

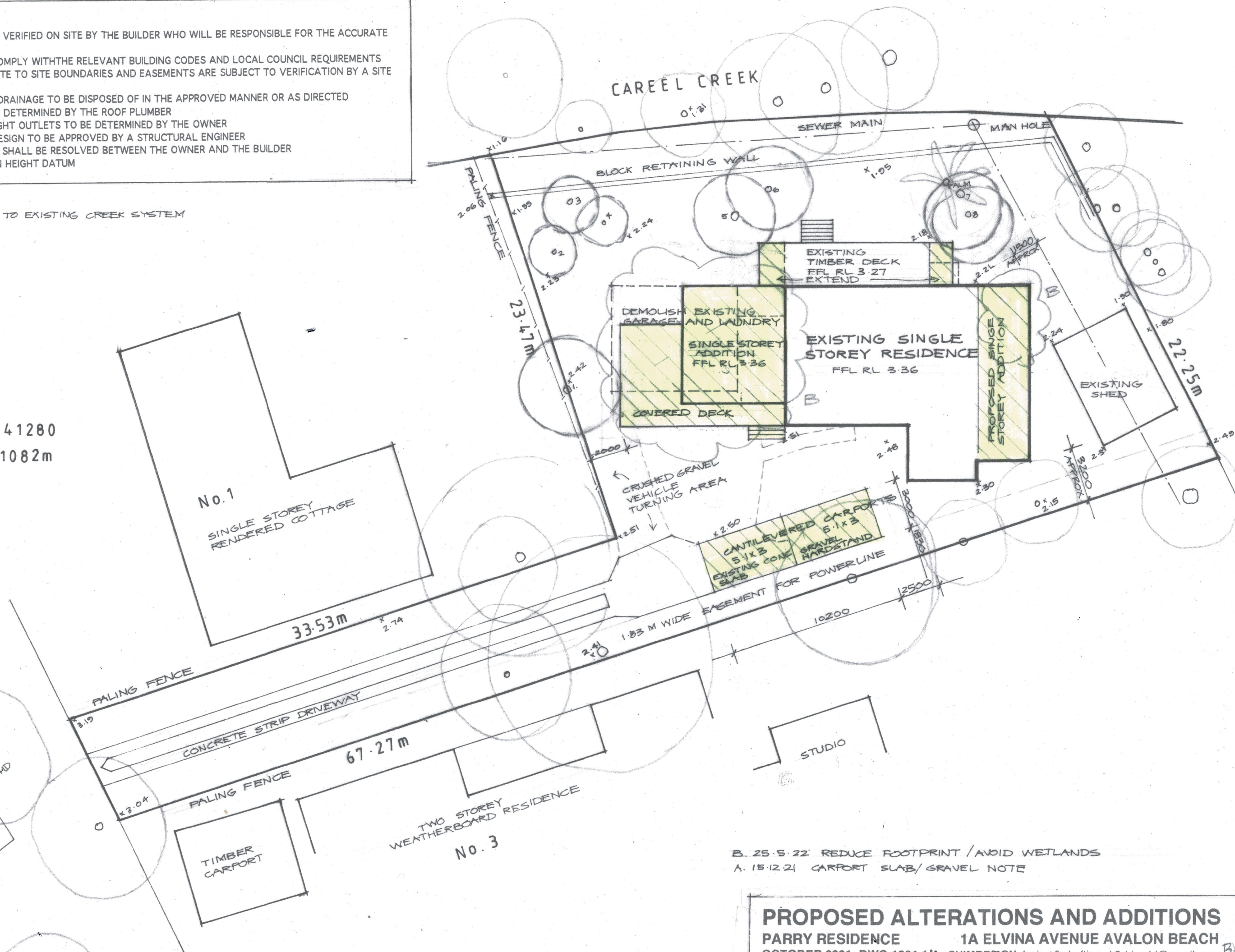
NOTES

ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB
ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT BUILDING CODES AND LOCAL COUNCIL REQUIREMENTS
ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY
ROOF WATER AND SUBSOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED
DOWN PIPE LOCATION TO BE DETERMINED BY THE ROOF PLUMBER
ELECTRICAL, POWER AND LIGHT OUTLETS TO BE DETERMINED BY THE OWNER
STRUCTURAL DETAIL AND DESIGN TO BE APPROVED BY A STRUCTURAL ENGINEER
ANY ADDITIONAL DETAILING SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER
ALL LEVELS TO AUSTRALIAN HEIGHT DATUM

