

RECEIVED  
18 MAR 2009  
PITTWATER COUNCIL

16 March 2009

The General Manager  
Pittwater Council  
PO Box 882  
MONA VALE NSW 1660

Dear Sir/Madam

**Reference 194 GARDEN STREET, WARRIEWOOD NSW 2102  
SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
DEVELOPMENT CONSENT No 366/08  
CONSTRUCTION CERTIFICATE No CC09-061**

Alterations and additions to the existing nursing home including the extension of rooms numbered 2 and 10 to the north of the building to facilitate new en-suites and the minor refurbishment of an existing accessible communal sanitary facility within the northern corridor

Pursuant to the provisions of the Environmental Planning & Assessment Act 1979 and Regulation 2000 we hereby give notice of the determination of the Construction Certificate application

Together with the approved architectural documentation we have enclosed a copy of the following for Council's record

- 1 Construction Certificate application form
- 2 Notice of Appointment of the PCA
- 3 Documentation as listed on the Construction Certificate

Pursuant to Clause 263(2) Environmental Planning and Assessment Regulation 2000, please find enclosed a cheque to the sum of \$30 00 for the submission of this Part 4A Certificate and the Notice of Commencement Certificate and request that a receipt for which is forwarded to our office

Should you have any enquires please do not hesitate to contact the undersigned on 9211 7777 or 0417 247 232

Yours sincerely,

Steven Rodriguez  
**Building Regulations Consultant  
Blackett Maguire + Goldsmith Pty Ltd**

R 256610

\$30 -

18/03/09



PO BOX 167, BROADWAY NSW 2007 SUITE 2 01, 22 36 MOUNTAIN ST  
ULTIMO NSW 2007 PH 02 9211 7777 FAX 02 9211 7774  
ABN 18 408 985 951 EML admin@hmgplusg.com.au



## Construction Certificate

### Building Works

Issued under the Environmental Planning and Assessment Act 1979  
Sections 109C 81A(1)(b), 81A(2) and 81A(4)

**Certificate No** CC09-061

**Determination** Approved

**Date of Determination** 16 March 2009

#### **Subject Land**

**Address** 194 Garden Street  
WARRIEWOOD NSW 2102  
Seaside Residential Aged Care Nursing Home  
**Council Area** Pittwater Council

#### **Applicant**

**Name** Principal Health Care / Finance No 3 Pty Limited  
**Address** Level 13 50 Bridge Street  
SYDNEY NSW 2000  
**Phone** (02) 9257 1933 *Fax* (02) 9257 1499

#### **Owner**

**Name** Principal Health Care / Finance No 3 Pty Limited  
**Address** Level 13 50 Bridge Street  
SYDNEY NSW 2000  
**Phone** (02) 9257 1933 *Fax* (02) 9257 1499

#### **Description of Development**

Alterations and additions to the existing nursing home including the extension of rooms numbered 2 and 10 to the north of the building to facilitate new en-suites and the minor refurbishment of an existing accessible communal sanitary facility within the northern corridor

*Note This Construction Certificate excludes any external ancillary services structures or civil works required by relevant authorities*

#### **Development Consent & BCA Classification**

**Development Consent No** N0366/08  
**Date of Determination** 8 December 2008  
**BCA Classification** Class 9a (Health Care Building)





## Construction Certificate

### Building Works

Issued under the Environmental Planning and Assessment Act 1979  
Sections 109C, 81A(1)(b), 81A(2) and 81A(4)

**Certificate No** CC09-061

**Determination** Approved

**Date of Determination** 16 March 2009

#### **Subject Land**

**Address** 194 Garden Street  
WARRIEWOOD NSW 2102  
Seaside Residential Aged Care Nursing Home  
**Council Area** Pittwater Council

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**Address** Level 13 50 Bridge Street  
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*Note This Construction Certificate excludes any external ancillary services structures or civil works required by relevant authorities*

#### **Development Consent & BCA Classification**

Development Consent No N0366/08  
Date of Determination 8 December 2008  
BCA Classification Class 9a (Health Care Building)

