




Reference number 4599

Member of the Fire Protection Association of Australia

Lot 2, DP 1225869, 35A Queens Avenue, Avalon Beach, NSW 2107.

Friday, 16 February 2024

Prepared and certified by:	Matthew Willis <i>BPAD – Level 3 Certified Practitioner</i> Certification No: BPD-PA 09337		16/02/2024
Can this proposal comply with AS3959-2018 (inc section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019)?	Yes		
What is the recommended AS 3959-2018 level of compliance?	BAL-19 and BAL-12.5		
Is referral to the RFS required?	No		
Can this development comply with the requirements of PBP?	Yes		
Plans by "Raymon and Williams Design and Construct" (Appendix 1) dated.	10/1/24		

© This document is copyright. It is a breach of copyright for this document to be used to support a development application or any other purpose for any persons/entities other than those for whom this document was prepared. Other than for the purpose for which this document has been prepared and subject to conditions prescribed under the Copyright Act no part of this document may in any form nor by any means be reproduced or stored in a retrieval system or transmitted without the prior written permission of the company (Bushfire Planning Services Pty Ltd ACN 115 714 826).



Bushfire Planning Services

15 Parkcrest Place

Kenthurst NSW 2156

02 96543228

0428408577

mattw@bushfireconsultants.com.au

Bushfire Risk Assessment

Friday, 16 February 2024

Contact

Daniel Raymond

Specialist Architectural Services

13 Bilambee Ave

Bilgola Plateau NSW 2107

0409 369 275

Subject Property

Lot 2, DP 1225869

35A Queens Avenue

Avalon Beach NSW 2107

BUSHFIRE RISK ASSESSMENT CERTIFICATE

THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT.

Property Address	Lot 2, DP 1225869, number 35A Queens Avenue Avalon Beach
Description of the Proposal	Construction of a new dwelling
Plan Reference	10/1/24
BAL Rating	BAL-19 and BAL-12.5
Does the Proposal Rely on Alternate Solutions?	No

I, Matthew Willis of Bushfire Planning Services Pty Ltd have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Planning for Bushfire Protection 2019 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby advise, in accordance with Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements*

*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2019.

REPORT REFERENCE	<i>Friday, 16 February 2024</i>
REPORT DATE	<i>Friday, 16 February 2024</i>
CERTIFICATION NO/ACCREDITED SCHEME	<i>FPAА BPAD A BPD-PA 09337</i>

Attachments:

- Bushfire Risk Assessment Report
- Recommendations

SIGNATURE: ---  ----- **DATE:** -----Friday, 16 February 2024

Contents.

1	Executive Summary.	5
2	General.	6
3	Block Description.	6
4	Vegetation.	8
5	Known constraints on subject block.	10
6	Slope.	10
7	Utilities.	11
7.1	Water.	11
7.2	Electricity	11
7.3	Gas	11
8	Access/Egress.	11
9	Compliance with Planning for Bushfire Protection setbacks.	12
10	Siting.	12
11	Construction and design.	13
12	Utilities.	13
12.1	Water.	13
12.2	Electricity and Gas.	15
13	Asset Protection Zone (APZ).	15
14	Landscaping.	15
15	Constraints on the subject block.	16
16	Access/Egress.	16
17	Compliance or non compliance with the specifications and requirements for bushfire protection measures.	16
18	Conclusions.	17
19	References.	19
20	Appendix 1 - Plans .	20

1 Executive Summary.

Bushfire Planning Services has been requested by Daniel Raymond from Specialist Architectural Services to supply a bushfire compliance report on lot 2, DP 1225869, 35A Queens Avenue, Avalon Beach.

The works proposed for the subject lot are for the construction of a new dwelling, see attached plans for details.

The subject lot is on the south-western side of Queens Avenue and at its closest point to the mapped hazard the proposed new work has a separation distance to the west of approximately 55m.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes down slope away from the property at an angle of approximately 8.66°.

For the purposes of this assessment this vegetation is considered to be Forest.

The remaining vegetation within the study area is contained within the boundaries of established allotments and is managed land and of low threat to this proposal.

The calculations and assumptions outlined in this report show that the development will be required to comply with the construction requirements of AS 3959-2018 BAL-19 on its exposed northern, western and southern aspects, and BAL-12.5 on the eastern aspects and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

The following table is a summary of the pertinent findings of this assessment.

Aspect	North	East	South	West
Vegetation type	Managed land	Managed land	Managed land	Managed land/forest
Slope	N/A	N/A	N/A	5-10 degrees downslope
Setback within lot 2	N/A	N/A	N/A	6.5m
Setback outside lot 2	N/A	N/A	N/A	48.5m
Total setback	N/A	N/A	N/A	55m
Bal level	N/A	N/A	N/A	BAL-19

Note: The above table is a summary of the significant variables used to determine the highest BAL for this proposal. THIS TABLE IS NOT INTENDED FOR CONSTRUCTION! Only the highest BAL level is shown, aspects marked as N/A will still have a BAL. Refer to section 11 for construction requirements for these other aspects.

2 General.

This proposal relates to the construction of a new dwelling on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2019 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in *blue italics* is quotes from Planning for Bushfire Protection 2019. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

3 Block Description.

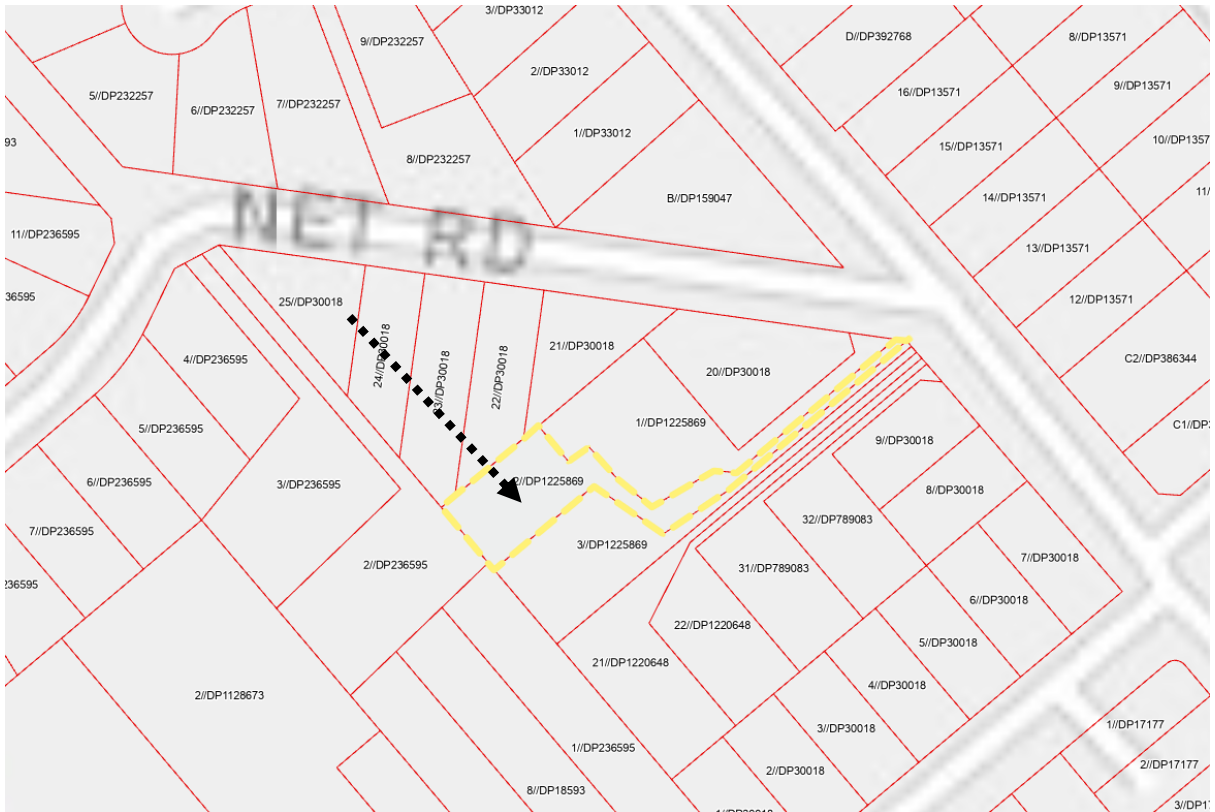
The subject block is situated on the south-western side of Queens Avenue in an established area of Avalon Beach.

The lot is currently vacant.

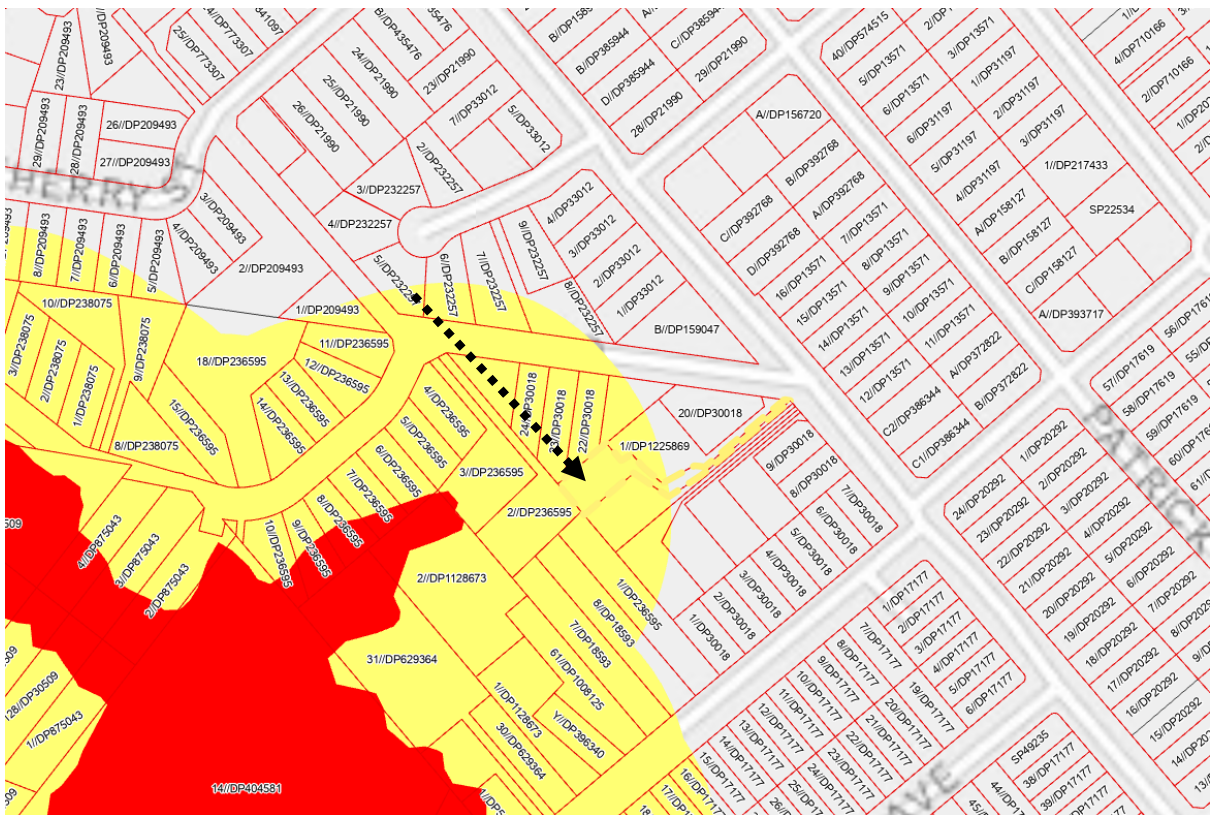
The lands surrounding the proposed site on the subject lot to a distance of at least 55m contain existing development or land that is otherwise not considered to be a significant bushfire hazard.

