

# COMPLYING DEVELOPMENT PROPOSAL

ADDRESS: 40 WALLUMATTA RD, NEWPORT. NSW. 2106.  
 WORK: ADDITIONS & ALTERNATIONS TO EXISTING DWELLING.  
 PROPOSED WORKS: GROUND FLOOR ADDITION TO LIVING AREA.  
 WITH ROOF OVER.  
 NEW BALCONY.  
 NEW ENTRANCE AND STAIRCASE  
 NEW WINDOWS AND DOORS  
 NEW STORE ROOM

D.P: 531704 LOT: 3.  
 D.Q: BUILDING CLASS 1A.



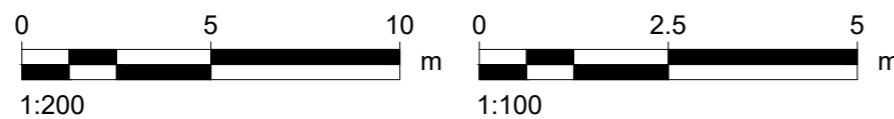
ABOVE: LOOKING NORTH AT THE PROPOSED NEW ADDITON



ABOVE: LOOKING FROM ABOVE AT THE PROPOSED NEW ADDITON

**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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- CONNECT D.P'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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NOTE: IMAGES ARE FOR VISUALISATION PURPOSES ONLY. REFER TO DRAWINGS FOR ACTUAL DETAILS.

## BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

### Alterations and Additions

Certificate number: A387486

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
 Date of issue: Saturday, 22, August 2020  
 To be valid, this certificate must be lodged within 3 months of the date of issue.

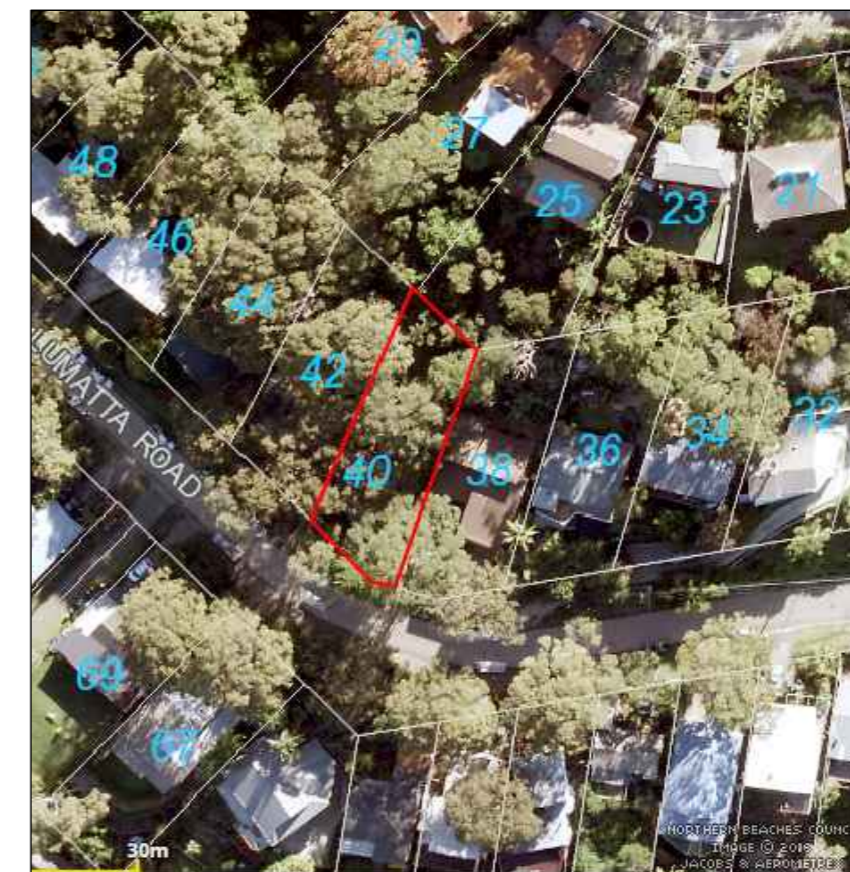


Description of project

Project address	
Project name	40 Wallumatta rd Newport
Street address	40 Wallumatta Road Newport 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 531704
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

## LOCATION

40 WALLUMATTA RD,  
 NEWPORT  
 NSW 2106.



ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
 DEVELOPMENT APPLICATION  
 ASSISTANCE  
 COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/08/2020	<b>CV</b>
Scale NTS	

DP No. 531704

LOT No. 3

A	ISSUED FOR CDC	28.08.2020
No.	Revision/Issue	Date

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 5/470 Sydney Rd  
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 www.draftinghelp.com.au  
 02 87763474

Project Name and Address  
**MAXINE & ROBERT FERNANDEZ**  
 40 WALLUMATTA RD  
 NEWPORT  
 NSW 2106

FILENAME

REVDATE

USER



**General Notes**

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G3. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G5. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- G6. FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.
- G7. THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.

**Foundations**

- F1. UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870.
- F2. TERMITES TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1
- F3. THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870
- F4. REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
- F5. STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
- F6. PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.
- F7. ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

**Masonry**

- M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.
- M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.
- M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.
- M4. CAVITY VENTILATION WEEP HOLES SHALL BE IN ACCORDANCE WITH AS 3700.
- M5. MORTAR SHALL COMPLY WITH AS 3700. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.
- M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

**Timber Framing**

- T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
- T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
- T3. TIMBER ROOF TRUSSES TO MANUFACTURE DETAILS AND SPECIFICATIONS.
- T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

**Tiling**

- T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1
- T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

**Claddings & Linings**

- C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 3740.
- C2. ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.

**Joinery**

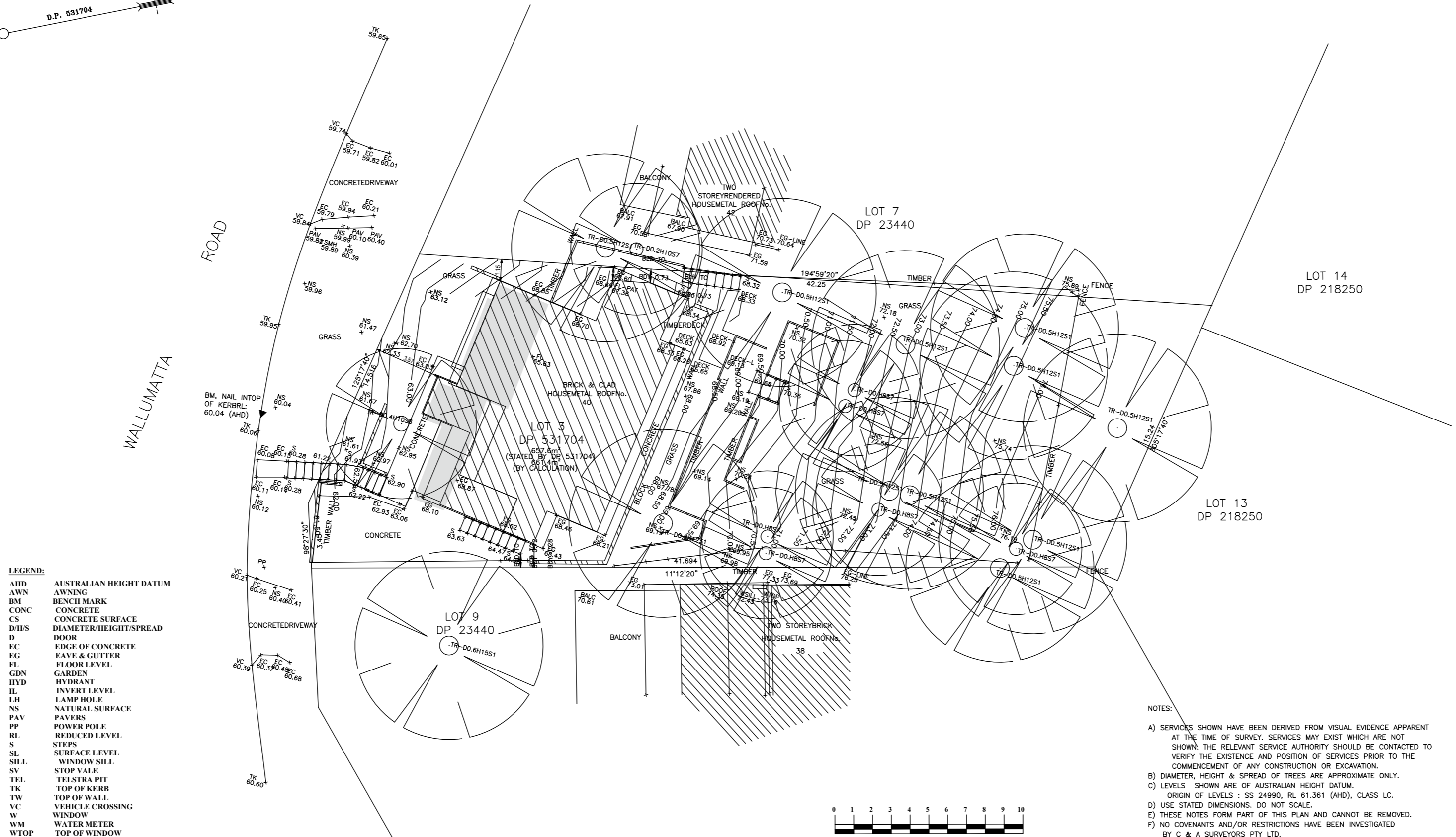
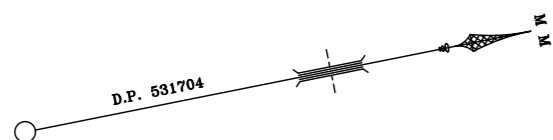
- J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.
- J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

**Steel Framing**

- ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

**Roofing**

- R1. CONCRETE AND TERRAZO TILE SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.
- R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.
- R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.



**LEGEND:**

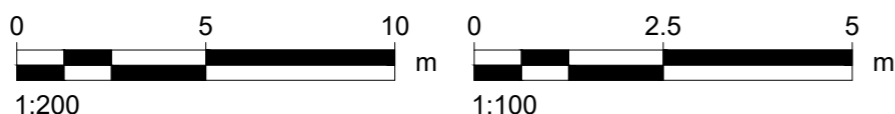
AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
BM	BENCH MARK
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
IL	INVERT LEVEL
LH	LAMP HOLE
NS	NATURAL SURFACE
PAV	PAVEMENT
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
SL	SURFACE LEVEL
SILL	WINDOW SILL
SV	STOP VALE
TEL	TELSTRA PIT
TK	TOP OF KERB
TW	TOP OF WALL
VC	VEHICLE CROSSING
W	WINDOW
WM	WATER METER
WTOP	TOP OF WINDOW

- NOTES:**
- A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
  - B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
  - C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM. ORIGIN OF LEVELS : SS 24990, RL 61.361 (AHD), CLASS LC.
  - D) USE STATED DIMENSIONS. DO NOT SCALE.
  - E) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
  - F) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

**1 SITE PLAN – PROPOSED**  
Scale 1:200

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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes



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Project Additions and Alterations	Sheet
Date 11/08/2020	<b>SP</b>
Scale 1:200	

DP No. **531704**

LOT No. **3**

A	ISSUED FOR CDC	28.08.2020
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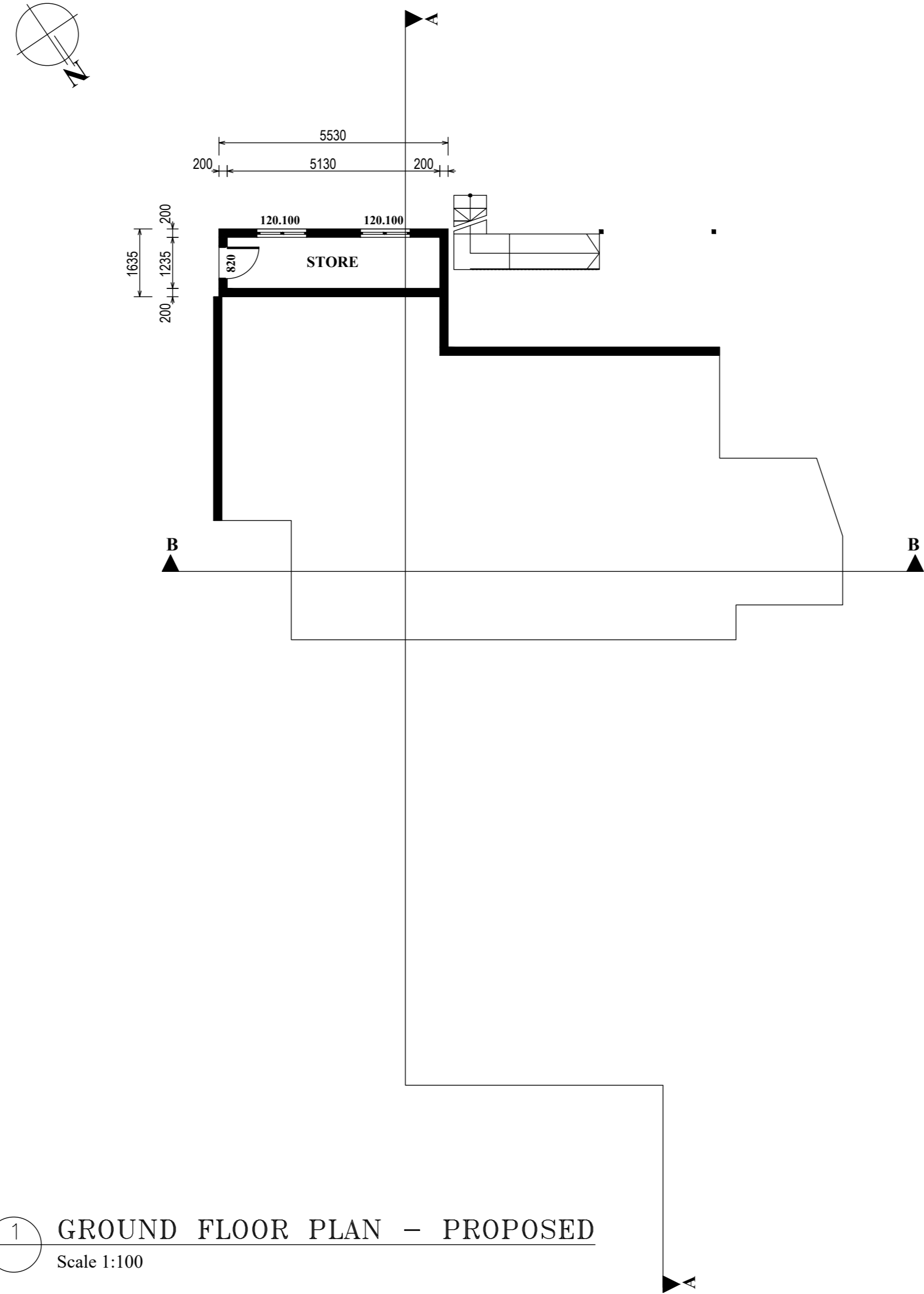
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**NEWPORT**  
**NSW 2106**

FNNAME

REVDATE

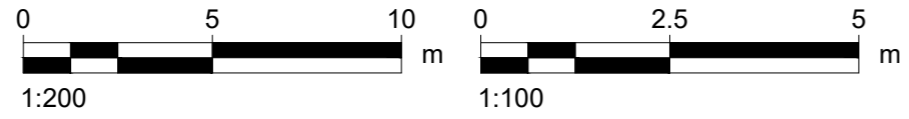
USER



1 GROUND FLOOR PLAN – PROPOSED  
Scale 1:100

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/08/2020	<b>1</b>
Scale 1:100	

