

Note:
Floor level + or - 200mm

Note:
Fiberglass mesh fly screens to all openable windows

Note:
2340h Doors & Sqs to ground floor excluding robe doors.
2400 Head height to ground floor windows.

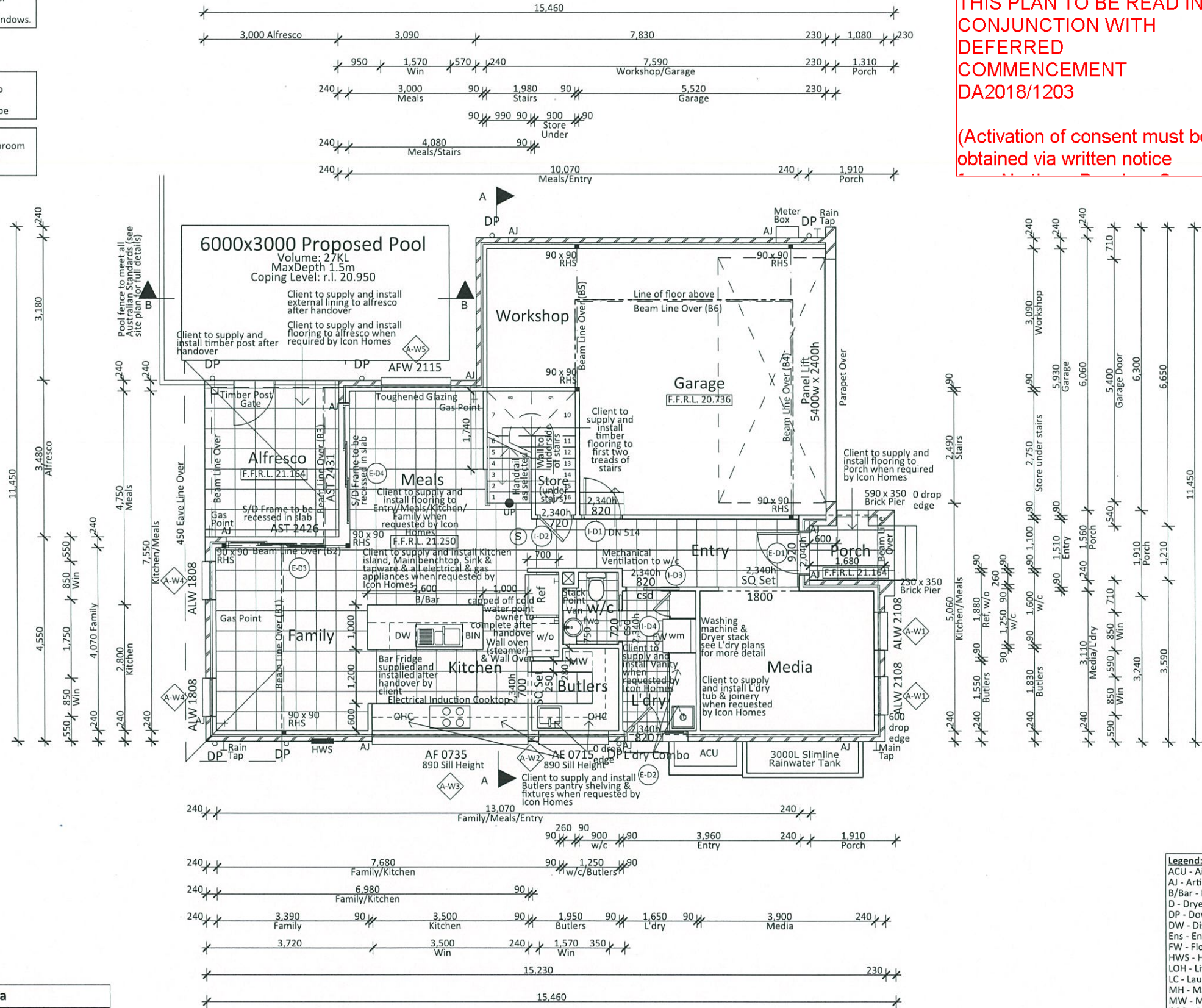
Note:
SqSet Cornice to all Ground floor

Note:
Owner to supply and install carpet to Media, Staircase, Sitting, First Floor Hallways, Bed 1, 2, 3, 4 & Walk in robe

Note:
Client is to supply all tapware & bathroom accessories in WC, Bath and Ensuite including laundry tapware

NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1203
(Activation of consent must be obtained via written notice)

Notes:
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Floor Area	
First Floor Living	99.54
Ground Floor Living	87.73
Garage	44.30
Alfresco	10.44
Porch	2.85
Total	244.86 m²