- Lot; 2
- DP; 1225869.
- LGA; Northern Beaches.
- Area; 955.
- Address; 35A Queens Avenue, Avalon Beach.

This section has been left blank.



Map 1 shows the cadastral layout around the subject lot.



Map 2 is an extract from the council's bushfire prone land map. The map shows lot 2 to be within the buffer zone of category 1 bushfire vegetation.

4 Vegetation.

The study area for the vegetation is 140m surrounding the subject block.

The vegetation within the study area for this development is considered to be largely managed land.

The major potential hazard to this development is the vegetation within an area of undeveloped land to the west.

For the purpose of this assessment and compliance with Planning for Bushfire Protection this area of undeveloped land is considered to be Forest and is the hazard to this proposal.



Photo 1 - An overview of the vegetation within the general area.

This area has been left intentionally blank.



Photo 2 is a closer view of the vegetation in the area.

Table 1 outlines the vegetation orientation and distance from the development area.

Aspect	North	East	South	West
Vegetation type	Managed land	Managed land	Managed land	Managed land/forest
Setback within lot 2	N/A	N/A	N/A	6.5m
Off-site setback	N/A	N/A	N/A	48.5m
Total setback	N/A	N/A	N/A	55m

Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.

This area has been left intentionally blank.

5 Known constraints on subject block.

I have not been informed or know of any places of cultural or environmental significance within the boundaries of the subject block. Given the nature of the surrounding land it is considered highly unlikely that anything of significance will be affected by this development.

6 Slope.

The slope of the land beneath the hazard that is most likely to influence bushfire behaviour has been calculated by topographical map analysis to a distance of 100m from the subject lot. An extract of the topographical map for the area is shown below and the relevant slope analysis is shown in Table 2.

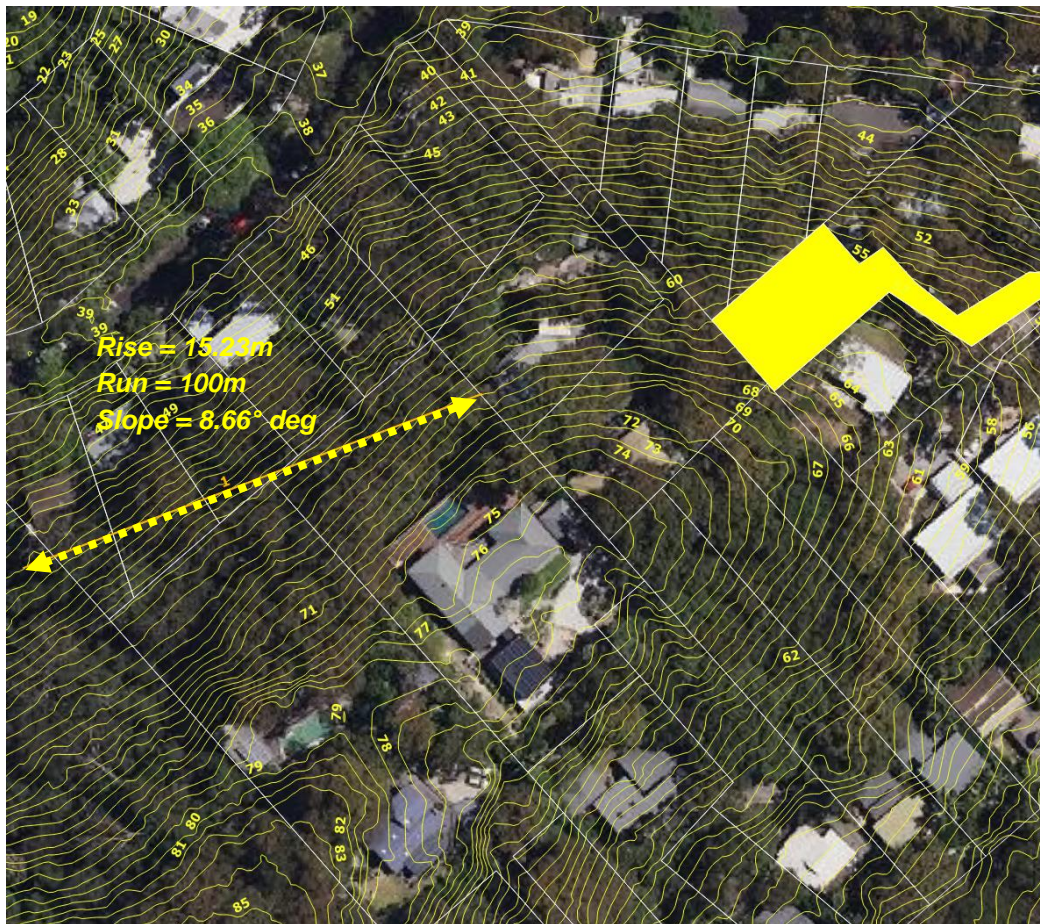


Table 2 shows the slope beneath the hazard.

Aspect	North	East	South	West
Slope	N/A	N/A	N/A	5-10 degrees downslope

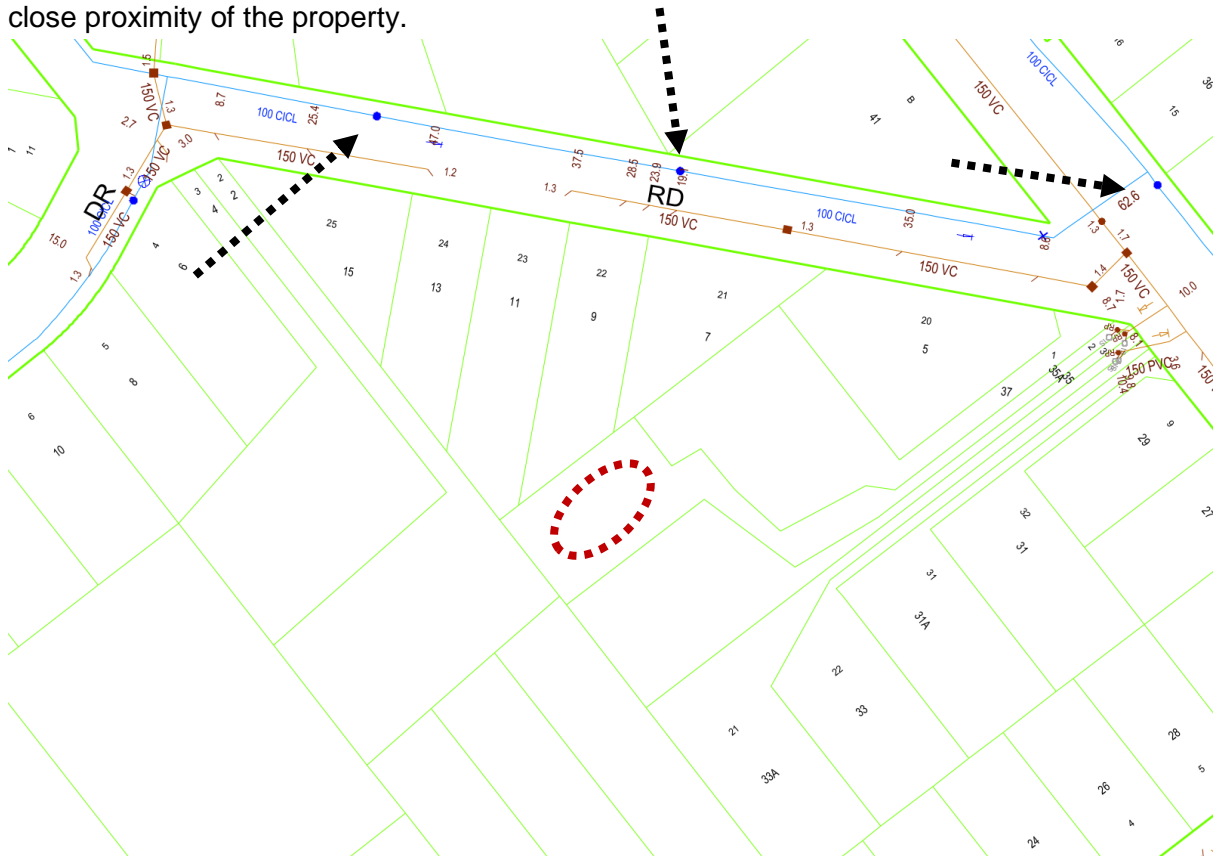
Table 2 - Any aspect marked with "N/A" in the table above indicates that it is considered there is no hazard in that direction.

7 Utilities.

7.1 Water.

The subject block will be serviced by a reticulated water supply.

The following map is an extract from Sydney waters hydrant map. Hydrants are indicated by a blue dot on a blue line. As can be seen there is at least one hydrant point indicated within close proximity of the property.



7.2 Electricity

Main's electricity is available to the block.

7.3 Gas

It is unknown if gas is to be installed in this proposal.

8 Access/Egress.

Access to the development site will be via a shared driveway from Queens Avenue.

All roads in the vicinity are considered to be capable of carrying emergency services vehicles and pedestrian access onto the lot is also considered to be adequate.

Analysis of development and recommendation.

9 Compliance with Planning for Bushfire Protection setbacks.

Based on the development design, vegetation classification, effective slope estimates and setback distance already outlined in this report the subject development will be required to comply with the deemed to satisfy construction requirements of AS 3959-2018 BAL-19 and the RFS requirements on all fire prone aspects.

The following table is an extract from table A1.12.5 of Planning for Bushfire Protection 2019. This table is used to calculate the BAL for a proposal in an area with an FDI of 100.

The variables that have already been outlined in this assessment are highlighted in red with the highest BAL highlighted in yellow.