* STORMWATER PIPED TO EXISTING CREEK SYSTEM

LOT 2 DP 541280
SITE AREA 1082m

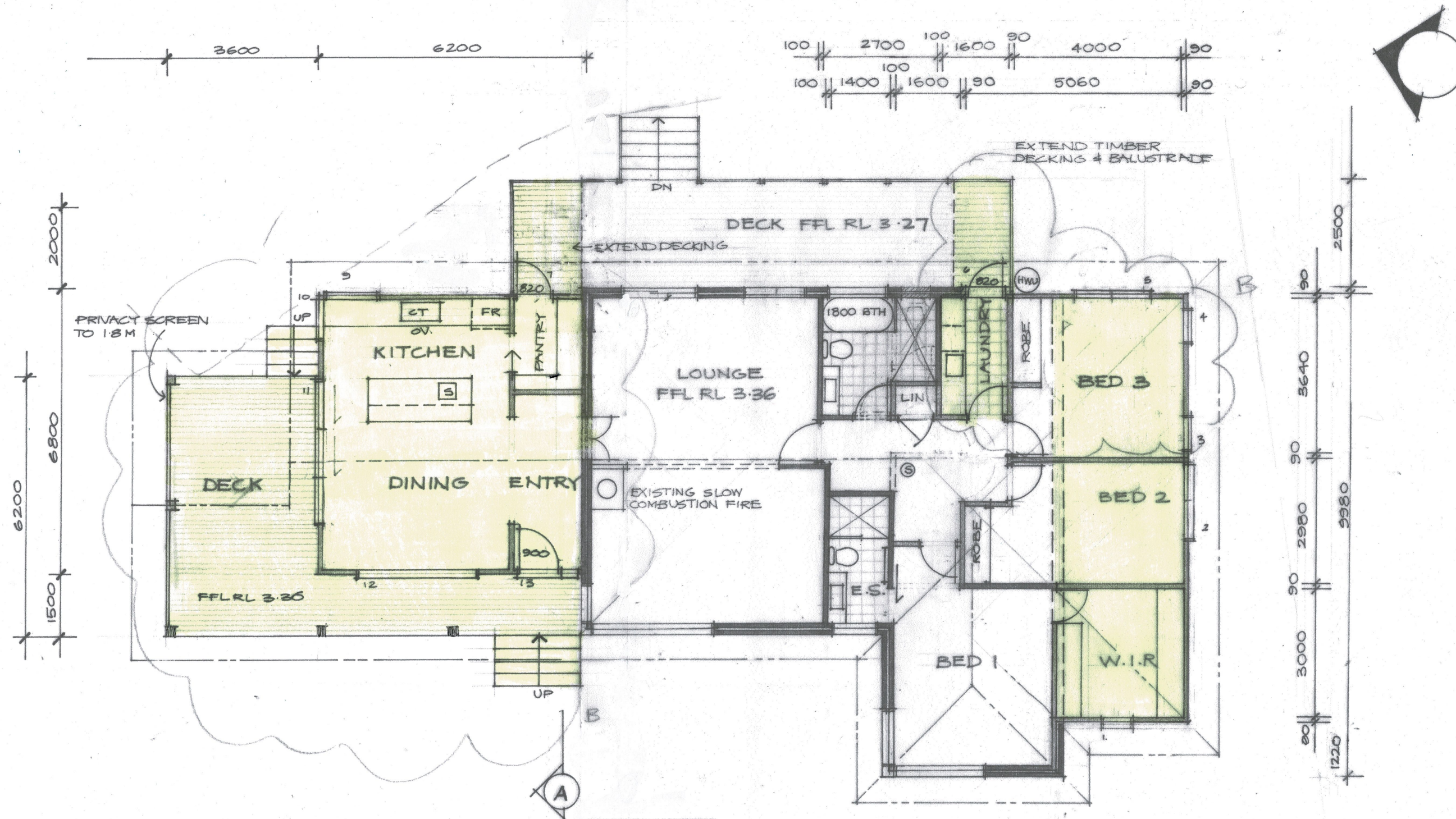
ELVINA AVENUE



B. 25.5.22' REDUCE FOOTPRINT / AVOID WETLANDS
A. 15.12.21 CARPORT SLAB/ GRAVEL NOTE

PROPOSED ALTERATIONS AND ADDITIONS

PARRY RESIDENCE 1A ELVINA AVENUE AVALON BEACH
OCTOBER 2021 DWG 1021 1/4 SHIMDESIGN design & drafting k2shimeld@gmail.com



NATIONAL CONSTRUCTION REQUIREMENTS

PEST CONTROL TO COMPLY WITH NCC PART 3.1.3 AS3660.1-2000/20014
 BATHROOM WINDOW GLAZING TO BE TOUGHENED GLASS
 STAIR CONSTRUCTION TO COMPLY WITH NCC PART 3.9.1
 BALUSTRADES AND HANDRAILS TO COMPLY WITH NCC PART 3.9
 SMOKE ALARMS AS INDICATED ON PLAN TO COMPLY WITH NCC PART 3.7.2