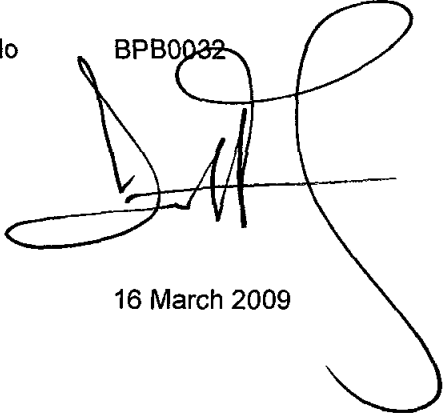
**Statutory Certification**

Work completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as are referred to in Section 81A(5) of the Environmental Planning and Assessment Act 1979

**Certifying Authority and Date of Endorsement**

Accredited Certifier David Blackett

Accreditation Body &amp; No BPB0032

Signature 

Date of Endorsement 16 March 2009

## Schedule of Approved Plans and Specifications

The following plans and specifications are approved under this Construction Certificate

- Architectural Plans prepared by MCHP Architects Pty Limited

Drawing Number	Revision	Date
08-021-A002	F	30 January 2009
08-021-A003	E	25 July 2008
08-021-A004	F	30 January 2009
08-021-A005	E	25 July 2008
08-021-A006	C	17 July 2008

In conjunction with the approved plans and specifications the following documentation was relied upon in issuing this Construction Certificate

- Structural Services Plans prepared by Optima Consulting Engineers Pty Ltd

Drawing Number	Revision	Date
S01	Sheet 1 of 3	05 February 2009
S02	Sheet 2 of 3	05 February 2009
S03	Sheet 3 of 3	05 February 2009

- Certificates of Design

Service	Prepared by	Date
Architectural	MCHP Architects Pty Ltd	29 January 2009
Civil	Optima Consulting Engineers Pty Ltd	5 February 2009
Structural	Optima Consulting Engineers Pty Ltd	5 March 2009
Services (Statement of intent)	Total Construction Pty Ltd	2 March 2009

- Other documents relied upon

Certification	Prepared by	Date
Construction Certificate Application form	Principal Health Care / Finance No 3 Pty Limited	2 March 2009
Notice of commencement form	Principal Health Care / Finance No 3 Pty Limited	7 March 2009
Authorisation letter	Principal Health Care	26 September 2008
Correspondence regarding WC	Total Construction Pty Ltd	12 March 2009
Correspondence regarding installation of water saving conservation	Total Construction Pty Ltd	12 March 2009
Section J Statement	MCHP Architects Pty Ltd	29 January 2008



Annual Fire Safety Statement	National Fire Solutions	31 July 2008
Email Correspondence regarding CC Documentation	Total Construction Pty Ltd	12 March 2009
Sydney Water Quick Check stamp on architectural drawing No 08-02-DA001	Sydney Water Agent (Reece)	12 March 2009

## Fire Safety Schedule

Issued under Clause 168 of the Environmental Planning and Assessment Regulation 2000

**Owner** Principal Health Care/Finance No 3 Pty Limited

**Address** 194 Garden Street Warriewood NSW 2102 (Seaside Residential Aged Care Nursing Home)

**Development Consent No** N0366/08

**Date of Determination** 8 December 2008

**Construction Certificate No** CC09 061

**Date of Determination** 16 March 2009

The following essential fire safety measures shall be implemented in the whole of the building premises and each of the fire safety measures must satisfy the standard of performance listed in the schedule which for the purposes of Clause 168 of the Environmental Planning and Assessment Regulation 2000 is deemed to be the current fire safety schedule for the building

### Schedule

Statutory Fire Safety Measure	Design/Installation Standard	Existing Measure	Proposed Measure
Fire Doors	AS 1905 1 – 2005	✓	
Exit Signs	AS 2293 1 & AS 2293 2	✓	
Emergency Lighting	AS 2293 1 & AS 2293 2	✓	
EWIS	AS2220 1 AS2220 2 AS1670 4 & AS4428 4	✓	✓
Automatic Fire Suppression Systems	AS2118 (Existing)  BCA Spec E1 5 & AS 2118 1 1999 or AS2118 4 6 - 1995 (new works – Rooms 2 and 10)	✓	✓
Fire Alarm System	AS1670 (Existing)  BCA Spec E2 2a & AS 1670 1 – 2004 (new works – Rooms 2 and 10)	✓	✓
Fire Hose Reels	AS 2441	✓	
Fire Extinguishers	AS 2444	✓	
Fire Blankets	AS 2444	✓	
Fire Hydrant Systems	AS 2419 1	✓	

## Inspection and Certification Schedule

### Statutory Mandatory Critical Stage Inspections

The following statutory mandatory critical stage inspections must be undertaken during the construction program

