

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A422366

Pool and Spa

The applicant must install a rainwater tank of at least 5950 litres on the site. This rainwater tank must meet, and be installed in accordance

The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 59 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

Outdoor spa

The spa must not have a capacity greater than 6.3 kilolitres.

The spa must have a spa cover.

The applicant must install a spa pump timer.

The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.

Fixtures and systems

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal dad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
flat ceiling, pitched roof	œiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70
raked ceiling, pitched/skillion roof: framed	œiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70

RAIN WATER TANKS.

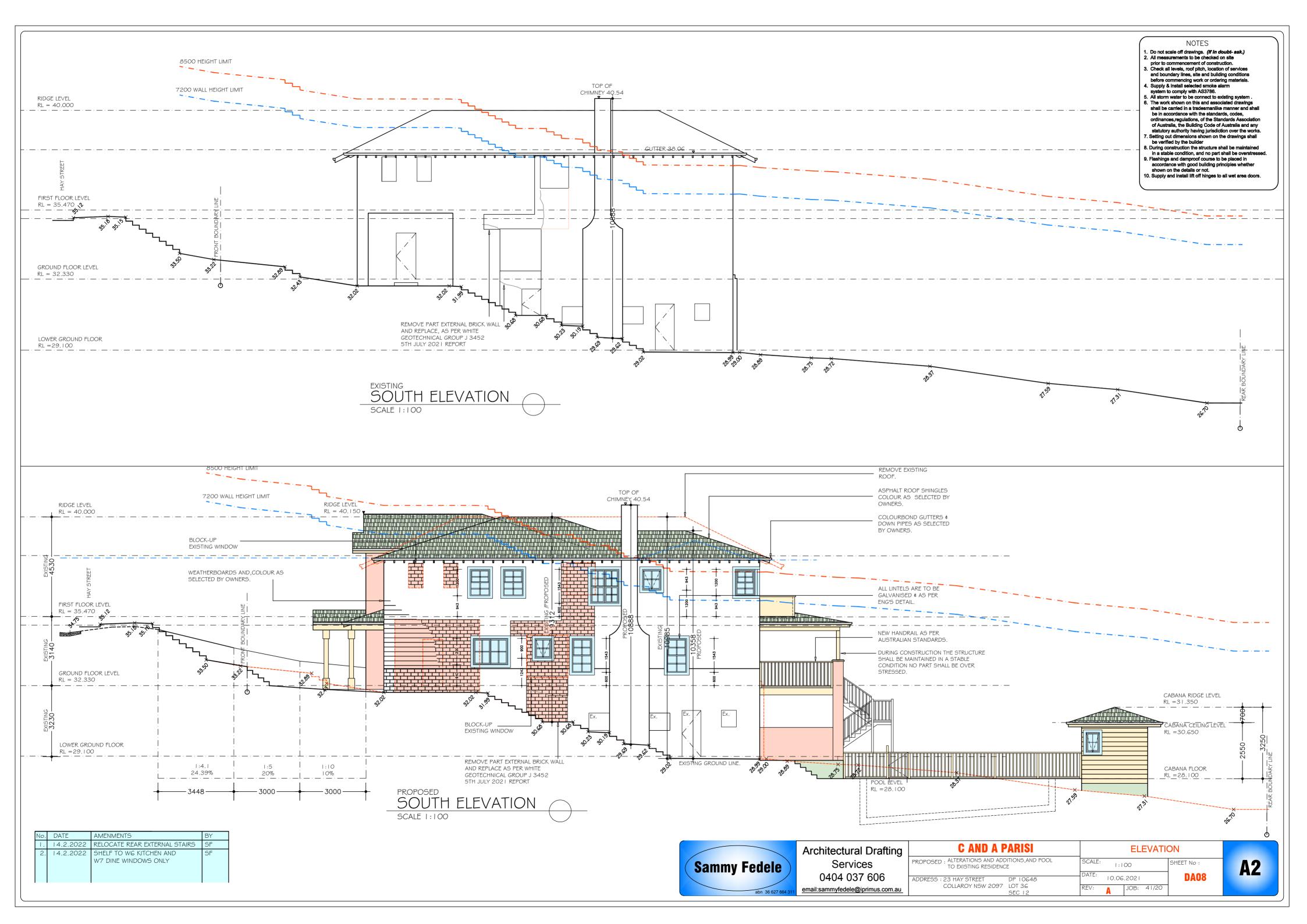
Window / door	Orientation				Shading device	Frame and glass type	
no.		glass inc. frame (m2)		Distance (m)			
W1	N	1.07	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W2	S	0.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W3	N	1.08	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W4	N	1.02	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W5	N	1.88	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W6	N	4.8	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W7	N	4	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W8	S	1.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W9	S	1.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W10	S	0.67	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W11	S	1.88	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W12	W	3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W13	N	3.32	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	