Ground Floor Plan
1:100

- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - B/Bar - Breakfast Bar
 - D - Dryer
 - DP - Downpipe
 - DW - Dishwasher
 - Ens - Ensuite
 - FW - Floor Waste
 - HWS - Hot Water System
 - LOH - Lift off Hinge
 - LC - Laundry Chute
 - MH - Manhole
 - MW - Microwave Oven
 - OBS - Obscure
 - OHC - Over Head Cupboard
 - RHS - Rolled Hollow Steel
 - S - Smoke Detector
 - Shr - Shower
 - TR - Towel Rail
 - Van - Vanity
 - w.l.l. - Walk in Linen
 - w.i.r. - Walk in Robe
 - w.i.p. - Walk in Pantry
 - WM - Washing Machine

Client Approval: _____ Date: _____

Client: **ICON HOMES**

Job: **Proposed B/V Residence**

LOT: 15 DP: UNREG
Karinya Estate, Warriewood

Drawing: **Ground Floor Plan**

Scale: **1:100** Date: **11-07-18**

Drawing No: **17025-8** Sheet: **3/12** Issue: **1**

House Design: The Tampa 25 - Custom

accurate
design and drafting

Office: 1a/10 Exchange Parade
Narellan NSW 2567
Phone : 0246472552
Fax : 0246472553
Email: info@accuratedesign.com.au

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Note:
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Note:
Fiberglass mesh fly screens
to all openable windows

Note:
2040h Doors & Sqsets to First floor.

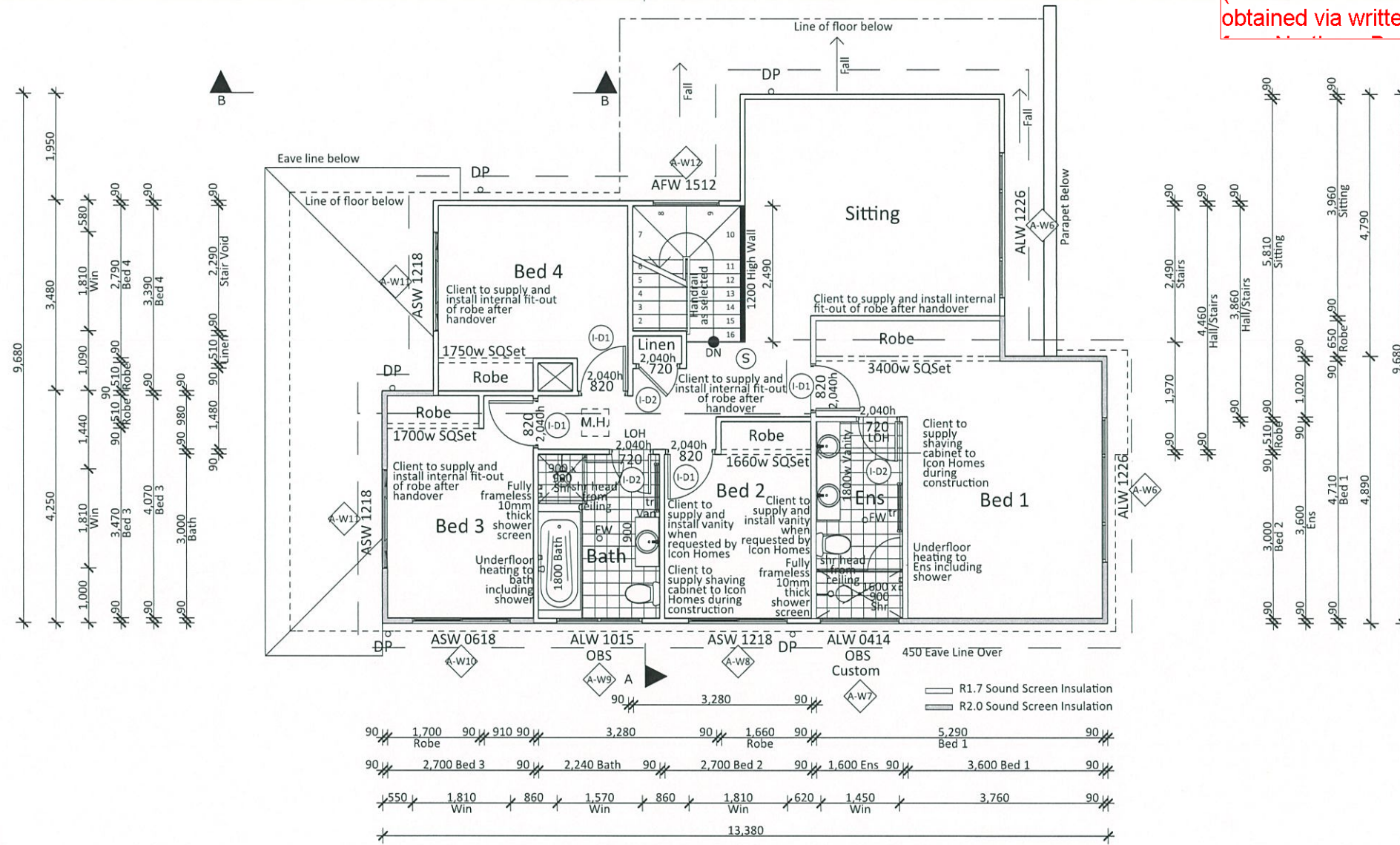
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Note:
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First Floor Plan
1:100

