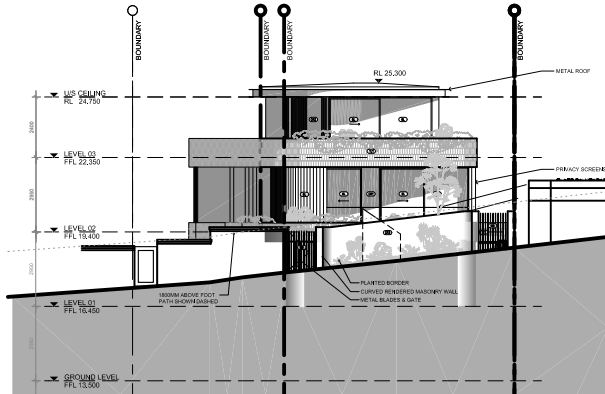
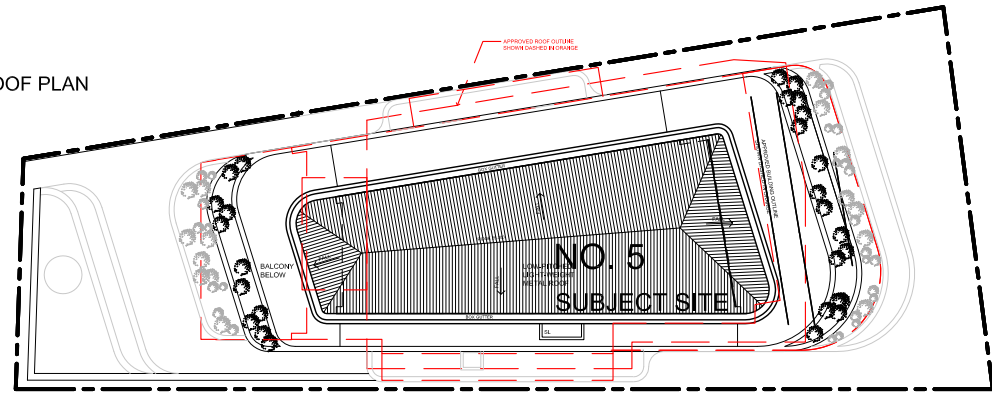


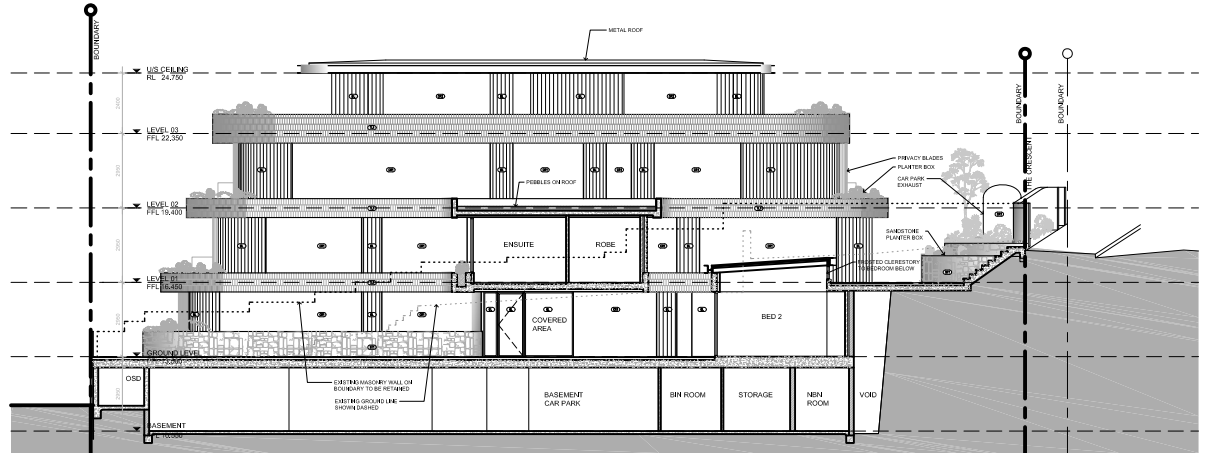
LIST OF AMENDMENTS

1. PREVIOUS SURVEY WAS NOT SET OUT TO AHD, ALL RLS ADJUSTED TO SUIT NEW SURVEY
2. ADJUSTMENTS TO RAMP AND CAR STACKER TO COMPLY WITH REGULATIONS & AS2890.1
3. GREENERY & PRIVACY TREATMENTS INCORPORATED INTO THE BUILDING DESIGN TO ADDRESS PRIVACY AND IMPROVE AMENITY
4. RECONFIGURATION OF THE CORE
5. INCREASED UPPER FLOOR SET BACKS AND NEW FLAT ROOF WITH NO FURTHER IMPACT ON NEIGHBOURS' VIEWS
6. GENERAL AMENDMENTS TO THE EXTERNAL APPEARANCE OF THE BUILDING AND TO THE INTERNAL LAYOUTS AS A RESULT OF PREVIOUS CHANGES