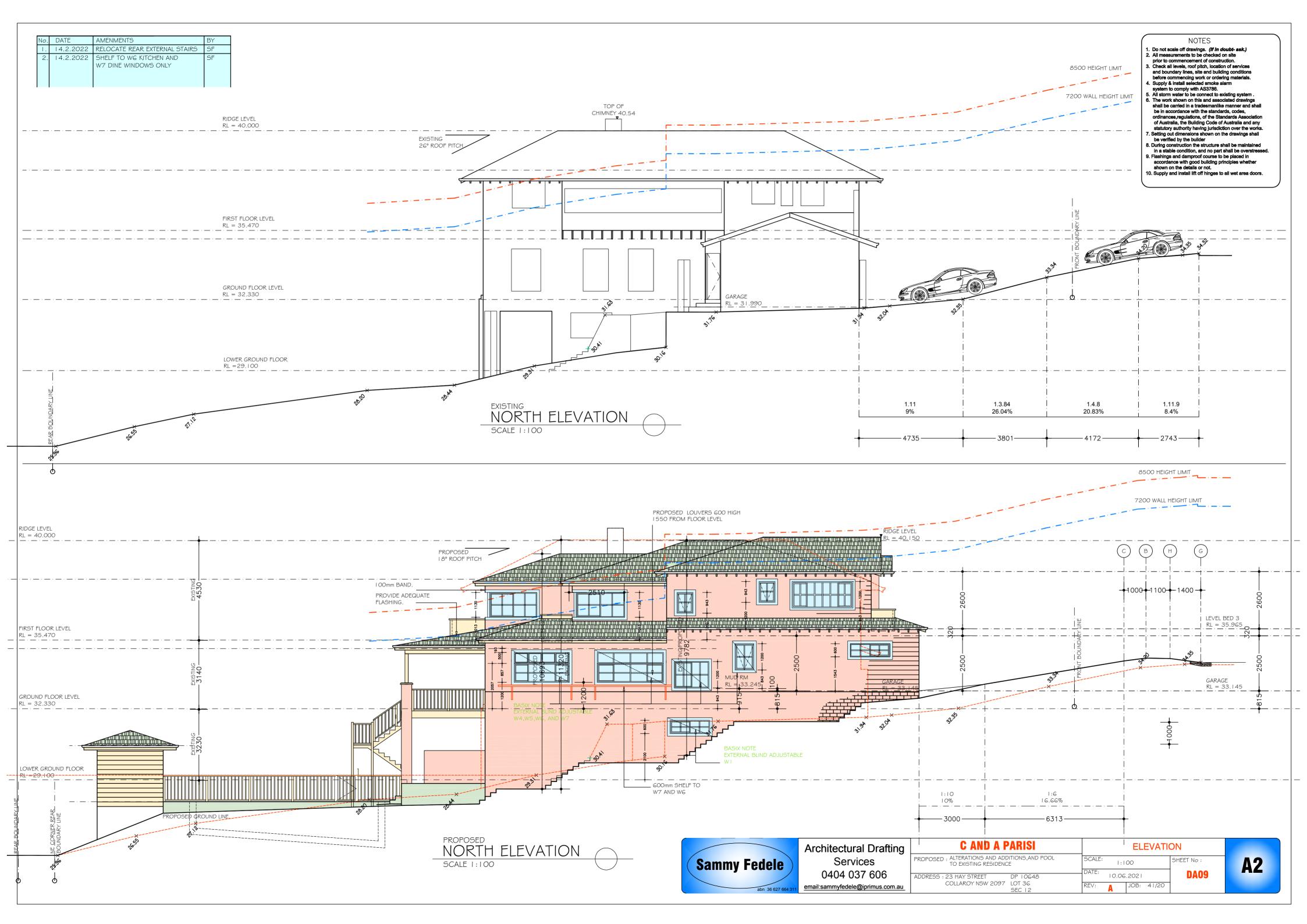
Window/ door	Orientation	Area of	Overshad	dowing	Shading device	Frame and glass type
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
D11	W	6.7	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

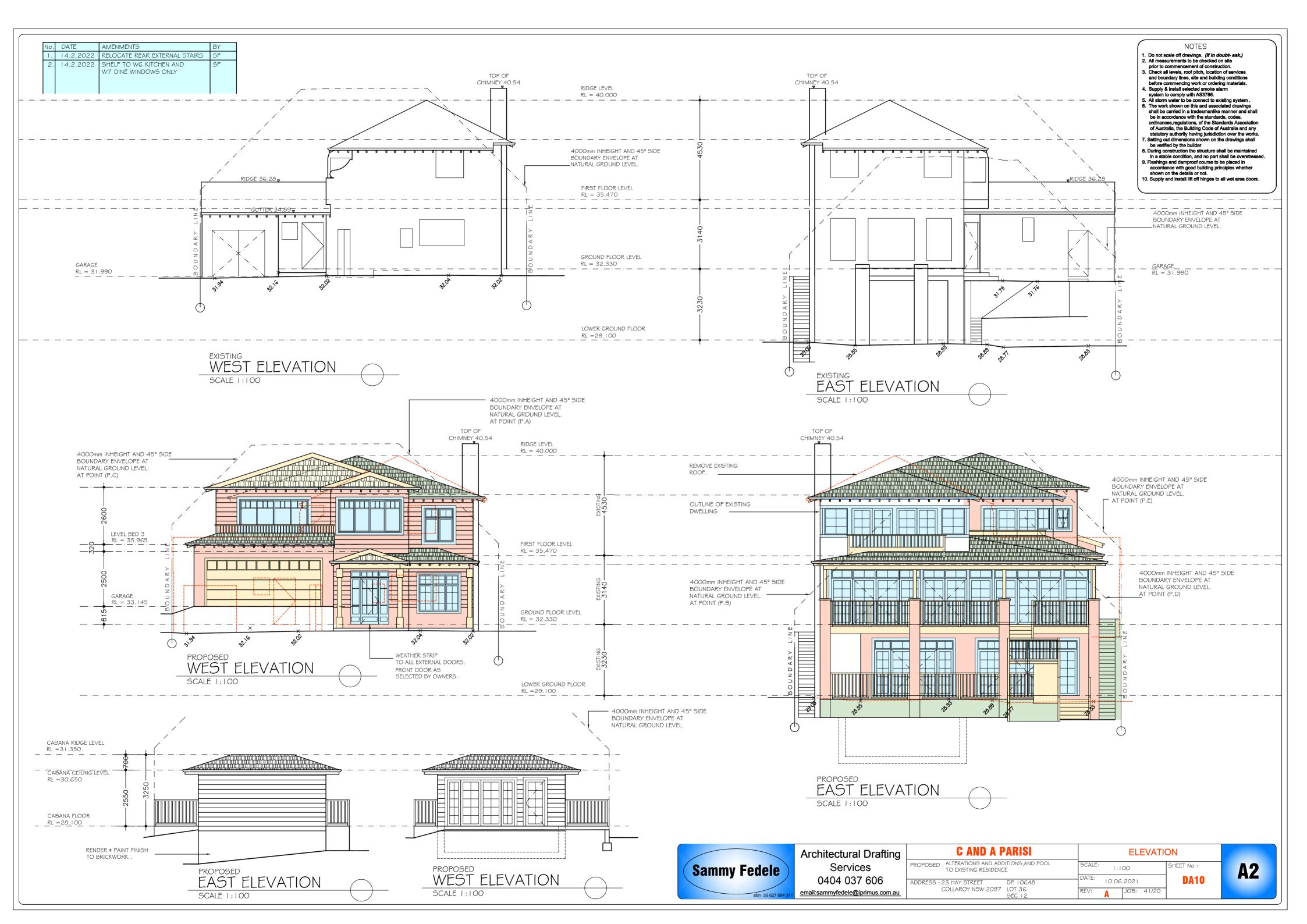
Window / door	Orientation	Area of	Oversha	dowing	Shading device	Frame and glass type	
no.		glass inc. frame (m2)	Height (m)	Distance (m)			
W14	N	0.68	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W15	N	0.68	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W16	E	0.57	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W17	N	2.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W18	N	2.5	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W19	E	0.51	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W20	E	1.3	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W21	E	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W22	E	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W23	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W24	S	0.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W25	S	2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W26	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	