	Keith Vegetation Formation	BUSHFIRE ATTACK LEVEL (BAL)				
		BAL-FZ	BAL-40	BAL-29	BAL-19	BAL-12.5
5-10 DEGREES DOWNSLOPE	Arid-Shrublands (acacia and chenopod)	< 6	6 -< 8	8 -< 12	12 -< 18	18 -< 100
	Forest (wet and dry sclerophyll) including Coastal Swamp Forest, Pine Plantations and Sub-Alpine Woodland	< 28	28 -< 36	36 -< 49	49 -< 65	65 -< 100
	Forested Wetland (excluding Coastal Swamp Forest)	< 12	12 -< 16	16 -< 23	23 -< 33	33 -< 100
	Freshwater Wetlands	< 5	5 -< 6	6 -< 10	10 -< 14	14 -< 100
	Grassland	< 10	10 -< 13	13 -< 20	20 -< 28	28 -< 50
	Grassy and Semi-Arid Woodland (including Mallee)	< 15	15 -< 20	20 -< 28	28 -< 39	39 -< 100
	Rainforest	< 14	14 -< 18	18 -< 26	26 -< 37	37 -< 100
	Short Heath	< 9	9 -< 12	12 -< 18	18 -< 25	25 -< 100
	Tall Heath	< 15	15 -< 20	20 -< 29	29 -< 40	40 -< 100

For the purpose of this assessment the western aspect has been chosen as the most potentially hazardous aspect due to the effective slope, potential run of fire and the prevailing fire weather of the area.

10 Siting.

The current site provides adequate separation between the proposed building and surrounding vegetation for a compliant structure to be built.

Recommendation;

Nil.

11 Construction and design.

All new work is to be undertaken in accordance with the relevant requirements of the NCC and AS3959 2018. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

Recommendation; all new work to the northern, western and southern aspects.

1. New construction on the northern, western and southern aspects shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
2. New construction on the northern, western and southern aspects shall also comply with the requirements of BAL-19 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

Recommendation; all new work to the eastern aspect.

3. New construction on the eastern aspects shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
4. New construction on the eastern aspects shall also comply with the requirements of and BAL-12.5 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.
5. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

AS-3959 2018 is available as PDF from;

https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340_saig_as_as_2685241/

12 Utilities.

12.1 Water.

The subject lot will be connected to a reticulated water supply however the nearest hydrant point is beyond the maximum allowable distance for the furthest part of the proposal. As a result, a Static Water Supply (SWS) is required to be established and maintained on site to the following specifications.

6. A 5,000 L water supply is to be made available for firefighting purposes and be constructed in accordance with the following features.
 - A connection for firefighting purposes is located within the IPA or non-hazard side and away from the structure; 65mm Storz outlet with a ball valve is fitted to the outlet;

- Ball valve and pipes are adequate for water flow and are metal;
 - Supply pipes from tank to ball valve have the same bore size to ensure flow volume;
 - Underground tanks have an access hole of 200mm to allow tankers to refill direct from the tank;
 - Above-ground tanks are manufactured from concrete or metal;
 - Raised tanks have their stands constructed from non-combustible material or bush fire-resisting timber (see Appendix F of AS 3959);
 - Unobstructed access can be provided at all times;
 - Underground tanks are clearly marked;
 - Tanks on the hazard side of a building are provided with adequate shielding for the protection of firefighters;
 - All exposed water pipes external to the building are metal, including any fittings;
 - A pump is to be provided with a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack; any hose and reel for firefighting connected to the pump shall be 19mm internal diameter; and
 - If fitted, fire hose reels are constructed in accordance with AS/NZS 1221:1997 and installed in accordance with the relevant clauses of AS 2441:2005.
 - A 'SWS' marker shall be obtained from the local NSW Rural Fire Service and positioned for ease of identification by brigade personnel and other users of the SWS. In this regard:
 - a) Markers must be fixed in a suitable location so as to be highly visible; and
 - b) Markers should be positioned adjacent to the most appropriate access for the static water supply.
7. If the pool is to be used as a SWS recommendation 6 may be ignored however the following applies;
- Any piping has a diameter sufficient to allow for adequate water flow;
 - Unobstructed access can be provided at all times;
 - Unless adequately shielded, all water pipes less than 300mm below the ground are metal, including any fittings;
 - A pump is to be provided with a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack; any hose and reel for firefighting connected to the pump shall be a minimum of 19mm internal diameter; and
 - If fitted, fire hose reels are constructed in accordance with AS/NZS 1221:1997 and installed in accordance with the relevant clauses of AS 2441:2005.
 - A 'SWS' marker shall be obtained from the local NSW Rural Fire Service and positioned for ease of identification by brigade personnel and other users of the SWS. In this regard:
 - a) Markers must be fixed in a suitable location so as to be highly visible; and
 - b) Markers should be positioned adjacent to the most appropriate access for the static water supply.

12.2 Electricity and Gas.

Recommendation;

8. Any new electricity or gas connections are to comply with the requirements of table 7.4a of Planning for Bushfire Protection.

13 Asset Protection Zone (APZ).

The Asset Protection Zone is *“An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”*.

Recommendation;

9. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

14 Landscaping.

Recommendation;

10. Any new fencing is to be constructed in accordance with section 7.6 of Planning for Bushfire Protection 2019.
11. Any new landscaping to the site is to comply with the principles of Appendix 4 and section 3.7 of Planning for Bush Fire Protection 2019. In this regard the following landscaping principles are, where applicable, to be incorporated into the development¹:
 - Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
 - Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
 - Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
 - Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
 - Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
 - When considering landscape species consideration needs to be given to estimated size of the plant at maturity;

¹Refer to referenced documents for a complete description.

- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.

15 Constraints on the subject block.

None known.

Recommendation;

Nil

16 Access/Egress.

All roads in the area are considered to be capable of handling emergency service vehicles. The subject lot is a newly subdivided lot. It is assumed that the access requirements of PBP were addressed by the RFS at the time of the issuance of the 100b Bushfire Safety Authority.

Recommendation

Nil

17 Compliance or non compliance with the specifications and requirements for bushfire protection measures.

<p>APZ A defendable space is provided onsite. An APZ is provided and maintained for the life of the development.</p>	<p>Achievable with the implementation of the recommendations in section 13</p>
<p>SITING AND DESIGN: Buildings are sited and designed to minimise the risk of bush fire attack.</p>	<p>Achievable with the implementation of the recommendations in section 10</p>

<p>CONSTRUCTION STANDARDS: It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.</p>	<p>Achievable with the implementation of the recommendations in section 11</p>
<p>ACCESS Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).</p>	<p>Achievable with the implementation of the recommendations in section 16</p>
<p>WATER AND UTILITY SERVICES:</p> <ul style="list-style-type: none"> • adequate water and electricity services are provided for firefighting operations • Gas and electricity services are located so as not to contribute to the risk of fire to a building. 	<p>Achievable with the implementation of the recommendations in section 12</p>
<p>LANDSCAPING:</p> <ul style="list-style-type: none"> • it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause Ignitions. 	<p>Achievable with the implementation of the recommendations in section 14</p>

18 Conclusions.

Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and

standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



Matthew Willis
Grad Dip Planning for Bushfire Prone Areas
Bushfire Planning Services Pty Limited

19 References.

- *Australian Building Codes Board (2019). National Construction Code Volume One - Building Code of Australia. ABCB*
- *Australian Building Codes Board (2019). National Construction Code Volume two - Building Code of Australia. ABCB.*
- *Keith, D.A. (2004). Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT. NSW Department of Environment and Conservation.*
- *National Association of Steel Framed Housing (2014). "Steel Framed Construction in Bush Fire Areas. NASH*
- *Ramsay, C and Rudolph, L (2003) "Landscape and Building Design for Bush fire Areas". CSIRO Publishing, Collingwood.*
- *Resources and Energy NSW (2016). ISSC 3 Guide for the Managing Vegetation in the Vicinity of Electrical Assets. NSW Government*
- *Rural Fire Service NSW (2005) "Standards for Asset Protection Zones"*
- *Standards Australia (2018). "AS 3959, Construction of buildings in bush fire prone areas".*
- *Standards Australia (2018). "AS/NZS 1530.8.1 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Radiant heat and small flaming sources".*
- *Standards Australia (2018). "AS/NZS 1530.8.2 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Large flaming sources".*
- *Standards Australia (2014). "AS/NZS 1596 The storage and handling of LP Gas".*

20 Appendix 1 - Plans .

35A QUEENS AVE., AVALON BEACH, NSW.

PROPOSED NEW RESIDENTIAL DWELLING

LOT 3

DP 1225869

DA DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE	DESCRIPTION
DA_000	Cover Page & Drawing Schedule	NTS	-	15.08.23	DA
DA_001	Site Plan	1:100 @ A1 / 1:200 @ A3	-	15.08.23	DA
DA_100	Ground General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_101	First General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_300	Elevations Sheet 01	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_301	Elevations Sheet 02	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_302	Elevations Sheet 03	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_303	Elevations Sheet 04	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_400	Sections Sheet 01	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_401	Sections Sheet 02	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_401	Sections Sheet 03	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_401	Sections Sheet 04	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_500	Shadow Diagram 9AM	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_501	Shadow Diagram 12 NOON	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_502	Shadow Diagram 3PM	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA
DA_700	Landscape Concept Plan	1:50 @ A1 / 1:100 @ A3	-	15.08.23	DA

