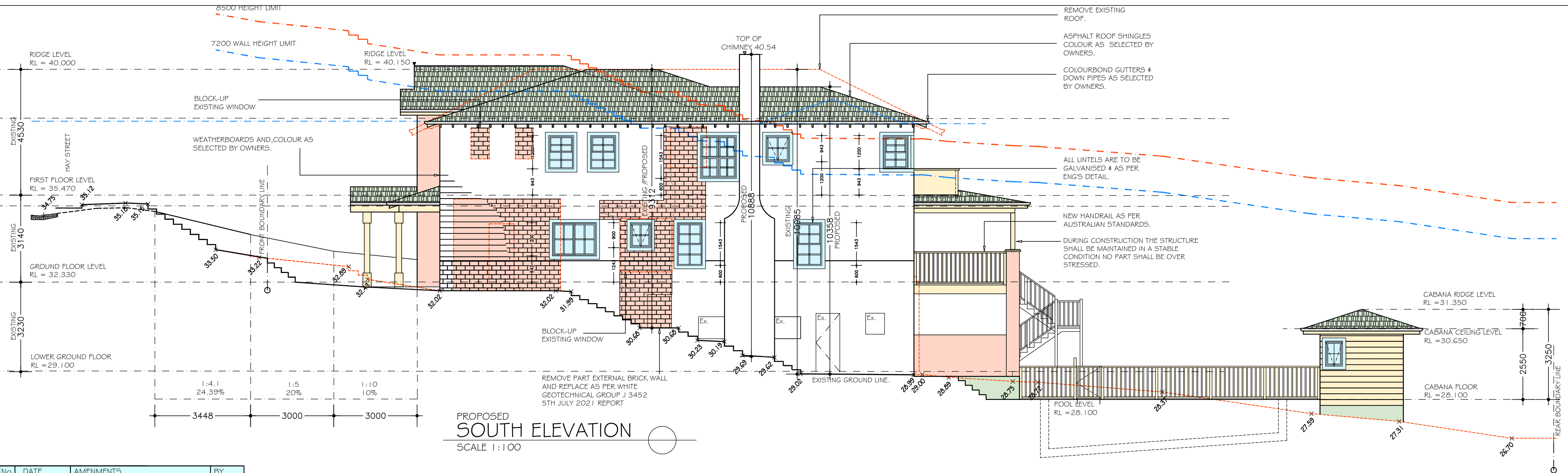
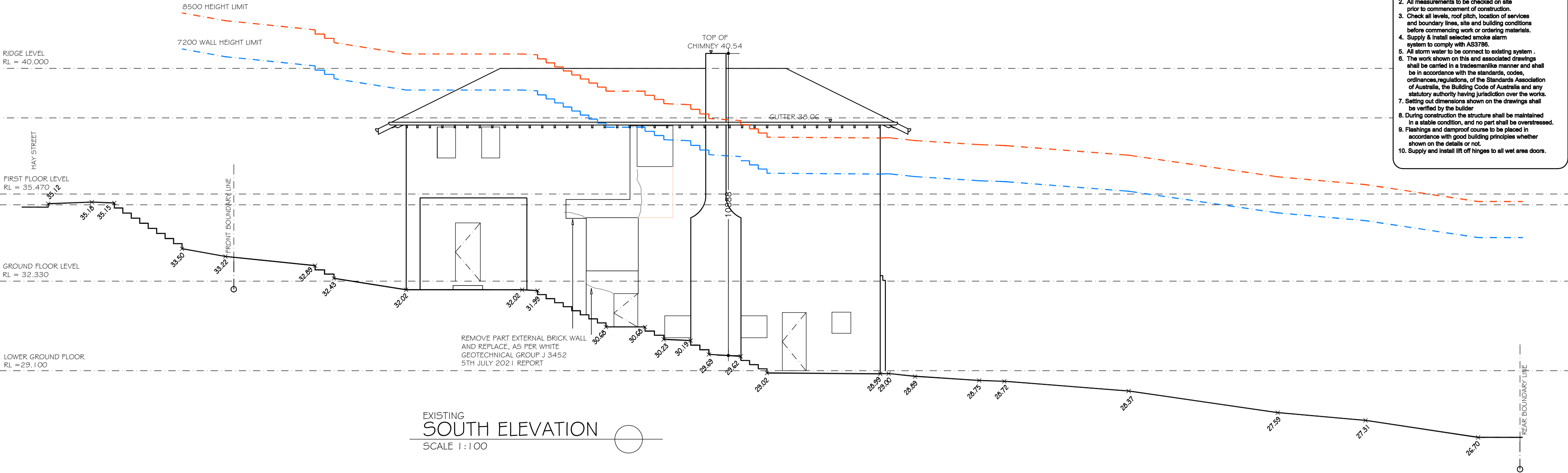
Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

C AND A PARISI
PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET DP 10648
COLLARROY NSW 2097 LOT 36
SEC 12

PLAN
SCALE: 1:100
DATE: 10.06.2021
REV: A JOB: 41/20
SHEET No :
DA06

A2

- NOTES
1. Do not scale off drawings. (If in doubt ask.)
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No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

Sammy Fedele

Architectural Drafting
Services
0404 037 606

email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET
COLLAROY NSW 2097

DP 10648
LOT 36
SEC 12

ELEVATION

SCALE: 1:100

DATE: 10.06.2021

REV: A

JOB: 41/20

SHEET No :

DA08

A2

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

- NOTES
1. Do not scale off drawings. (If in doubt ask.)

2. All measurements to be checked on site prior to commencement of construction.

3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.

4. Supply & install selected smoke alarm system to comply with AS3786.

5. All storm water to be connect to existing system .

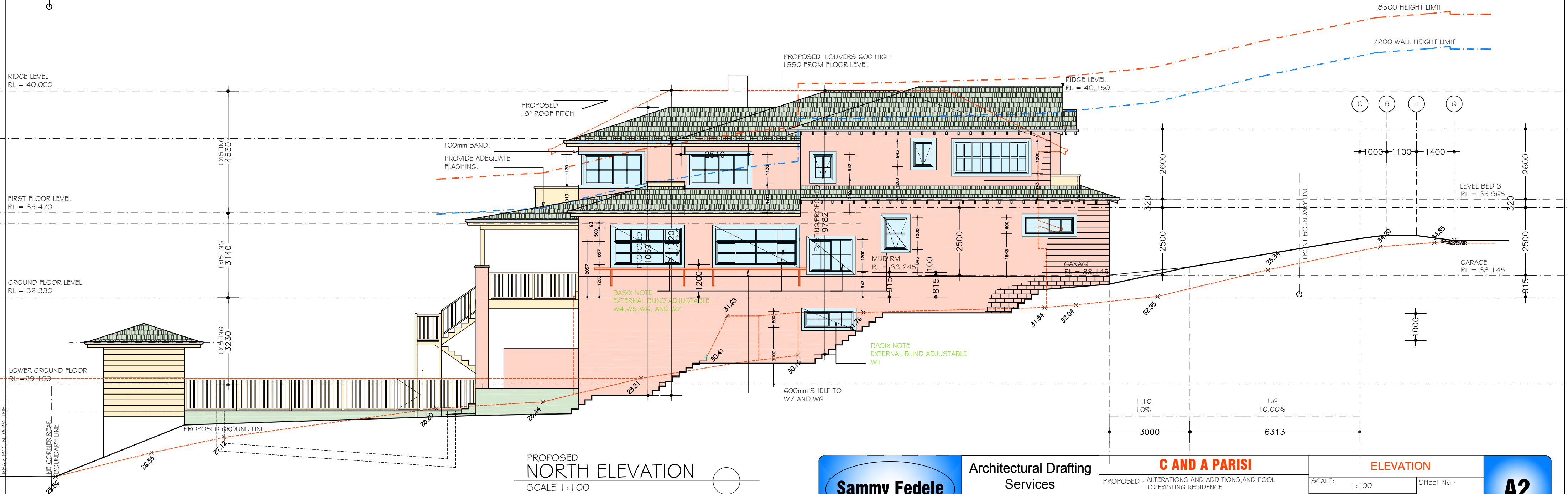
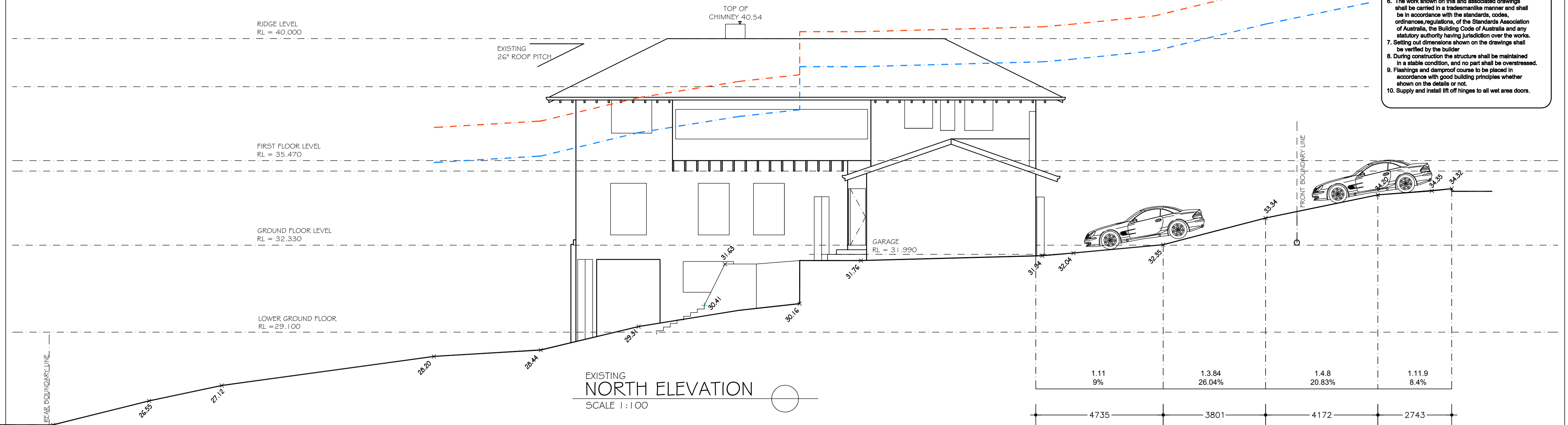
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9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.