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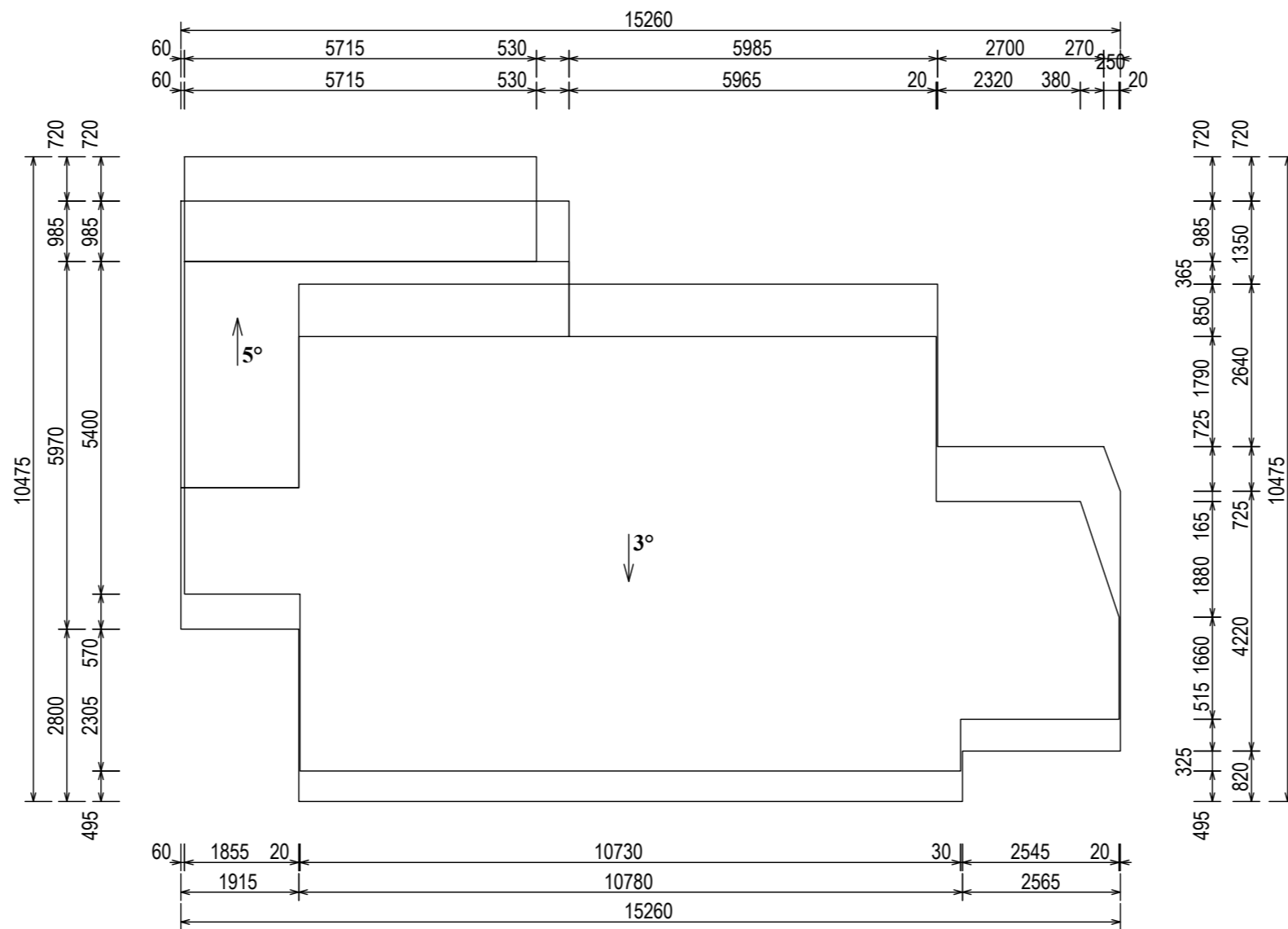
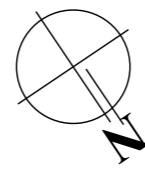
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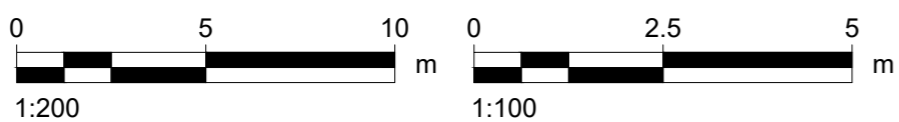




1 ROOF PLAN – PROPOSED  
Scale 1:100

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LEGEND:  
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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/08/2020	<b>3</b>
Scale 1:100	

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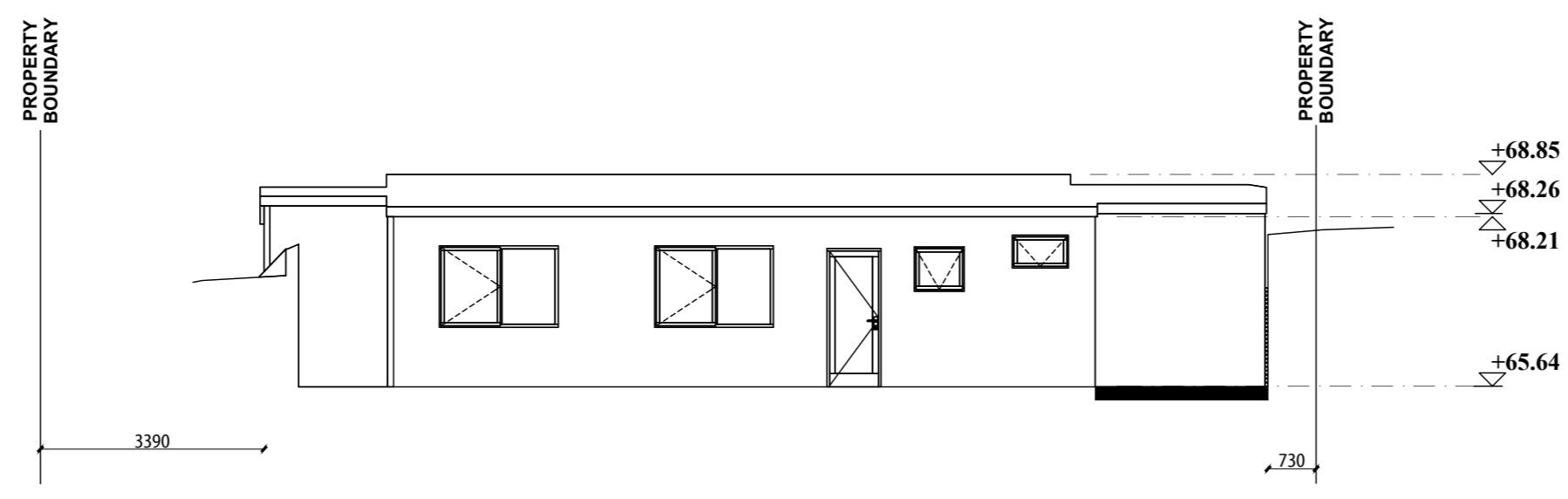
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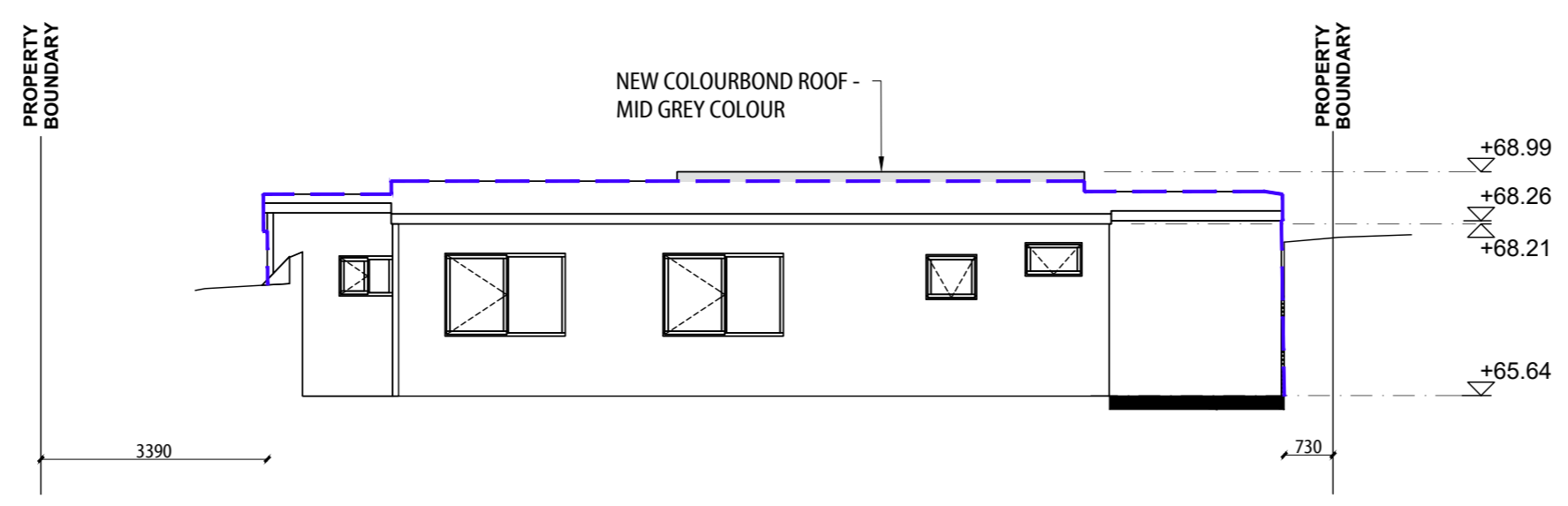


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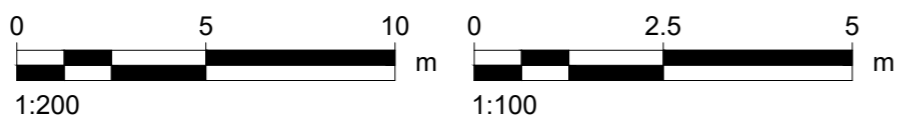
1 NORTH ELEVATION - PROPOSED  
Scale 1:100



1 NORTH ELEVATION - PROPOSED  
Scale 1:100

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LEGEND:  
 EXISTING BUILDING OUTLINE - - - - -



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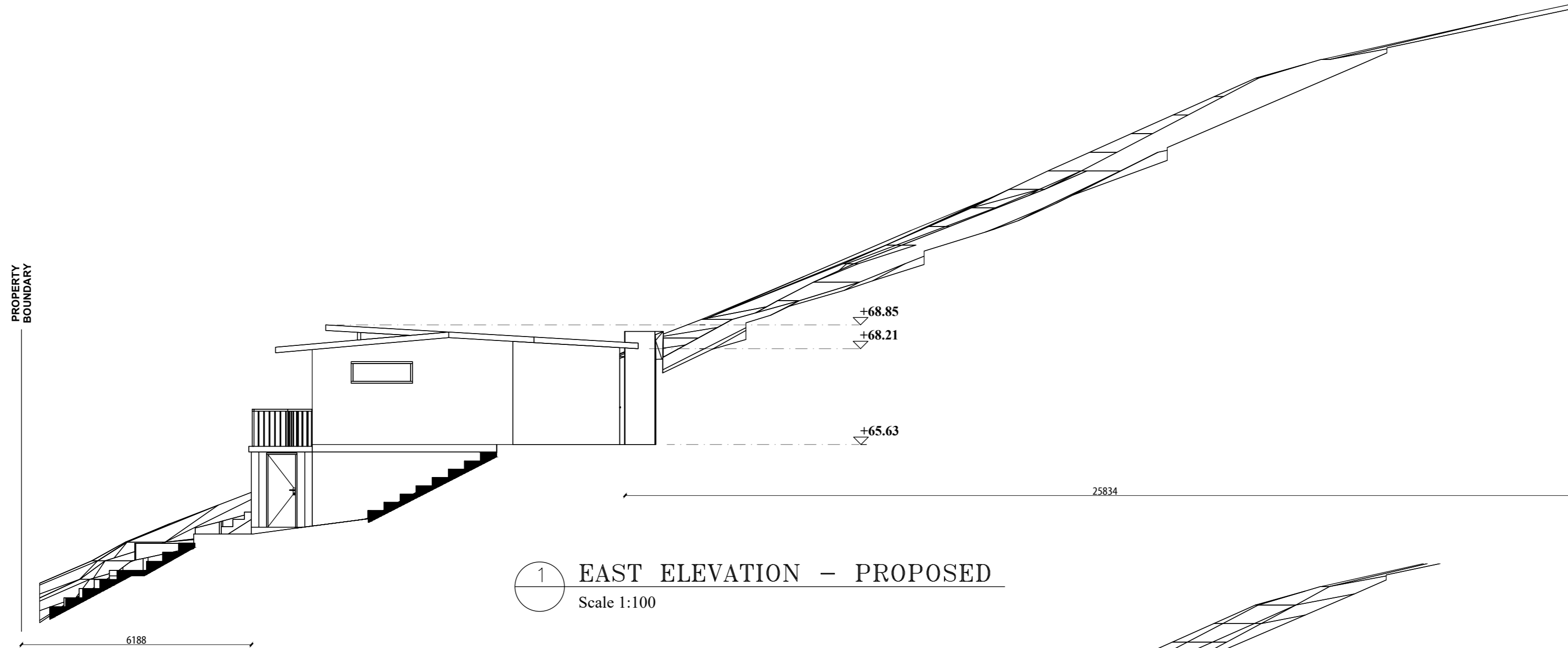
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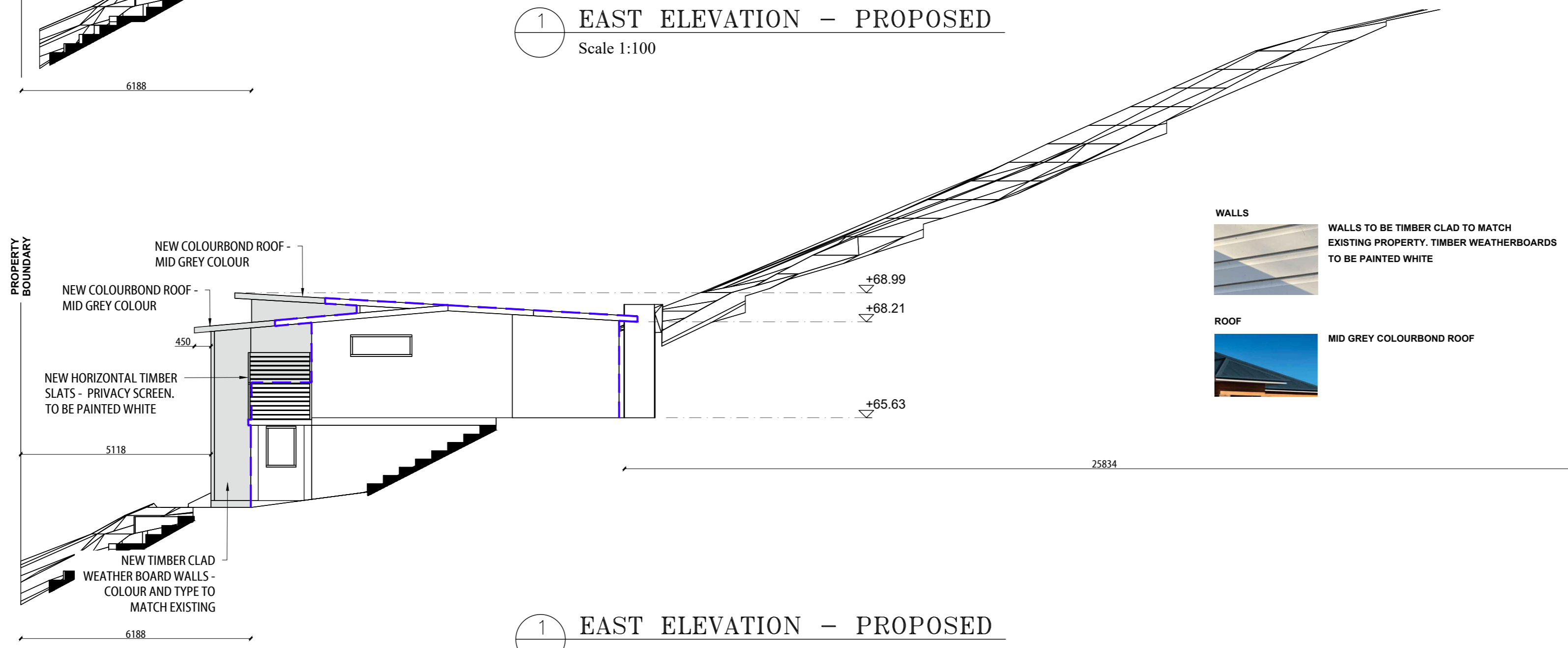
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LEGEND:  
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 PROPOSED WORK