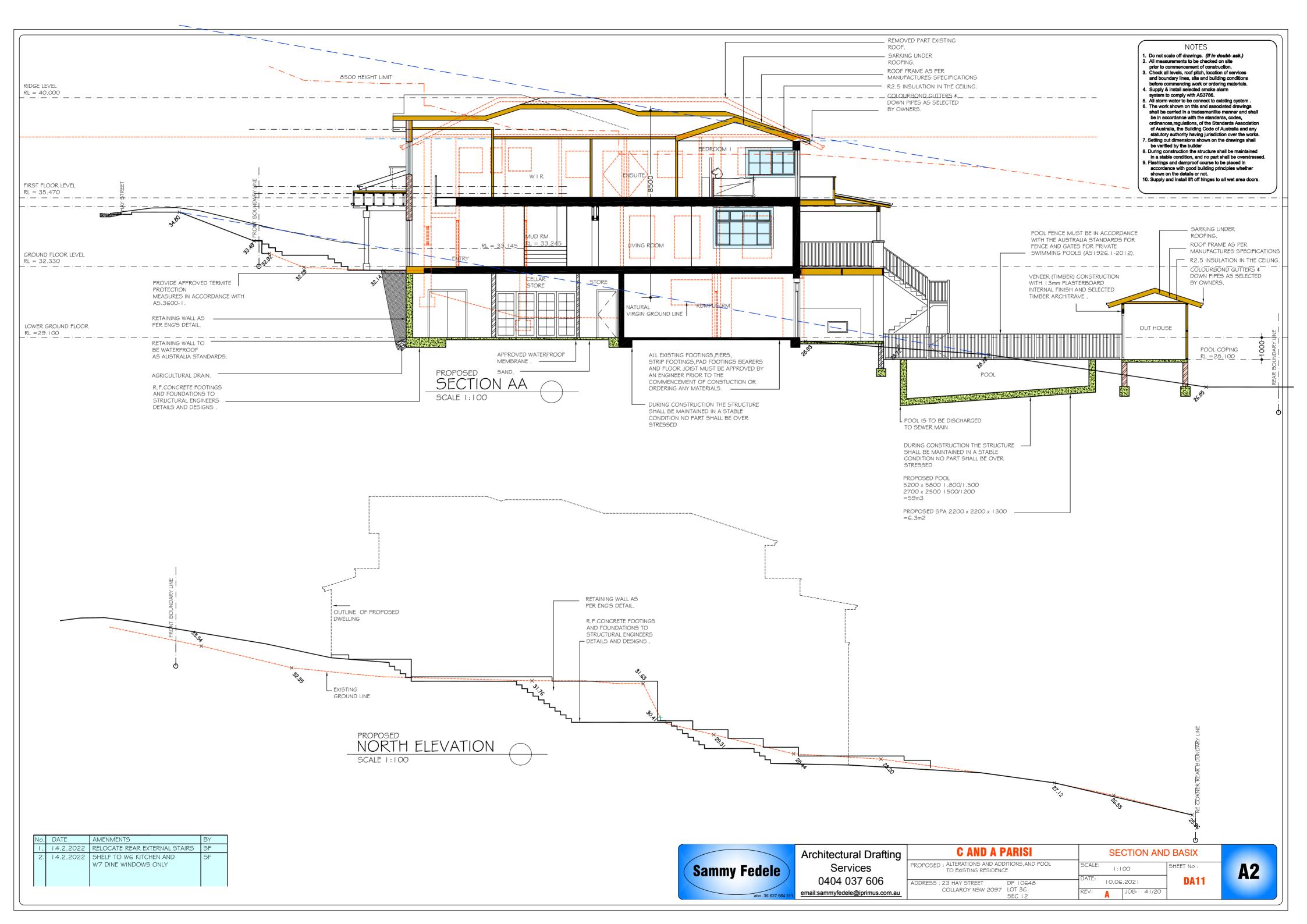
Window / door Orientation Area of Overshadowing		Shading device	Frame and glass type			
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
W27	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	W	2.05	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W29	W	4.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	N	11.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	N	9.07	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D3	W	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	E	11	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D5	E	8	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D6	E	10.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D7	W	4.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D8	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D9	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D10	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

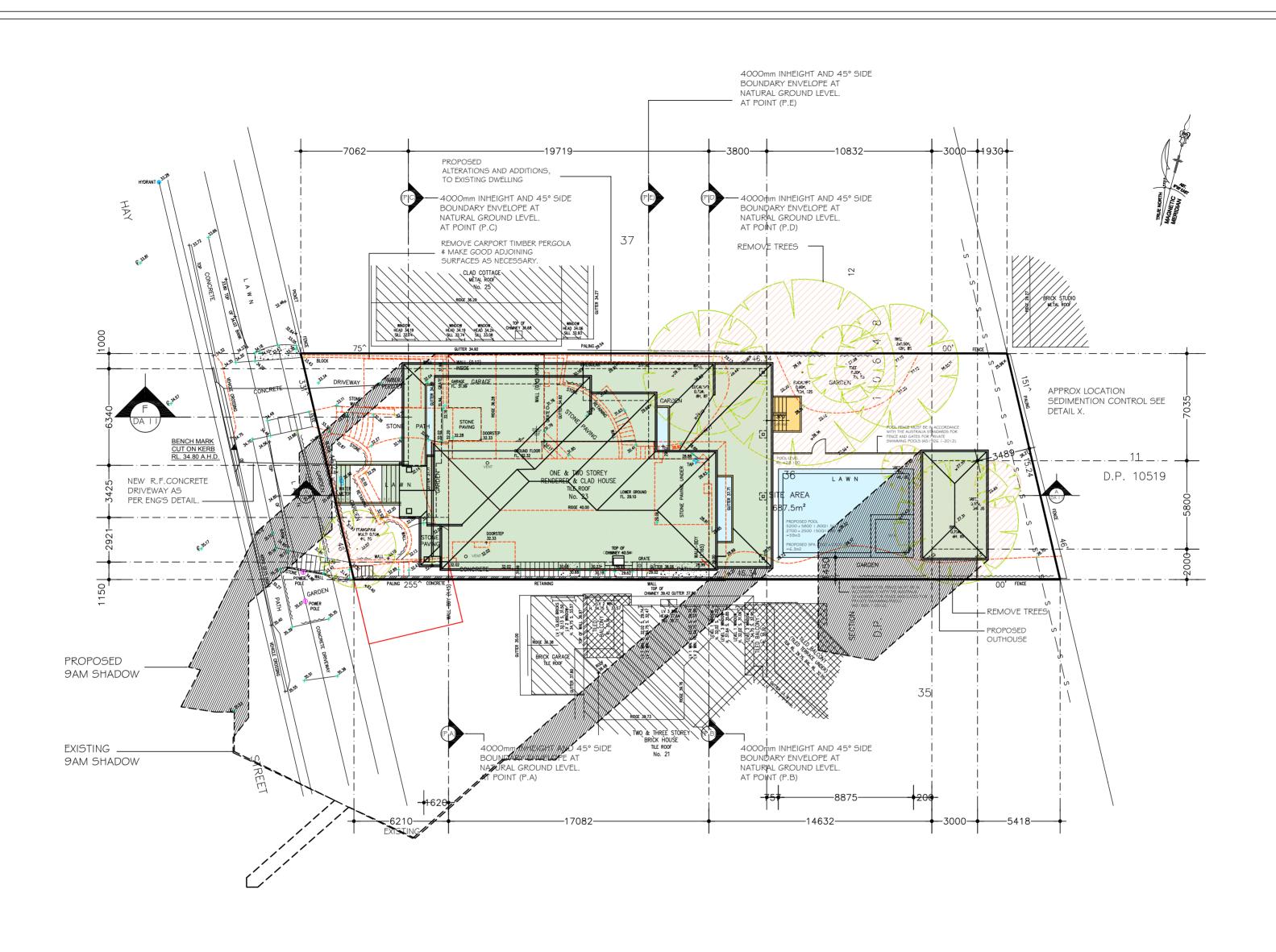
=	C AND A PARISI	PROPOSED: ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE	ADDRESS: 23 HAY STRFFT DP 10648
	Architectural Drafting	Services	0404 037 606
		Sammy Fedele	