10. Supply and install lift off hinges to all wet area doors.



Sammy Fedele

abn 36 627 664 311

Architectural Drafting Services

0404 037 606

email:sammyfedele@primus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 10648 LOT 36 SEC 12

ELEVATION

SCALE: 1:100

DATE: 10.06.2021

REV: A

JOB: 41/20

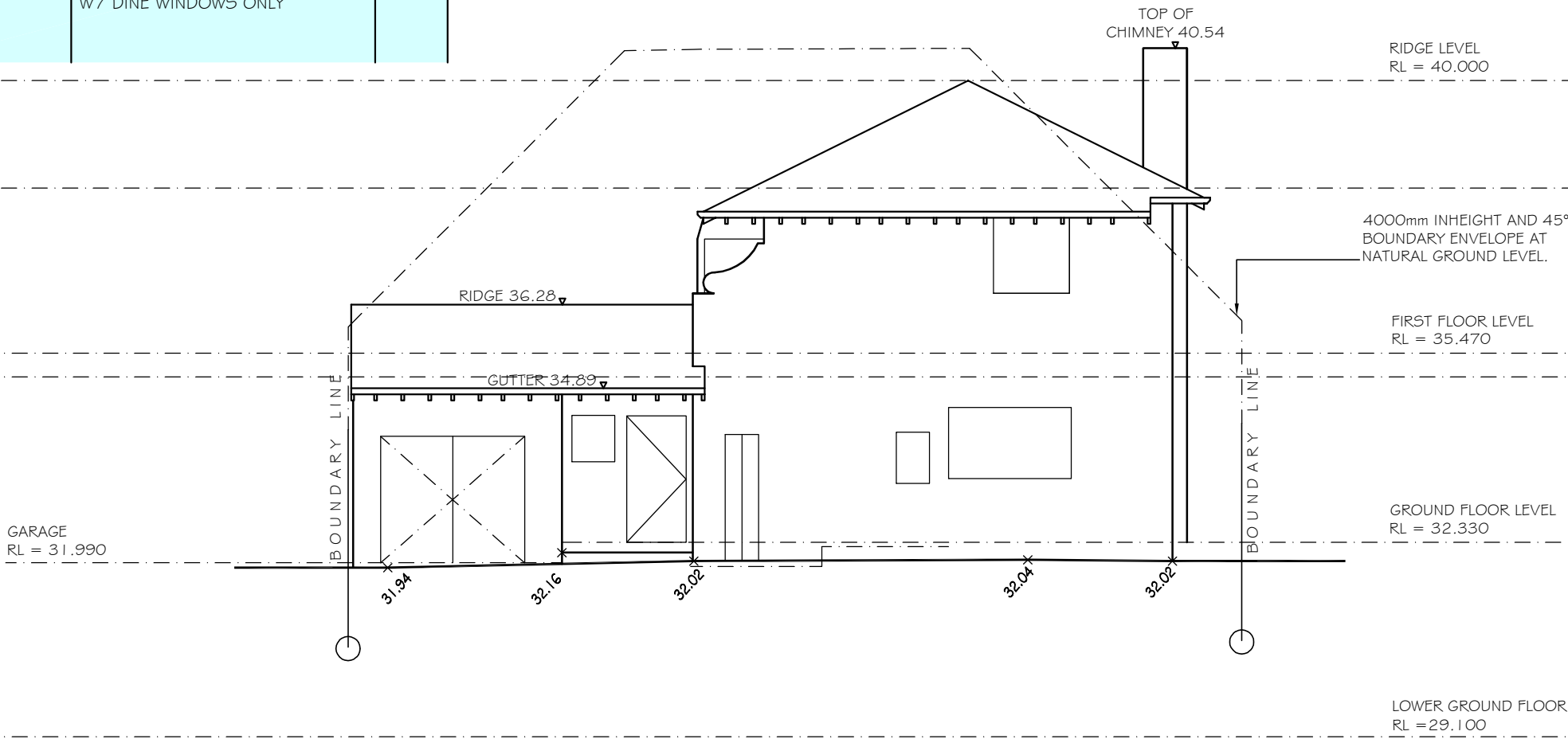
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DA09