Floor Area	
First Floor Living	99.54
Ground Floor Living	87.73
Garage	44.30
Alfresco	10.44
Porch	2.85
Total	244.86 m²

- Legend:**
- ACU - Air Conditioning Unit
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Job:
Proposed B/V Residence

LOT: 15 DP: UNREG
Karinya Estate, Warriewood

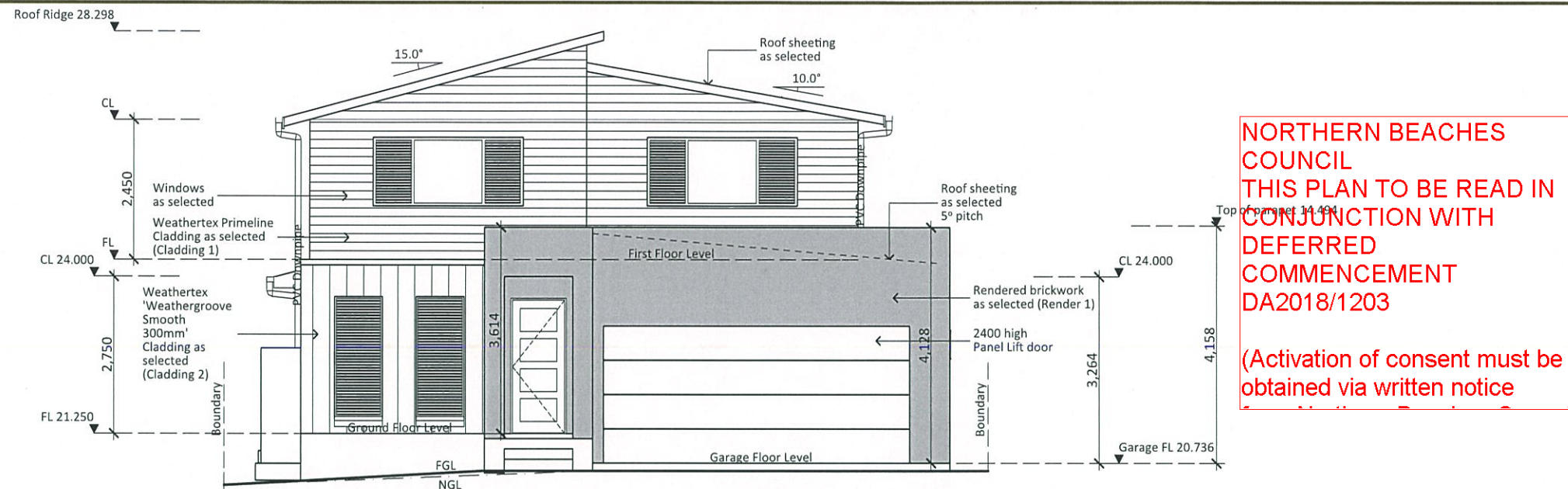
Drawing:
First Floor Plan

Scale: **1:100** Date: **11-07-18**

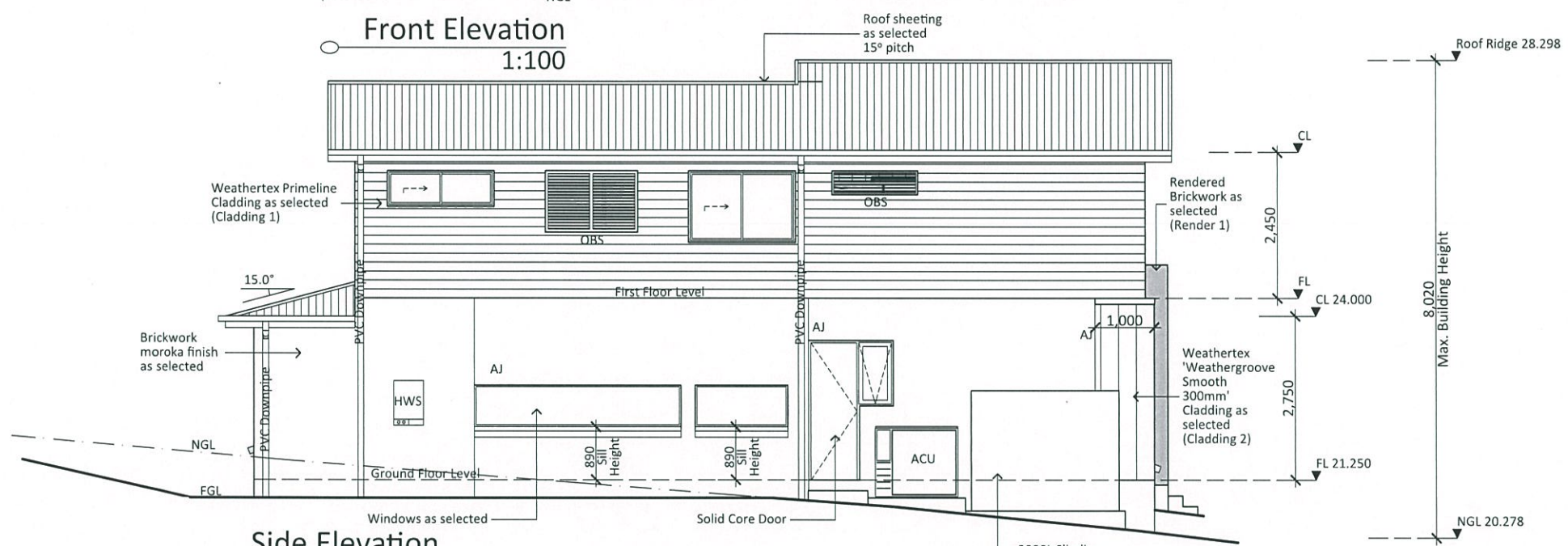
Drawing No: **17025-8** Sheet: **4/12** Issue: **1**