Note that an Occupation Certificate cannot be issued by our office if any of the following Statutory Mandatory Critical Stage Inspections are not carried out

- At the commencement of building works
- After the building works has been completed and prior to any Occupation Certificate being issued in relation to the building

### Certification & Documentation

Notwithstanding any inspections undertaken by our office during the construction program the following list is an *indicative* summary of the certification and or documentation that will be requested by Blackett Maguire + Goldsmith at the completion of the development

1	Certification for works completed from the structural engineer for all footings reinforced concrete structural steel etc
2	Certification for all glazed assemblies in external walls to comply with AS2047 (Windows in buildings – Selection and installation)
3	Certification for all wet area waterproof applications in accordance with BCA and AS3740 Certification must also include verification the waterproof application is an accredited product in accordance with Part A2.2 of the Building Code of Australia
4	Certification of floor coverings with respect to the required critical radiant flux and wall and ceiling linings with respect to the required material group number in accordance with Specification C1.10a of the BCA
5	Certification for all new mechanical ventilation works to AS1668.2 & Part J5 of the BCA
6	Certification for all electrical work in accordance with AS3000:2007 & Part J6 of the BCA
7	Certification for drainage and plumbing installations to AS3500 & Part J7 of the BCA
8	Certification for installation of fire detection and alarm systems to AS1670:1-2004 (Heat detectors)
9	Certification for installation of EWIS in accordance with AS2220
10	Certification for the provision of Automatic fire sprinkler systems in accordance with AS2118:1-1998
11	Final Fire Safety Certificate which is to include all essential fire safety measures outlined in the Fire Safety Schedule issued with the Construction Certificate
12	The Fire Safety Certificate is to be supplemented by individual certification from the respective consultants and contractors for the installation of each individual essential fire safety measure
13	Certification from an appropriate person to the effect that the various floor surfaces and floor finishes throughout the building have been subject to a <i>pendulum test certification</i> (on-site if necessary) to achieve a slip resistance classification under wet & dry conditions to comply with AS/NZS 4586:2004 <i>Slip Resistance Classification of New Pedestrian Surface Materials</i>  Certification is to include an assessment of the recommendations for specific locations set out in HB197:1999. Site rectification works (if necessary) are to be carried out re-tested & certified as satisfactory
14	Certification from a qualified pest controller to the effect that termite protection measures have been implemented into the building construction in accordance with AS3660:1 and the Building Code of Australia



15	Certification from the builder to the effect that all building works have been carried out in a good and workmanlike manner by appropriately licensed contractors in accordance with all relevant codes and standards and in accordance with the relevant conditions of the development consent and documentation approved under the Construction Certificate
16	Certification from the builder to the effect that all unobstructed ceiling heights to habitable and non habitable rooms within the building have been constructed in strict conformity with the drawings approved under the Construction Certificate and not less than the prescribed requirements of Part F3 of the BCA
17	Architect or builder is to certify the insulation of walls roof and ceilings in accordance with Part J1 of the BCA
18	Architect or builder is to certify the external glazing has been installed in accordance with J2 4 of the BCA with respect to annual total cooling and heating energy use
19	Architect or builder is to certify the installation of sealing to windows exhaust fans roofs walls & floors and evaporative coolers have been installed in accordance with J3 of the BCA
20	Compliance with all relevant conditions of the Development Consent Section E – Conditions E2 (detection certification) and E3 (rural fire service requirements) and confirmation to the effect that no damage has been caused to Council s assets

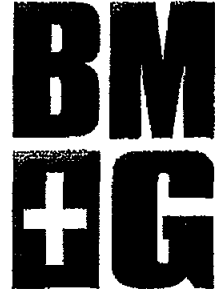
**Compliance with the Building Code of Australia**

All building works must be carried out strictly in accordance with the Building Code of Australia 2008 (BCA) Any departure from the deemed-to-satisfy (DTS) requirements of the BCA must have the prior approval of Blackett Maguire +Goldsmith

Received

16 MAR 2009

Blackett Maguire + Goldsmith



# APPLICATION FORM

Environmental Planning and Assessment Act 1979, Sec 84A & 109C  
Environmental Planning and Assessment Regulation 2000, clauses 126(1), 139(1) or 157(1)

## Application Sought

Complying Development Certificate     Construction Certificate     Occupation Certificate