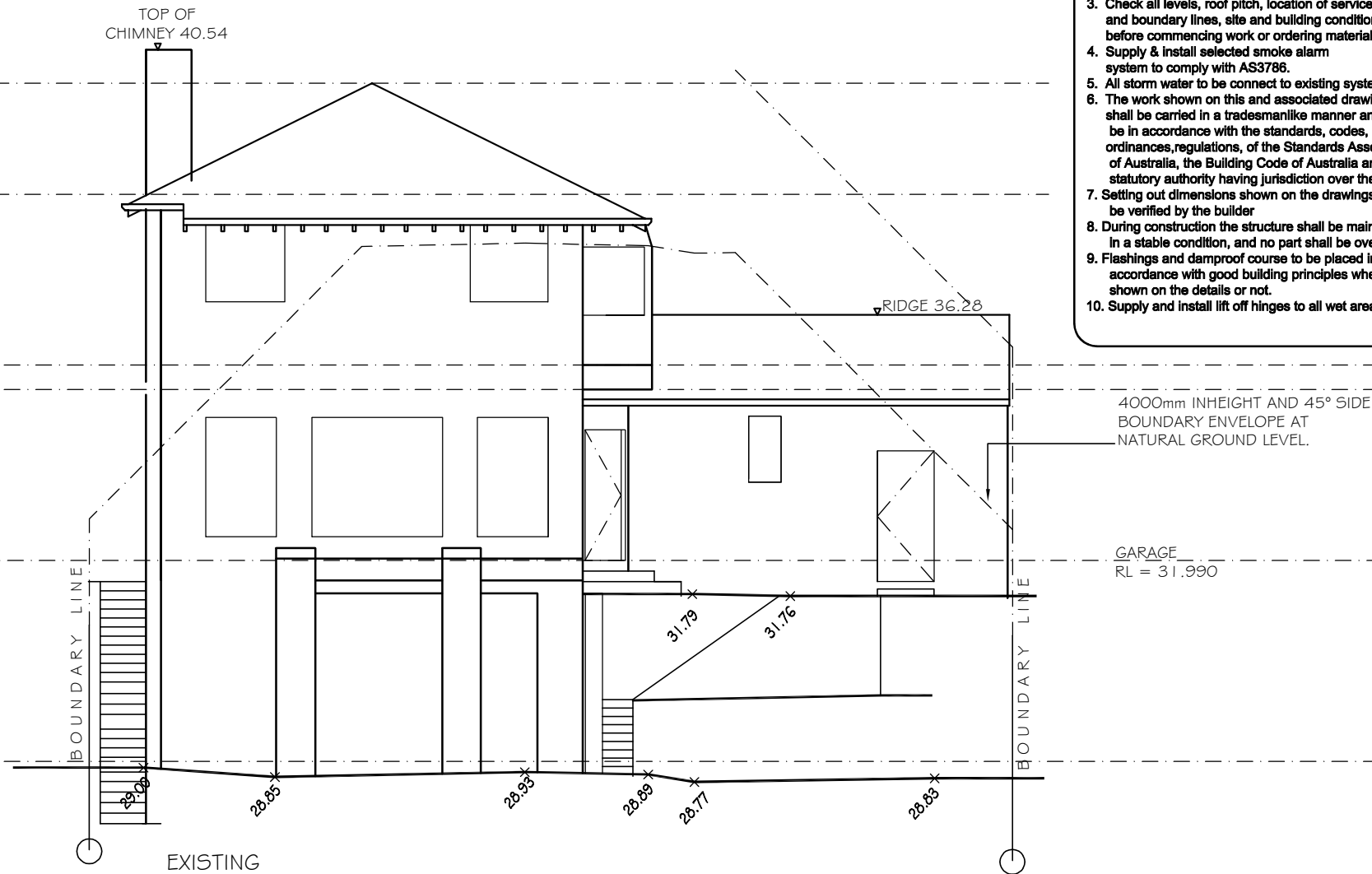
A2

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

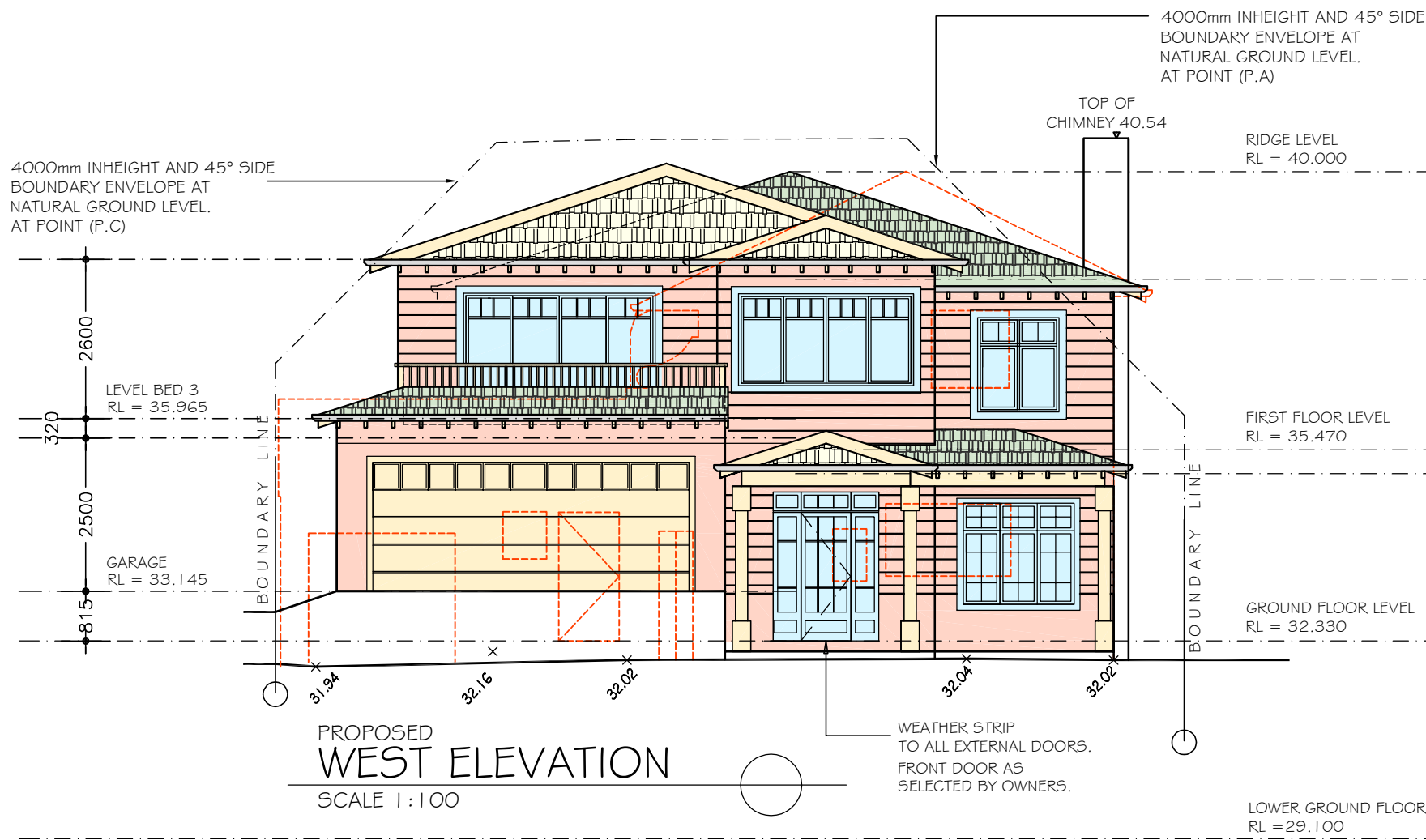
- NOTES
1. Do not scale off drawings. (If in doubt-ask.)
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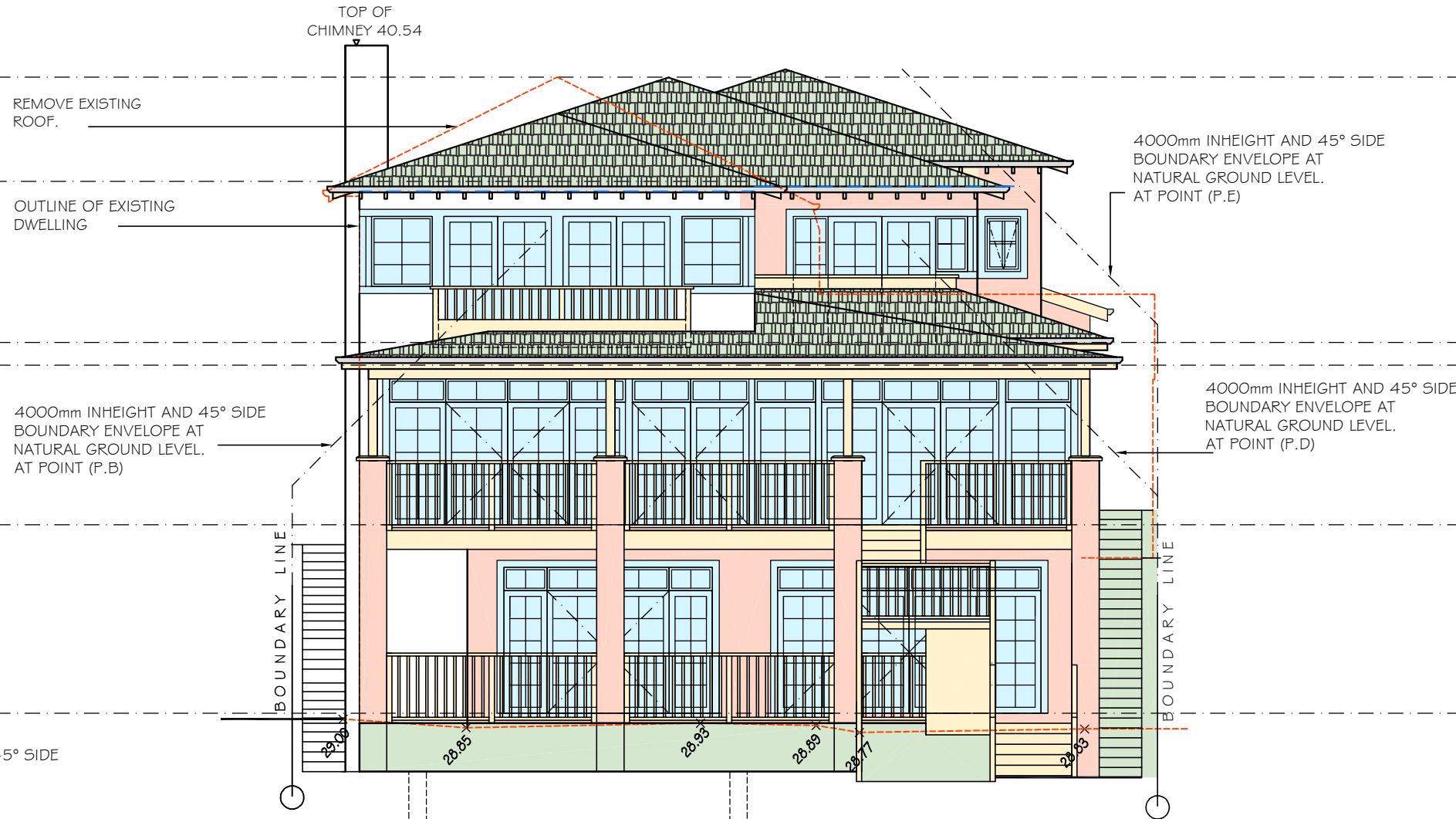
EXISTING
WEST ELEVATION
SCALE 1:100