LEGEND: 21ST JUNE

9AM SHADOW ___

12NOON SHADOW

3PM SHADOW

SHADOW PLAN 9AM JUNE 21ST

SCALE 1:200

Sammy Fedele
abn 36 627 664 31

Architectural Drafting Services 0404 037 606 email:sammyfedele@iprimus.com.au

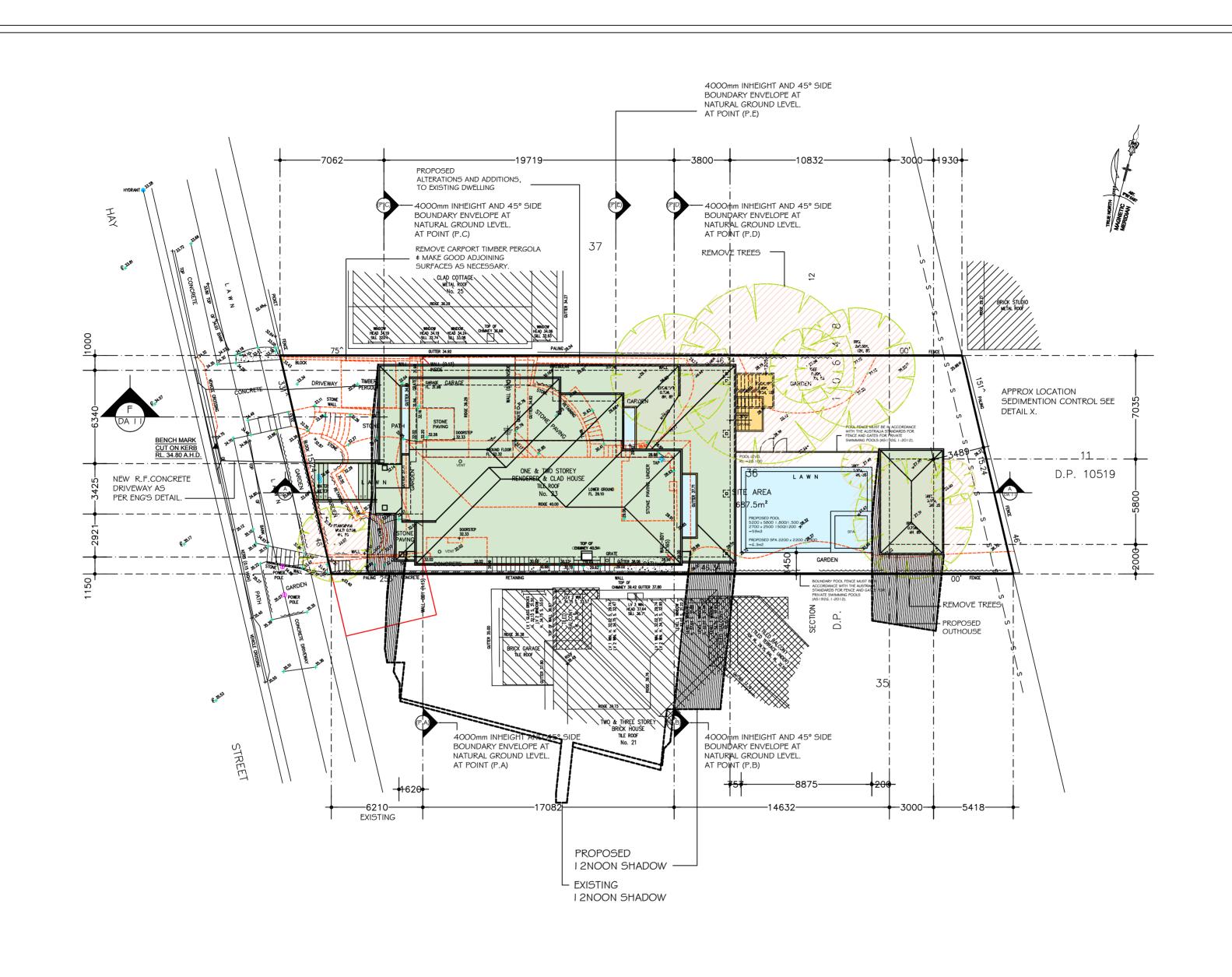
C AND A PARISI	SHADOW PLAN			
PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE	SCALE: 1:200 SHEET NO			
ADDRESS: 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12	REV: A JOB: 41/20			



AMENMENTS

14.2.2022 RELOCATE REAR EXTERNAL STAIRS 14.2.2022 SHELF TO WG KITCHEN AND W7 DINE WINDOWS ONLY

DA12



LEGEND:

21ST JUNE

9AM SHADOW

12NOON SHADOW

3PM SHADOW

No. DATE AMENMENTS BY

1. 14.2.2022 RELOCATE REAR EXTERNAL STAIRS SF

2. 14.2.2022 SHELF TO WG KITCHEN AND W7 DINE WINDOWS ONLY

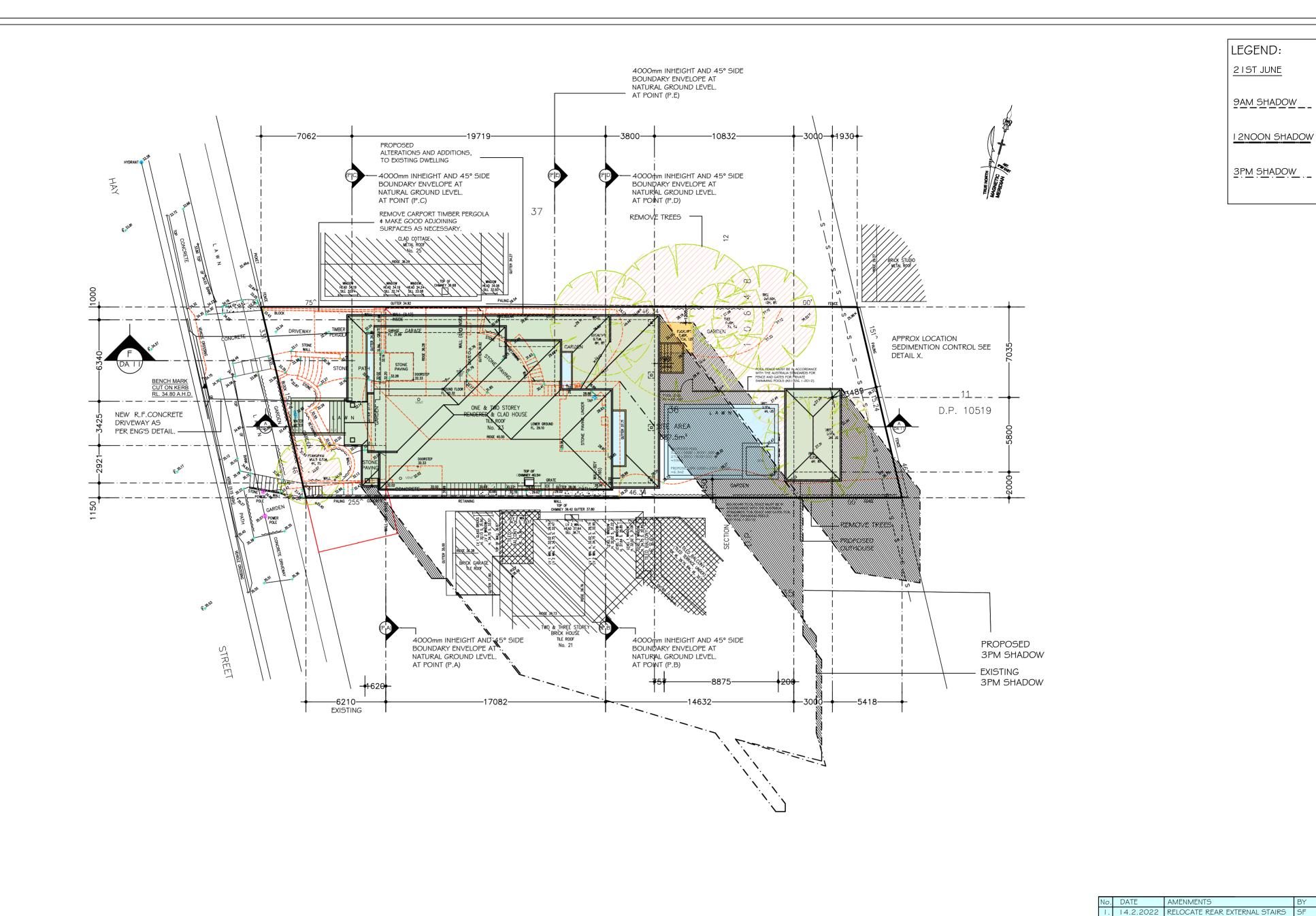
A2

SHADOW PLAN 12NOON JUNE 21ST SCALE 1:200

Sammy	Fedele
	abn 36 627 664 311

Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

C AND A PARISI	SHADOW PLAN
POSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE	SCALE: 1:200 SHEET No:
RESS: 23 HAY STREET DP 10648	REV: A JOB: 41/20



PROPOSED SHADOW PLAN 3PM JUNE 21ST

SCALE 1:200

	Architectural Drafting
Sammy Fedele	Services
Gammy 1 Gabie	0404 037 606
abn 36 627 664 311	email:sammyfedele@iprimus.com.au