## Applicant

Company Name: Principal Health Care / AMP FINANCE No 3 Pty Limited  
Name: Geoffrey James Flower  
Address: Level 13, 50 Bridge Street, SYDNEY, 2000, NSW  
Telephone: (02) 9257 1933 Fax No: (02) 9257 1499  
Signature: x

## Subject Land

Address (inc lot/DP etc): 194 Garden Street Warriewood NSW 2102  
Seaside Residential Aged Care Nursing Home

## Owner/s

Name: PRINCIPAL HEALTHCARE FINANCE  
Address: c/o Level 13, 50 Bridge Street, SYDNEY, 2000  
Telephone: (02) 9257 1933 Fax No: (02) 9257 1499

## Consent of Owner/s

I/we consent to this application  
Signature: X  
Name: Geoffrey James Flower  
Date: 2nd March 2009

## Builder (Not Applicable to Subdivision (Strata) Certificate)

Name: Total Construction  
Address: PO Box 212 NORTH STRATHFIELD NSW  
Telephone: 9746 9555 Fax No: 9746 9588

## Proposed Development

Description: Alterations and Additions to the existing Nursing Home

## Development Consent

D C No: \_\_\_\_\_ DA No: N0366/08 Date of Determination: 8 December 2008

## Has a Section 82a been submitted to Council?

Yes     No

## Value of Work (Not Applicable to Subdivision (Strata) Certificate)

Cost of Work: £45,000  
Estimate (inc GST)

PO BOX 132, BERRIGRAM NSW 2207 STATE 204 22 38 BERRIGRAM ST  
ULINDA NSW 2007 PH 02 9211 7777 FAX 02 9211 7774  
ABN 18 408 985 851 EMAIL admin@blmaguire.com.au



# SCHEDULE TO APPLICATION

This information is required for the Australian Bureau of Statistics

## All New Buildings

- Number of Storeys (including underground floors) N/A
- Gross Floor Area of New Building (m<sup>2</sup>) N/A
- Gross Site Area (m<sup>2</sup>) N/A

## Residential Buildings Only

- Number of Dwellings to be Constructed N/A
- Number of Pre-existing Dwellings on site N/A
- Number of Dwellings to be Demolished N/A
- Will the New Building(s) be attached to other Building(s)?  Yes  No
- Will the New Building(s) be attached to Existing Building(s)?  Yes  No
- Does the site contain a dual occupancy?  Yes  No

## Materials

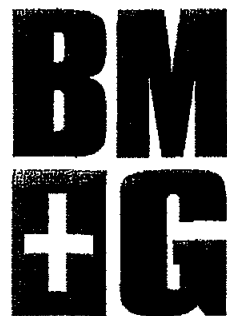
Place a tick (✓) in the box which best describes the materials the new work will be constructed of

Walls	Code	Roof	Code
<input type="checkbox"/> Brick Veneer	12	<input type="checkbox"/> Aluminium	70
<input type="checkbox"/> Full Brick	11	<input type="checkbox"/> Concrete	20
<input type="checkbox"/> Single Brick	11	<input type="checkbox"/> Concrete Tile	10
<input type="checkbox"/> Concrete Block	11	<input type="checkbox"/> Fibrous Cement	30
<input type="checkbox"/> Concrete/Masonry	20	<input type="checkbox"/> Fibreglass	80
<input type="checkbox"/> Concrete	20	<input type="checkbox"/> Masonary/Terracotta Shingle Tiles	10
<input type="checkbox"/> Steel	60	<input type="checkbox"/> Slate	20
<input checked="" type="checkbox"/> Fibrous Cement	30	<input type="checkbox"/> Steel	60
<input type="checkbox"/> Hardiplank	30	<input type="checkbox"/> Terracotta Tiles	10
<input type="checkbox"/> Cladding - Aluminium	70	<input checked="" type="checkbox"/> Other	80
<input type="checkbox"/> Curtain Glass	50	<input type="checkbox"/> Unknown	90
<input type="checkbox"/> Other	80		
<input type="checkbox"/> Unknown	90		
<b>Floor</b>		<b>Frame</b>	
<input checked="" type="checkbox"/> Concrete	20	<input checked="" type="checkbox"/> Timber	40
<input type="checkbox"/> Timber	10	<input type="checkbox"/> Steel	60
<input type="checkbox"/> Other	80	<input type="checkbox"/> Other	80
<input type="checkbox"/> Unknown	90	<input type="checkbox"/> Unknown	90