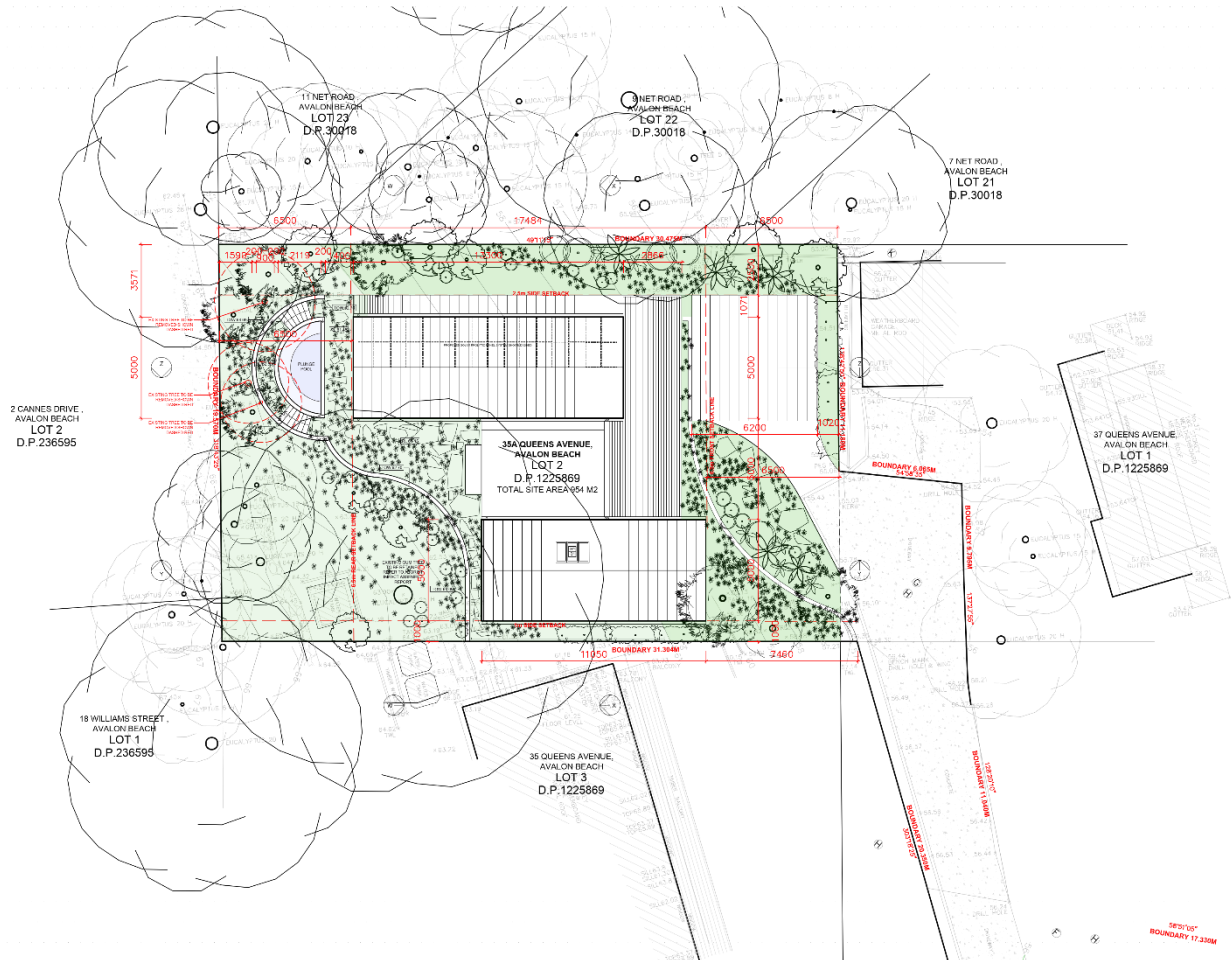
SPECIALIST CONSULTANTS SUPPORTING DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE	CONSULTANT:
DA_000	Stormwater Management Plan	1:100 @ A1 / 1:200 @ A3	-	---	TAYLOR CONSULTING ENGINEERS
DA_001	Sediment Control Plan	1:100 @ A1 / 1:200 @ A3	-	---	TAYLOR CONSULTING ENGINEERS
DA_001	Absent Report	NTS	-	---	KYLE HILL
DA_100	Bush Fire Risk Assessment Report	NTS	-	---	MATTHEW WILLIS
DA_101	Geotech Report	NTS	-	---	BLM WHITE
DA_102	BASIX Certificate & No THERS Report	NTS	-	---	SCOTT DOUGLAS
DA_300	Statement of Environment Effects	NTS	-	---	DAVE MOODY
DA_301	Survey	1:50 @ A1 / 1:100 @ A3	-	---	ADAM CLERKE

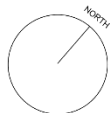
<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE SDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DAAS REQUIREMENTS.</small></p>	<p>KEY:</p> <p> DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLING</p>	<p>PROJECT STAGE: DA</p>	<p>DATE OF ISSUE: 10.01.2024</p>	<p>RAW 15 AUG 24</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p><small>Direct Proposal 10/01/2024 NDA/MS/MS/BS</small></p> <p><small>Client: Matthew Willis 15 AUG 2024</small></p> <p><small>Project: 35A QUEENS AVE., AVALON BEACH, NSW. 10/01/2024</small></p>
		<p>CLIENT: INCOMING</p>	<p>DRAWING TITLE: COVER PAGE & DRAWINGS SCHEDULE</p>	<p>DRAWING NO.: CD00-000</p>	<p>REVISION:</p>
		<p>LOCATION: 35A QUEENS AVE., AVALON BEACH, NSW.</p>	<p>SCALE: 1:100 @ A3</p>		

SITE CALCULATIONS

TOTAL SITE AREA (INC. BATTLE AXES) 994 SQ M
 PRIMARY SITE AREA (EXC. BATTLE AXES) 999 SQ M
 CARPORT FLOOR AREA: 38.5 SQ M
 DRIVEWAY AREA: 16 SQ M
 GROUND FLOOR AREA: 60 SQ M
 GROUND FLOOR EXTERNAL DECK AREA: 29 SQ M
 FIRST FLOOR AREA: 66 + 56 + 30 = 151 SQ M
 FIRST FLOOR EXTERNAL DECK AREA: 41.5 SQ M
 FIRST FLOOR EXTERNAL PAVED AREA: TBC
 EXTERNAL STAIR AREA: 12 SQ M
 TOTAL ROOF AREA (INC. CAR PORT): 206 SQ M
 TOTAL HABITAT INTERNAL FLOOR AREA: 211 SQ M
 TOTAL SOFT LANDSCAPE AREA: 331 SQ M (56%)
 TOTAL HARDSTAND AREA: 265 SQ M (45%)



SITE PLAN 1:100 @ A1 OR 1:200 @ A3



LEGEND:

- 7.03 DENOTES EXISTING SPOT LEVEL
- RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY.
 NOTE: DO NOT SCALE OFF THIS DRAWING.
 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC.
 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

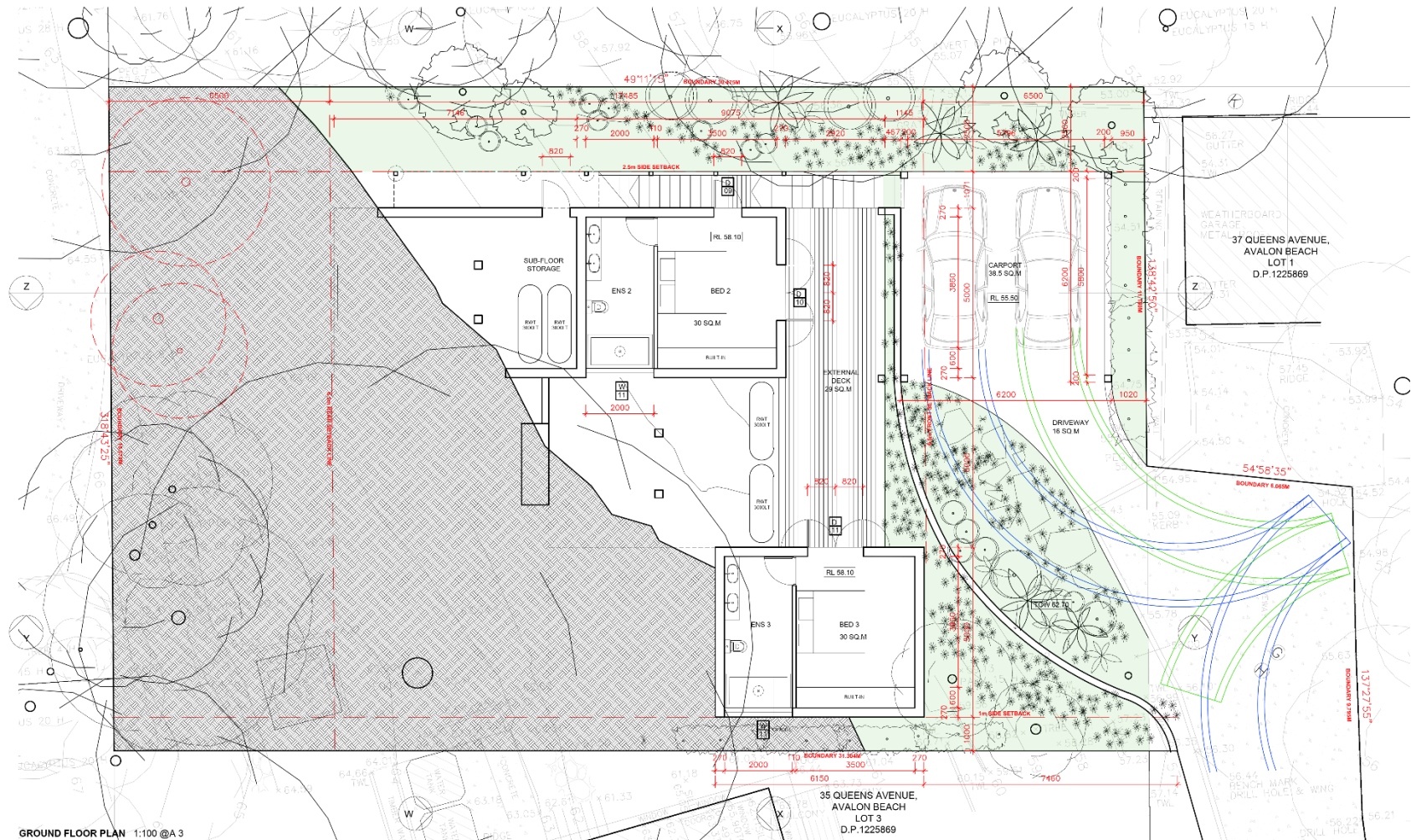
KEY:

- DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING

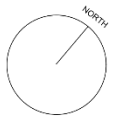
PROJECT: PROPOSED NEW DWELLING	PROJECT STAGE: DA	DATE OF ISSUE: 10/01/2024
CLIENT: TRELONGING	DRAWING TITLE: SITE PLAN	DRAWING NO.: DA-000
LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW.	SCALE: 1:100 @ A3	REVISION: -

RAW
D AND C

Drawn By: Tanya Williams
 Date: 10/01/2024
 Checked By: Tanya Williams
 Date: 10/01/2024
 Scale: 1:100 @ A3
 Project No: 2401-001



GROUND FLOOR PLAN 1:100 @ A 3



LEGEND:
7.03 DENOTES EXISTING SPOT LEVEL
RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIS REQUIREMENTS.

KEY:
DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING

PROJECT:
PROPOSED NEW DWELLING

CLIENT:
TREGONING

LOCATION:
35A QUEENS AVE, AVALON BEACH, NSW.