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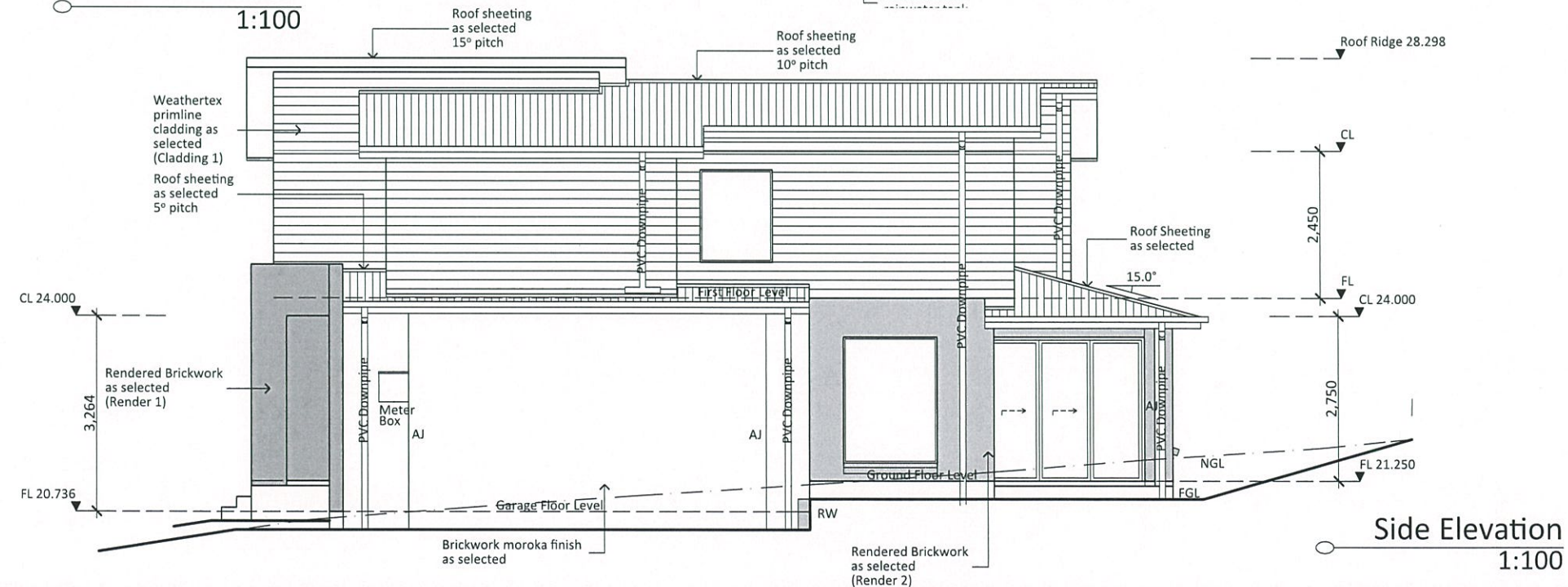
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Front Elevation
1:100



Side Elevation
1:100



Side Elevation
1:100

- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - CL - Ceiling Level
 - FGL - Finish Ground Line
 - FL - Floor Level
 - HWS - Hot Water System
 - NGL - Natural Ground Line
 - OBS - Obscure
 - RW - Retaining Wall