General Notes




1 EAST ELEVATION - PROPOSED  
Scale 1:100



1 EAST ELEVATION - PROPOSED  
Scale 1:100

**WALLS**  
 WALLS TO BE TIMBER CLAD TO MATCH EXISTING PROPERTY. TIMBER WEATHERBOARDS TO BE PAINTED WHITE

**ROOF**  
 MID GREY COLOURBOND ROOF



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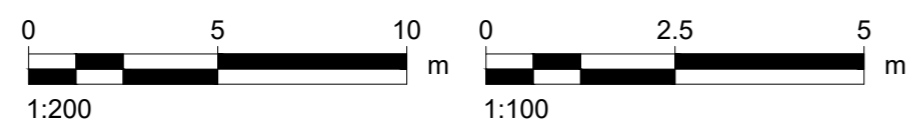
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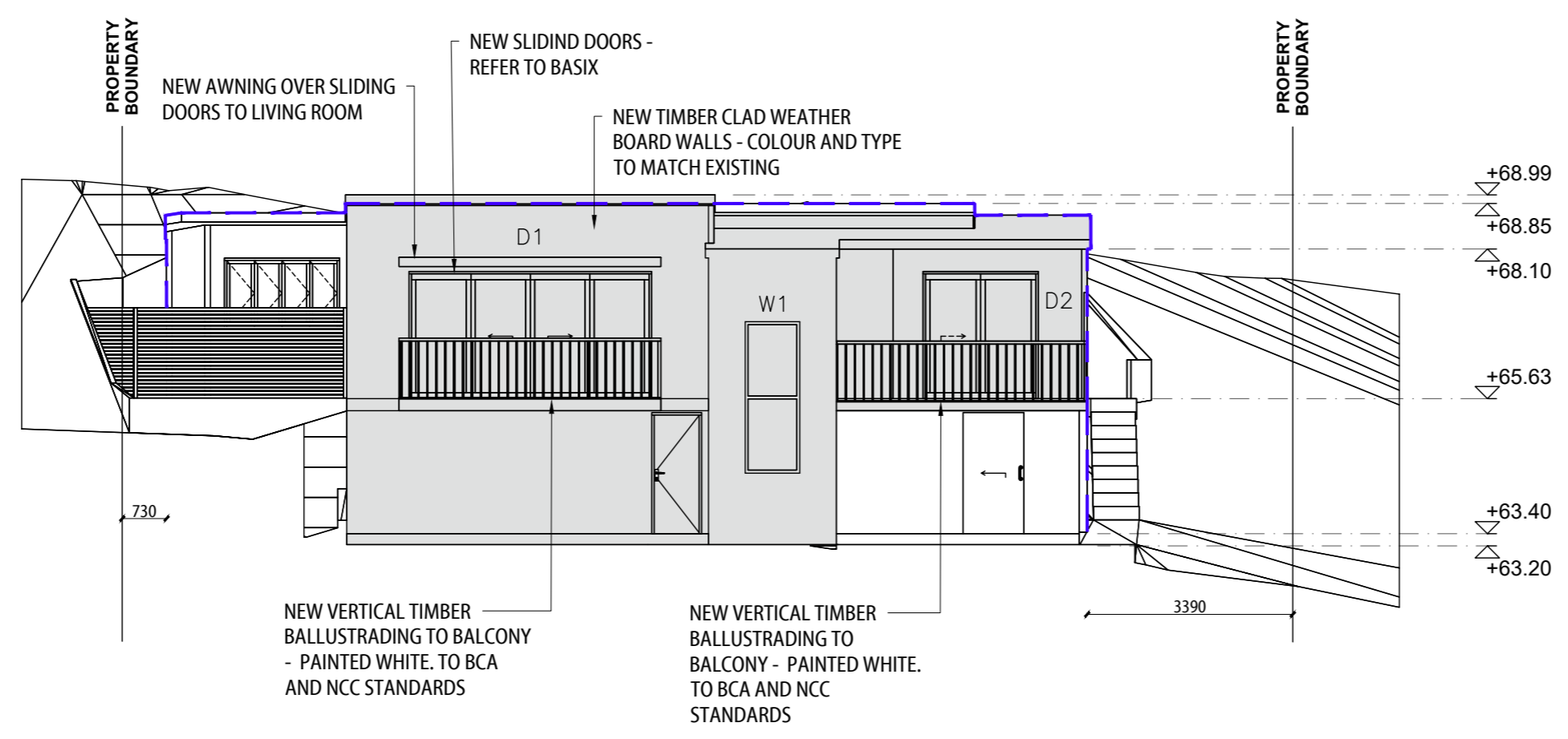
USER

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK



General Notes



1 SOUTH ELEVATION – PROPOSED  
Scale 1:100



1 SOUTH ELEVATION – PROPOSED  
Scale 1:100

- WALLS**
- 
- WALLS TO BE TIMBER CLAD TO MATCH EXISTING PROPERTY. TIMBER WEATHERBOARDS TO BE PAINTED WHITE
- ROOF**
- 
- MID GREY COLOURBOND ROOF



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Project ADDITIONS AND ALTERATIONS	Sheet
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11/08/2020	
Scale 1:100	

DP No. **531704**

LOT No. **3**

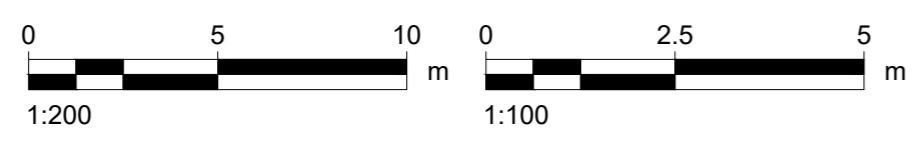
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NSW 2106

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**Windows and glazed doors glazing requirements**

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	S	2.26	10	1.3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	S	8.4	4.5	10	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	S	4.05	10	3.7	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)



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REVDATE

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Project ADDITIONS AND ALTERATIONS	Sheet
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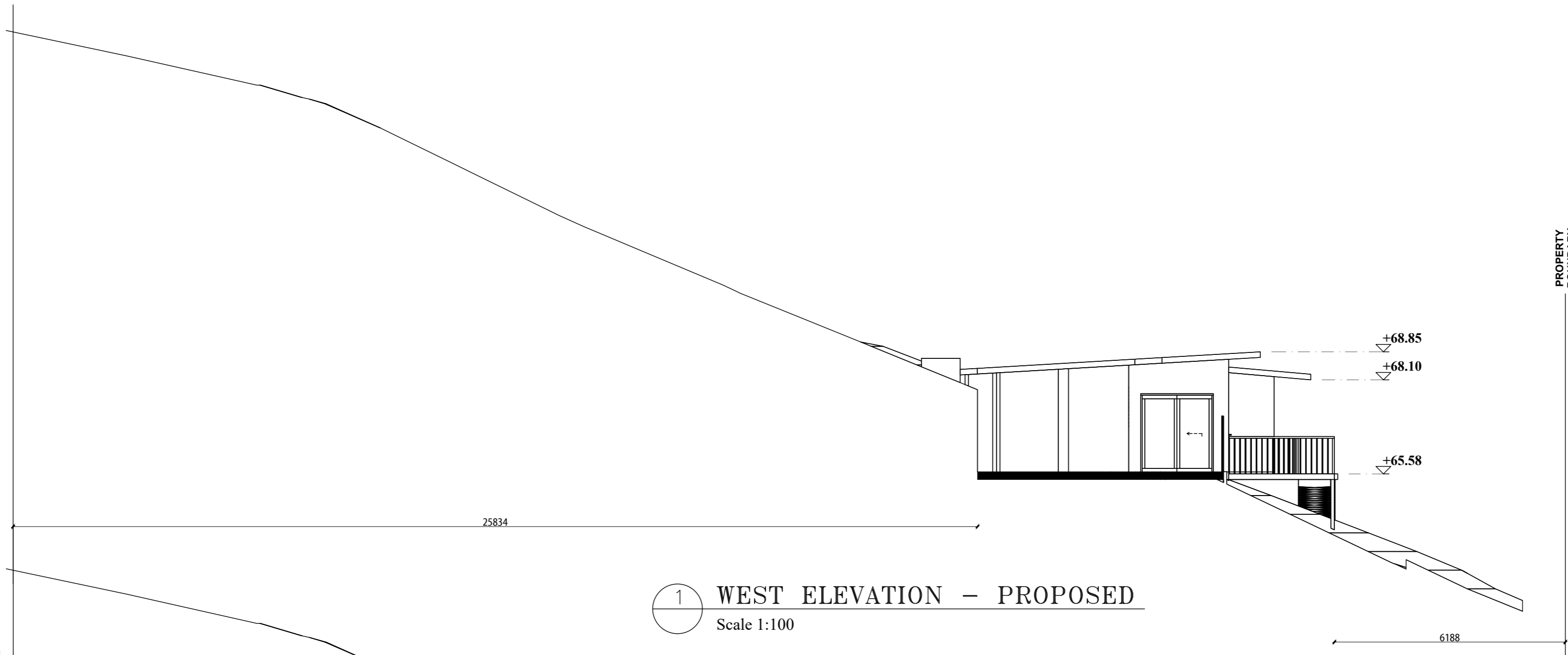
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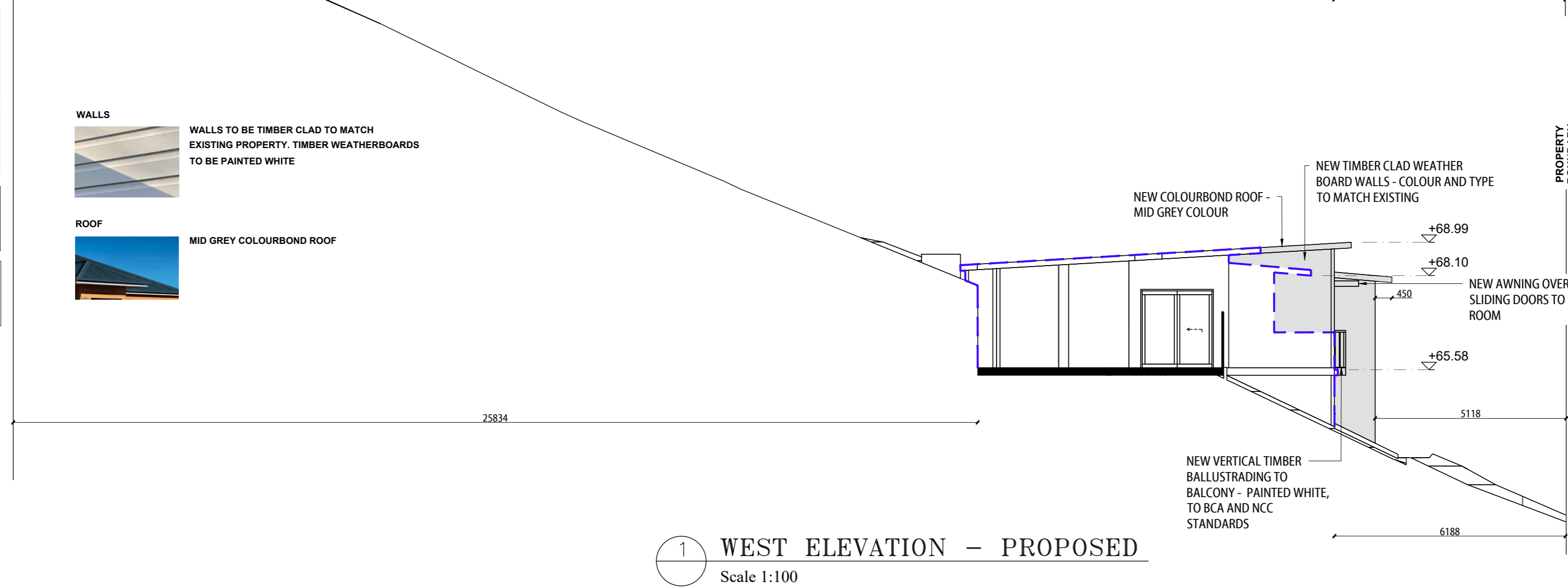
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1 WEST ELEVATION - PROPOSED  
Scale 1:100



1 WEST ELEVATION - PROPOSED  
Scale 1:100

BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUPPORTING SUPPLEMENTS RELEVANT TO THE APPLICABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

WALLS



WALLS TO BE TIMBER CLAD TO MATCH EXISTING PROPERTY. TIMBER WEATHERBOARDS TO BE PAINTED WHITE

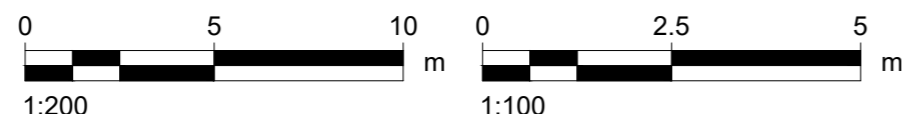
ROOF



MID GREY COLOURBOND ROOF

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LEGEND:

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**NOTES:**

**PRELIMINARIES**

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install propriety products or systems in accordance with the published recommendations of the manufacturer or supplier.

**Dimensions and Setout**

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

**CONCRETE CONSTRUCTION**

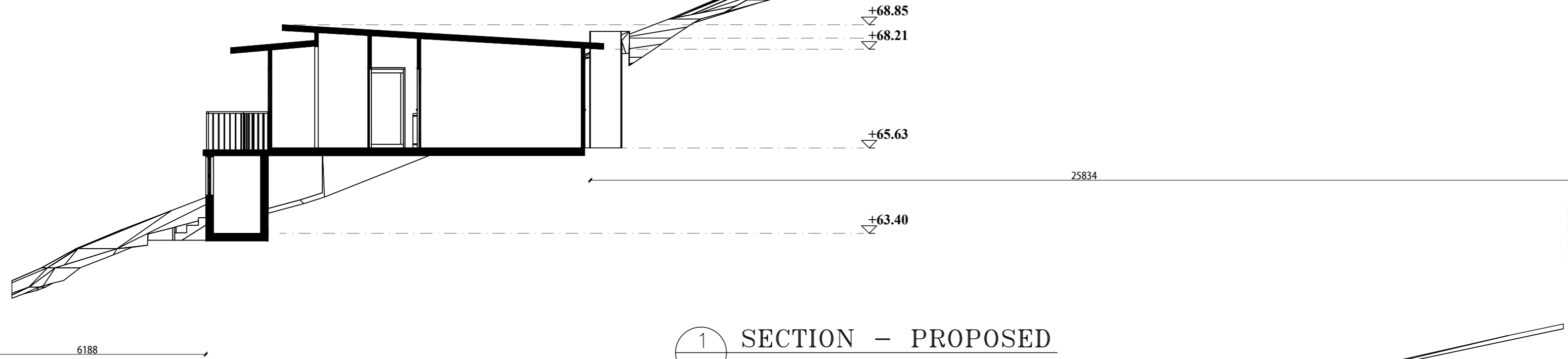
Concrete structures generally to AS3600.