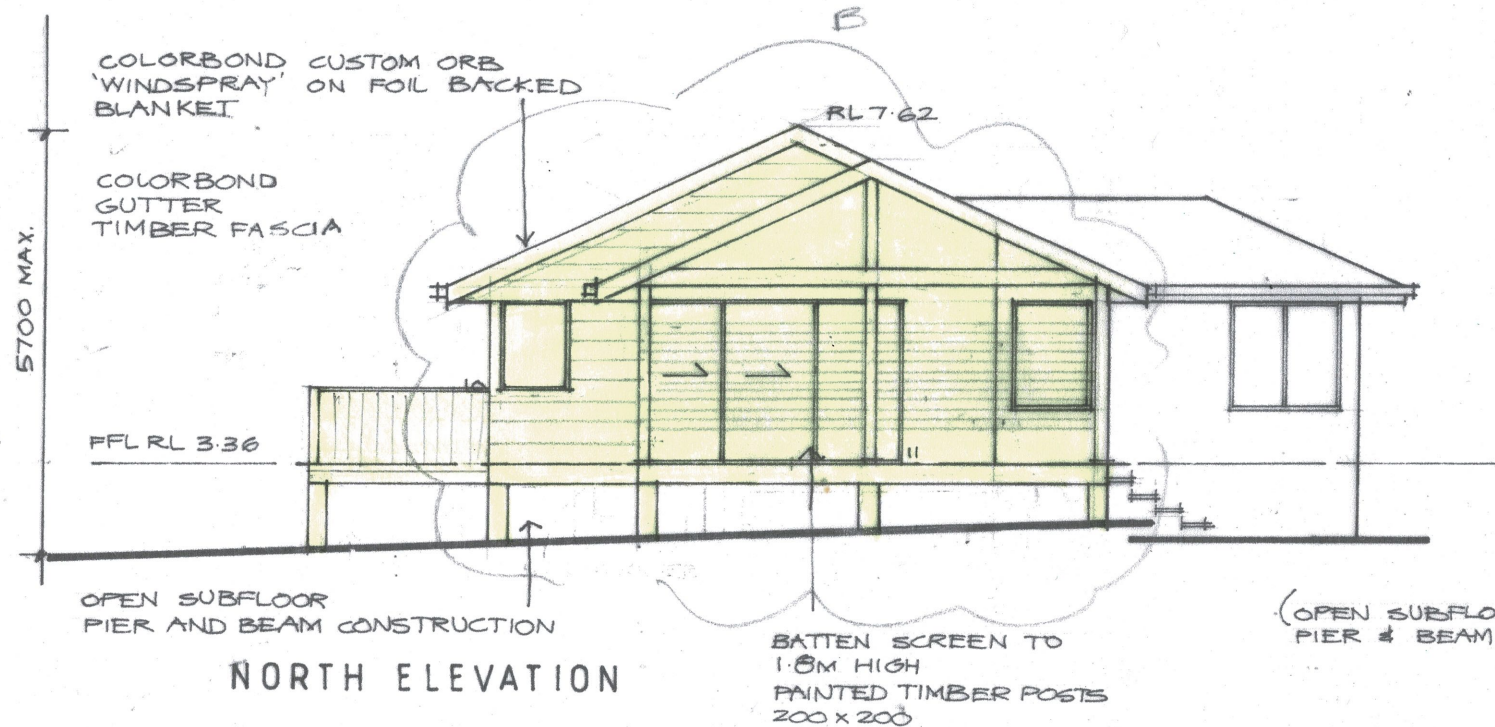
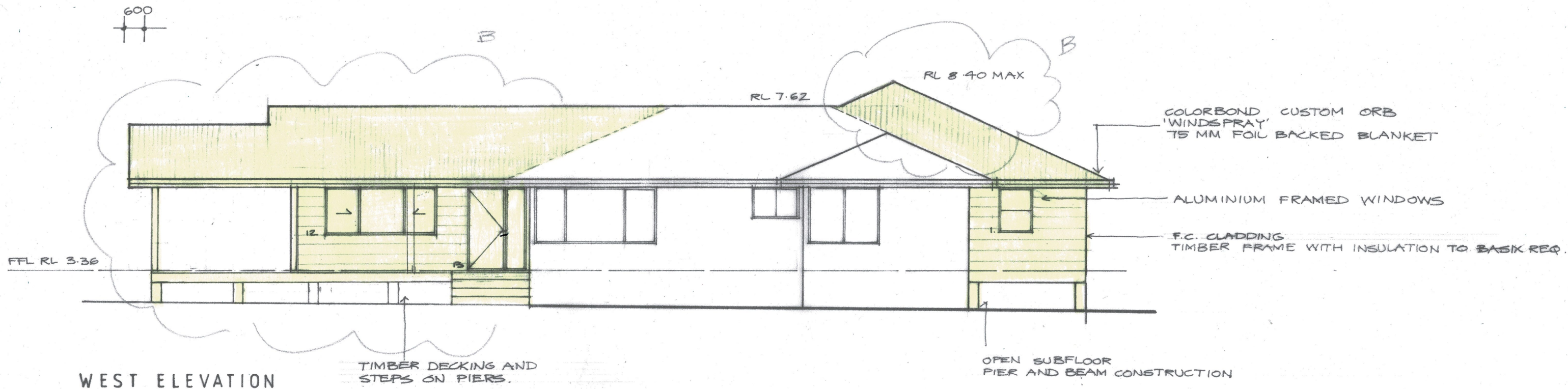
BASIX NOTES