Architectural Drafting Services 0404 037 606

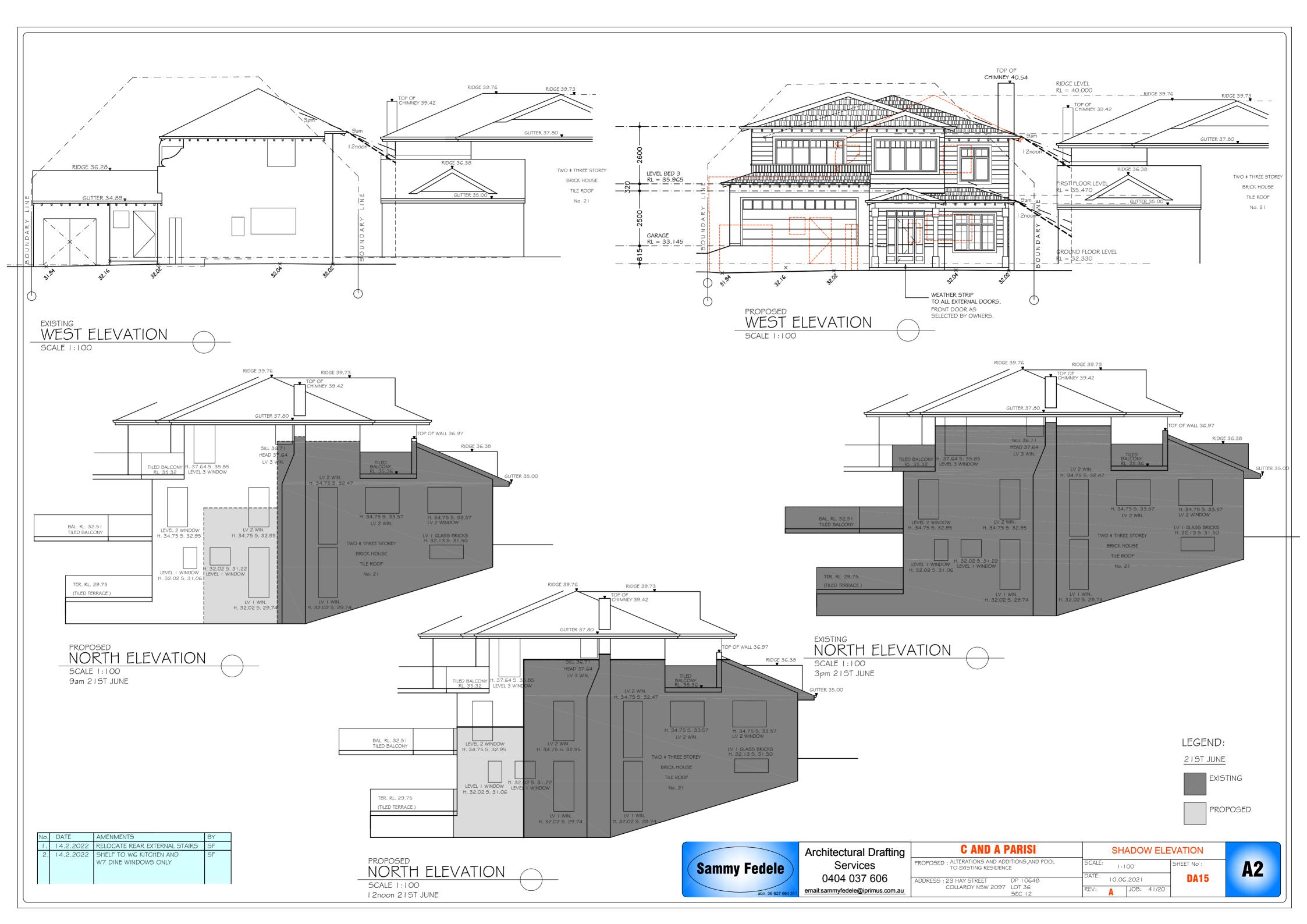
C AND A PARISI	SHADOW PLAN
PROPOSED: ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE	SCALE: 1:200 SHEET No:
ADDRESS: 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36	DATE: 10.06.2021 DA1

A2

14.2.2022 SHELF TO WG KITCHEN AND W7 DINE WINDOWS ONLY

DA14

Sammy Fedele

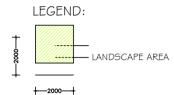




LANDSCAPE AREA

SITE AREA = 687.5m2

EXISTING = 388m2 = 56.43%





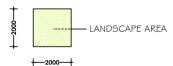
DESIGN DATA

LANDSCAPE AREA

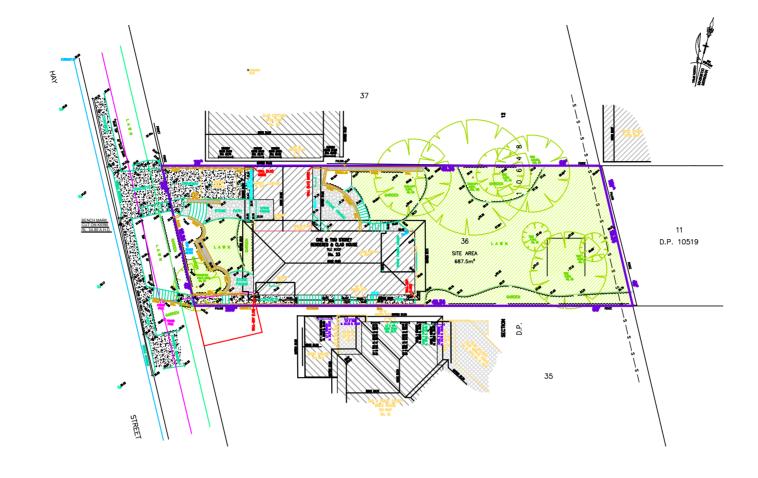
SITE AREA = 687.5m2

PROPOSED = 275.6m2 = 40.08%

LEGEND:







7062 PROPOSED ALTERATORS AND ADDITIONS, TO DOSTING OPELINA, THE ACCOUNT INFECT AND AST SIDE BOUNDARY ENVELORE AT NATURAL GROUND LEVEL AT POINT (F.C) REMOVE CAPPORT TRUBER PERSOLA IN MACE COOD ADDITIONS SURFACES AS INCESSARY. OUR OTHER. 19719 19719 19 10 10 10 10 10 10 10 10 10 10 10 10 10	AOOOmin INHEIGHT AND 45° SIDE BOUNDARY ENVELOPE AT NATURAL GEOLIND LEVEL. AT POINT (P.E) 10832 3000 10832 3000 1930 HONDARY ENVELOPE AT NATURAL GEOLIND LEVEL. AT POINT (P.D) REMOV_TREES
BENCHMARK GOT CONCRETE DRIVENAY AS FER ENGS DETAIL THE STATE OF THE S	APPROX LOCATION SERDIMENTION CONTROL SEE 100 Miles and the service of the service
4000mm RREDIGHT AND 45° SIDE ROOK ROOK ROOK ROOK ROOK ROOK ROOK ROO	4000mm INHEIGHT AND 45° SIDE BOUNDARY ENVELORE AT INATURAL GROUND LEVEL. AT FORM (F.B.) 8875 14632 3000 5418