Ground slabs and footings to AS2870.

Ready-mixed concrete to AS1379.

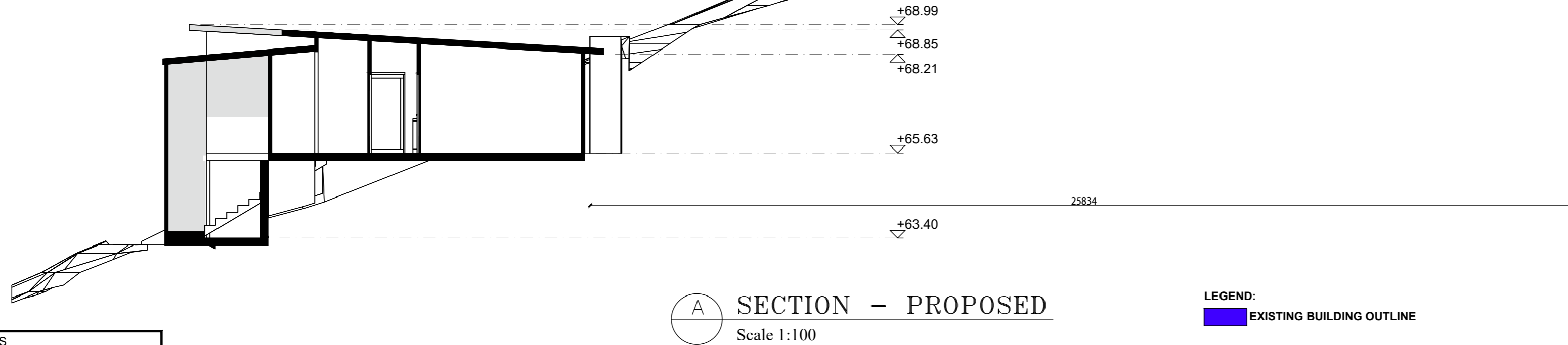
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

PROPERTY BOUNDARY



1 SECTION - PROPOSED  
Scale 1:100

PROPERTY BOUNDARY

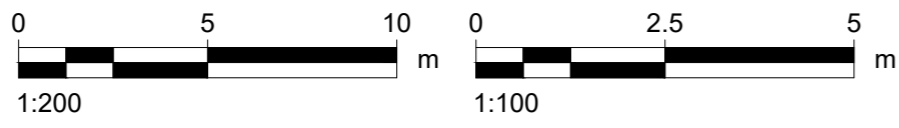


A SECTION - PROPOSED  
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Project ADDITIONS AND ALTERATIONS	Sheet
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DP No. 531704

LOT No. 3

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NSW 2106

FNAME

REV/DATE

USER

**NOTES:**

**TIMBER AND STEEL CONSTRUCTION**

All timber framing and flooring to AS1684, AS1720.1 where relevant.  
Structural steelwork to AS4100.  
Preparation of metal surfaces to AS1627.  
Flashing and damp-proof courses to AS2904.

**TERMITE PROTECTION**

Termite protection to AS3660.1.  
Use a physical barrier system installed by licensed installers to manufacturer's specification.  
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

**Decking**

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.  
New timber decking to AS2796.

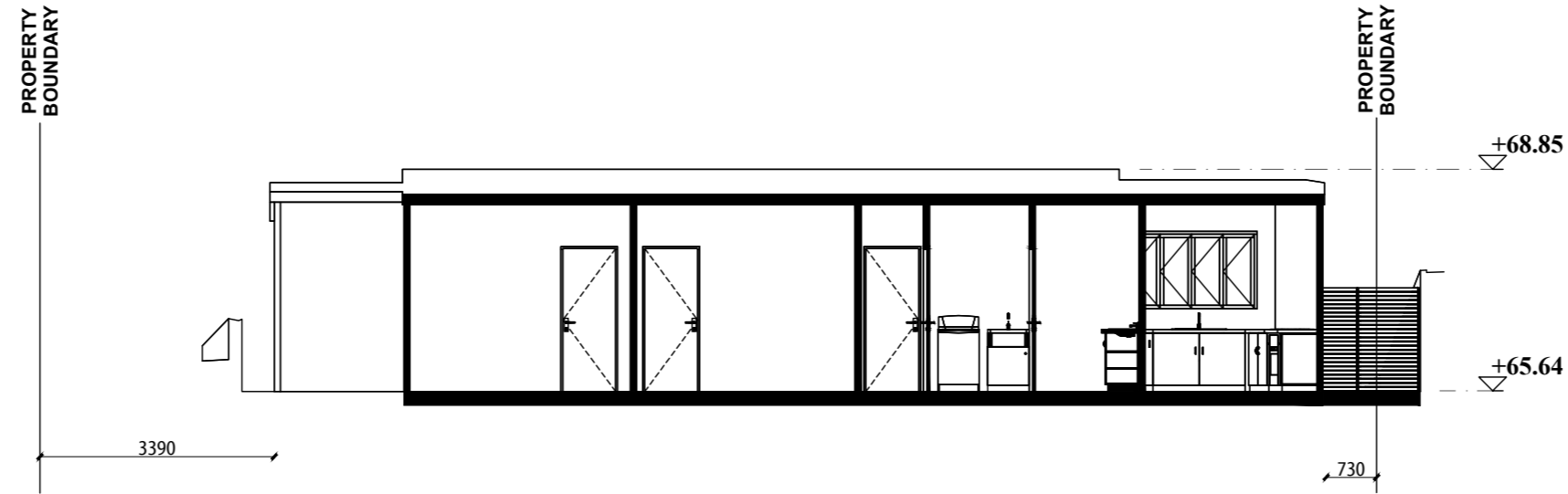
SANITARY PLUMBING AND DRAINAGE; SHALL BE UNDERTAKEN IN ACCORDANCE WITH LOCAL PCA AND REQUIREMENTS OF REGULATORY AUTHORITY. TO BE CARRIED OUT BY APPROPRIATELY QUALIFIED PERSON.

GUTTERS AND DOWNPIPES TO COMPLY WITH PART 3.5.2 OF THE BCA. GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.

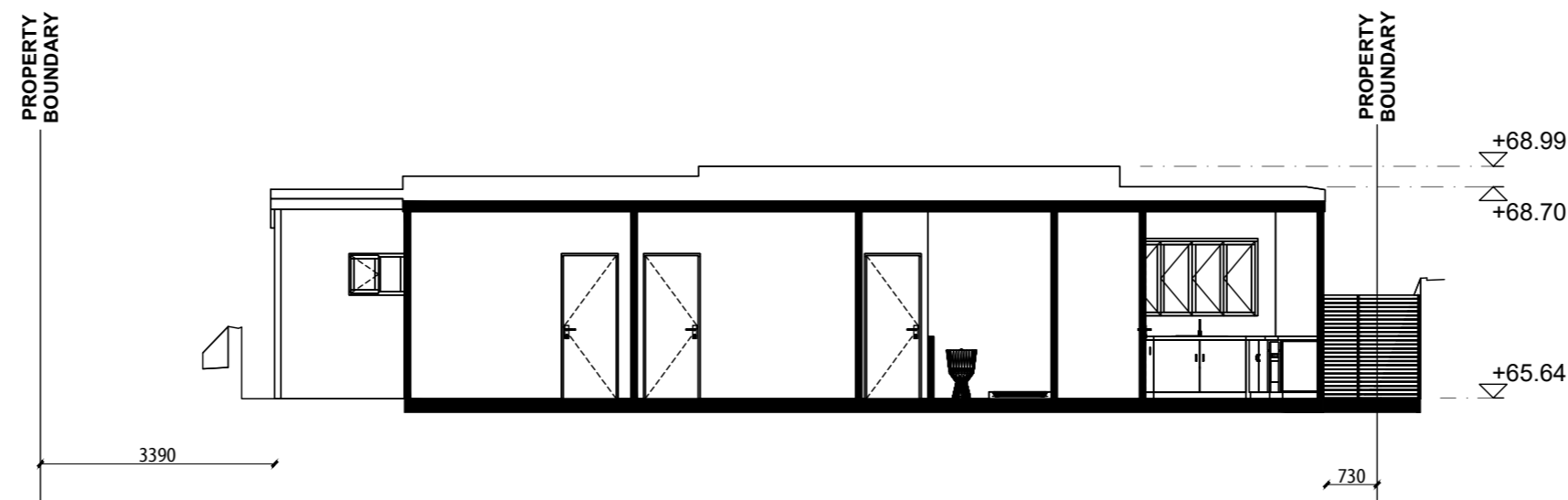
SMOKE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA AND COMPLY WITH AS 3786.

ALL ELECTRICAL WORK SHALL BE COMPLY WITH AS/NZS5033 AND AS3000.

FALLS IN WET AREAS: FLOOR TILES TO BE GRADED TO WASTE AREAS AND WHERE REQUIRED. RECOMMENDED RATIO OF FALL WITHIN THE SHOWER TO BE BETWEEN 1:60 & 1:100.



1 SECTION - PROPOSED  
Scale 1:100

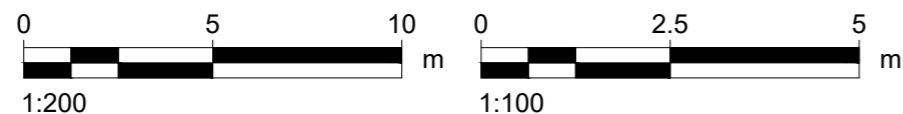


B SECTION - PROPOSED  
Scale 1:100

LEGEND:  
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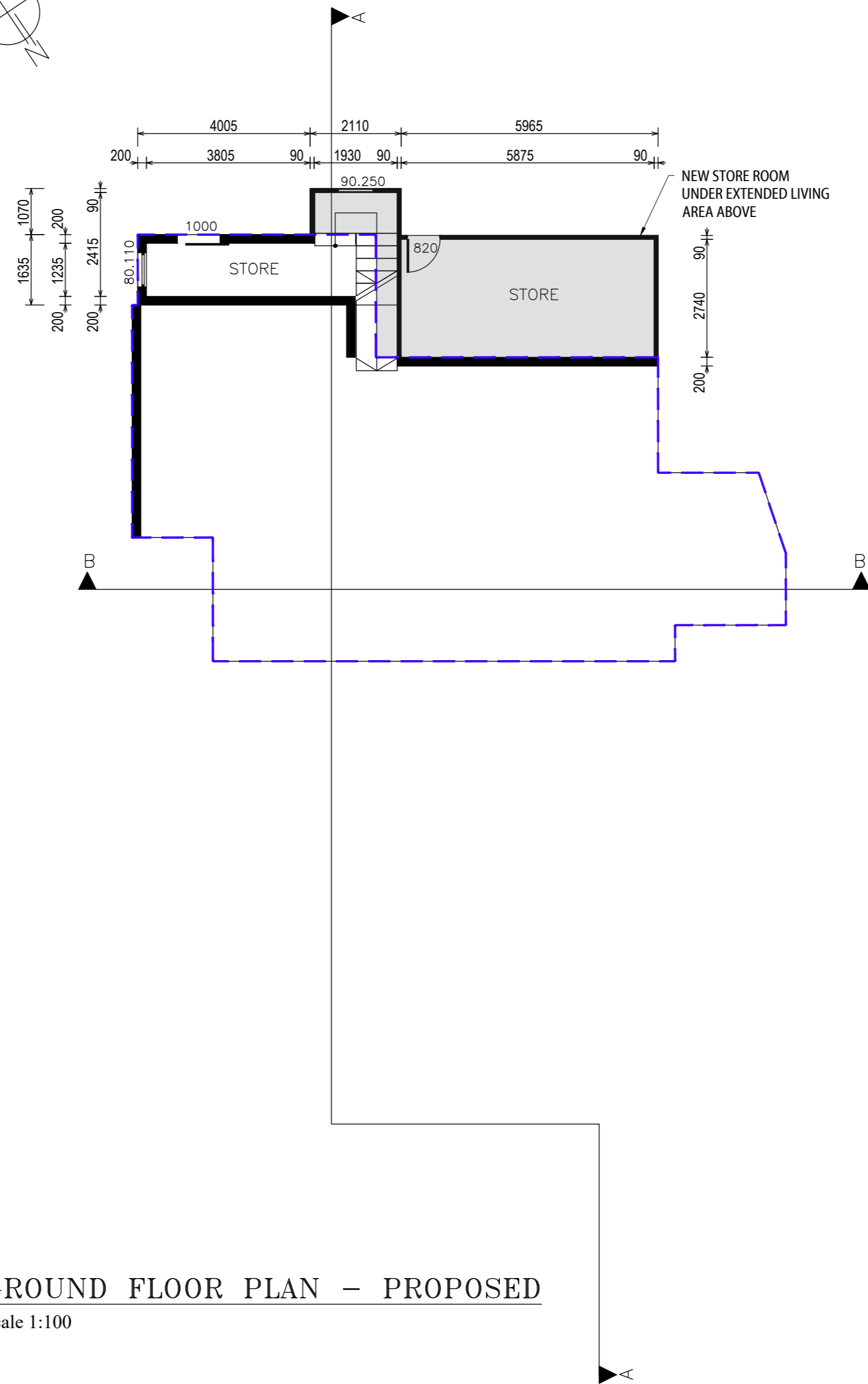
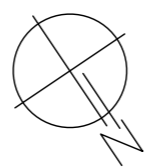
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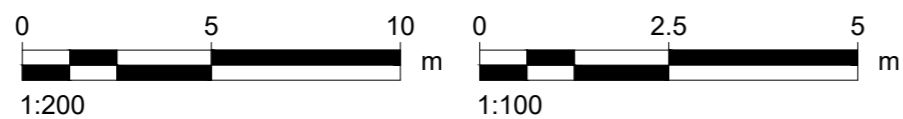