EXTERNAL BRICK VENEER WALLS TO HAVE MIN. R1.16 INSULATION (R1.7 INCLUDING CONSTRUCTION)
 SUSPENDED FLOOR WITH ENCLOSED SUB FLOOR TO HAVE R0.6 INSULATION (R1.3 INCLUDING CONSTRUCTION)
 ROOF WITH MEDIUM SOLAR ABSORPTANCE TO HAVE 75MM MINIMUM FOIL BACKED BLANKET
 FLAT CEILINGS TO HAVE R1.45 INSULATION, RAKED CEILINGS TO HAVE 1.74 INSULATION
 BATHROOM AND KITCHEN TAPS TO HAVE MINIMUM 3 STAR RATING. SHOWER MAXIMUM FLOW 9LTRS PER MINUTE.
 TOILETS TO HAVE MINIMUM 3 STAR RATING, MAXIMUM 4 LTR FLUSH
 MINIMUM 40% NEW OR ALTERED LIGHT FITTINGS TO BE FLUORESCENT, COMPACT FLURO OR LED LAMPS.
 WINDOWS 1- 13 IN ACCORDANCE WITH BASIX CERTIFICATE A 431689-02

B. 25.5.22 KITCHEN / ENTRY / LAUNDRY - AVOID WETLANDS

PROPOSED ALTERATIONS AND ADDITIONS

PARRY RESIDENCE 1A ELVINA AVENUE AVALON BEACH
 OCTOBER 2021 DWG 1021 2/4 SHIMDESIGN design & drafting k2shimeld@gmail.com



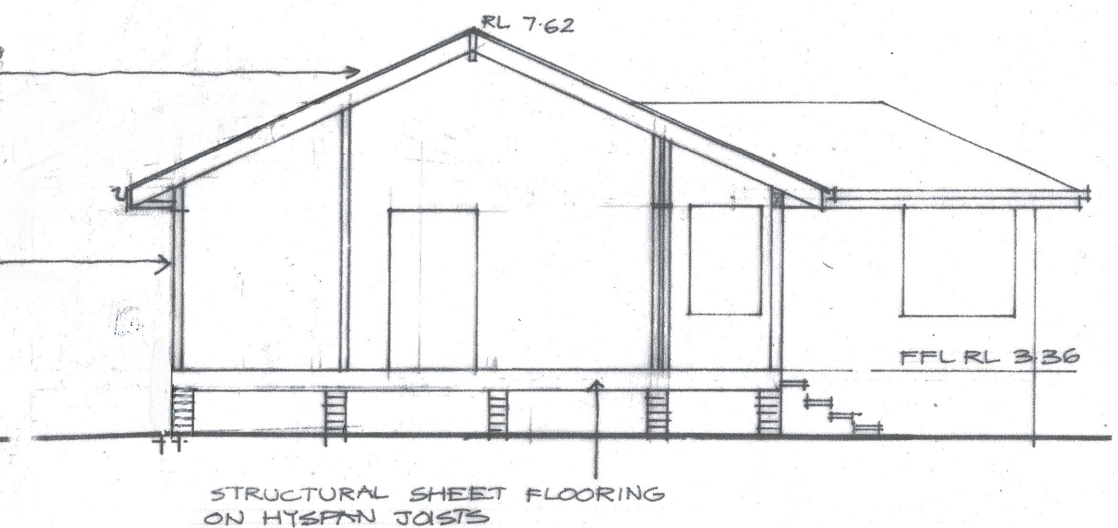
TIMBER ROOF FRAMING TO MANUFACTURERS SPEC.

TIMBER FRAME F.C. CLADDING

BRICK PIERS ON REINFORCED CONCRETE FOOTINGS TO ENGINEERS DETAIL

(OPEN SUBFLOOR PIER & BEAM CONSTRUCTION)