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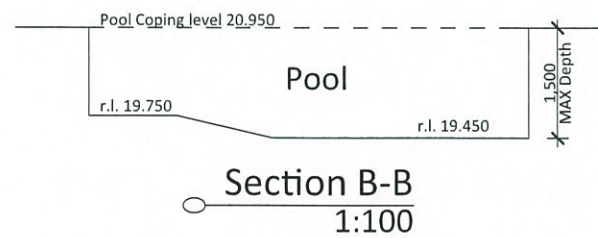
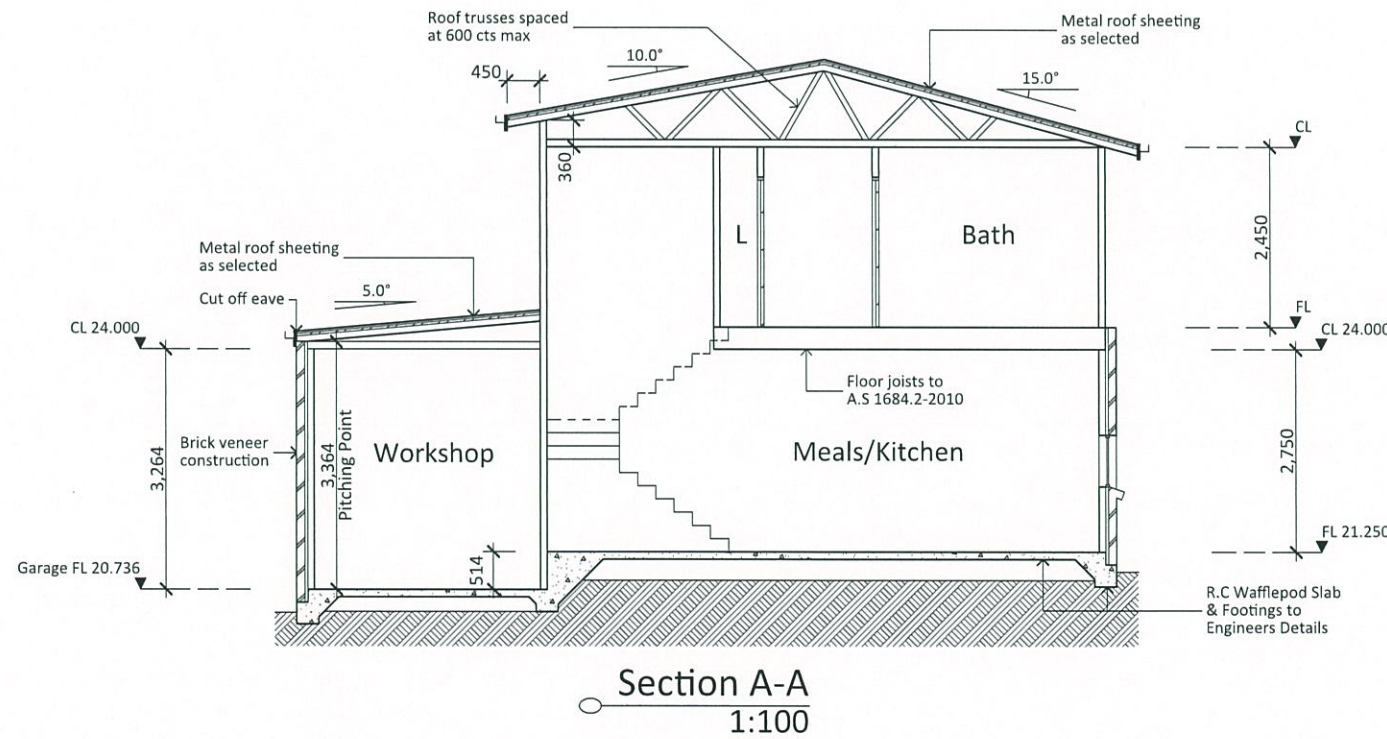
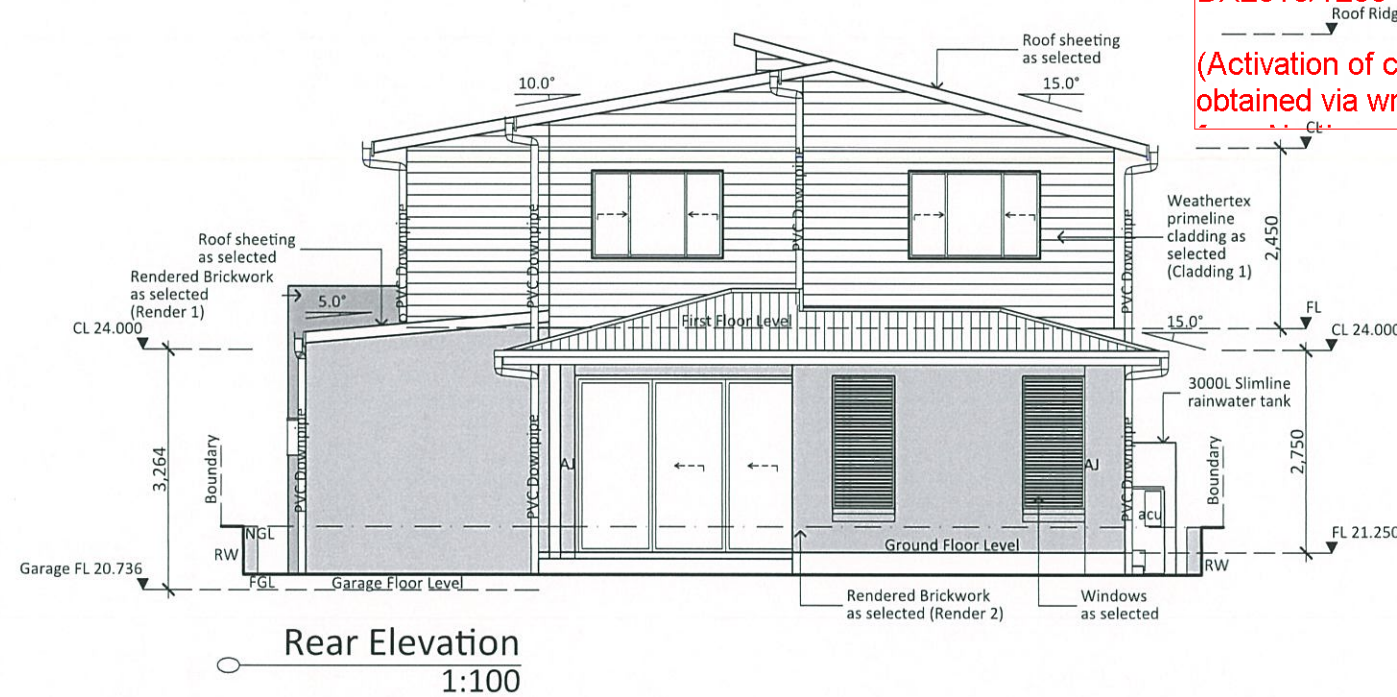
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Client Approval:		Date:
Client:		
Job: Proposed B/V Residence		
LOT: 15 DP: UNREG Karinya Estate, Warriewood		
Drawing: Elevations		
Scale: 1:100	Date: 11-07-18	
Drawing No: 17025-8	Sheet: 5/12	Issue: 1