1 GROUND FLOOR PLAN - PROPOSED  
Scale 1:100

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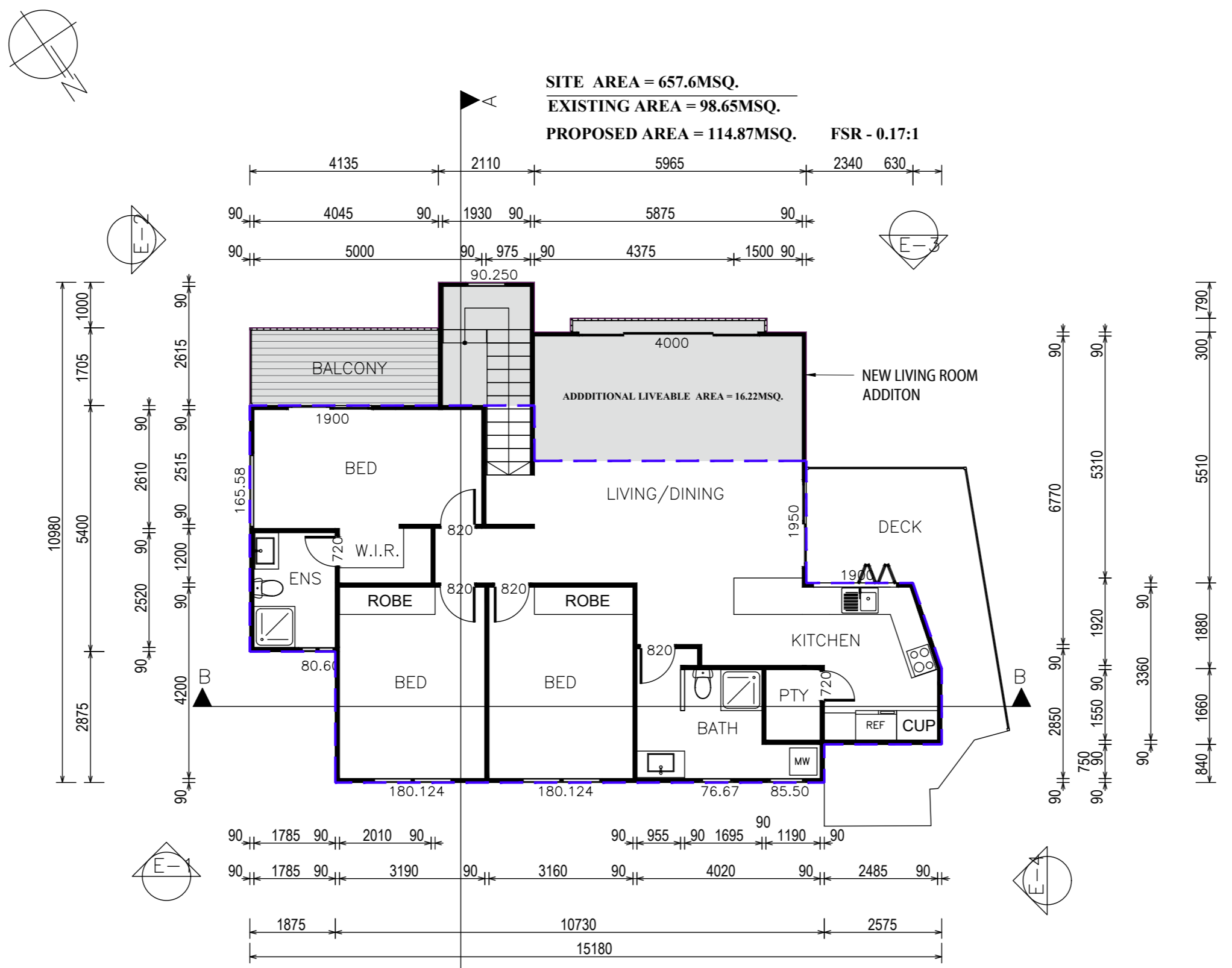
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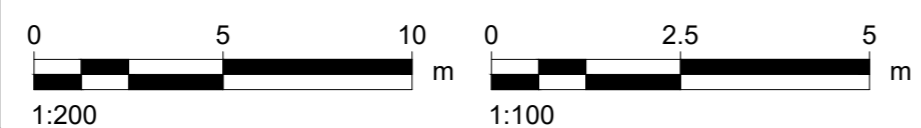
General Notes



**1 1ST FLOOR PLAN - PROPOSED**  
Scale 1:100

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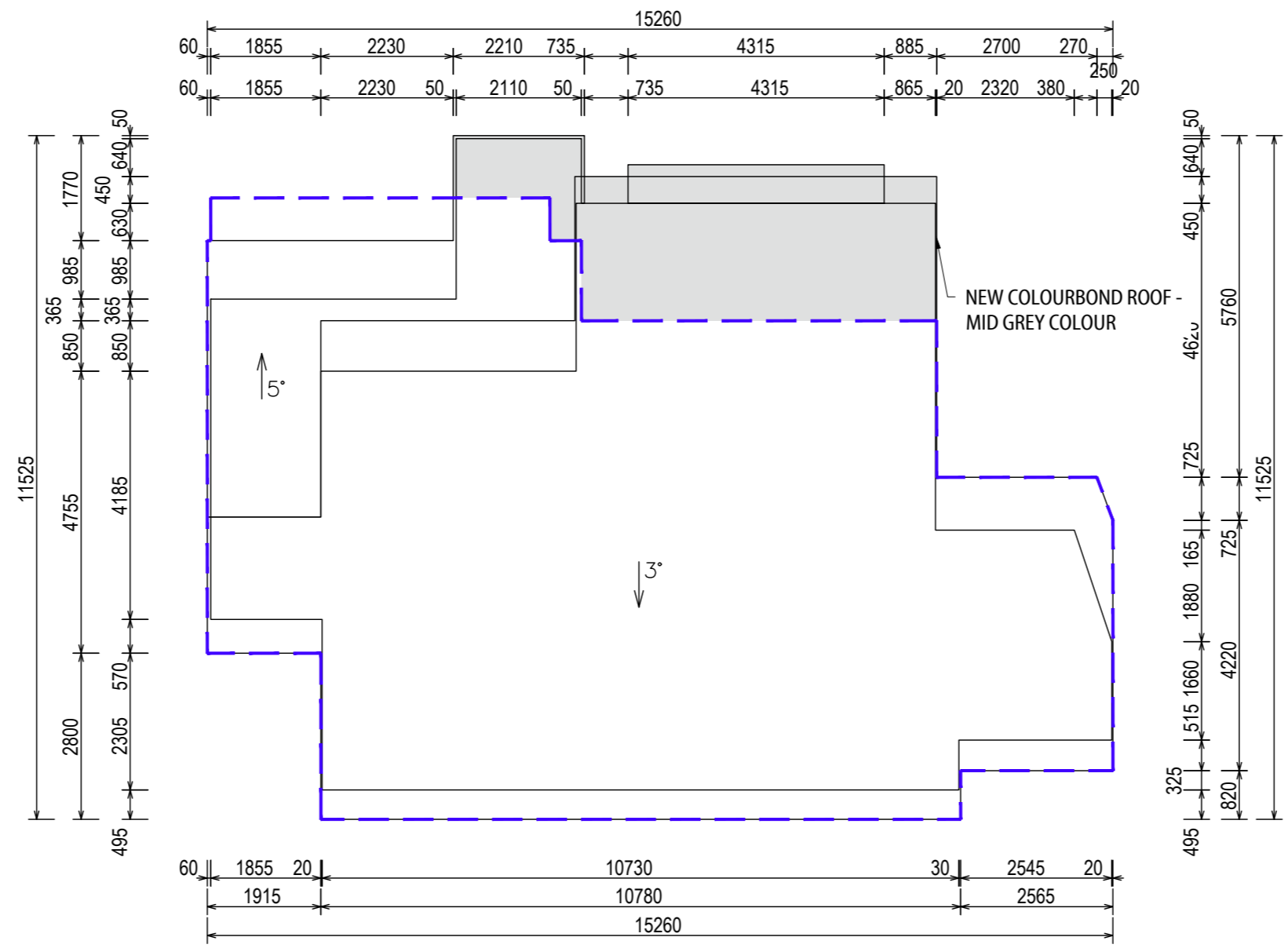
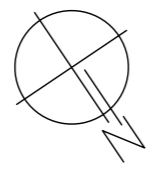
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1 ROOF PLAN - PROPOSED  
Scale 1:100

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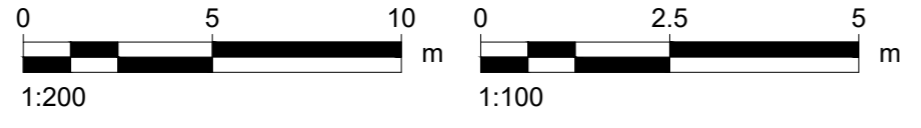
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40 WALLUMATTA RD  
NEWPORT  
NSW 2106

**GENERAL NOTES**

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- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
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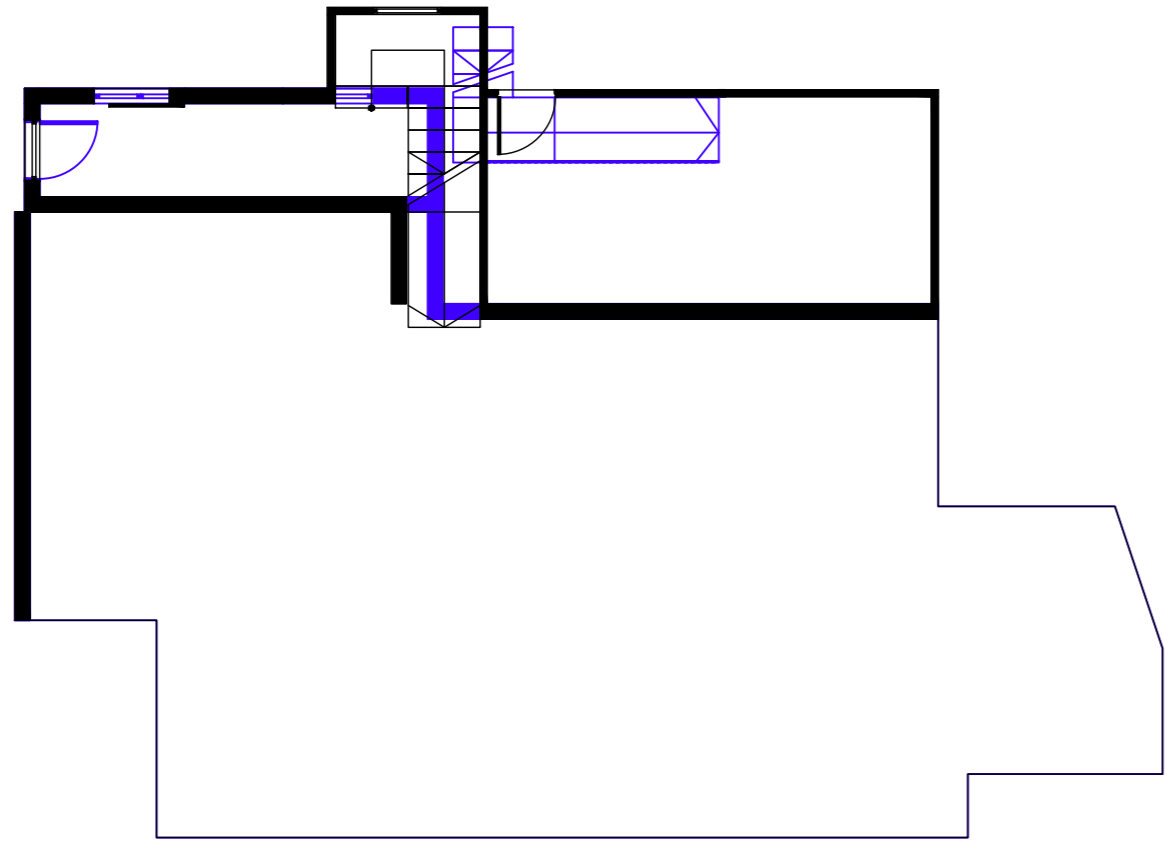
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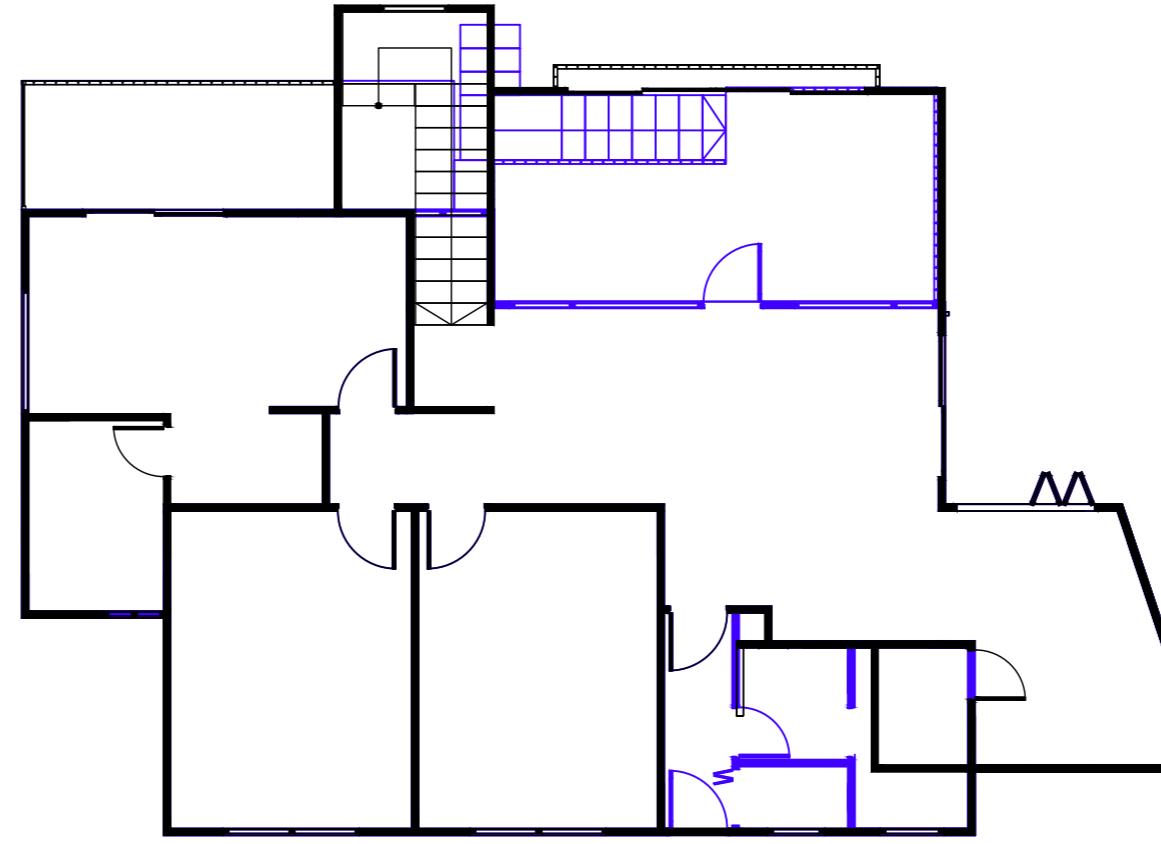
LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes




1 DEMOLITION PLAN - LOWER LEVEL  
Scale 1:100

LEGEND:  
 WALLS TO BE REMOVED



1 DEMOLITION PLAN - 1ST FLOOR  
Scale 1:100

LEGEND:  
 WALLS TO BE REMOVED



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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>13</b>
11/08/2020	
Scale	
1:200	

DP No. 531704

LOT No. 3

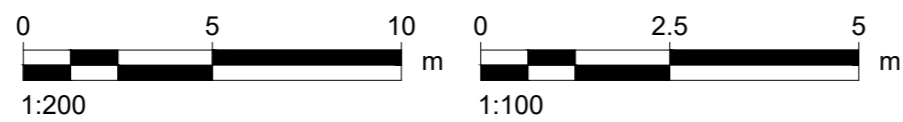
No.	Revision/Issue	Date
A	ISSUED FOR CDC	20.08.2020