Received

16 MAR 2009

Blackett Maguire + Goldsmith



**Notice of Commencement and Appointment of Principal Certifying Authority**

Environmental Planning and Assessment Act 1979,  
Sections 81A (2) (b) (ii), or (4) (b) (ii) or (c) 86 (7) and (2)

**Applicant**

Company Name Principal Health Care / AMP Finance No 3 Pty Limited  
Contact Name Geoffrey James Flower  
Address Level 13, 50 BRIDGE STREET SYDNEY NSW 2000  
Phone No Fax No

**Subject Land**

Lot No ,DP No  
Address 194 Garden Street WARRIEWOOD NSW 2102 - Seaside Residential  
Aged Care Nursing Home

**Description of Development**

Type of work proposed  Building Work  Subdivision Work  
Description Alterations and Additions to the existing Nursing Home

**Development Approvals**

Development Consent No DA No N0366/08  
Date of Determination 8 December 2008

**Construction Certificate**

Construction Certificate No CCO9-061  
(Where one has been issued)

**Principal Certifying Authority**

Name of PCA David Blackett  
Accreditation No BPB0032  
Address Blackett Maguire + Goldsmith Pty Ltd  
PO Box 167, BROADWAY NSW 2007  
Phone No 9211 7777 Fax No 9211 7774

**Compliance with Conditions**

Have all conditions of the Development Consent/~~Complying Development Certificate~~ been satisfied?

- Yes
- No

**Home Building Act Requirements**

Have the requirements of the Home Building Act been satisfied?

Please tick See note 1 and attach copy of certificate

- Yes
- Not Applicable



PO BOX 167 BROADWAY NSW 2007 SUITE 201, 22-26 MOUNTAIN ST  
ULTIMO NSW 2007 PH 02 9211 7777 FAX 02 9211 7774  
ABN 18 408 985 951 EMAIL admin@hmpnsw.com.au



**Date work is to commence** Two (2) days from the lodgement of this form with the Consent Authority

**Authorised Persons Signature**

(Person entitled to act on the DA Consent other than the builder or contractor unless they are the owner of the land)

Signature

x

Geoffrey James Flower

Date

7th March 2009

**Principal Certifying Authority Signature**

Signature

Date

16.3.09

**Notes**

- (b) Home Building Act 1989 requirements in case of building work that involves residential building work (within the meaning of the Home Building Act 1989) include the following
- (b) In the case of work by a licence under that act
    - (i) a statement detailing the licensee's name and contractor licence number, and
    - (ii) documentary evidence that the licence has complied with the applicable requirements of that Act\*, or
  - (b) in the case of work done by any other person
    - (i) a statement detailing the person's name and owner-builder permit number, or
    - (ii) a declaration signed by the owner of the land, to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of **owner-builder work** in section 29 of the Act

\*A certificate purporting to be issued by an approved insurer under part 6 of the Home Building Act 1989 to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements

Received

11 MAR 2009

Blackett Maguire + Goldsmith

# Annual Fire Safety Statement

Under Part 9 of the Environmental Planning and Assessment Regulation, 2000

**Type of certificate**

X Annual                      Supplementary

**Name owner/agent**

I, NATIONAL FIRE SOLUTIONS

**Address**

of PO BOX 1800 QUEANBEYAN NSW 2620

Hereby certify that

- (a) each of the essential fire measures listed below has been assessed by a person (chosen by me) who was properly qualified to do so, and was found, when it was assessed, to have been properly implemented and to be capable of performing
  - (i) to a standard not less than that required by the most recent fire safety schedule for the building for which the certificate is issued, or
  - (ii) to a standard no less than that to which the measure was originally designed and installed
- (b) by inspection, a properly qualified person has certified that the condition of the building did not disclose any grounds for prosecution under Division 7 of Part 9 of the Environmental Planning and Assessment regulation, 2000
- (c) the information contained in this certificate is, to the best of my knowledge and belief, true and accurate