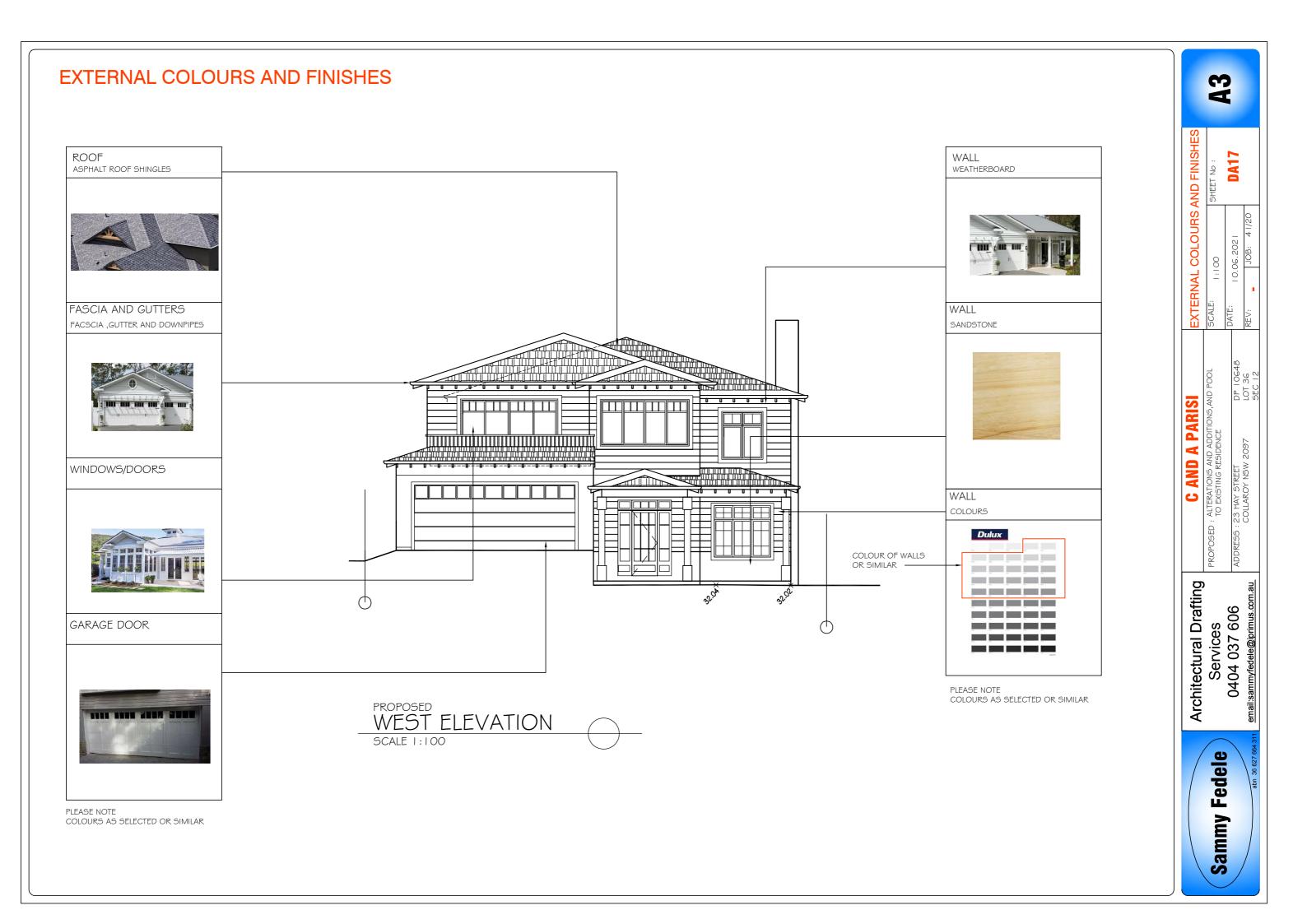
No.	DATE	AMENMENTS	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	SF
2.	14.2.2022	SHELF TO WG KITCHEN AND W7 DINE WINDOWS ONLY	SF



Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

C AND A PARISI	SITE CALCULATION
OPOSED: ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE	SCALE: 1:200 SHEET No:
DRESS: 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12	DATE: 10.06.2021 DA16 REV: A JOB: 41/20





		PLANTI	NG SCHEDULE							
		NEW T	REE AND SHRUBS							
		SYMBOL	BOTANICAL NAME	COMMON NAME	NUMBER	LOCATION	SIZE	STAKING	MATURE HT	SPREAD
FRONT YARD	>	LP	SYZGIUM "BIG RED"	LILLY PILLY	3	SOUTH BOUNDARY	200mm	NIL	2 - 4 Metres	2-2.5 Metres
		BS	BUXUS SEMPERVIRENS	ENGLISH BOX	7	NORTH DRIVEWAY	200mm	NIL	Im	l m
REAR YARD	\geq	LP	SYZGIUM "BIG RED"	LILLY PILLY	13	SOUTH/NORTH BOUNDARY	200mm	NIL	2 - 4 Metres	2-2.5 Metres
NLAN TAND										

	LEGE	END					
	SYMBOL	DIAGRAM	PICTURE		SYMBOL	DIAGRAM	PICTURE
YAKD	P5			YARD	PS		
L L DY L	BS	+		REAR Y			

NOTES

Landscape Notes-guides only

Initial Preparation: Vertify all dimensions \$ levels on site prior to commencement. Do not scale from drawings. Locate all under ground \$ above ground services \$ ensure no damage occurs to them though out contract. Spray approved weedicide to all proposed lawn \$ garden areas to manufacturer's directions. Removes existing concrete pathways, footings, walls etc, not notated to be retained \$ weeds from site. Rotary hoe all proposed lawn \$ garden areas incorporation minimum I OOmm depth or organic clay breaker. Excavate, or fill with approved topsoil to gain required shape \$ levels. All levels 7 surface drainage shall be determined by others \$ apporoved on site by head contractor.

Lawn Edging: Install I 25 x 30 mm approved tanalith impregnated pine edging to lines as indicated 7 secure approved stakes at maximum I 500mm centres, nailed to edging with approved nails. Top of edging shall finish flush with surrounding surfaces.

Planting: Purchase plants from an approved nursery, Plants to be healthy \$\psi\$ true to type \$\psi\$ species. Set out plants to position indicated on plans. Plant \$\psi\$ fertilise to horticultural standards. Water plants immediately after planting. Stake all trees using 2 x 25mm x 25mm x 200mm long hardwood stakes as per plant \$\psi\$ with hessian webbing ties. Climbers shall be trained on to approved wire trellis.