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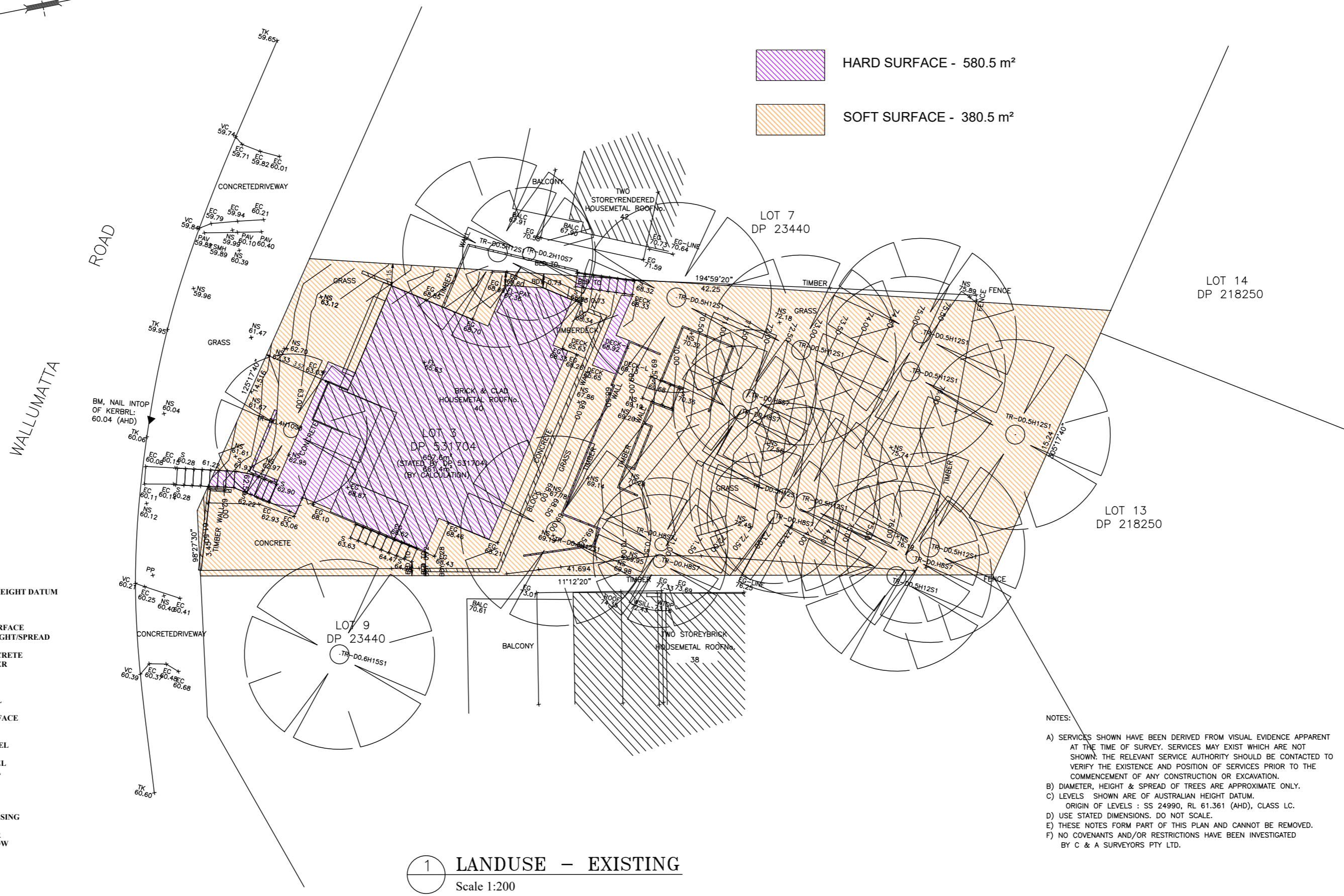
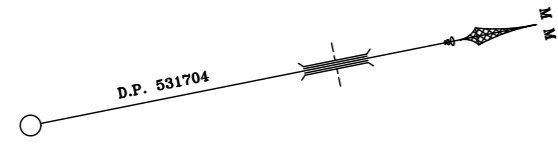
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# EXISTING LAND USE



- LEGEND:**
- AHD AUSTRALIAN HEIGHT DATUM
  - AWN AWNING
  - BM BENCH MARK
  - CONC CONCRETE
  - CS CONCRETE SURFACE
  - D/H/S DIAMETER/HEIGHT/SPREAD
  - D DOOR
  - EC EDGE OF CONCRETE
  - EG EAVE & GUTTER
  - FL FLOOR LEVEL
  - GDN GARDEN
  - HYD HYDRANT
  - IL INVERT LEVEL
  - LH LAMP HOLE
  - NS NATURAL SURFACE
  - PAV PAVERS
  - PP POWER POLE
  - RL REDUCED LEVEL
  - S STEPS
  - SL SURFACE LEVEL
  - SILL WINDOW SILL
  - SV STOP VALE
  - TEL TELSTRA PIT
  - TK TOP OF KERB
  - TW TOP OF WALL
  - VC VEHICLE CROSSING
  - W WINDOW
  - WM WATER METER
  - WTOP TOP OF WINDOW

**1 LANDUSE - EXISTING**  
Scale 1:200

- NOTES:**
- A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
  - B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
  - C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.  
ORIGIN OF LEVELS : SS 24990, RL 61.361 (AHD), CLASS LC.
  - D) USE STATED DIMENSIONS. DO NOT SCALE.
  - E) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
  - F) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

- LEGEND:**
- EXISTING BUILDING OUTLINE
  - PROPOSED WORK
- General Notes



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Date	<b>14</b>
11/08/2020	
Scale	
1:200	

DP No. **531704**

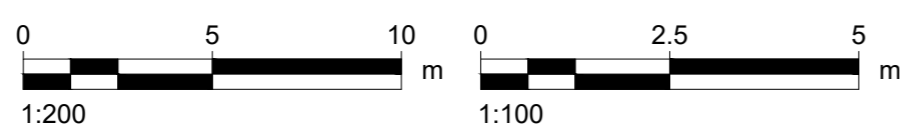
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<b>A</b>	<b>ISSUED FOR CDC</b>	20.08.2020
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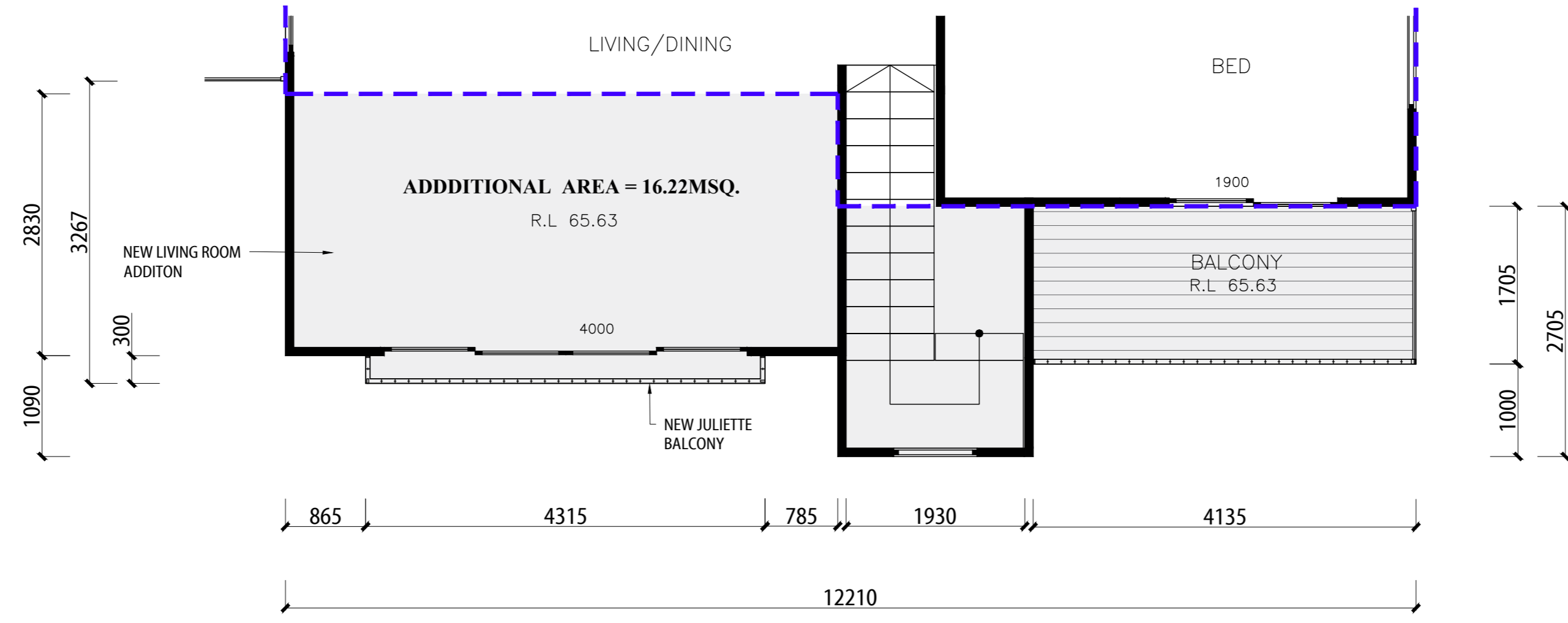




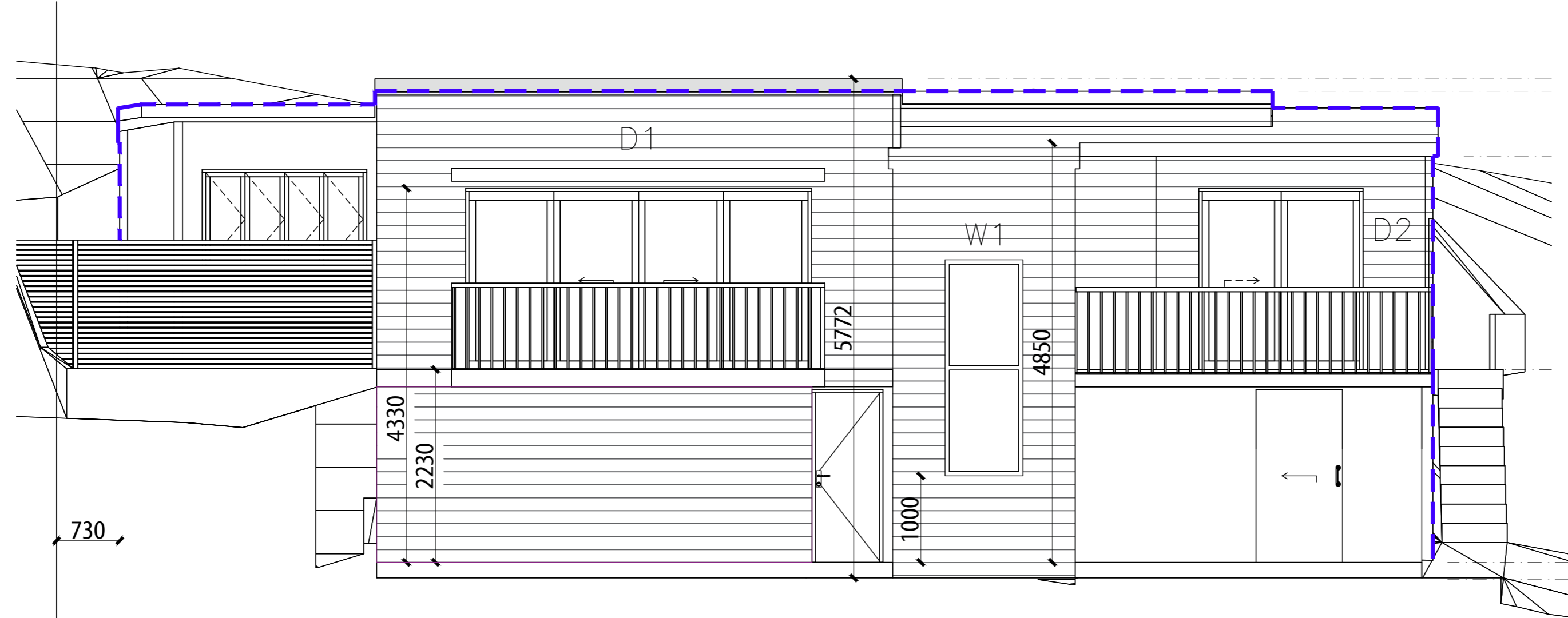


LEGEND:  
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 PROPOSED WORK

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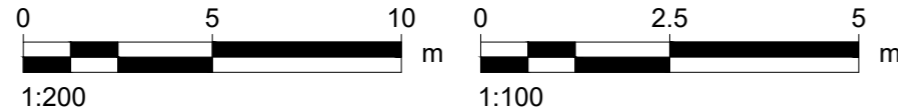
1 FLOOR PLAN - PROPOSED  
Scale 1:50



1 SOUTH ELEVATION - PROPOSED  
Scale 1:50

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Date	<b>16</b>
11/08/2020	
Scale	
1:200	

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LOT No. **3**

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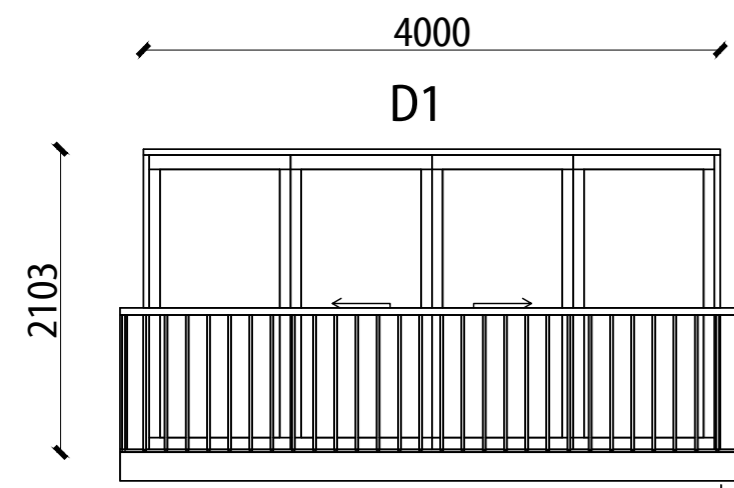
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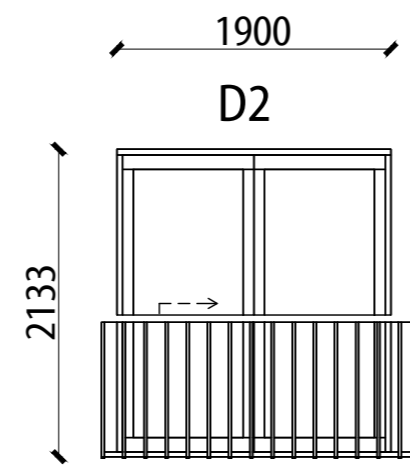
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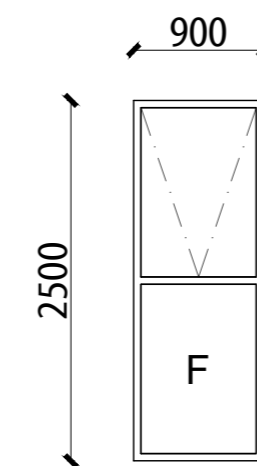
# WINDOW AND DOOR SCHEDULE



**D1**  
 TYPE: SLIDING GLASS DOORS  
 ORIENTATION : SOUTH  
 AREA : 8.4MSQ.



**D2**  
 TYPE: SLIDING GLASS DOORS  
 ORIENTATION : SOUTH  
 AREA : 4.05MSQ.



**W1**  
 TYPE: AWNING  
 ORIENTATION : SOUTH  
 AREA : 2.25MSQ.

ARCHITECTURAL DRAFTING  
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Date	<b>17</b>
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1:200	