PROJECT STAGE:
DA

DRAWING TITLE:
GROUND FLOOR PLAN

SCALE:
1:100 @ A3

DATE OF ISSUE:
10.01.2024

DRAWING NO.:
DA-101

REVISION:
-

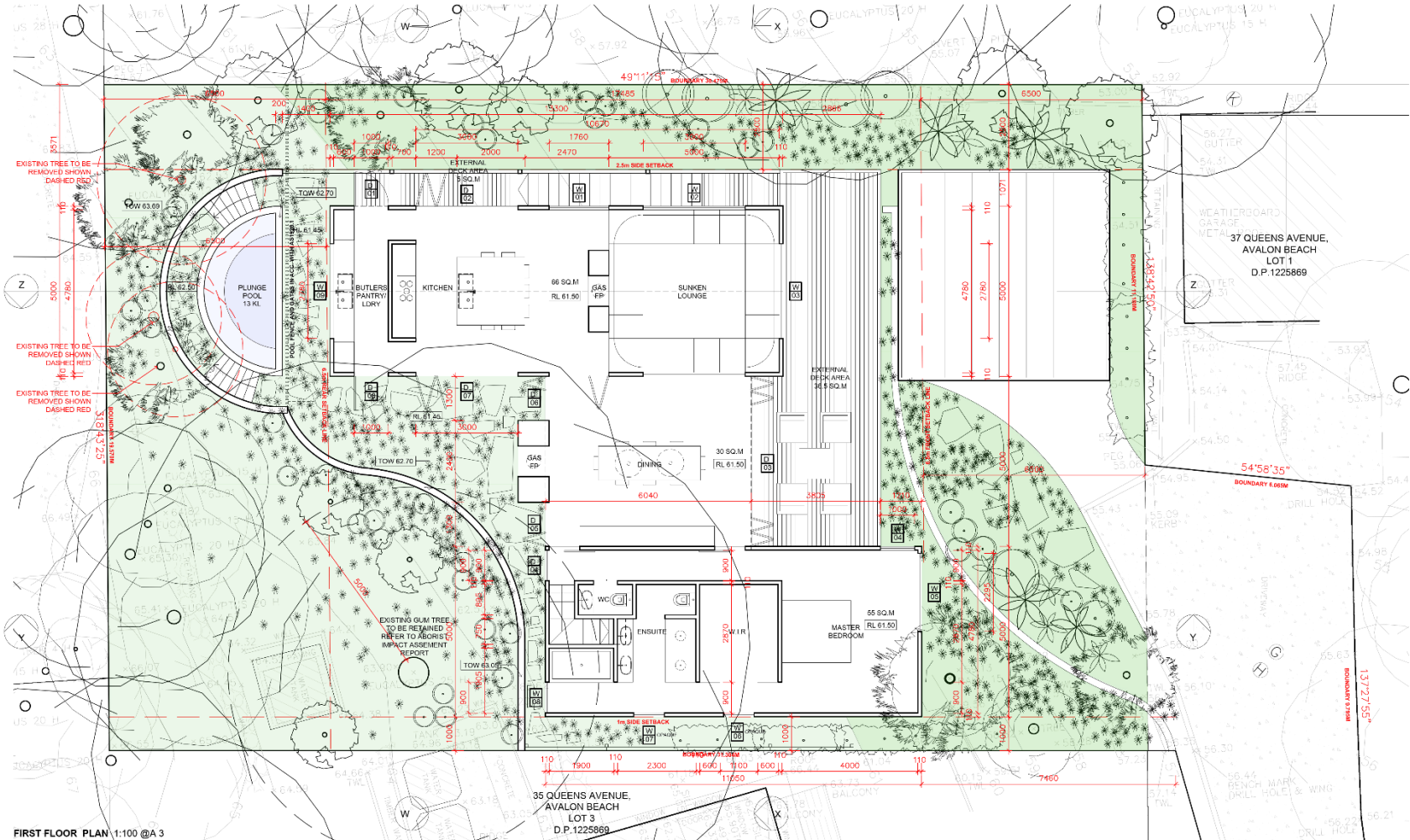
RAW
D AND C

RAYMOND AND WILLIAMS
DESIGN AND CONSTRUCT

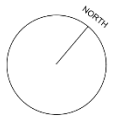
Level 10/100
Avalon Beach
New South Wales
2541
0422 300 275

Raymond Williams
Director
L.A. No. 2554-302
0422 194 528

Copyright © 2024 R.A.W.
This drawing is the property of R.A.W. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system.



FIRST FLOOR PLAN 1:100 @A 3



LEGEND:
7.03 DENOTES EXISTING SPOT LEVEL
RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION, CONCEPT DESIGN ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE MCC.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASA REQUIREMENTS.

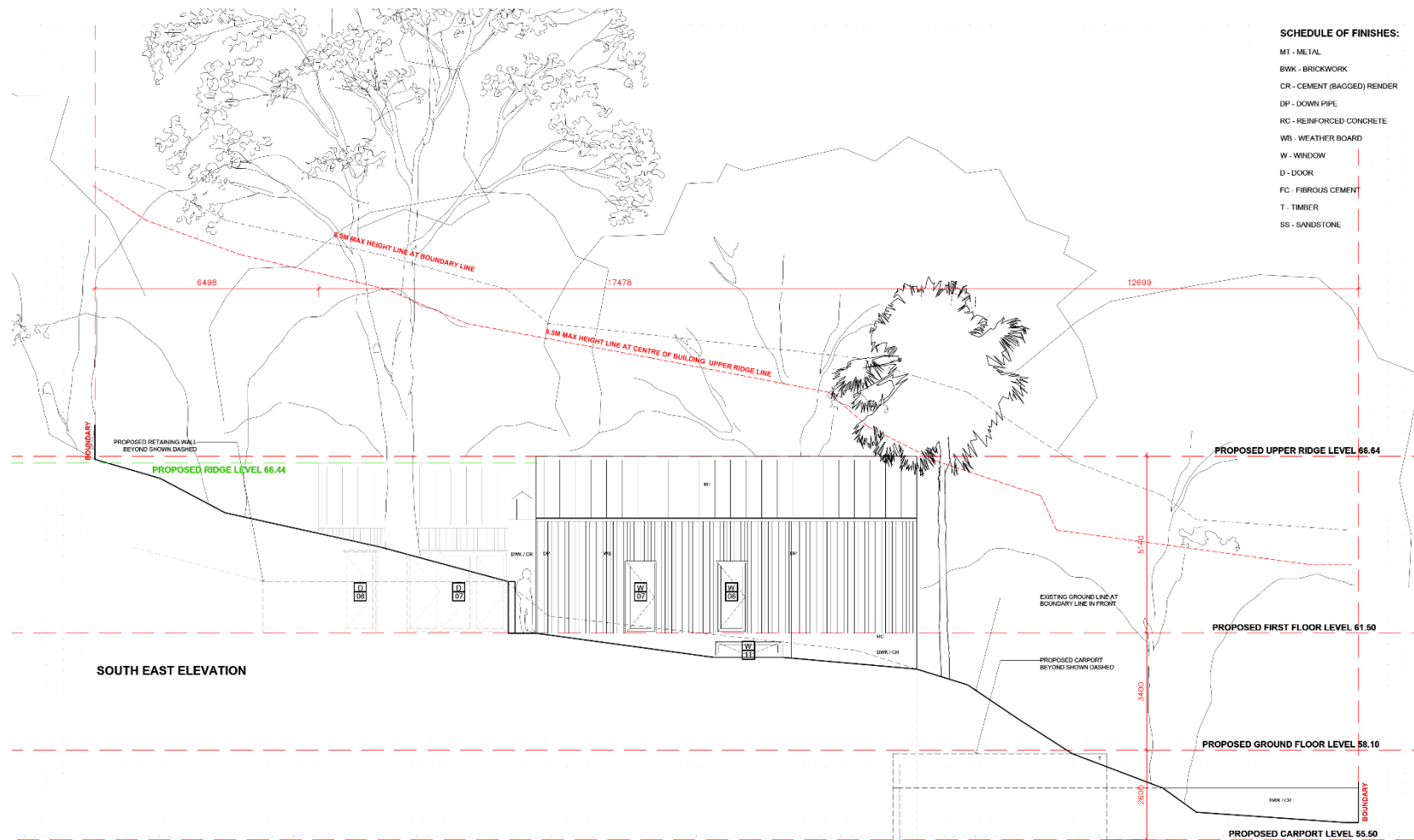
KEY:
DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING

PROJECT: PROPOSED NEW DWELLING
CLIENT: TREGONING
LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW

PROJECT STAGE: DA
DRAWING TITLE: FIRST FLOOR PLAN
SCALE: 1:100 @ A3

DATE OF ISSUE: 10.01.2024
DRAWING NO.: DA-102
REVISION: -

RAW
D AND C
RAYMOND AND WILLIAMS
DESIGN AND CONSTRUCT
Linda Williams
Raymond Williams
New York 10788
LA 102251-102
0421 194 528
0421 194 528



- SCHEDULE OF FINISHES:**
- MT - METAL
 - BWK - BRICKWORK
 - CR - CEMENT (BAGGED) RENDER
 - DP - DOWN PIPE
 - RC - REINFORCED CONCRETE
 - WB - WEATHER BOARD
 - W - WINDOW
 - D - DOOR
 - FC - FIBROUS CEMENT
 - T - TIMBER
 - SS - SANDSTONE

ELEVATION SHEET 01 1:50 @ A1 OR 1:100 @ A3

<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DARS REQUIREMENTS</small></p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>
---	--

PROJECT:
PROPOSED NEW DWELLINGS

CLIENT:
TREGONING

LOCATION:
35A QUEENS AVE, AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATIONS SHEET 01