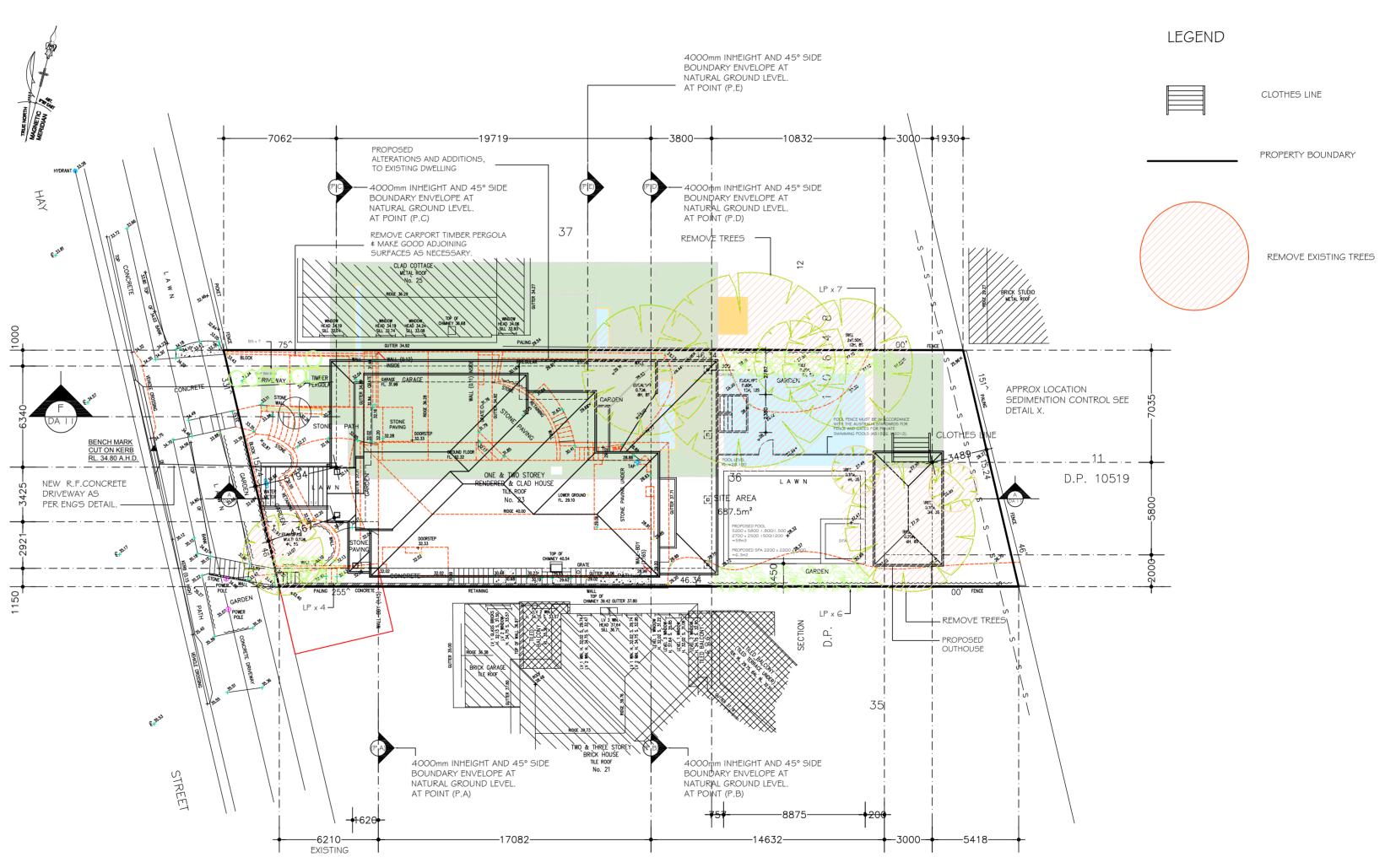
Mulching: Install 75mm depth of 25mm diameter pinebark mulch to all garden areas, coving mulch down around plant stem \$ to finish flush with adjacent surfaces.

<u>Turfing:</u> Prepare for, level \$ lay BUFFALO turfs to all areas of nominated on plan as being lawn. Roll, water, fertilise, mow \$ maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawn in shade shall be over sown with approved seed mix.

<u>Clotheslines:</u> Install clothesline type shall be equal to "Hills Paraline".

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Council's landscape code \$\psi\$ quidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner \$ shall include, but not be limited to weeding, mowing, fertilising \$ watering plants \$ lawns to maintain optimum growing conditions.



PROPOSED
CONCEPT LANDSCAPING PLAN
SCALE 1:200

Sammy Fedele

Archi
04

Architectural Drafting Services 0404 037 606 email:sammyfedele@iprimus.com.au C AND A PARISI

PROPOSED: ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE

ADDRESS: 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
REV:

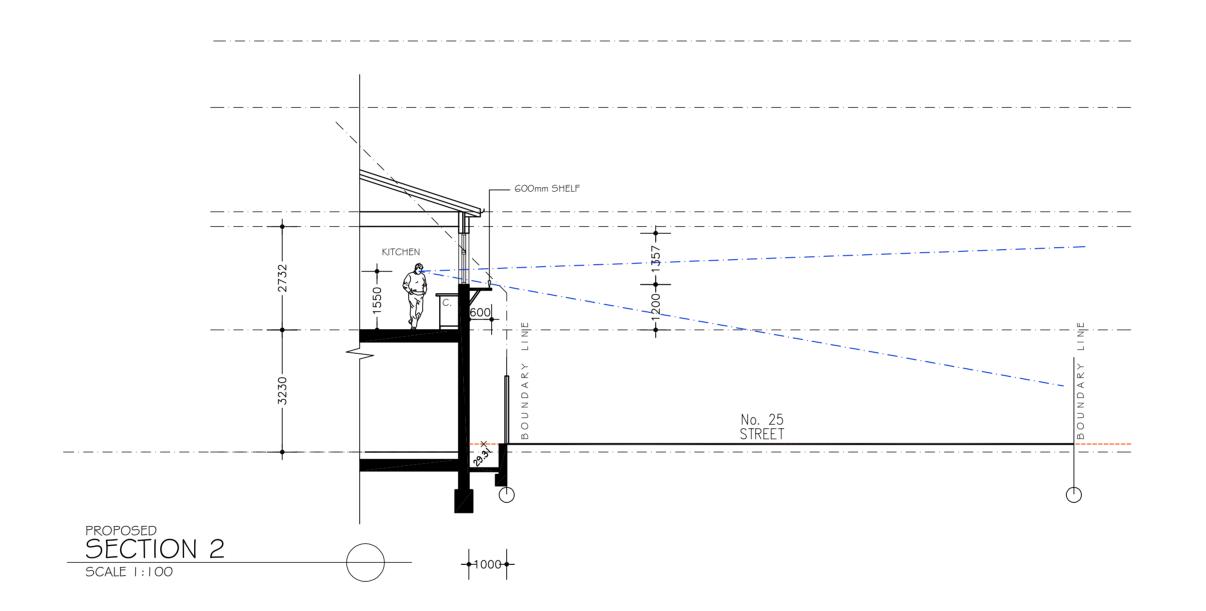
DA18 A2

PLAN

JOB: 41/20

1:200

10.06.2021



C AND A PARISI	SHADOW ELEVATION			
PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE	SCALE: SHEET No :			
ADDRESS: 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12	REV: _ JOB: 41/20 DA19			

A2