House Design: The Tampa 25 - Custom		
<p>accurate design and drafting</p> <p>Office: 1a/10 Exchange Parade Narellan NSW 2567 Phone : 0246472552 Fax : 0246472553 mail: info@accuratedesign.com.au</p>		
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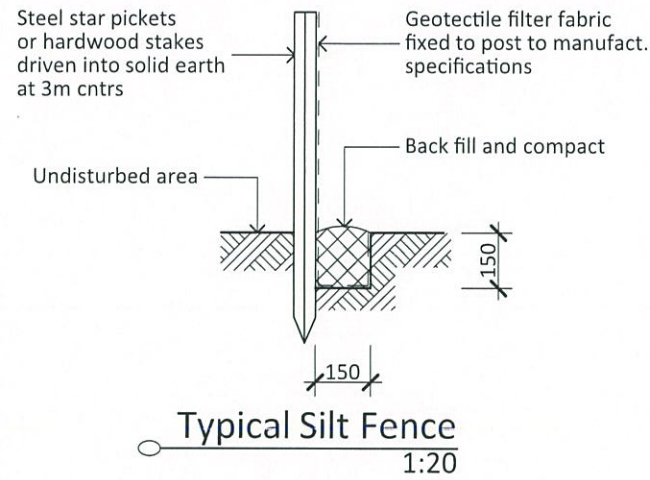
Legend:
 ACU - Air Conditioning Unit
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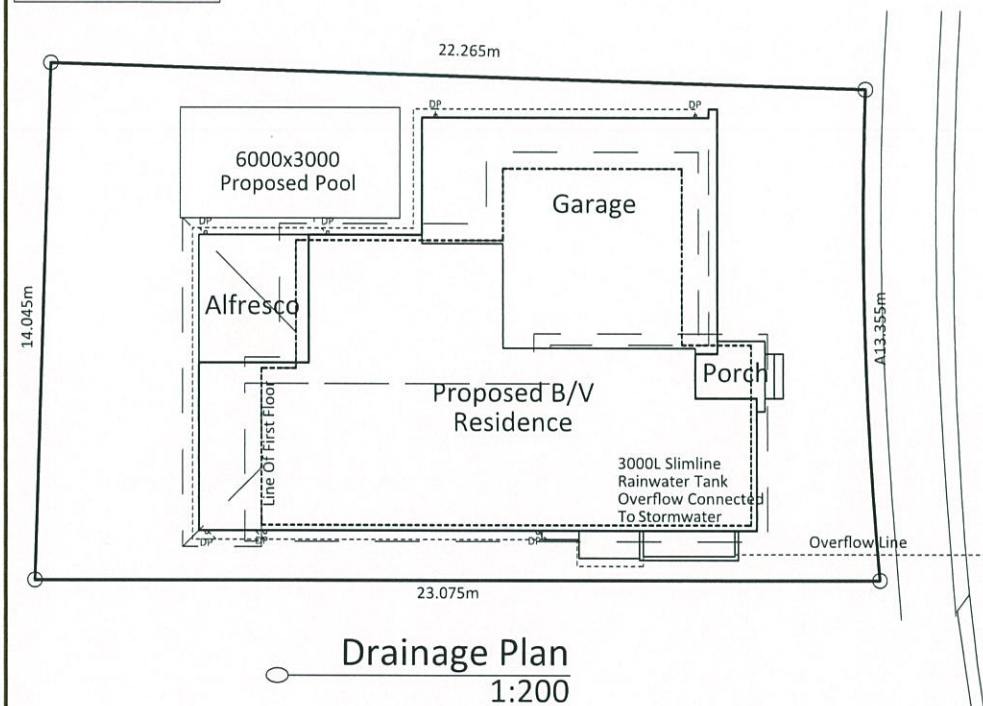