SECTION A



PROPOSED ALTERATIONS AND ADDITIONS

PARRY RESIDENCE

1A ELVINA AVENUE AVALON BEACH

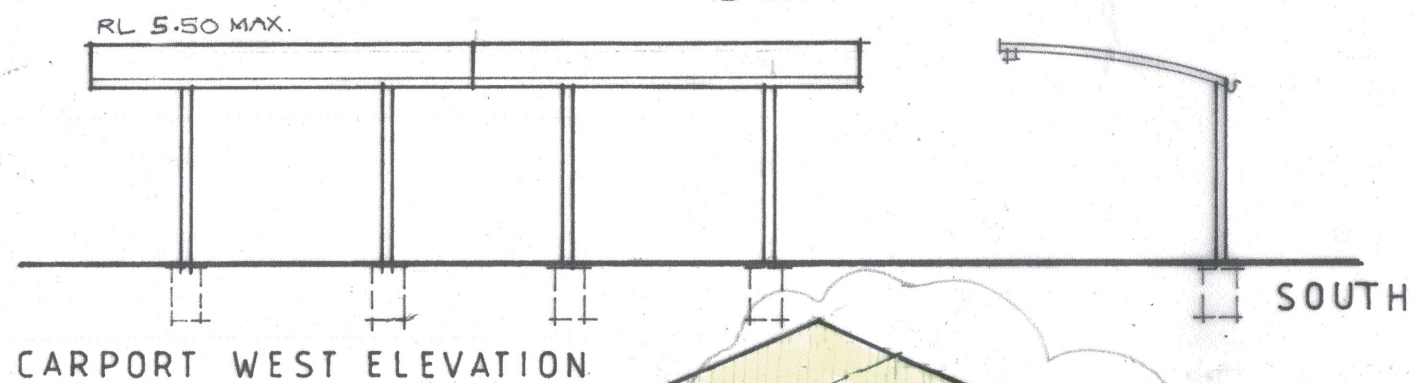
OCTOBER 2021 DWG 1021 3/4 SHIMDESIGN design & drafting k2shimeld@gmail.com