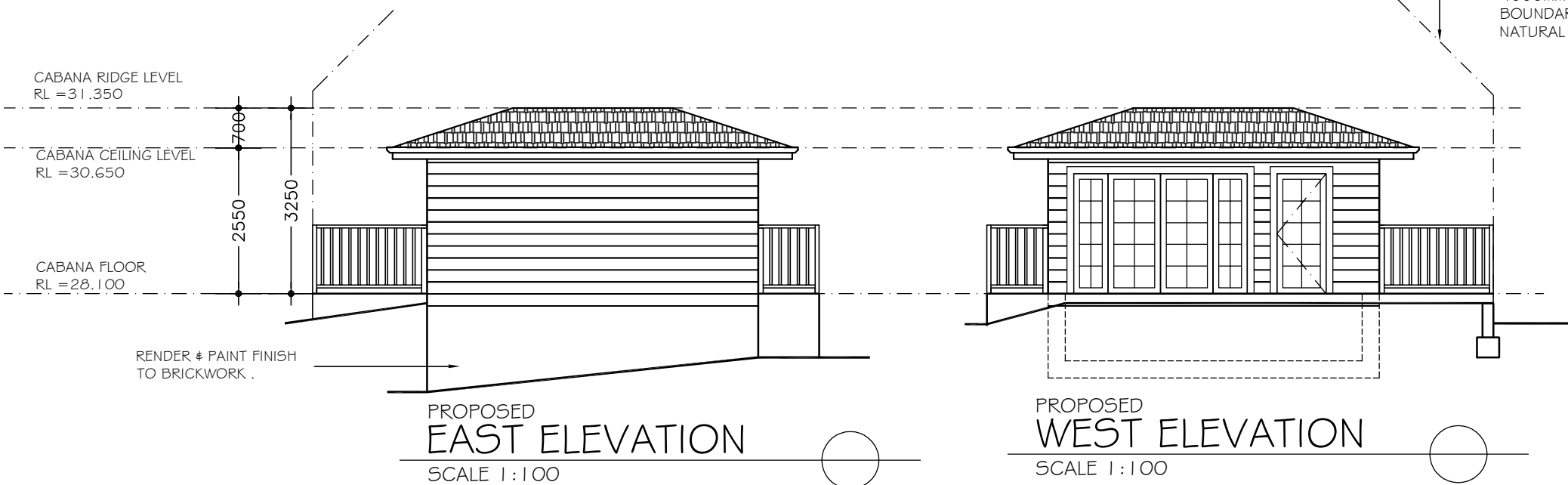
EXISTING
EAST ELEVATION
SCALE 1:100



PROPOSED
WEST ELEVATION
SCALE 1:100



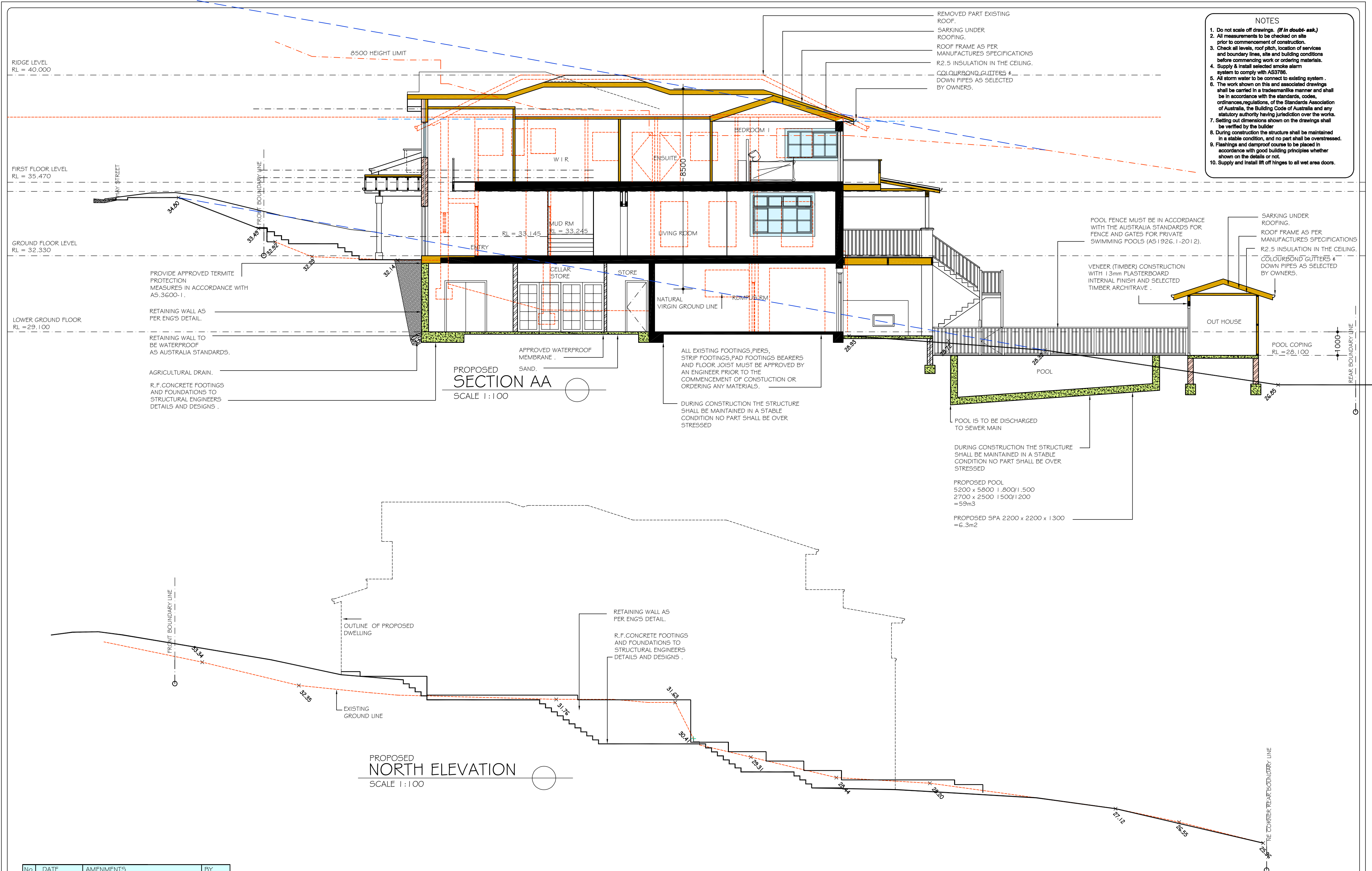
PROPOSED
EAST ELEVATION
SCALE 1:100



PROPOSED
EAST ELEVATION
SCALE 1:100

PROPOSED
WEST ELEVATION
SCALE 1:100

Sammy Fedele abn 36 627 664 311	Architectural Drafting Services 0404 037 606 email:sammyfedele@iprimus.com.au	C AND A PARISI		ELEVATION		A2
		PROPOSED : ALTERATIONS AND ADDITIONS AND POOL TO EXISTING RESIDENCE		SCALE: 1:100		
		ADDRESS : 23 HAY STREET DP 10648 LOT 36 SEC 12		DATE: 10.06.2021		
		REV: A		JOB: 41/20		
				SHEET No : DA10		



No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services

0404 037 606

email:sammyfedele@primus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET
COLLAROY NSW 2097

DP 1 0648
LOT 36
SEC 12

SECTION AND BASIX

SCALE: 1:100

DATE: 10.06.2021

REV: A

JOB: 41/20

DA11

A2

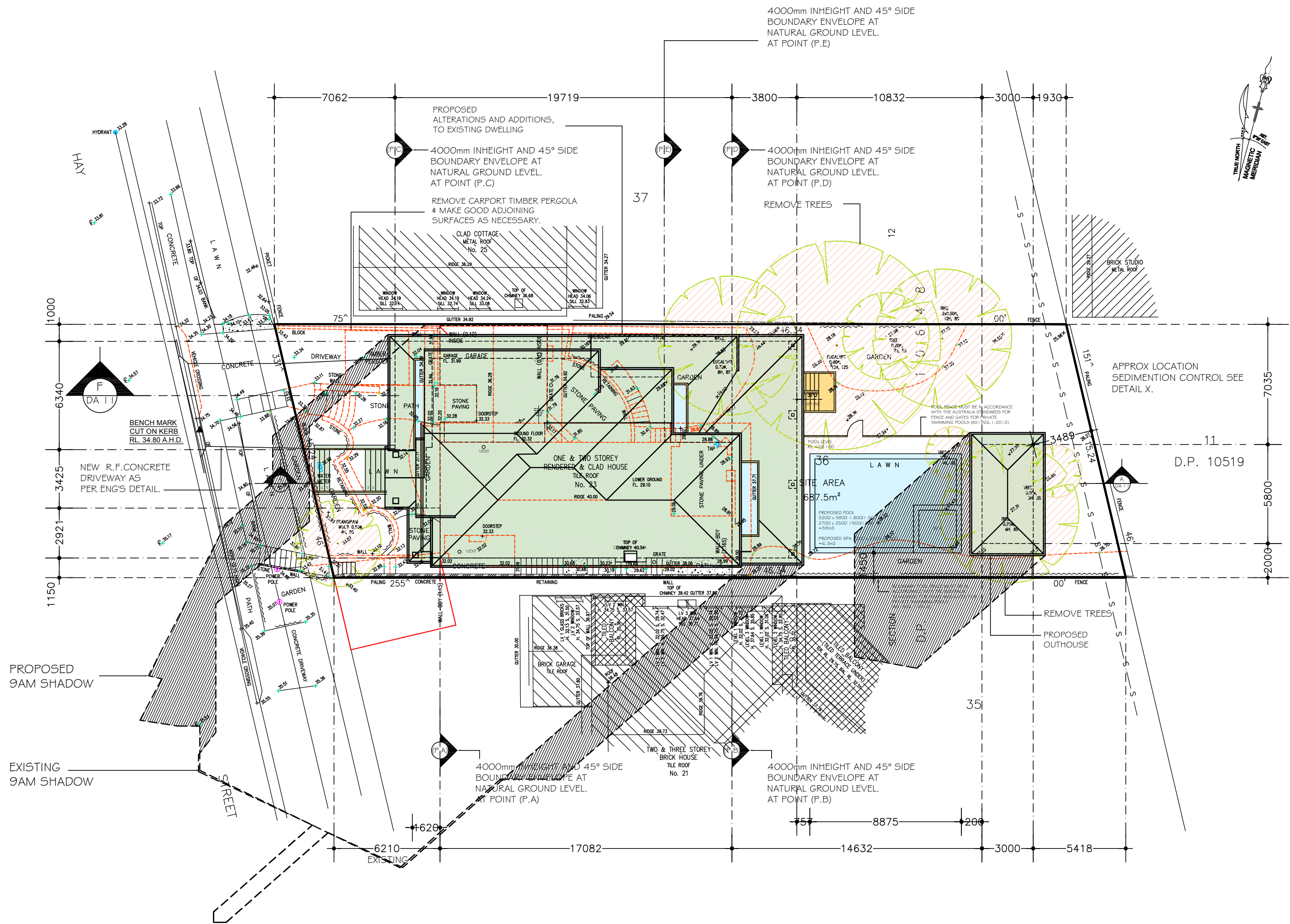
LEGEND:

21ST JUNE

9AM SHADOW

12NOON SHADOW

3PM SHADOW



PROPOSED
SHADOW PLAN 9AM JUNE 21ST

SCALE 1:200

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

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Services
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email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
SEC 12

SHADOW PLAN

SCALE: 1:200
DATE: 10.06.2021
REV: A JOB: 41/20

SHEET No :
DA12

A2

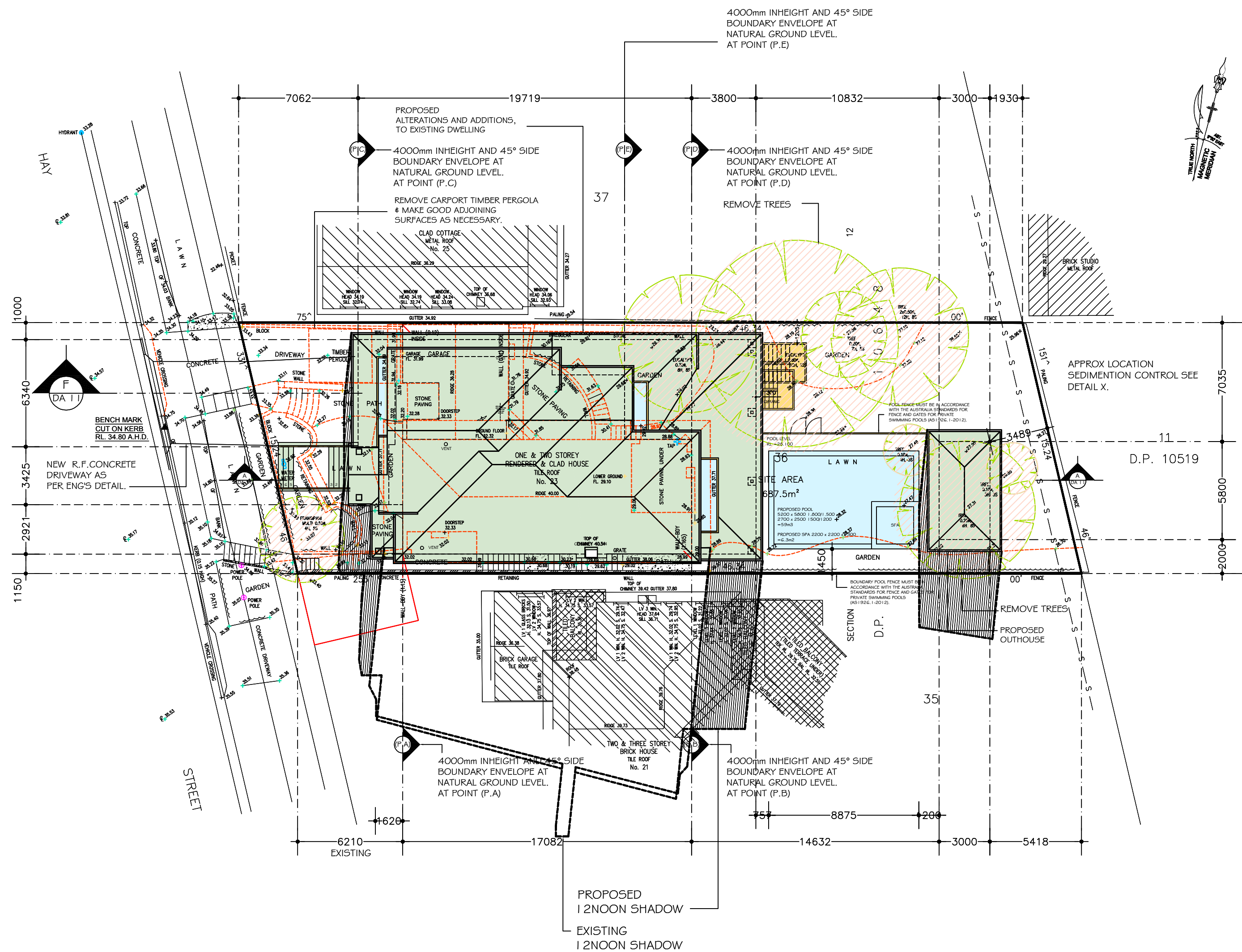
LEGEND:

21ST JUNE

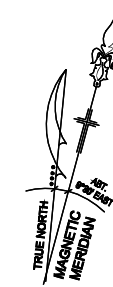
9AM SHADOW


12NOON SHADOW

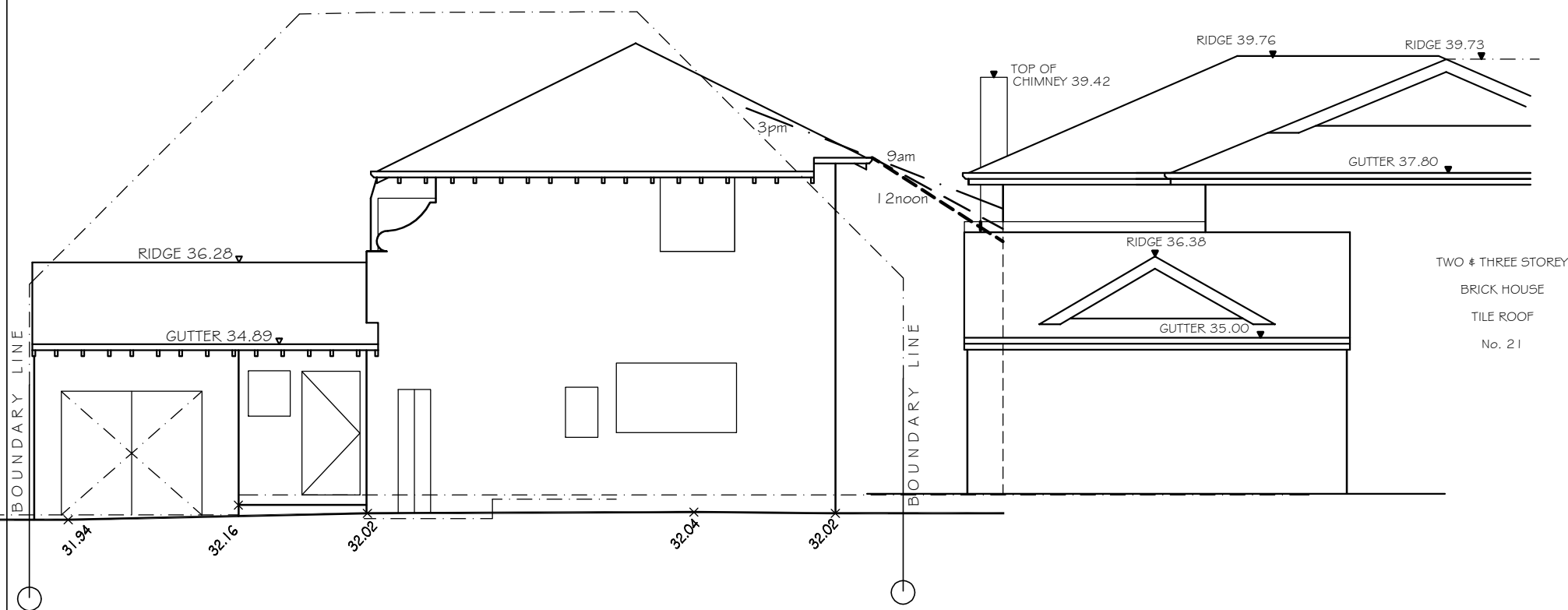
3PM SHADOW



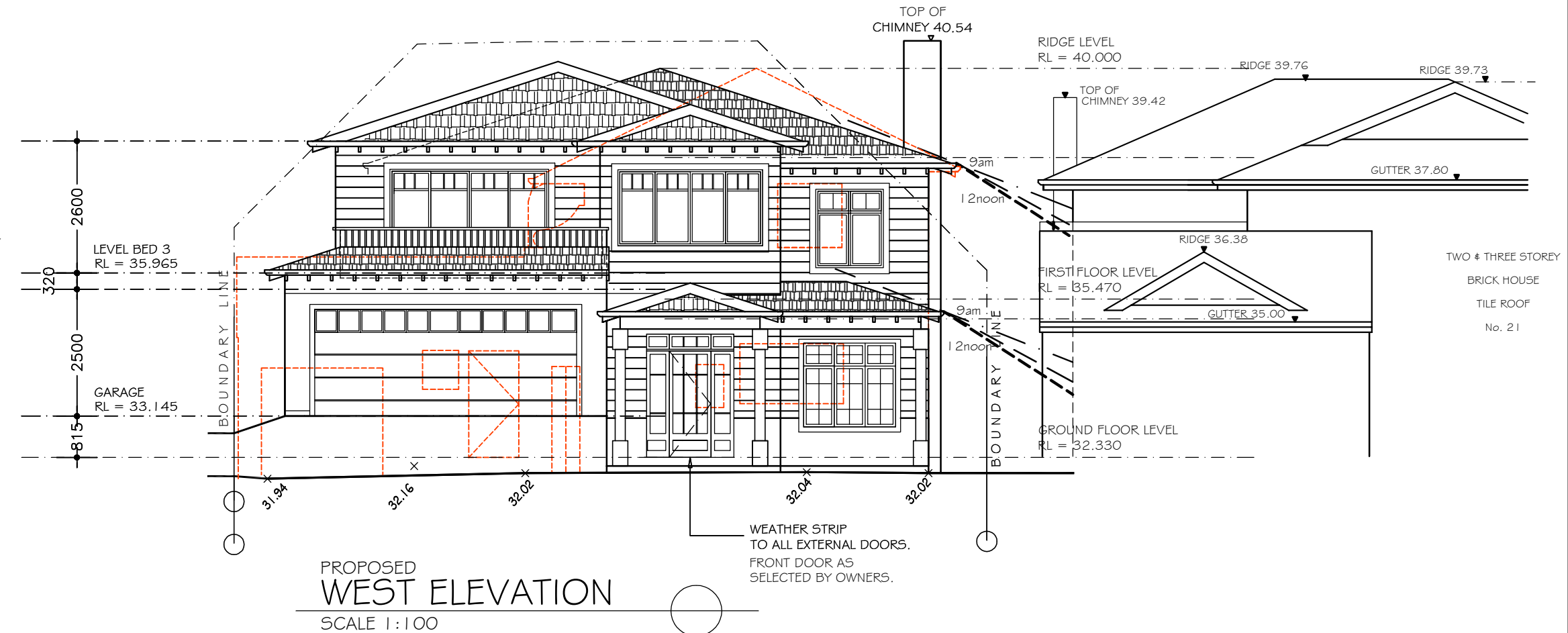
3PM SHADOW



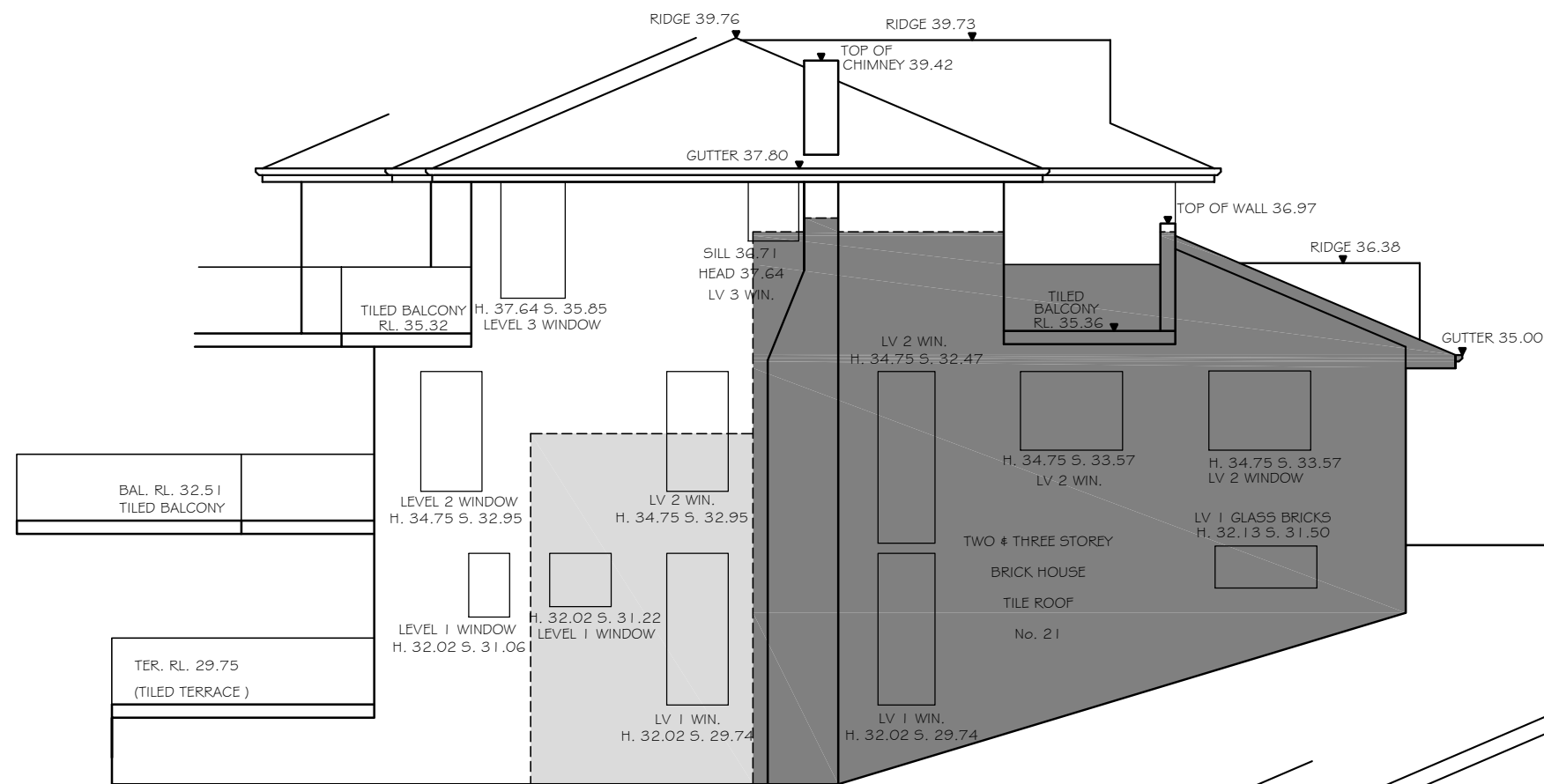
 <p>Sammy Fedele</p> <p>abn 36 627 664 311</p>	<p>Architectural Drafting Services</p> <p>0404 037 606</p> <p>email:sammyfedele@primus.com.au</p>	C AND A PARISI		SHADOW PLAN		A2
		<p>PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE</p> <p>ADDRESS : 23 HAY STREET COLLAROY NSW 2097</p>	<p>DP 10648 LOT 36 5FC J3</p>	<p>SCALE: 1:200</p> <p>DATE: 10.06.2021</p> <p>REV: A</p>	<p>SHEET No : DA14</p> <p>JOB: 41/20</p>	