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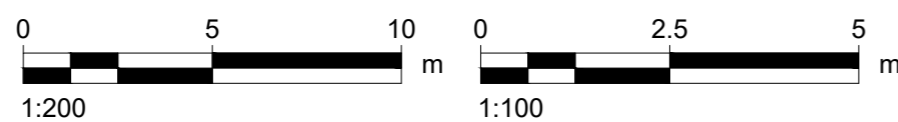
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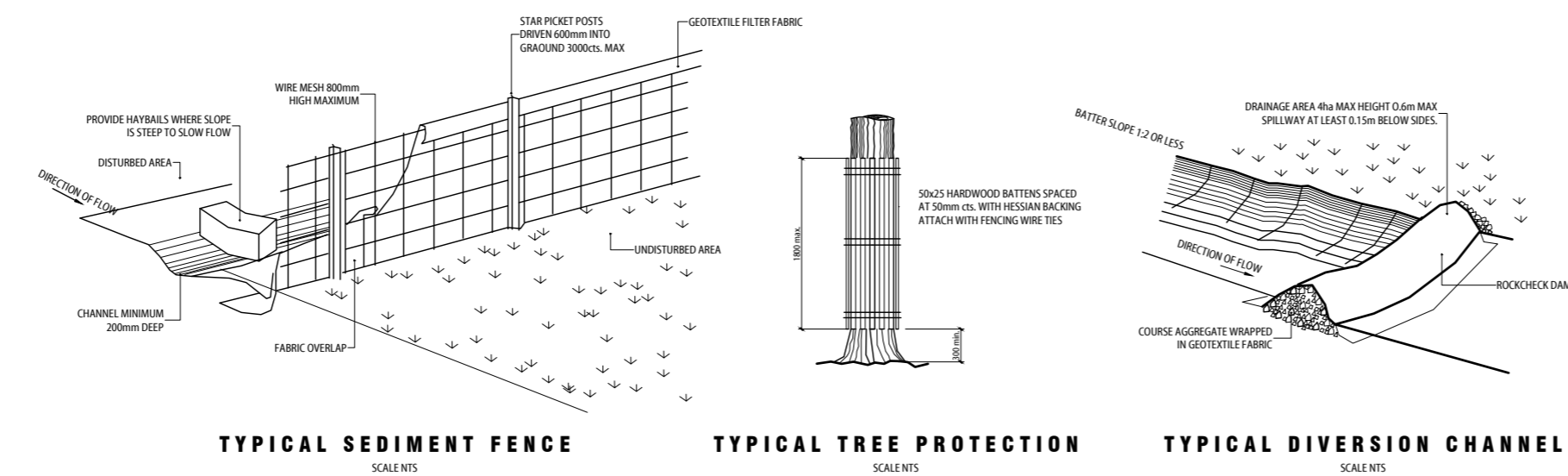
FNAME

RE/DATE

USER

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes



**Designated Site Manager/Builder**  
PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE APPOINTED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSURES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACT PARTIES AS WELL AS ADDRESSING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**Topsoil Management**  
PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REVEALED BY EITHER SLASHING OR MOWING.  
ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE.  
SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCURBS, WITHIN DRAINAGE LINE/FLOW PATHS OR AROUND OR NEARBY TREE SUBROSES.  
SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPROVED MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT.  
IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRADED IMMEDIATELY AND STABLED WITHIN FOURTEEN DAYS. SURFACE TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

**Building Material Stockpiling**  
SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**Sediment Fences**  
A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILL/STOP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

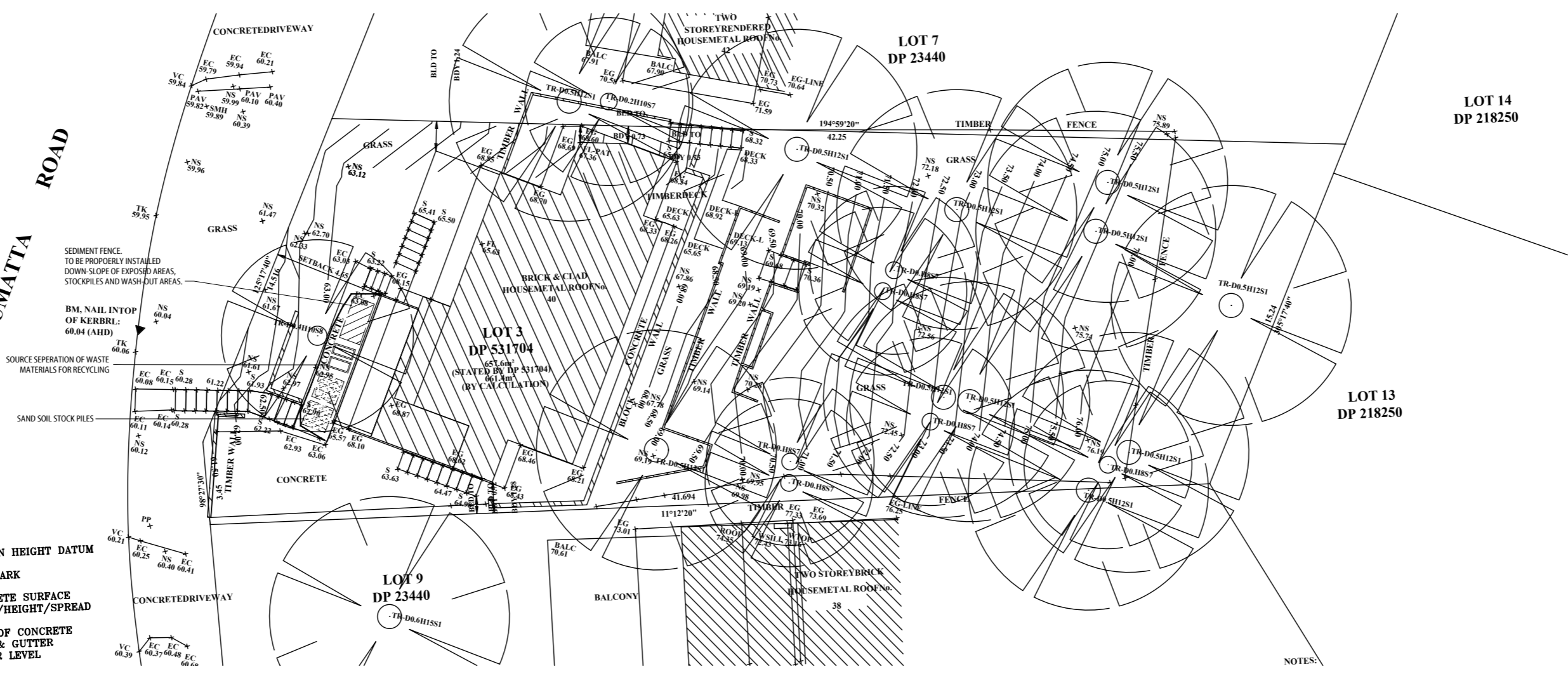
**Vehicle Movements**  
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS.  
ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACT SURF GRASS AS SOON AS POSSIBLE AFTER THEIR FORMATION.  
WHERE SPLASH DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.  
ALL VEHICLES ARE TO BE WASHED PRIOR TO EXITING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SOIL MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND TRAIL. THE STORMWATER SYSTEM ALL POLLUTED WATER MUST BE RETAINED ON SITE FOR TREATMENT BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM.  
NO VEHICLE ASSOCIATED WITH THE WORKS IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE.  
ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THIS AREA.

**Sediment Traps**  
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE CUTTING AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUCER.

**Diversion Channels**  
A DIVERSION CHANNEL CAN BE CALLED BATHY CUT OR FATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE.  
ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPPER EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**Erosion & Sediment Controls**  
APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.  
THESE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROL IS DAMAGED OR BECOMES INEFFECTIVE DURING THE COURSE OF THE WORKS THIS IS TO BE REINFORCED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

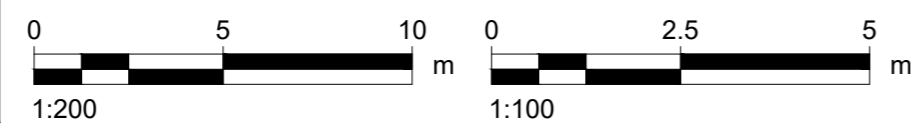
**Dust Control**  
ALL TRUCKS/VESICLES MUST COVER THEIR LOADS AT ALL TIMES.  
APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION.  
WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE, THE WIND BLOW AREA MUST BE WATERED DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST.  
EARTH MOWING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO BLOW DUST.



**SEDIMENT AND EROSION CONTROL PLAN**  
SCALE 1:200

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Scale NTS	
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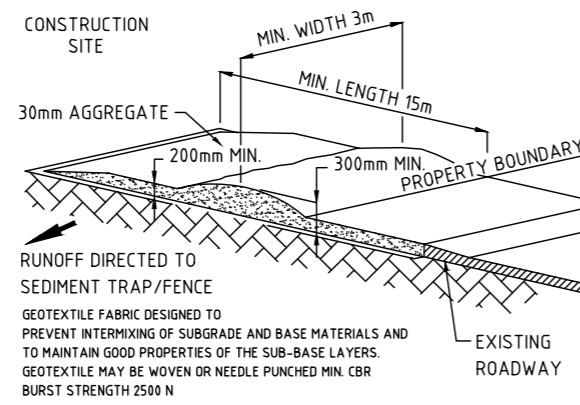
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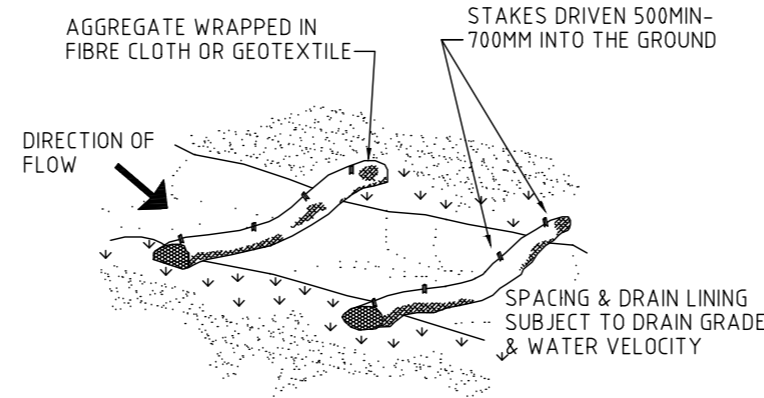


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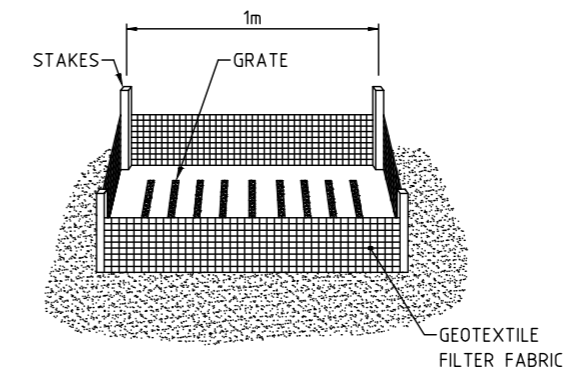
General Notes



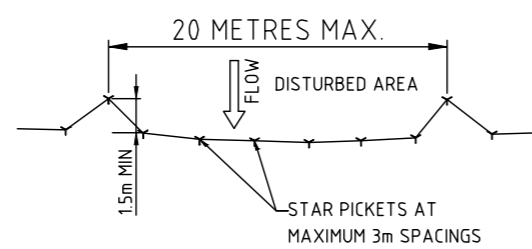
**STABILISED SITE ACCESS**



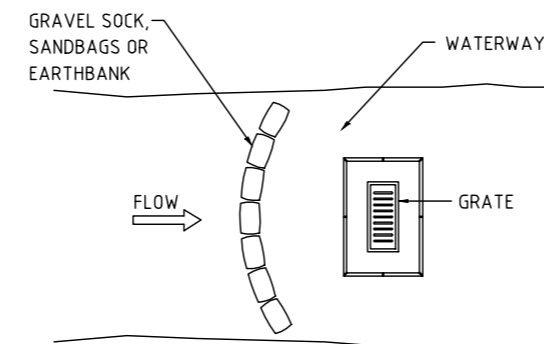
**GRAVEL SOCK CHECK DAM**



**GEOTEXTILE STORMWATER INLET FILTER**



**SEDIMENT FENCE PLAN**



**STORMWATER INLET FILTER**

**CONTROLLING CONTAMINATION ON SITE**

Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overland flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

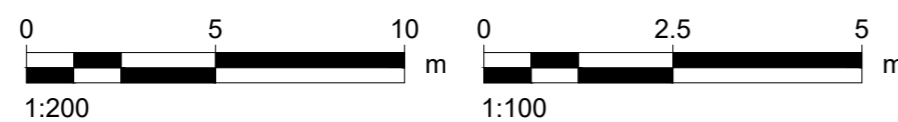
Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodable areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

**POST-CONSTRUCTION AND EROSION CONTROL**

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion. Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf. Mulch (straw or other material) can be used on open garden beds to protect soil and support plant growth. Mulch spread to a depth of 75-100mm minimises soil and water loss and controls weed growth. Mulch may be less suitable on steep sites and in high wind areas. Temporary, quick germinating grasses such as rye and oats can be used to stabilise soil until slower growing plants can be established. This method is only effective after the grass seeds have germinated and established a root structure. Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes. Integrate landscaping strategy with sediment control. For example, diversion channels and trenches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

**SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS**

**GENERAL NOTES**  
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 •ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.  
 •CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>S2</b>
11/08/2020	
Scale NTS	

