



REFER STAMP REGARDING UPDATED SURVEY (BOUNDARY IDENTIFICATION) – 29/11/2021

THIS SURVEY IS PREPARED BY TRUE NORTH SURVEYS - REGISTERED LAND & ENGINEERING SURVEYORS.

THIS SURVEY SHOULD BE READ IN CONJUNCTION WITH IDENTIFICATION SURVEY REPORT REFERENCE 1746ID DATED 24-06-2019 PREPARED BY TRUE NORTH SURVEYS.

ANY BUILDING, CONSTRUCTION OR FENCING WILL REQUIRE A FURTHER SURVEY TO BE UNDERTAKEN TO DETERMINE AND MARK THE BOUNDARIES. THIS PLAN IS TO BE USED FOR DETAIL PURPOSES ONLY AND BOUNDARIES SHOWN ON THIS PLAN ARE NOT TO BE USED FOR ANY BUILDING OR FENCING SET OUT.

THIS SURVEY IS LIMITED TO THOSE PARTS OF THE SUBJECT BUILDING AND ANY OTHER IMPROVEMENTS AND SERVICES THAT WERE VISIBLE AND ACCESSIBLE.

ALL SERVICES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. AN INDEPENDANT AND UPDATED INQUIRY OF "DIAL BEFORE YOU DIG" AND ANY RELEVANT SERVICE PROVIDERS TO ASCERTAIN THE EXISTENCE OF ANY FURTHER SERVICES NOT VISIBLE AT THE TIME OF THIS SURVEY.

ANY STRUCTURES RELATED TO PHYSICAL FEATURES (BUILDINGS, TREES, SERVICES, ETC) MUST BE CONFIRMED PRIOR TO FINAL DESIGN. THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS MAY BE NOT TO SCALE AND MAY BE INDICATIVE ONLY. PLEASE CONFIRM TRUNK DIAMETER, SPREAD AND HEIGHT NOTED ON THE PLAN.

THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND AND PROPERTY INFORMATION PLANS. THEY ARE ON ISG NORTH. IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.

LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM. ORIGIN OF RL'S: PM 1980 - RL 33.159 (A.H.D.)

*Andrew Korompay*

**ANDREW KOROMPAY** ID No.SU000114  
Surveyor Registered under The Surveying Act, 2002.

PARTIAL IDENTIFICATION SURVEY UNDERTAKEN 29/11/2021  
FOR BOUNDARY INFORMATION REFER TO PARTIAL IDENTIFICATION SKETCH  
1746\_Freshwater\_Palomar Pde\_No29\_ID\_211129  
& ASSOCIATED REPORT  
1746-ID\_211129.pdf

NOTES:  
1. A FIELD BOUNDARY SURVEY (BOUNDARY IDENTIFICATION) HAS BEEN UNDERTAKEN WITH BOUNDARIES DEFINED UTILISING DP12224 & DP649508. BOUNDARY DIMENSIONS CAN MOVE TO A DEGREE WITH THE LODGEMENT OF A PLAN AT THE TITLES OFFICE OF THE SUBJECT LOT OR OF A LOT IN THE VICINITY.



**TRUENORTH SURVEY GROUP**  
A.B.N. 97 106 447 198  
Registered Consulting Surveyors  
16/9 Narabang Way  
Belrose NSW 2085  
Tel : (02) 9450 0868  
Mob : (0412) 353 784  
Email : andrew@truenorthsurveys.com.au