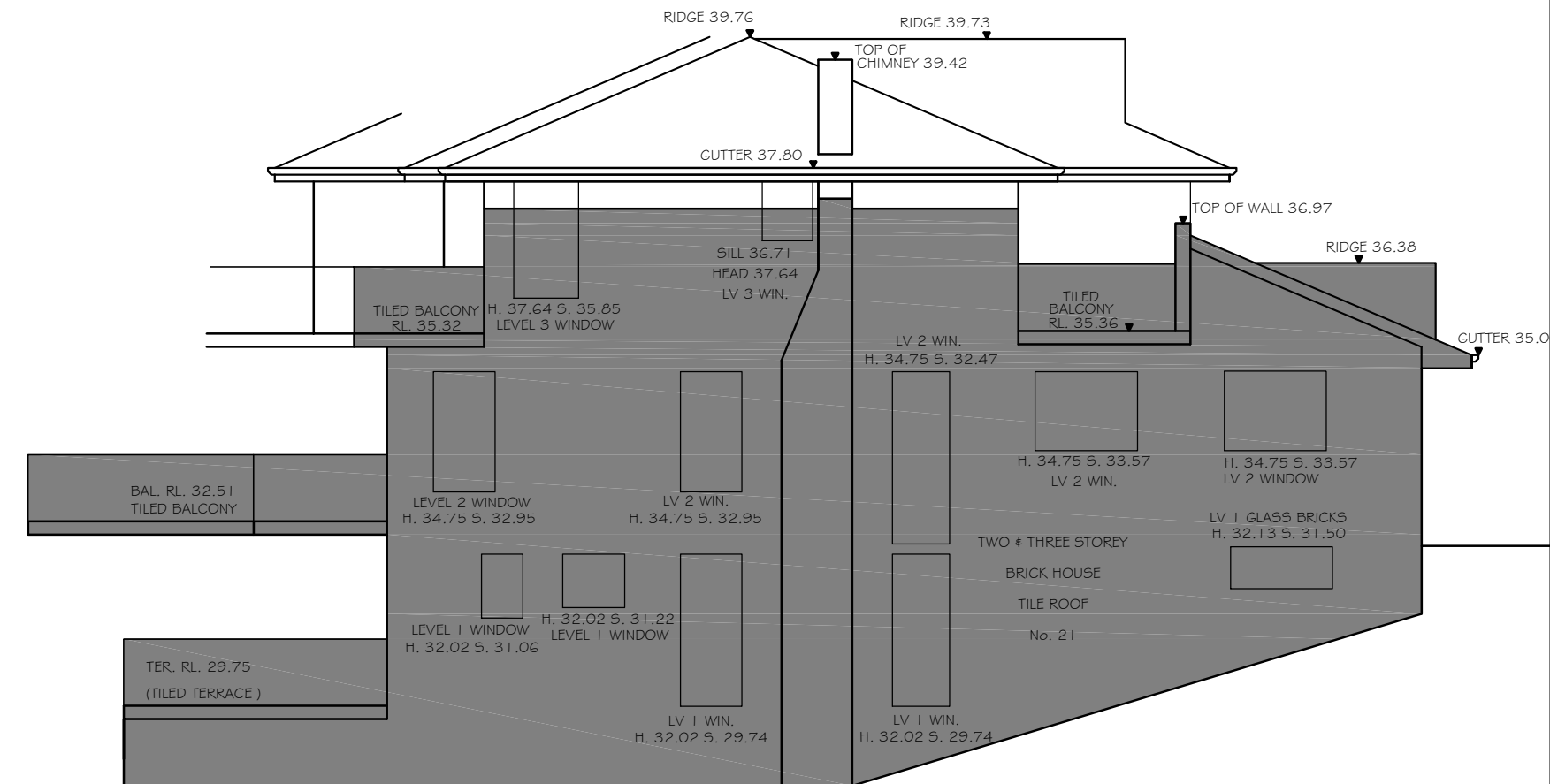
EXISTING
WEST ELEVATION
SCALE 1:100



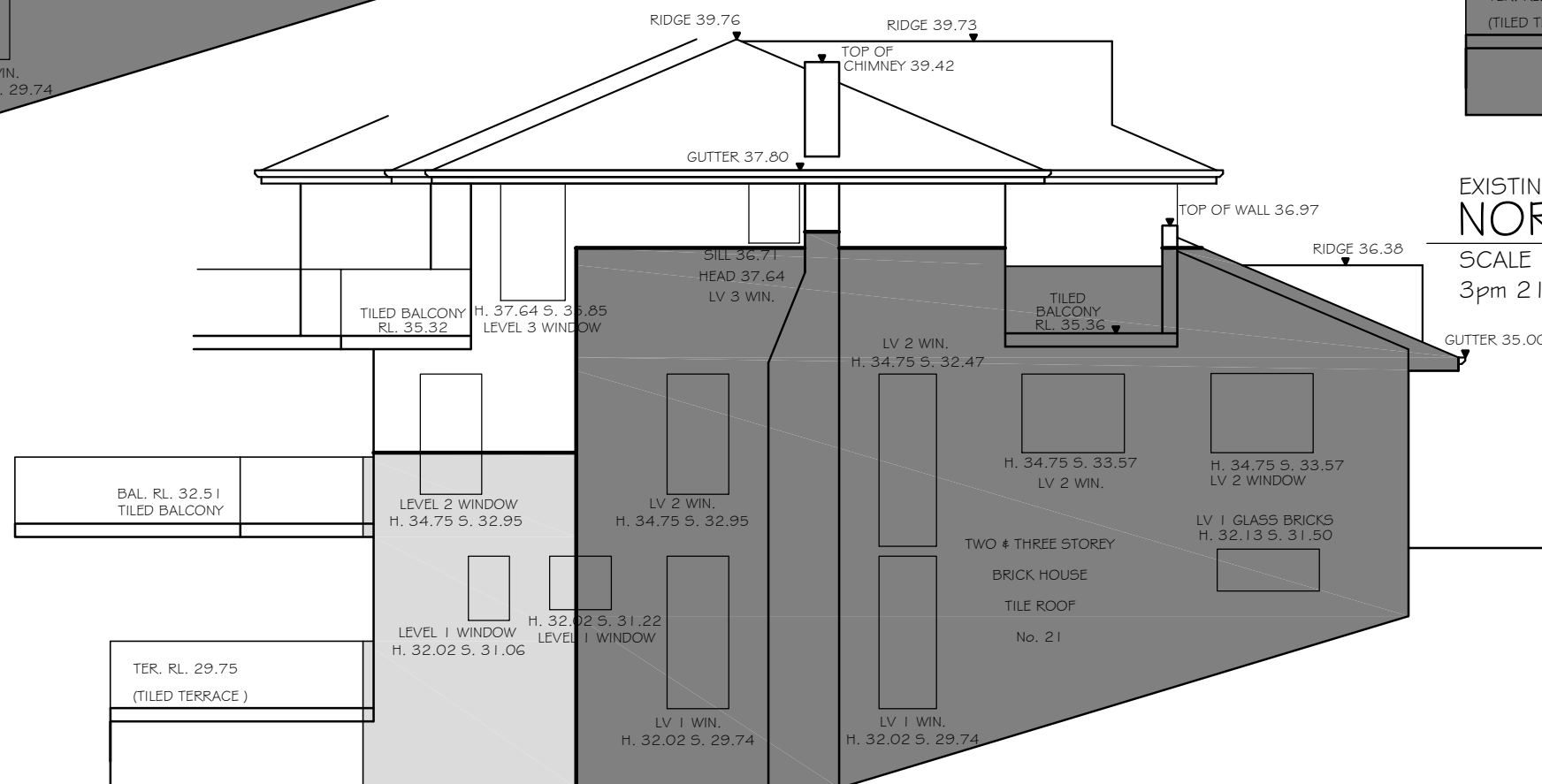
PROPOSED
WEST ELEVATION
SCALE 1:100



PROPOSED
NORTH ELEVATION
SCALE 1:100
9am 21ST JUNE



EXISTING
NORTH ELEVATION
SCALE 1:100
3pm 21ST JUNE



PROPOSED
NORTH ELEVATION
SCALE 1:100
12noon 21ST JUNE

LEGEND:
21ST JUNE
EXISTING
PROPOSED

No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

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C AND A PARISI		SHADOW ELEVATION		A2
PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE		SCALE: 1:100	SHEET No :	
ADDRESS : 23 HAY STREET COLLAROY NSW 2097		DATE: 10.06.2021	DA15	
DP 10648 LOT 36 SEC 12		REV: A	JOB: 41/20	

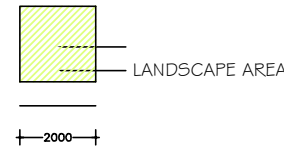
DESIGN DATA

LANDSCAPE AREA

SITE AREA = 687.5m2

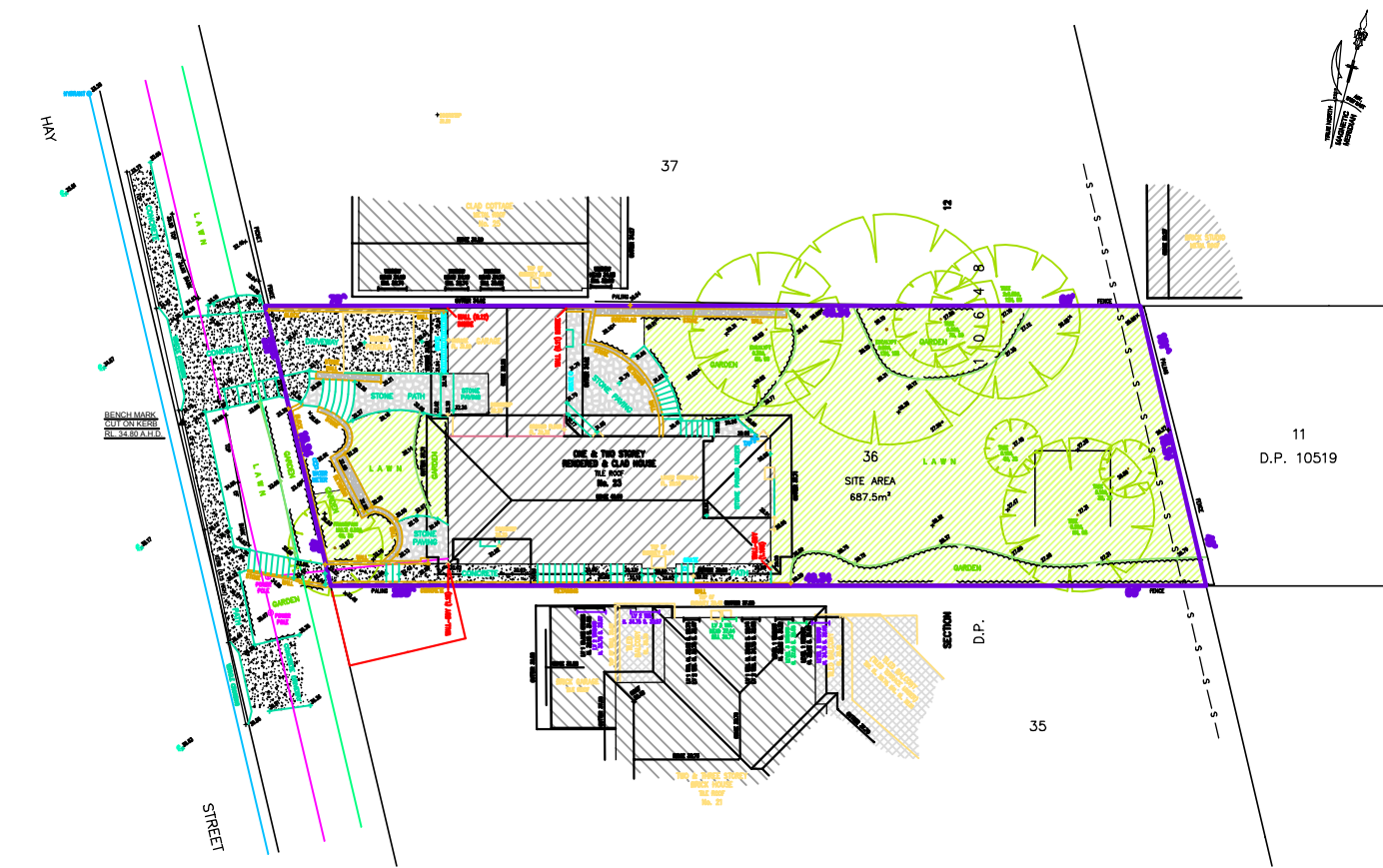
EXISTING = 388m2 = 56.43%

LEGEND:



EXISTING
SITE PLAN

SCALE 1:400



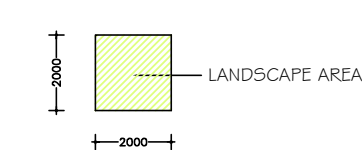
DESIGN DATA

LANDSCAPE AREA

SITE AREA = 687.5m2

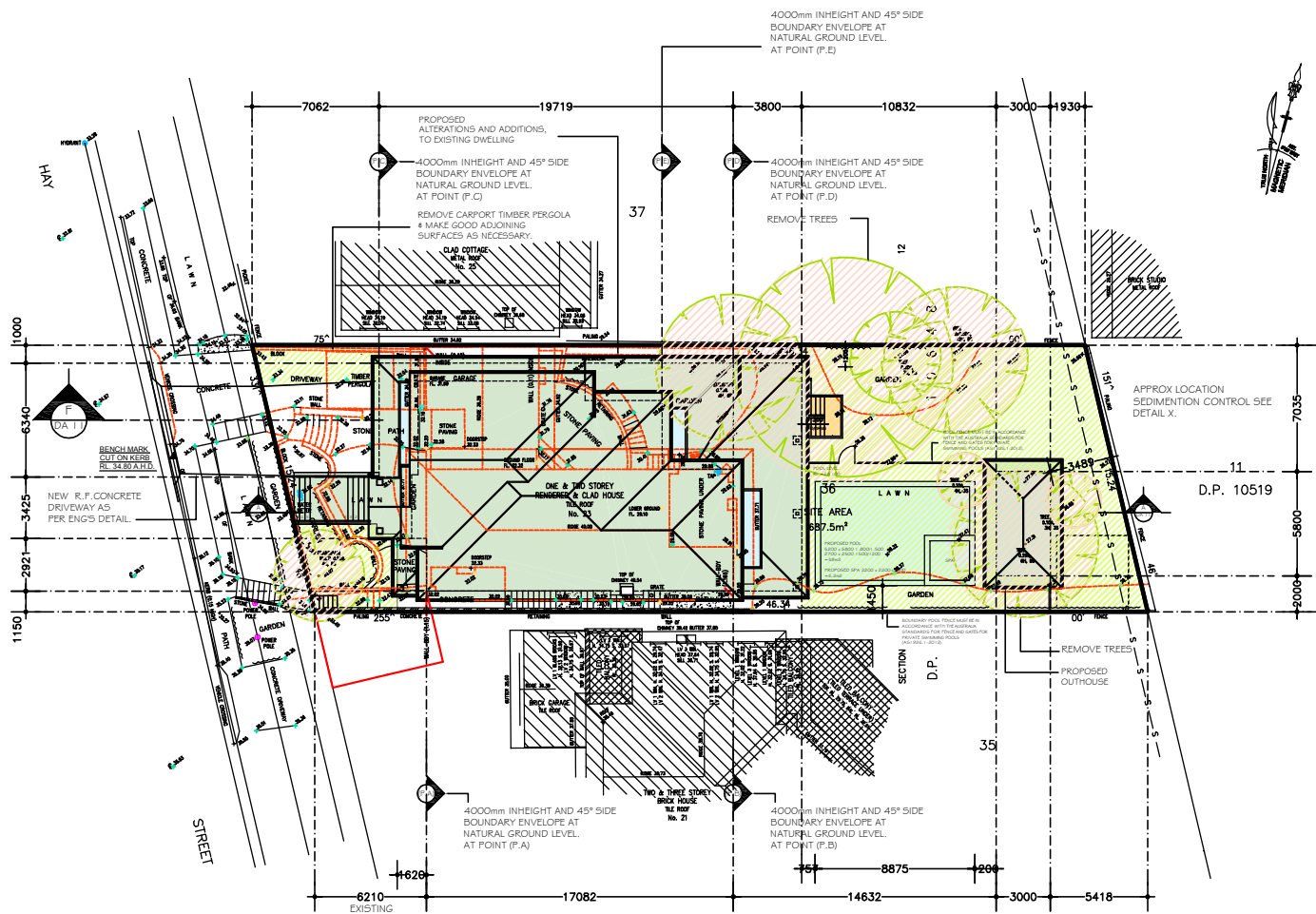
PROPOSED = 275.6m2 = 40.08%

LEGEND:



PROPOSED
SITE PLAN

SCALE 1:400



No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	SF

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C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL
TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET
COLLAROY NSW 2097

DP 10648
LOT 36
SEC 12

SITE CALCULATION

SCALE: 1:200

DATE: 10.06.2021

REV: A

JOB: 41/20

DA16

A2

EXTERNAL COLOURS AND FINISHES

ROOF
ASPHALT ROOF SHINGLES



FASCIA AND GUTTERS
FACSCIA ,GUTTER AND DOWNPIPES



WINDOWS/DOORS

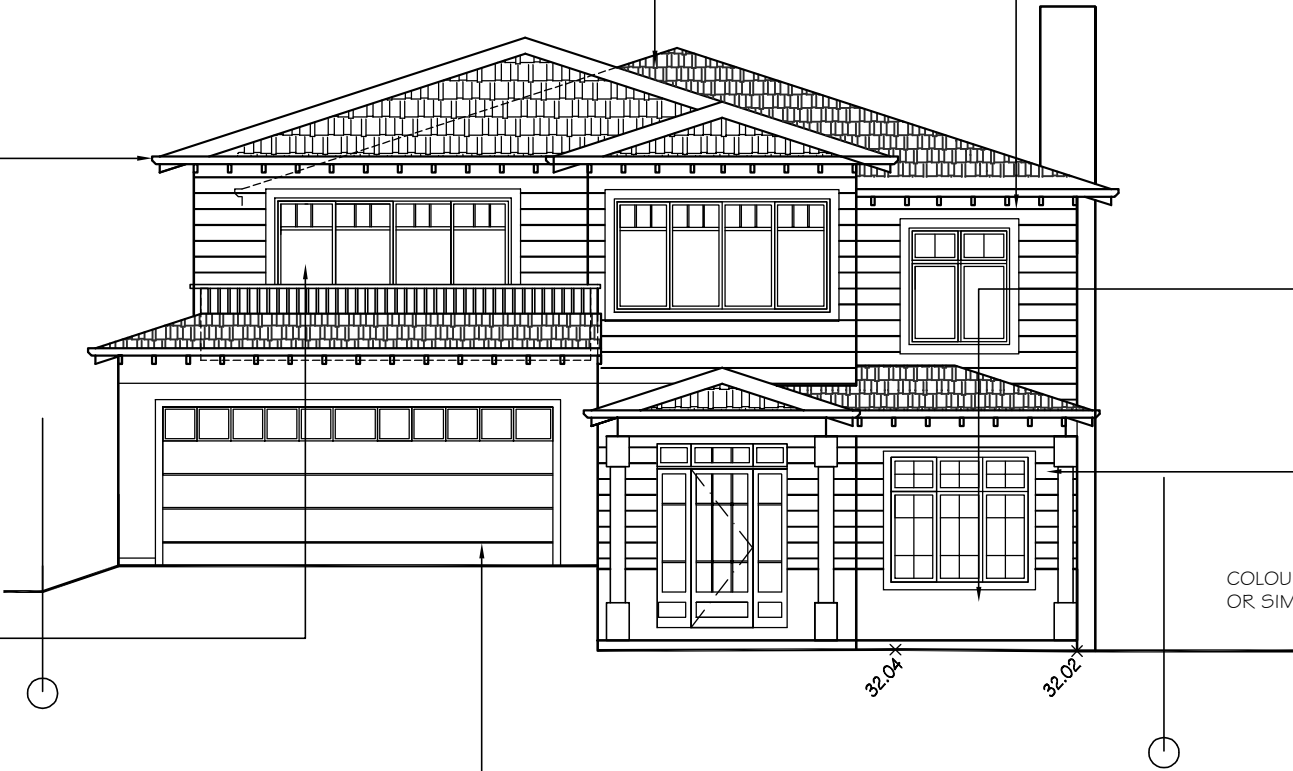


GARAGE DOOR



PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR

PROPOSED
WEST ELEVATION
SCALE 1 : 1 0 0



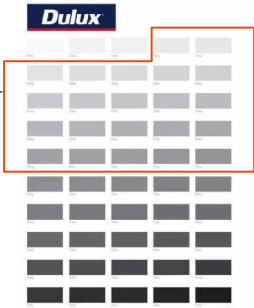
WALL
WEATHERBOARD



WALL
SANDSTONE



WALL
COLOURS



PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR

EXTERNAL COLOURS AND FINISHES

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET
COLLAROY NSW 2097

DA17

SHEET No :
SCALE: 1 : 1 0 0
DATE: 1 0 . 0 6 . 2 0 2 1
REV: JOB: 4 1 / 2 0

DP 1 0 6 4 8
LOT 3 6
5 EC 1 2

Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

Sammy Fedele
abn 36 627 664 311

REAR YARD

FRONT YARD

REAR YARD

Maintenance Period: A twelve month maintenance period shall be undertaken by owner & shall include, but not be limited to weeding , mowing, fertilising & watering plants & lawns to maintain optimum growing conditions.