SCALE:
1:100 @ A3

DATE OF ISSUE:
10.01.2024

DRAWING NO.:
DA-300

REVISION:
-

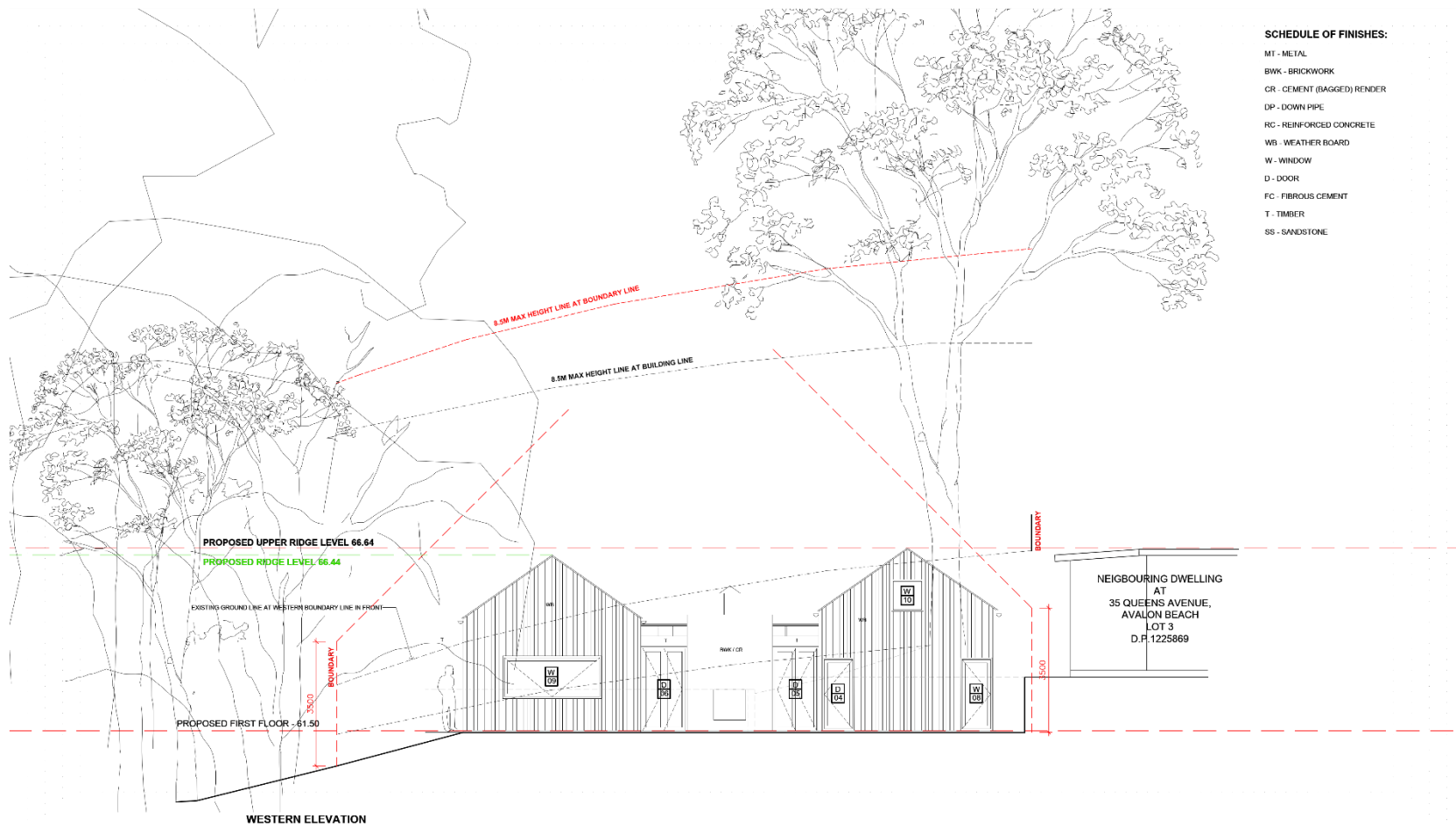
RAW
D AND C

RAYMOND AND WILLIAMS
DESIGN AND CONSTRUCT

Raymond Williams
Architect
New York 10108
rdw@raymondwilliams.com

Imogen Williams
Architect
Los Angeles 90015
iwilliams@raymondwilliams.com

Copyright © 2024 R.A.W. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying and recording, or by any information storage and retrieval system, without the prior written permission of Raymond and Williams Design and Construct.

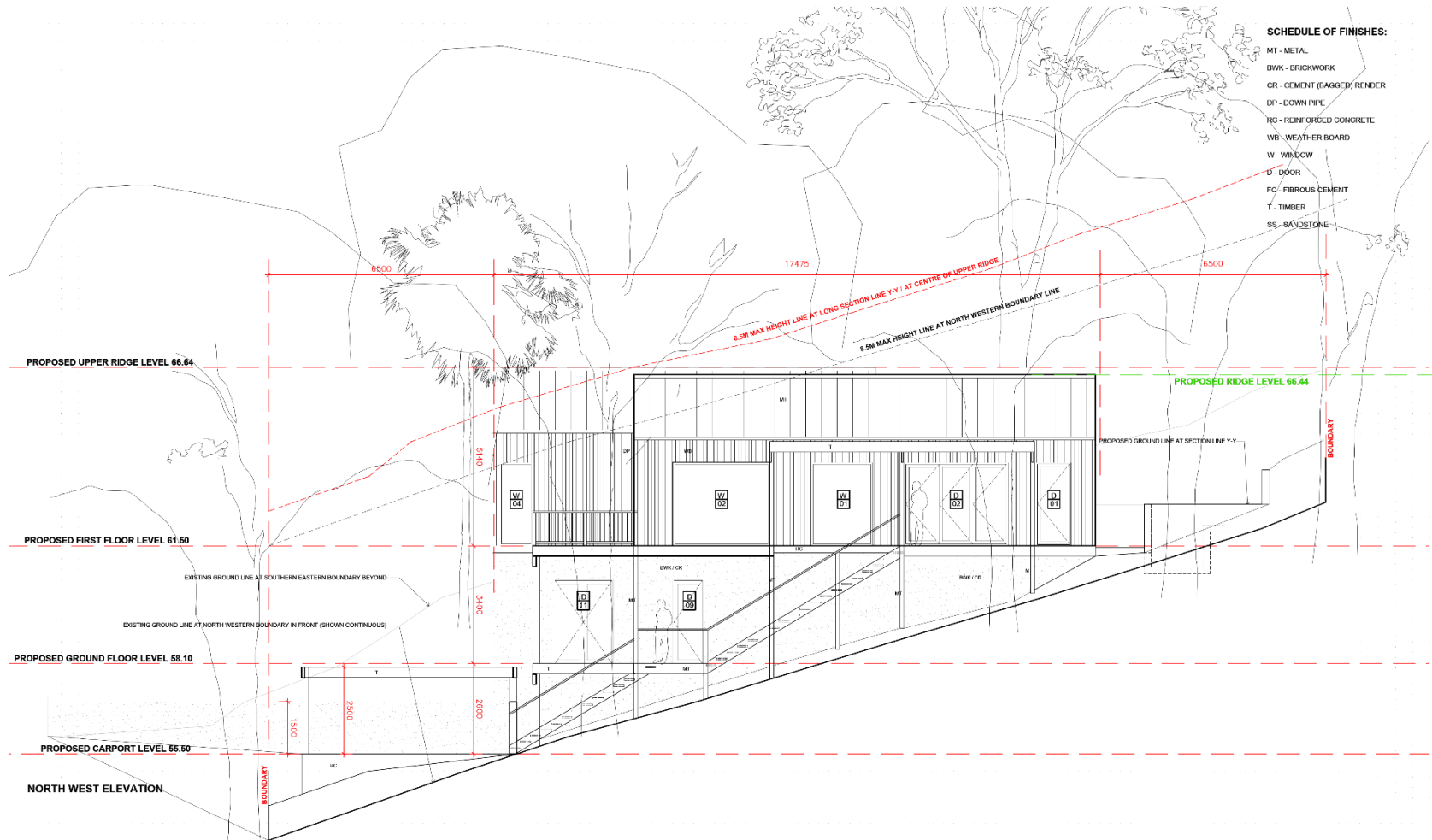


SCHEDULE OF FINISHES:

- MT - METAL
- BWK - BRICKWORK
- CR - CEMENT (BAGGED) RENDER
- DP - DOWN PIPE
- RC - REINFORCED CONCRETE
- WB - WEATHER BOARD
- W - WINDOW
- D - DOOR
- FC - FIBROUS CEMENT
- T - TIMBER
- SS - SANDSTONE

ELEVATION SHEET 02 1:50 @ A1 OR 1:100 @ A3

<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DARS REQUIREMENTS</small></p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLINGS</p> <p>CLIENT: TREGONING</p> <p>LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: ELEVATIONS SHEET 02</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 10.01.2024</p> <p>DRAWING NO.: DA-301</p> <p>REVISION: -</p>	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p><small>Raymond Williams Architect New York 10108 L.A. No. 21451-DC 0409 303 275 0421 194 523</small></p>
---	--	---	--	---	---



SCHEDULE OF FINISHES:

- MT - METAL
- BWK - BRICKWORK
- CR - CEMENT (BAGGED) RENDER
- DP - DOWN PIPE
- RC - REINFORCED CONCRETE
- WB - WEATHER BOARD
- W - WINDOW
- D - DOOR
- FC - FIBROUS CEMENT
- T - TIMBER
- SS - SANDSTONE

ELEVATION SHEET 03 1:100 @A 3

LEGEND:

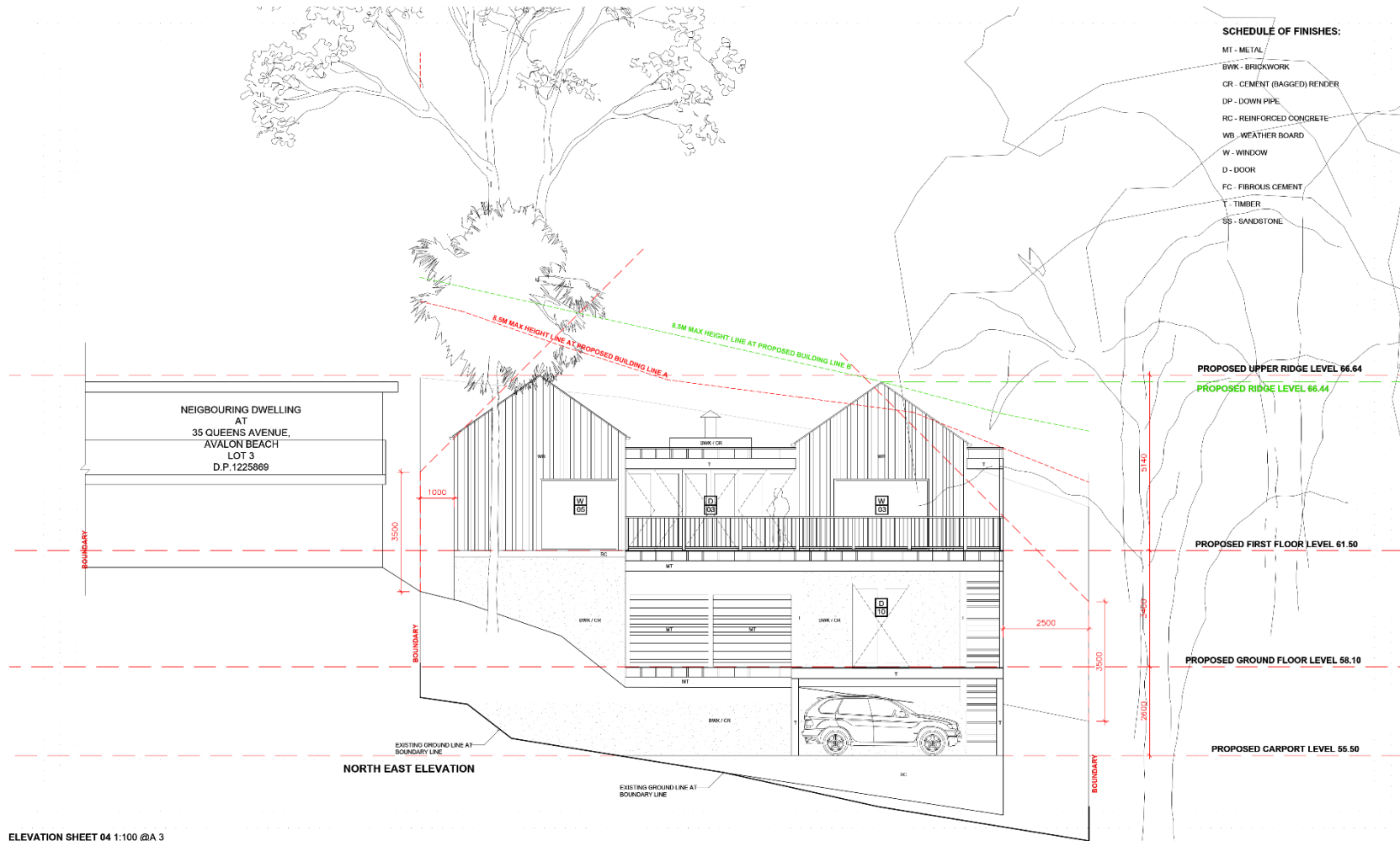
- DENOTES EXISTING SPOT LEVEL
- DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DARS REQUIREMENTS