**TRUE NORTH SURVEYS**  
16 / 9 NARABANG WAY, BELROSE 2085  
TRUE NORTH (AUST) PTY LTD

TEL : 94500868 EMAIL: admin@truenorthsurveys.com.au

**PROJECT :** PLAN SHOWING DETAIL AND LEVELS  
OVER LOT 34 IN DP 12224,  
AT No.29 PALOMAR PARADE,  
FRESHWATER.

**CLIENT :** MR SHANE FLYNN

**DATUM :** A.H.D

**DATE :** 29/11/2021

**SCALE :** 1 : 100

**SHEET No.** 1 OF 1 SHEETS

**DRAWING No. :** 7660DT

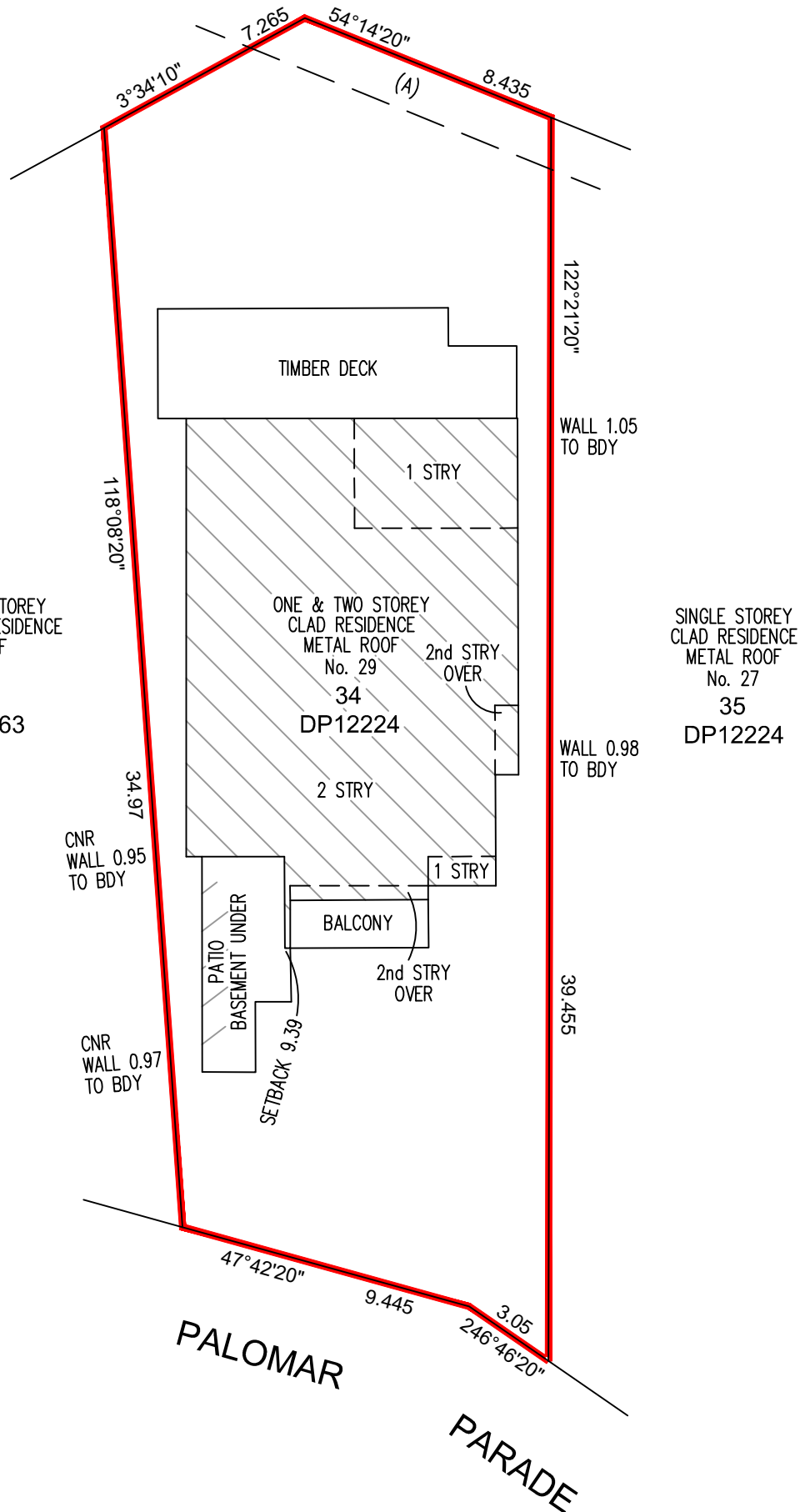
**JOB REF :** 7660\_1746 (REV 1) 18/10/2019  
BDY SURVEY (REV 2) 29/11/2021

PARTIAL IDENTIFICATION  
SURVEY SKETCH  
29 PALOMAR PARADE,  
FRESHWATER, NSW, 2096.

REF: 1746ID  
DATED: 29/11/2021

SP6597

MGA NORTH



(A) - PROPOSED EASEMENT FOR DRAINAGE  
1.525 WIDE SHOWN ON (DP12224)  
(NOT NOTED ON TITLE)

NOTES:

1. THIS SKETCH IS TO BE READ IN CONJUNCTION WITH WRITTEN REPORT REF. 1746ID DATED 29/11/2021.
2. USE OF THIS SURVEY BY ANY ENTITY OTHER THAN SHANE & CASSIA FLYNN DOES NOT CREATE A CONTRACT BETWEEN TRUE NORTH SURVEY GROUP AND THAT OTHER PERSON OR ENTITY.
3. COVENANT (C800435) & (H145530) NOTED ON TITLE.



**TRUENORTH SURVEY GROUP**  
A.B.N. 97 106 447 198  
**Registered Consulting Surveyors**  
16/9 Narabang Way  
Belrose NSW 2085  
Tel : (02) 9450 0868  
Mob : (0412) 353 784  
Email : [andrew@truenorthsurveys.com.au](mailto:andrew@truenorthsurveys.com.au)

**ANDREW KOROMPAY** ID No.SU000114  
Surveyor Registered under The Surveying Act, 2002.

16 / 9 Narabang Way, Belrose NSW 2085

Freshwater NSW 2096

**RE: PARTIAL IDENTIFICATION SURVEY REPORT**  
**PROPERTY: 29 Palomar Parade, Freshwater NSW 2096**

*This survey is not authorised to be used for any other purpose. Use of the survey by a person or persons other than the instructing party and their client does not create a contract between the surveyor and that other person.*

*The subject land has a combined 12.495 metre frontage to Palomar Parade. The dimensions of the subject land and the position of the building is as shown upon the sketch herewith.*

*A proposed drainage easement is shown on the lot within the subject Deposited Plan yet it is not noted on title.*

*If further development is contemplated on or near the boundaries of the lot, then survey marks should be placed.*

**Andrew Korompay**  
(Registered Surveyor)