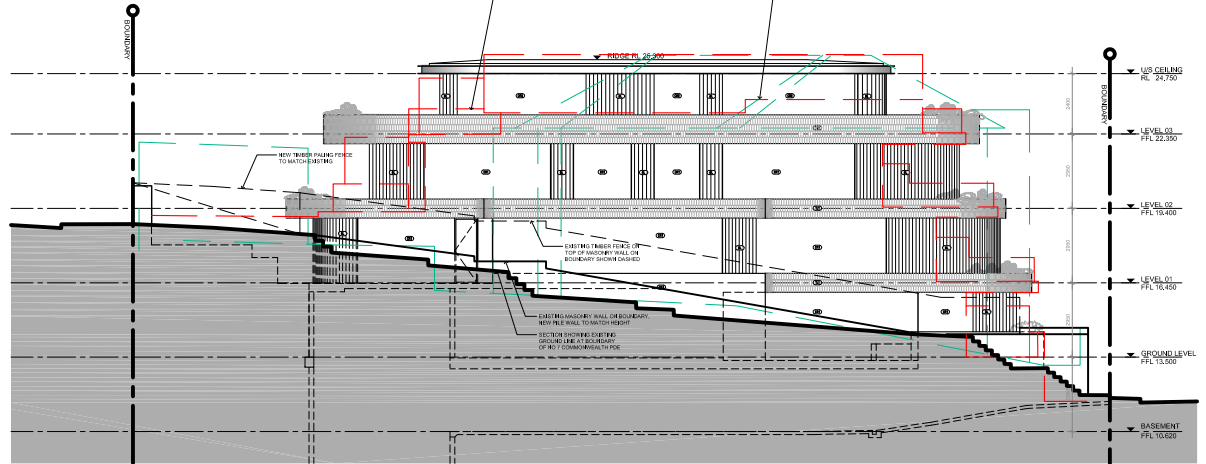
ROOF PLAN



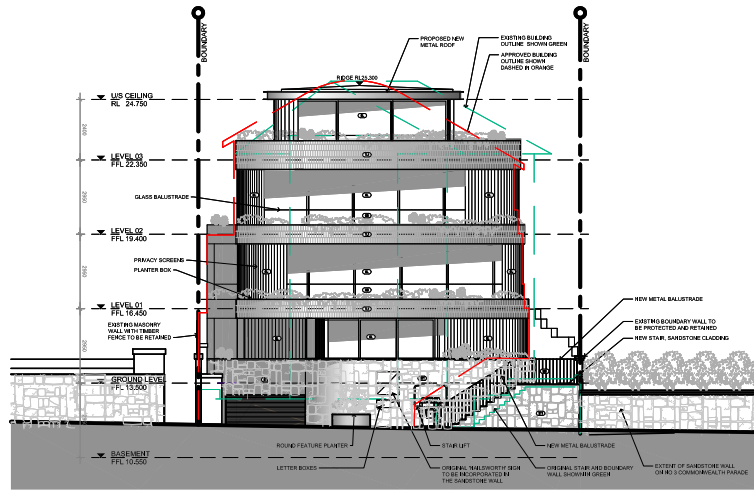
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

IMPORTANT NOTES:
Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Elevation Planning Level is min 3.1m AHD, All levels to AHD.

This drawing is copyright and the property of the author, and must not be related, copied or used without the express authority of Platform Architects Pty Ltd.

REVISION	DATE	DESCRIPTION	BY
A	2018.06.07	PRE-SCA	FB
B	2018.07.12	AMENDMENTS TO PLANS	FB
C	2018.08.28	SENT TO CONSULTANTS	FB
D	2018.10.04	SENT TO CONSULTANTS	FB
4.55	2018.10.08	4.55 Application	FB

REVISION NOTES

LEGEND

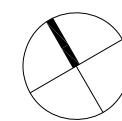
(1) METAL PRIVACY BLADES	(1) GLAZING	(1) FLOOR TILES - WET AREA
(1) METAL BALUSTRADE/ENCE	(1) METAL BALUSTRADE/ENCE	(1) WALL TILES - WET AREA
(1) CEMENT RENDER - LIGHT	(1) CEMENT RENDER - LIGHT	(1) EXISTING RL TO BE MAINTAINED
(1) CEMENT RENDER - DARK	(1) CEMENT RENDER - DARK	(1) EXISTING RL TO BE AMENDED
(1) CEMENT RENDER - OFF WHITE	(1) CEMENT RENDER - OFF WHITE	
(1) CARPET-BEDROOMS	(1) CARPET-BEDROOMS	
(1) TIMBER DECKING	(1) TIMBER DECKING	
(1) GLASS BALUSTRADE	(1) GLASS BALUSTRADE	
(1) METAL BALUSTRADE/ENCE	(1) METAL BALUSTRADE/ENCE	
(1) SANDSTONE CLADDING	(1) SANDSTONE CLADDING	
(1) NATURAL STONE TILES INT.	(1) NATURAL STONE TILES INT.	
(1) NATURAL STONE TILES EXT. L	(1) NATURAL STONE TILES EXT. L	
(1) NATURAL STONE TILES EXT. S	(1) NATURAL STONE TILES EXT. S	
(1) BRICK TILES OR FACE BRICK	(1) BRICK TILES OR FACE BRICK	



PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:

5 COMMONWEALTH PDE,
MANLY, NSW

CLIENT
C.G. & L.B. KOUTSOS



DRAWING TITLE		PROJECT	
NOTIFICATION PLANS		CPM	
SCALE	STATUS	NUMBER	REVISION
1:300@A4	s4.55	A0.00	S4.55