B, 25.4.22 AMENDED TO AVOID WETLANDS

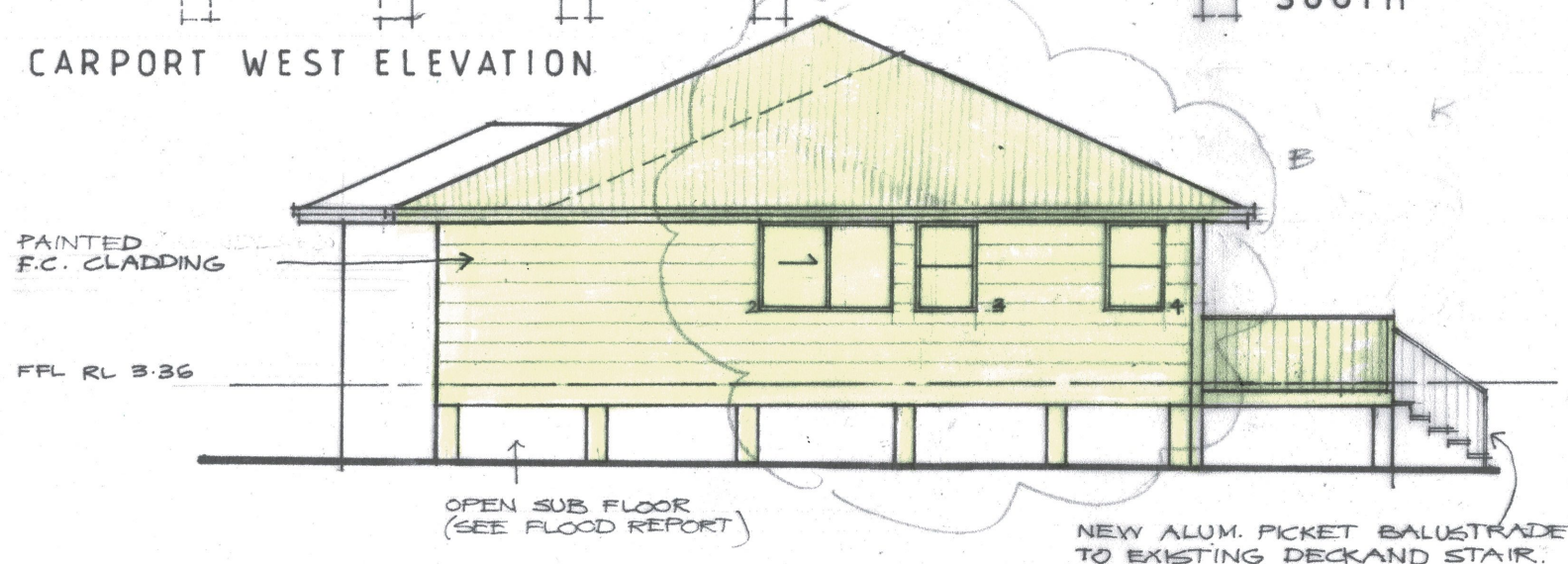


EAST ELEVATION

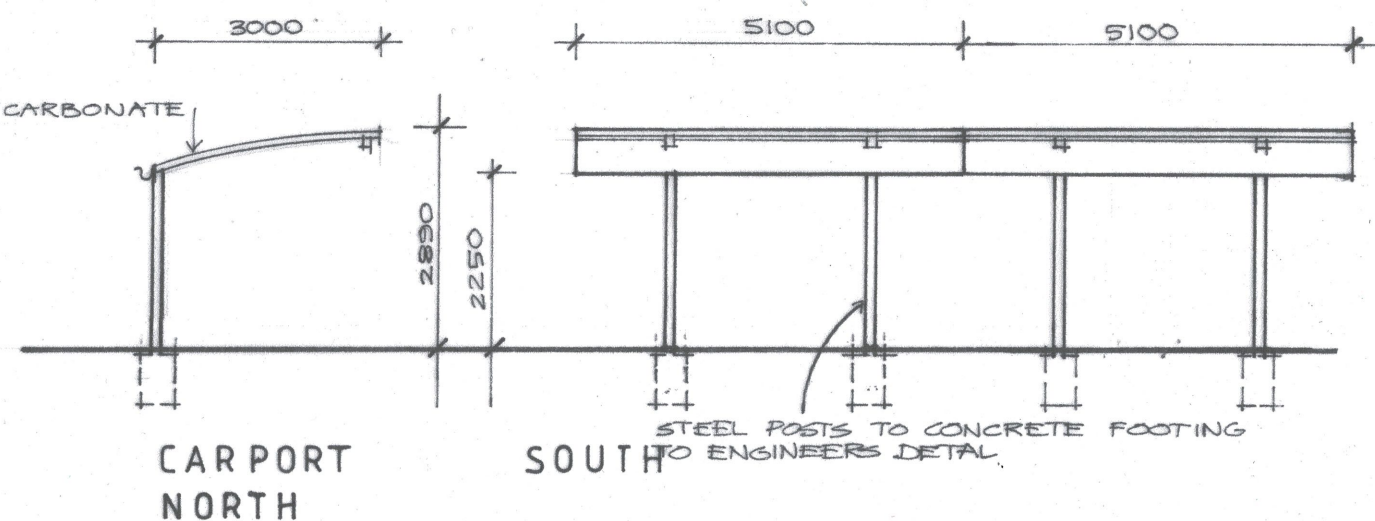
EXISTING TIMBER DECK ON BRICK PIERS. NEW HARDWOOD STAIRS NEW BLACK ALUMINIUM PICKET BALUSTRADE TO COMPLY BCA & NCC.



CARPORT WEST ELEVATION



SOUTH ELEVATION



CARPORT NORTH

SOUTH

B. 25.5.22 REDUCE FOOTPRINT / AVOID WETLANDS
A. 15.12.21 CARPORT ELEVATIONS

PROPOSED ALTERATIONS AND ADDITIONS
PARRY RESIDENCE 1A ELVINA AVENUE AVALON BEACH
OCTOBER 2021 DWG 1021 4/4 SHIMDESIGN design & drafting k2shimeld@gmail.com