KEY:

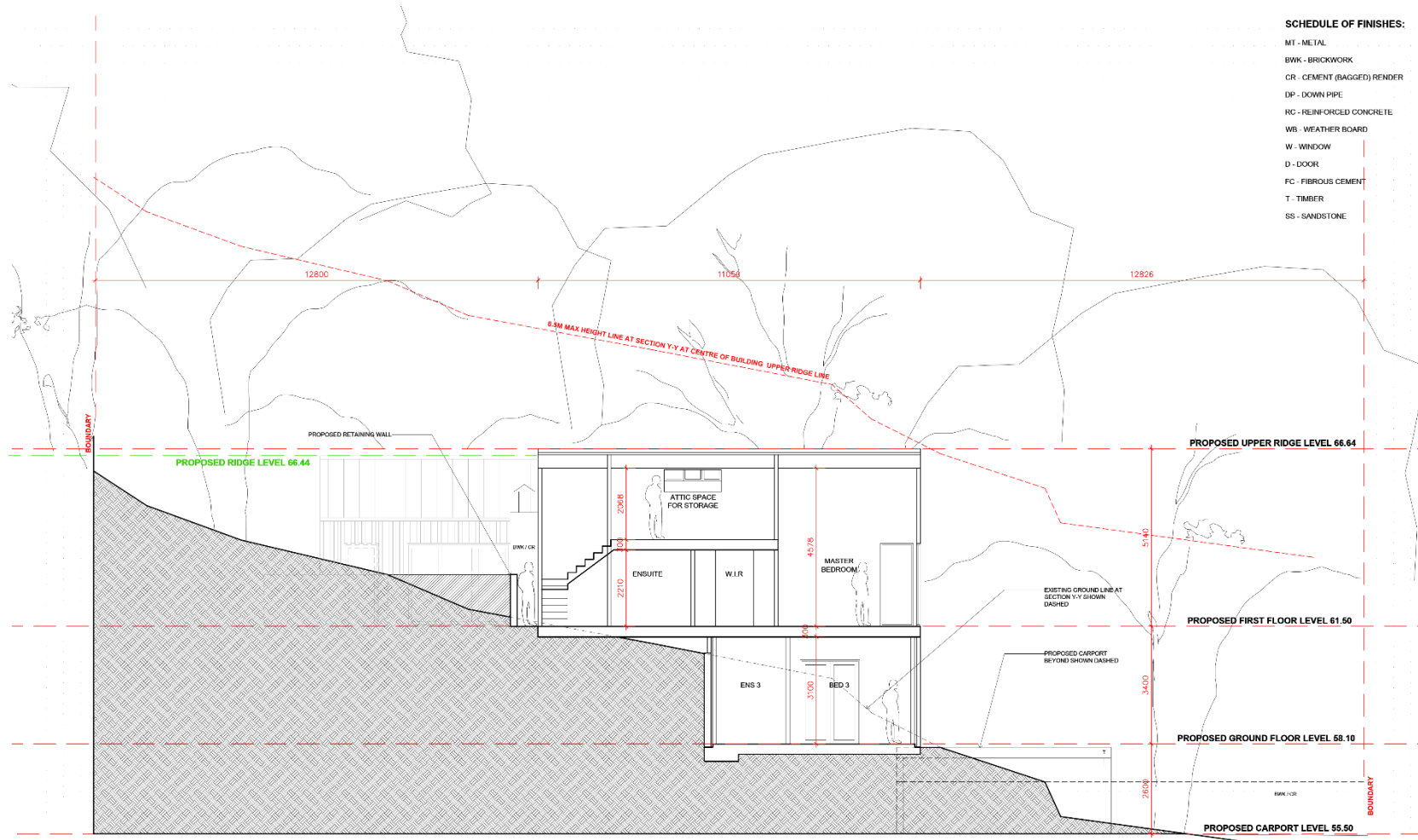
- DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING

PROJECT: PROPOSED NEW DWELLINGS	PROJECT STAGE: DA	DATE OF ISSUE: 10.01.2024	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p>David Raymond Raymond RAYMOND, NSW for@rawdw.com.au 0488 389 275</p> <p>Travis Williams Travis WILLIAMS, NSW tw@rawdw.com.au 0421 904 183</p> <p><small>COMPETENT REGISTERED ARCHITECT 141 NEWCASTLE STREET, SYDNEY, NSW 1585 NSW ARCHITECTS BOARD (NSW) 1585 NSW ARCHITECTS BOARD (NSW) 1585</small></p>
CLIENT: TREGONING	DRAWING TITLE: ELEVATION SHEET 03	DRAWING NO.: DA-302	
LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW	SCALE: 1:100 @ A3	REVISION: -	



ELEVATION SHEET 04 1:100 @A 3

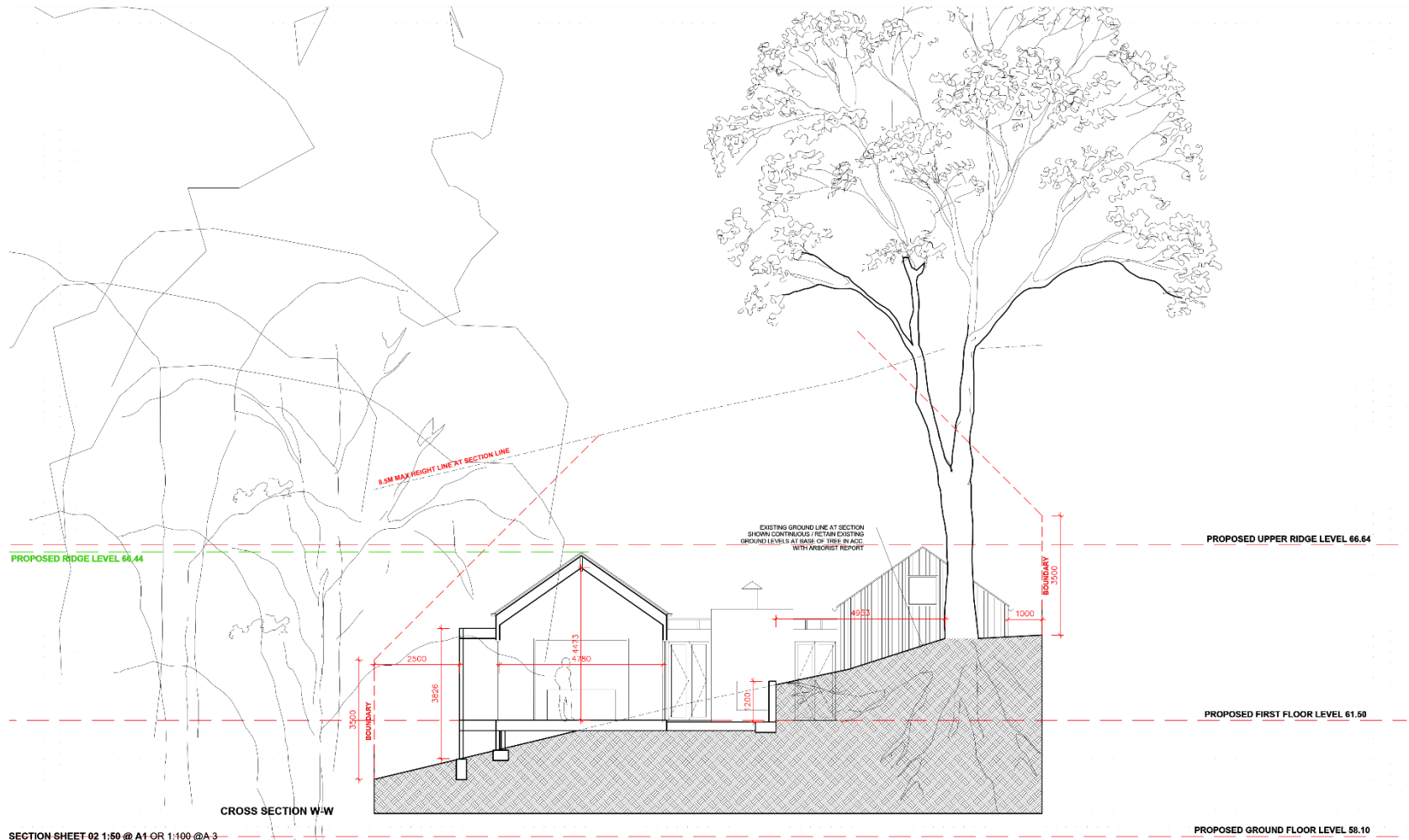
<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NDC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DARS REQUIREMENTS</p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLINGS</p> <p>CLIENT: TREGONING</p> <p>LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: ELEVATION SHEET 04</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 10.01.2024</p> <p>DRAWING NO.: DA-303</p> <p>REVISION: -</p>	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p>David Raymond Raymond RAYMOND, RW/011 for@rawdw.com.au 0483 389 275</p> <p>Travis Williams Travis TRAVIS, TW/012 tw@rawdw.com.au 0421 904 183</p> <p><small>CONCEPT DESIGN ONLY THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY APPROVALS AND TO ENSURE ALL WORKS ARE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS</small></p>
--	--	---	---	---	--



- SCHEDULE OF FINISHES:**
- MT - METAL
 - BWK - BRICKWORK
 - CR - CEMENT (BAGGED) RENDER
 - DP - DOWN PIPE
 - RC - REINFORCED CONCRETE
 - WB - WEATHER BOARD
 - W - WINDOW
 - D - DOOR
 - FC - FIBROUS CEMENT
 - T - TIMBER
 - SS - SANDSTONE

LONGITUDINAL SECTION Y-Y
SECTION SHEET 01 1:50 @ A1 OR 1:100 @ A3

<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DASH REQUIREMENTS</p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLINGS</p> <p>CLIENT: TREGONING</p> <p>LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: ELEVATIONS SHEET 01</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 10.01.2024</p> <p>DRAWING NO.: DA-300</p> <p>REVISION: -</p>	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p>Level 10/100 New York Street Sydney NSW 2000 0499 300 275 rdw@rawda.com.au</p> <p>Level 10/100 New York Street Sydney NSW 2000 0499 300 275 rdw@rawda.com.au</p> <p>© COPYRIGHT 2024 BY RAW AND C. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PERMISSION IN WRITING FROM RAW AND C.</p>
--	--	---	--	---	--