Client Approval:		Date:
Client:		
Job: Proposed B/V Residence		
LOT: 15 DP: UNREG Karinya Estate, Warriewood		
Drawing: Elevation, Section A-A		
Scale: 1:100	Date: 11-07-18	
Drawing No: 17025-8	Sheet: 6/12	Issue: 1
House Design: The Tampa 25 - Custom		
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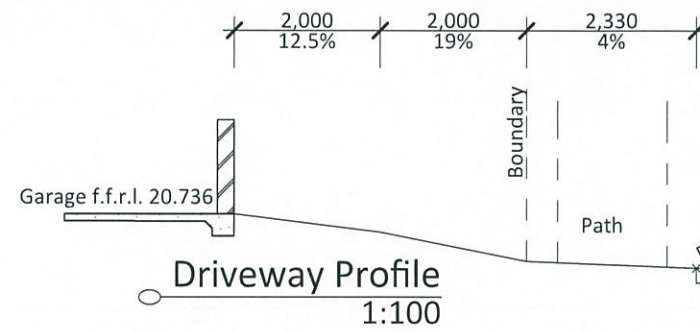
Soil Erosion and Sediment Control Fence
 1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabilized, i.e. paved, landscaped or turfed
 2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Landscape area:
 Front: 47.57sqm
 Rear: 86.56sqm
 Total: 134.13sqm