DP No. **531704**

LOT No. **3**

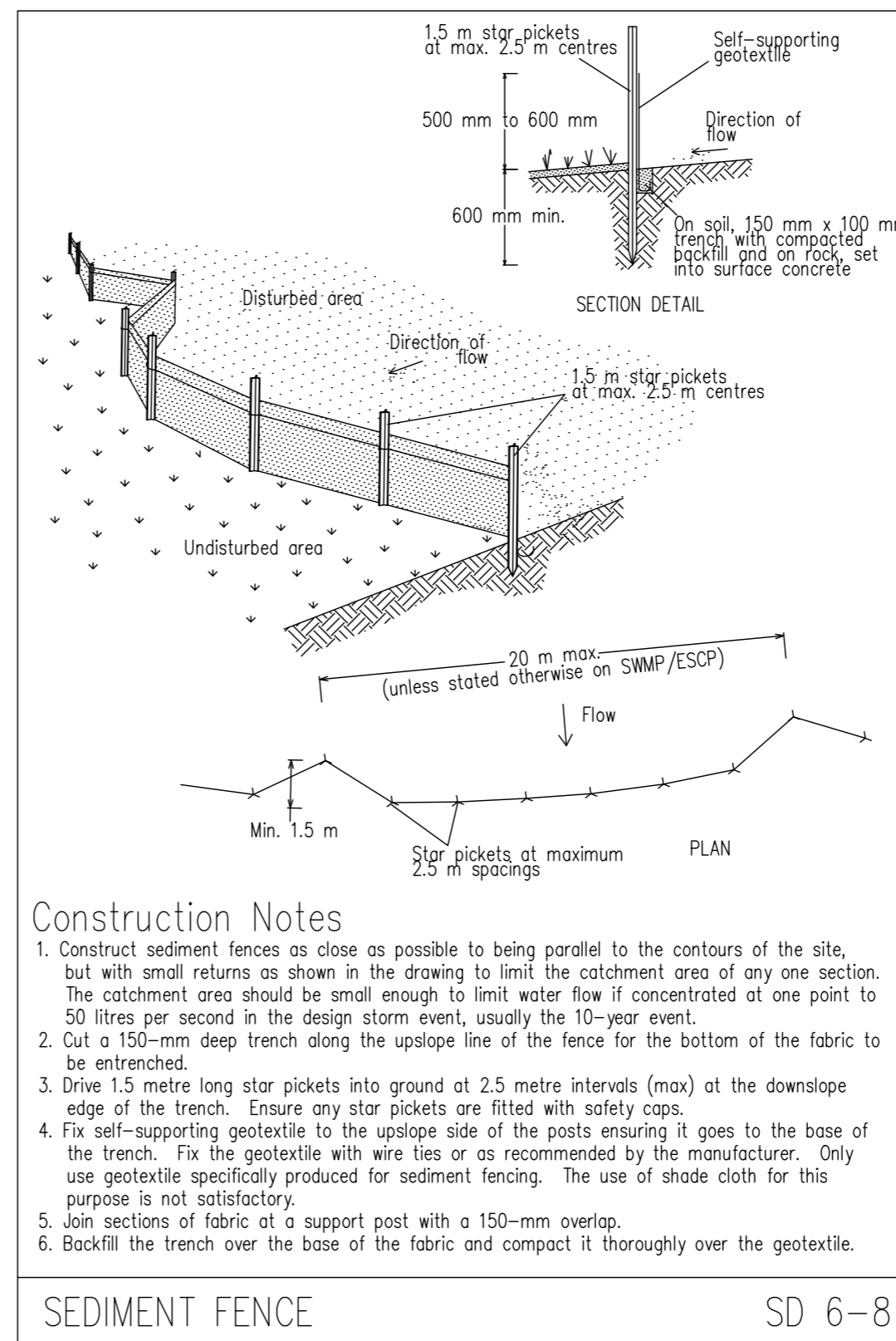
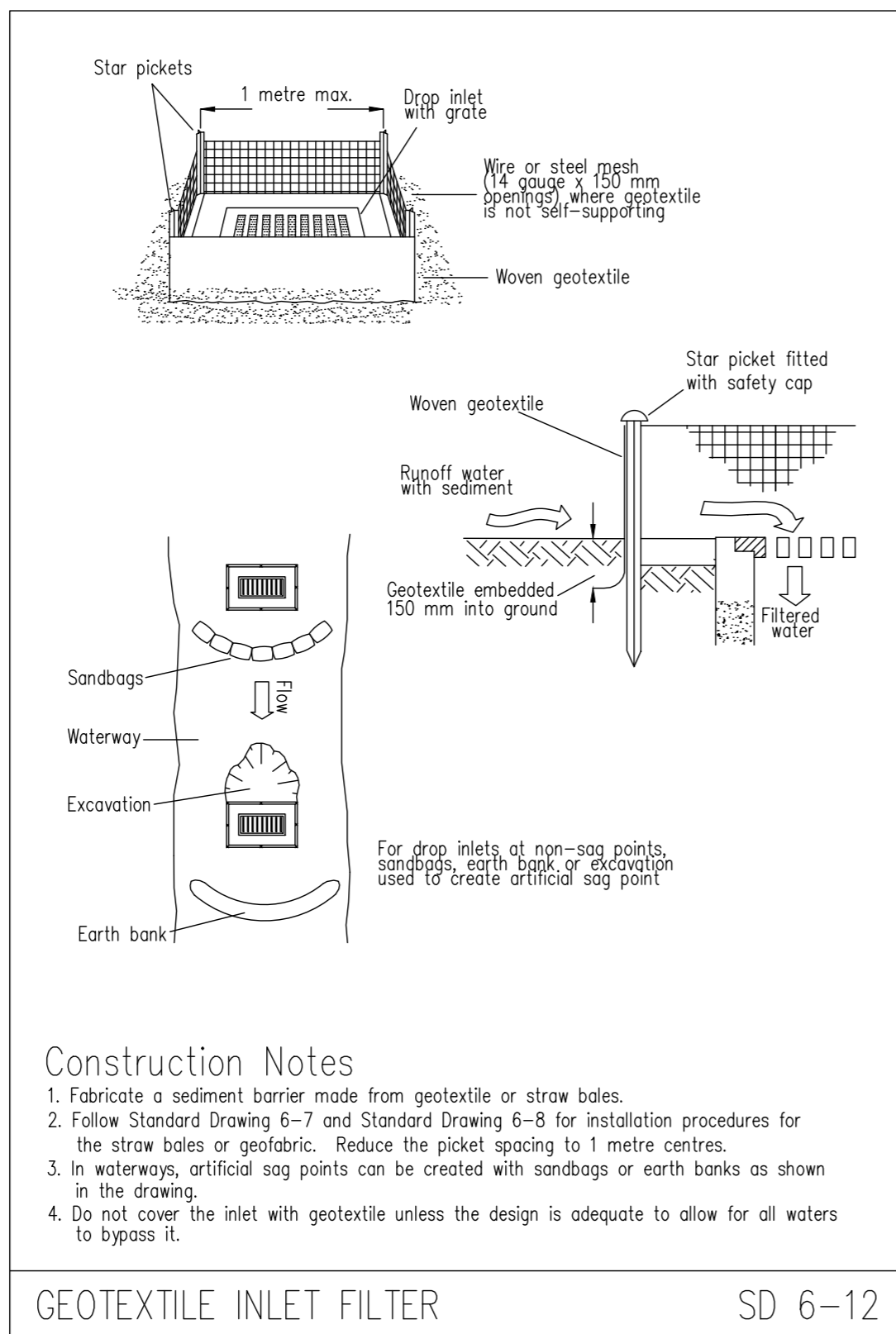

No.	Revision/Issue	Date
A	ISSUED FOR CDC	20.08.2020

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Project Name and Address  
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**40 WALLUMATTA RD**  
**NEWPORT**  
**NSW 2106**

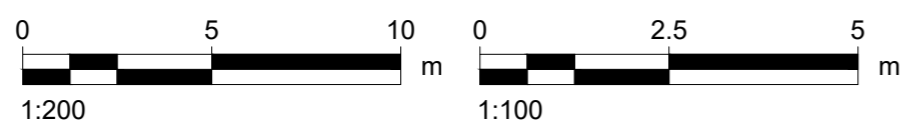
LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



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Date	<b>S3</b>
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Scale NTS	

DP No. **531704**

LOT No. **3**

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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



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Project ADDITONS AND ALTERATIONS	Sheet <b>SA</b>
Date 11/09/2020	
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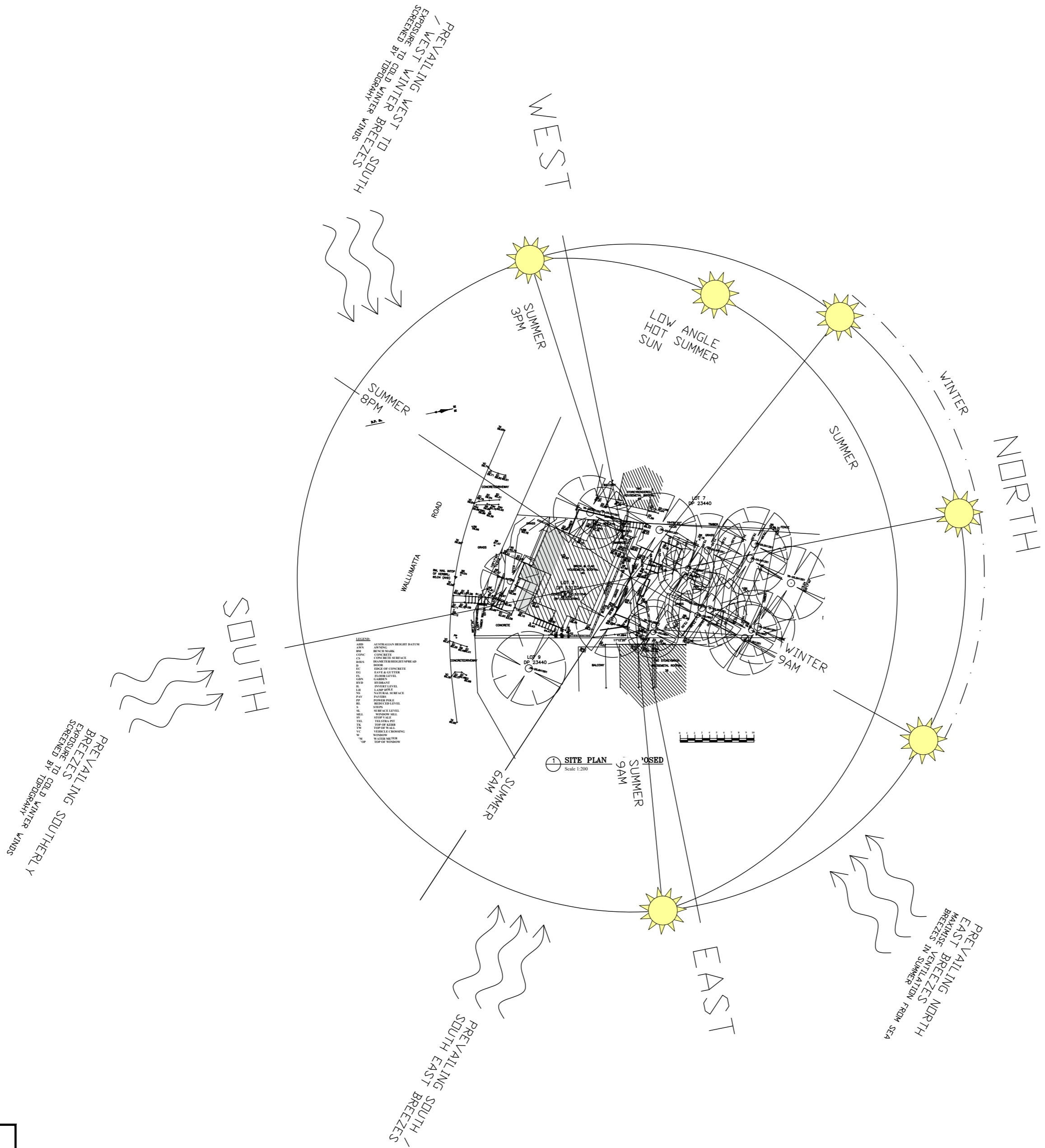
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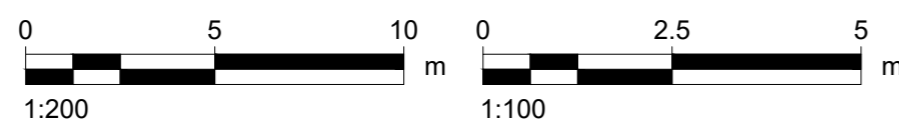
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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 **EXISTING BUILDING OUTLINE**  
 **PROPOSED WORK**

**General Notes**

**PRELIMINARIES**

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietary products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout  
Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

**TERMITE PROTECTION**

Termite protection to AS3660.1.  
Use a physical barrier system installed by licensed installers to manufacturer's specification.  
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

**SITE PREPARATION**

Groundworks for slabs and footings to AS2870.  
Demolition to AS2601.  
Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

**EXCAVATION**

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

**VAPOUR BARRIERS**

All vapour barriers to AS2870.  
Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film.  
Provide anti-caps between any brick or stone piers and sub walls and timber bearers.

**SERVICE TRENCHES**

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

**CONCRETE CONSTRUCTION**

Concrete structures generally to AS3600.  
Ground slabs and footings to AS2870.  
Ready-mixed concrete to AS1379.  
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required.  
Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

**TIMBER AND STEEL CONSTRUCTION**

All timber framing and flooring to AS1684, AS1720.1 where relevant.  
Structural steelwork to AS4100.  
Preparation of metal surfaces to AS1627.  
Flashing and damp-proof courses to AS2904.

**DOORS AND WINDOWS**

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as denoted on the drawings

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

**LININGS**

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.  
All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets.  
All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable.  
Provide recessed edge sheets and finish flush with perforated reinforcing tape.  
Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

**WATERPROOFING AND WET AREAS**

All waterproofing to AS3740. All liquid and sheet membrane systems to be specific for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

**TILING**

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sils, reveals, and opening. Butt up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points...

**FLOOR COATINGS AND COVERINGS**

Polished concrete slab to be heliocopetered burnish finish to Proprietor's specification.  
Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m<sup>2</sup> / litre should be observed. Application to manufacturers specification.

**PAINTING**

All painting AS2311 and paint manufacturer's specifications.  
Clean off marks, paint spots and stains progressively.  
Touch up damaged paintwork with original paint batch where possible.  
Refer to finishes schedule for details of painted finishes.

**Steelwork**

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All proprietary fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

**Flooring and Decking**

Strip flooring to AS1684.  
Particleboard sheet flooring to AS1859.1, installed to AS1860.  
Fibre-cement flooring to AS2908.2.  
New timber decking to AS2796.  
Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

**Decking**

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

**Wall framing**

All framing to AS1684.  
Provide additional noggings etc., where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

**MASONRY CONSTRUCTION**

Masonry generally to AS3700 and masonry units to AS4455.  
Provide anti-caps between any brick or stone piers sub walls and timber bearers.

**INSULATION AND SARKING**

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.  
All bulk insulation to AS3742, installed to AS3999.  
All sarking material to AS4200.1.  
Fit all batts tightly between framing members, and support securely. Provide vapour-permeable sarking under cladding which does not provide a permanent waterproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints. Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and lap min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking to at least 50mm clear of ridges.

**ROOFING GUTTERING DOWNPIPES**

new 150mm half-round guttering throughout with matching support brackets as selected  
new 90mm dia downpipes as shown  
new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications  
existing roof tiles to be carefully removed for reuse to front extended roof

**ROOF PLUMBING**

All roof plumbing to AS2179.1 and AS2180.  
All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 BMT sheet steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Stds and sheet metal manufacturer's recommendation.

**CABINERY**

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.  
Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

**ARCHITECTURAL METALWORK**

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alignment.

**PLUMBING DRAINAGE AND GAS INSTALLATIONS**

All plumbing and drainage work strictly in accordance with AS3500.  
All gas installations to AS5601.  
Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min. 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

**Stormwater and Wastewater**

Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

**Rainwater Storage**

All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.  
First flush devices to be fitted to all downpipes. All inlets and outlets to be protected with suitable mosquito barrier.

**Gas**

Gas supply to be installed to Local Authority Requirements. On completion of installation and testing, turn on isolation and control valves and purge and charge the installation.

**DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS**

All domestic electrical works to AS3018.  
All mechanical installations to AS1668.  
All telecommunications installations to AS1501.8.  
Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Stds and BCA.  
Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.



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Date 11/08/2020	<b>N1</b>
Scale NTS	

DP No. **531704**

LOT No. **3**

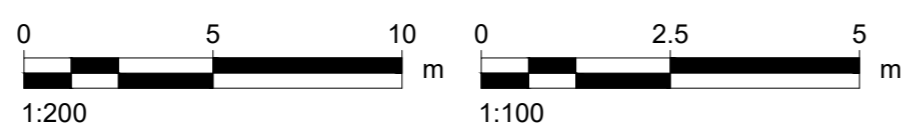

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# WINDOWS AND DOORS FOR BASIX

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

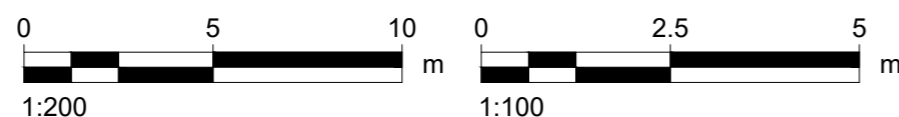
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Insulation requirements</b>			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
<b>Construction</b>			
suspended floor with open subfloor: framed (R0.7).		R0.8 (down) (or R1.50 including construction)	
floor above existing dwelling or building.		nil	
external wall: framed (weatherboard, fibro, metal clad)		R1.30 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)		R1.30 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)		R1.30 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)		R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed		ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
<b>Windows and glazed doors</b>						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
<b>Windows and glazed doors glazing requirements</b>						
<b>Window / door no.</b>	<b>Orientation</b>	<b>Area of glass inc. frame (m<sup>2</sup>)</b>	<b>Overshadowing</b>	<b>Shading device</b>	<b>Frame and glass type</b>	
W1	S	2.26	10	1.3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	S	8.4	4.5	10	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	S	4.05	10	3.7	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

## GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPs TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:  
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Project ADDITIONS AND ALTERATIONS  
 Date 11/08/2020  
 Scale NTS  
**B1**

DP No. 531704

LOT No. 3

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