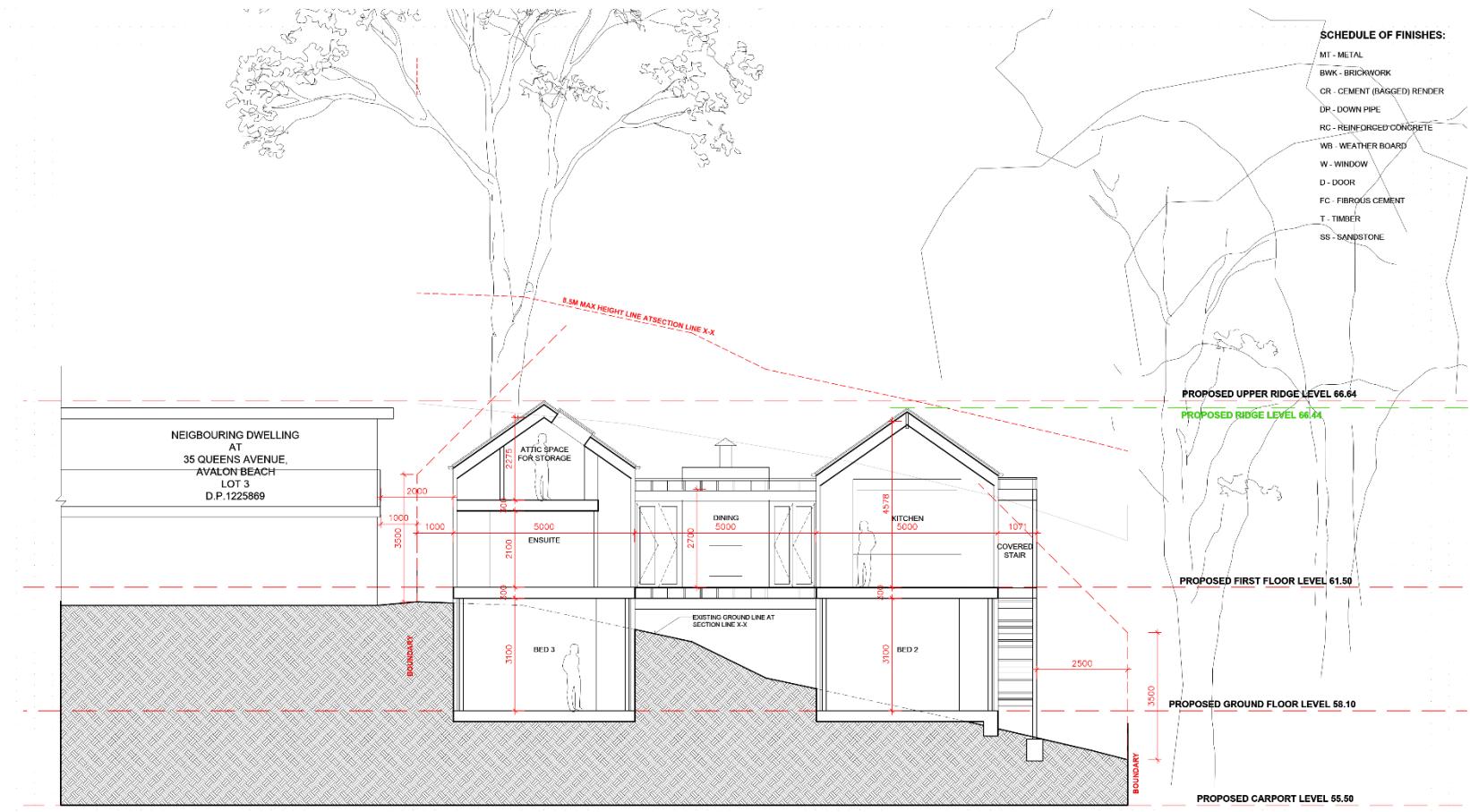


CROSS SECTION W-W

SECTION SHEET 02 1:50 @ A1-OR 1:100 @ A-3

PROPOSED GROUND FLOOR LEVEL 58.10

<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DARS REQUIREMENTS</p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLINGS</p> <p>CLIENT: TREGONING</p> <p>LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SECTION SHEET 02</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 10.01.2024</p> <p>DRAWING NO.: DA-301</p> <p>REVISION: -</p>	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p>Level 10/100 New York, NY 10001 0400 300 275</p> <p>Level 10/100 New York, NY 10001 0400 300 275</p> <p>Level 10/100 New York, NY 10001 0400 300 275</p>
--	--	---	---	---	---

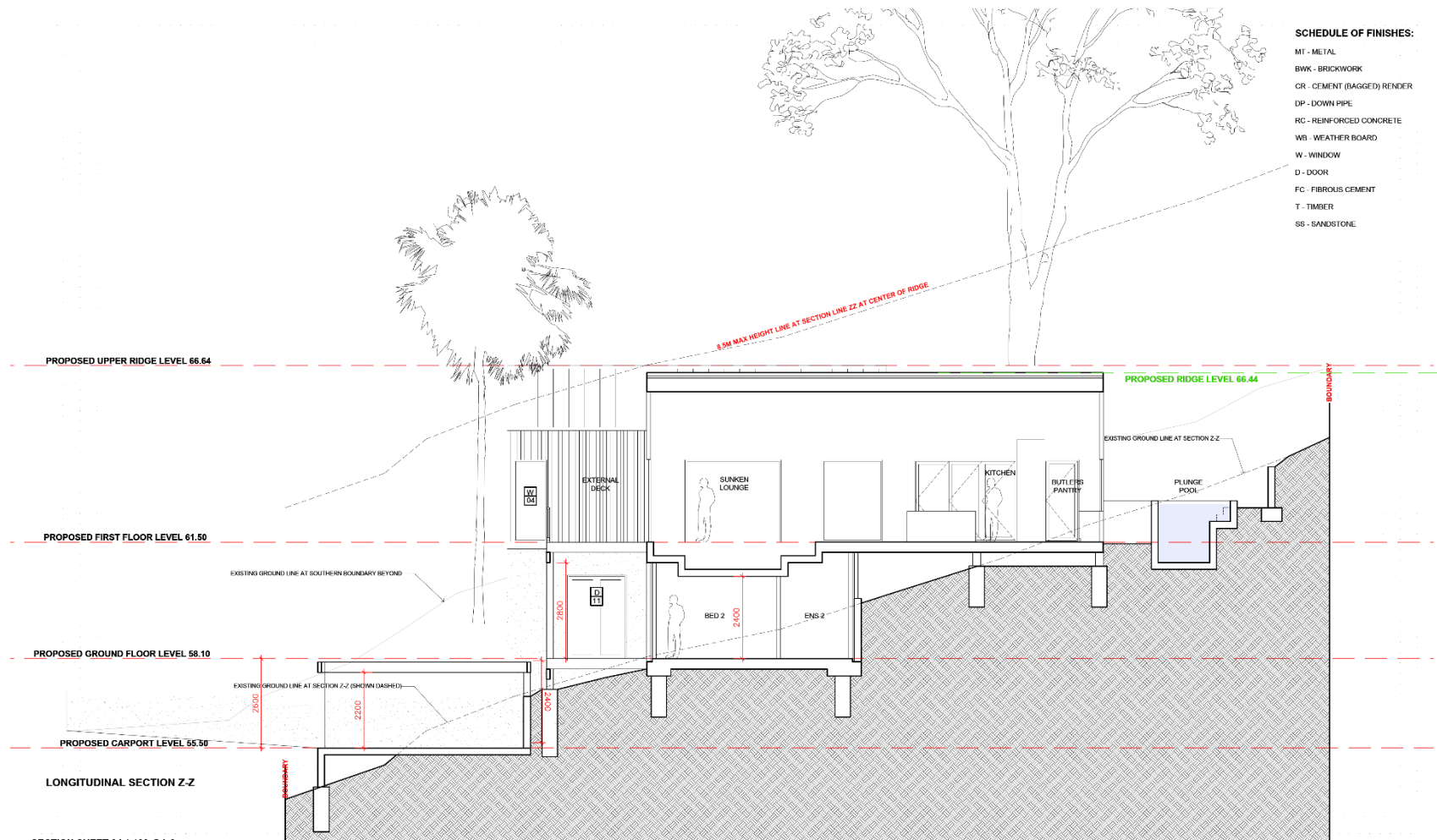


- SCHEDULE OF FINISHES:**
- MT - METAL
 - BWK - BRICKWORK
 - CR - CEMENT (BAGGED) RENDER
 - DP - DOWN PIPE
 - RC - REINFORCED CONCRETE
 - WB - WEATHER BOARD
 - W - WINDOW
 - D - DOOR
 - FC - FIBROUS CEMENT
 - T - TIMBER
 - SS - SANDSTONE

CROSS SECTION X-X

SECTION SHEET 03 1:100 @A 3

<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NDC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DARS REQUIREMENTS</small></p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLING</p> <p>CLIENT: TREGONING</p> <p>LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SECTION SHEET 03</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 10.01.2024</p> <p>DRAWING NO.: DA-02</p> <p>REVISION: -</p>	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p><small>David Raymond Raymond Williams for thewllaworks.com 9459 389 275</small></p> <p><small>Travis Williams Dariusz Us: 610 2247102 www.wllaworks.com 0421 906 183</small></p> <p><small>CONTRACTOR TO BE ADVISED THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT OR DESIGNER</small></p>
---	--	--	---	--	--



- SCHEDULE OF FINISHES:**
- MT - METAL
 - BWK - BRICKWORK
 - CR - CEMENT (BAGGED) RENDER
 - DP - DOWN PIPE
 - RC - REINFORCED CONCRETE
 - WB - WEATHER BOARD
 - W - WINDOW
 - D - DOOR
 - FC - FIBROUS CEMENT
 - T - TIMBER
 - SS - SANDSTONE

SECTION SHEET 04 1:100 @A 3

<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE DASH REQUIREMENTS</small></p>	<p>KEY:</p> <p>■ DENOTES AREA OF SHADOW CAST AS A RESULT OF THE PROPOSED DWELLING</p>	<p>PROJECT: PROPOSED NEW DWELLING</p> <p>CLIENT: TREGONING</p> <p>LOCATION: 35A QUEENS AVE, AVALON BEACH, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SECTION SHEET 04</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 10.01.2024</p> <p>DRAWING NO.: DA-03</p> <p>REVISION: -</p>	<p>RAW D AND C</p> <p>RAYMOND AND WILLIAMS DESIGN AND CONSTRUCT</p> <p><small>David Raymond Raymond Williams for thewllw.com.au 9450 389 275</small></p> <p><small>Travis Williams D.8852 US: 612 2247 1102 twilliams@wllw.com.au 9451 906 120</small></p> <p><small>CONVEYANCE OF THIS DRAWING TO THE RELEVANT AUTHORITIES DOES NOT IMPLY ANY ENDORSEMENT OR WARRANTY BY THE PRACTITIONER</small></p>
---	--	--	---	--	--