Key	Species	Dimensions	Container	Quantity
	Corodyline	1.2m x 1.2m	200mm	4
	Fraxinus Oxycarpa	12m x 6m	100ltr	2
	Buxus Microphylla	0.3m x 0.4m	200mm	5
	Convolvulus	0.5m x 1m	200mm	3

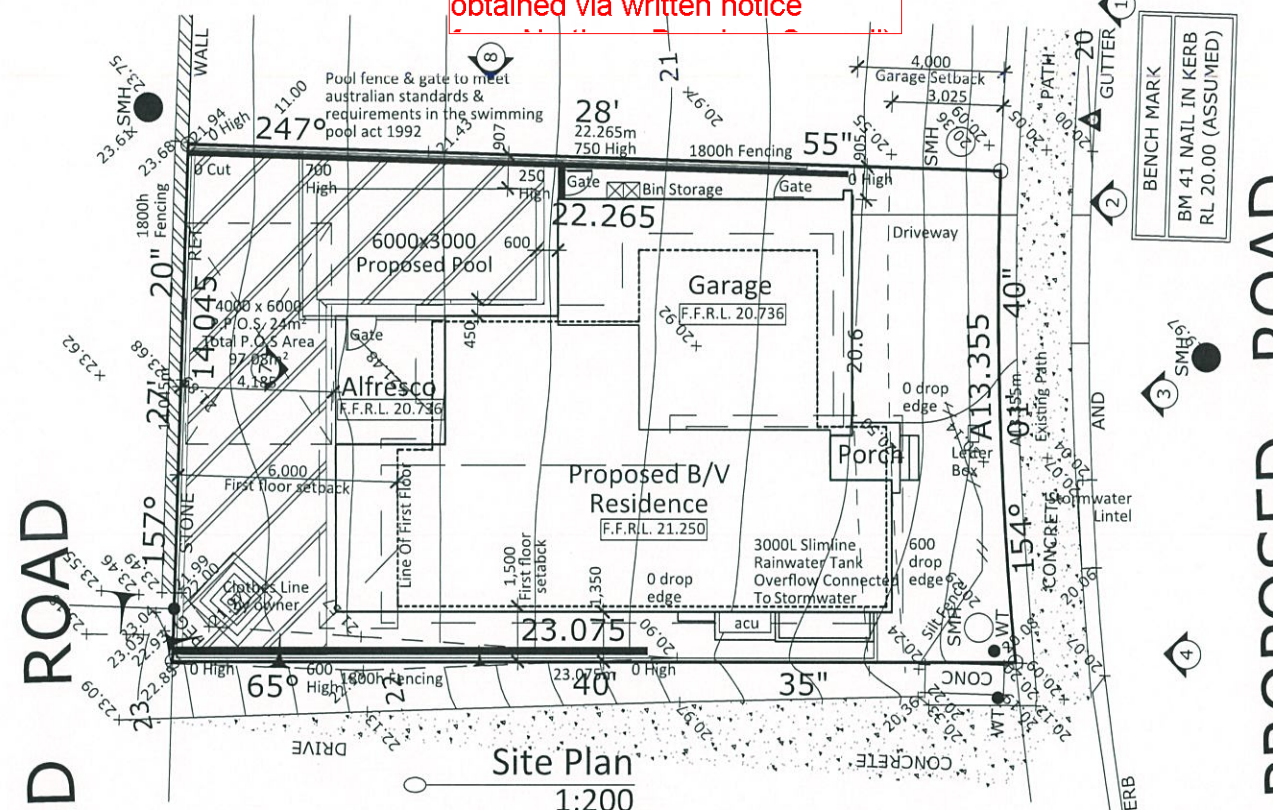
NOTES:
 * All plants to be planted in premium garden mix and slow release fertilizer
 * Gardens to be mulched with Eucalyptus Mulch
 * Plants are to be maintained for 6 months or until established
 * Any losses are to be replaced



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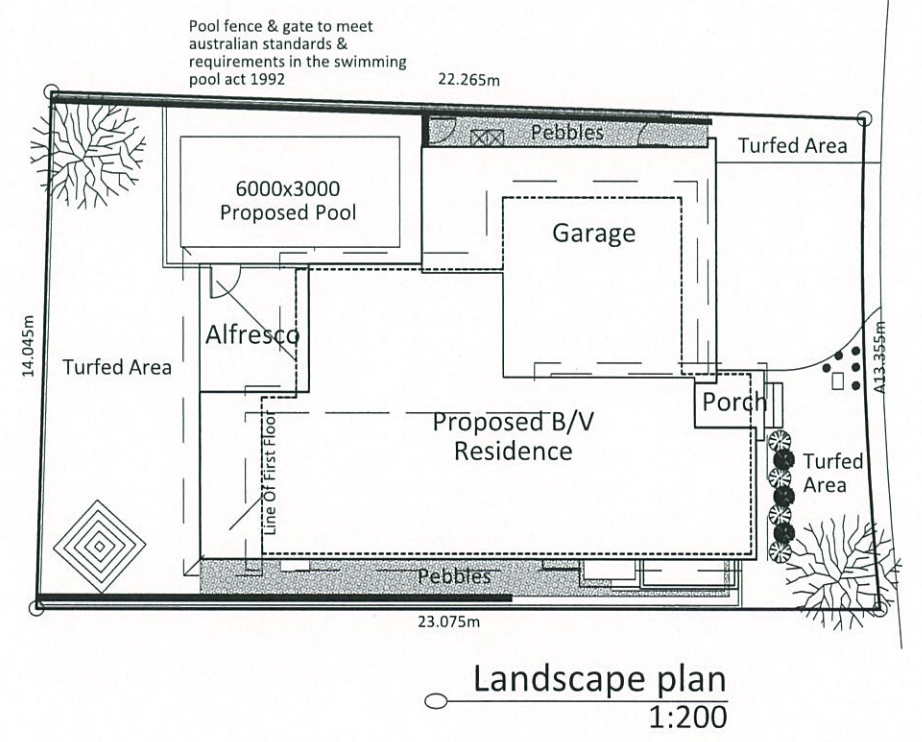


Lot 15
 308.40m²
 DP: UNREG



PROPOSED ROAD

PROPOSED ROAD



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Client Approval: _____ Date: _____



Client: **ICON HOMES**
 Job: **Proposed B/V Residence**

LOT: 15 DP: UNREG
 Karinya Estate, Warriewood

Drawing: **Site, Drainage & Landscape Plan**

Scale: **1:200** Date: **11-07-18**

Drawing No: **17025-8** Sheet: **7/12** Issue: **1**

House Design: The Tampa 25 - Custom

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