**Identification of building**

**Address**

No 134              Street Garden Street

**Location**

Warrimoo NSW 2541

KNOWN AS SEASIDE RESIDENTIAL AGLD CARE FACILITY

**Particulars of building**

**Whole/part**

WHOLE

**description of part (where applicable)**

**Date of assessment**

31<sup>st</sup> July 2008

**Owner's details**

**Name**

PRINCIPAL HEALTH CARE FINANCE PTY LTD

**Address**

C/O MORAN HEALTH CARE (AUSTRALIA) PTY LTD  
13 15 BRIDGE STREET SYDNEY

**Seaside Nursing Home**  
184 Garden Street WARRIEWOOD NSW 2102  
Phone (02) 9997 4633 Fax (02) 9997 6664

*Principal Aged Care Group*

Date.	Fax No	9746 9588
To. Alan	From	
Attention.	No of pages attached	4

Dear Alan,

~~I hope~~ This is what

you are after ~~If not~~

~~please call me on~~

9997-4633

Maelle





# TOTAL CONSTRUCTION

Concept to Completion

Received

12 MAR

Blackett Maguire

12/03/2009

Blackett Maguire + Goldsmith Pty Ltd  
Suite 2 01, 22 – 36 Mountain Street  
ULTIMO NSW 2007

Dear Sir,

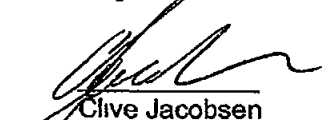
Re **SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
ALTERATIONS AND ADDITIONS**

Please be advised that Total Construction will install water saving conservation devices with an AAA rating at the above-mentioned facility

This includes tap flow regulators, shower head hoses, and dual flush toilets. All new hot water systems will have a minimum of 3.5 stars

We trust the above meets your requirements for purposes of obtaining the necessary approval

Regards,

  
Clive Jacobsen  
Project Manager  
Total Construction Pty Ltd

Total Construction Pty Ltd ABN 32 067 732 941

Sydney Level 2 3 George Street PO Box 212 North Strathfield NSW 2137

Melbourne Level 1 21 Cremorne Street Richmond PO Box 2169 Richmond Sth VIC 3121

Adelaide 62 North Terrace PO Box 746 Kent Town BC SA 5071

All accounts to PO Box 212 North Strathfield NSW 2137

T 02 9746 9555 F 02 9746 9588

T 03 9417 4744 F 03 9417 7011

T 08 8363 1133 F 08 8363 6766

[www.totalconstruction.com.au](http://www.totalconstruction.com.au)

# TOTAL CONSTRUCTION

Concept to Completion

02/03/2009

Blackett Maguire + Goldsmith Pty Ltd  
Suite 2 01 22 – 36 Mountain Street  
ULTIMO NSW 2007

Dear Sir

Re **DESIGN & CONSTRUCT STATEMENT OF INTENT  
SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
ALTERATIONS AND ADDITIONS**

- 1 Total Construction Pty Ltd hereby confirm that all building works will be carried out in a good and workmanlike manner by appropriately licensed contractors in accordance with all relevant codes and standards and in accordance with the relevant conditions of the consent and documentation approved under this Construction Certificate application

The scope of works will be of a design and construct basis and all necessary certification will be provided upon completion to certify that the building works have been designed and installed in accordance with the following

- All building works will be carried out in accordance with the Deemed-to-Satisfy (DTS) provisions of the Building Code of Australia (BCA) & Commonwealth Assessment report prepared by BM+G
- Mechanical Ventilation will comply with Part J5 of the BCA and AS/NZS1668 1-1998 & AS1668 2-1991
- Electrical installation will comply with Part J6 of the BCA and AS3000 - 2007
- Hydraulic services will comply with Part J7 of the BCA & AS/NZS3500
- Emergency lighting and exit signage installations will comply with AS2293 1 2005
- Fire services will comply with Part E of the BCA AS2419 1-2005 AS2441-2005 & AS2444-2001

**Total Construction Pty Ltd** ABN 32 067 732 941

**Sydney** Level 2 3 George Street PO Box 212 North Strathfield NSW 2137

**Melbourne** Level 1 21 Cremorne Street Richmond PO Box 2169 Richmond Sth VIC 3121

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# TOTAL CONSTRUCTION

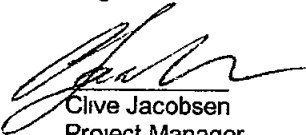
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Concept to Completion

- Smoke Hazard Management installations will comply with Specification E2 2a of the BCA and AS1670 1-2004 and/or AS/NZS1668 1 1998

We trust the above meets your requirements for purposes of obtaining the necessary approval

Regards



Clive Jacobsen  
Project Manager  
Total Construction Pty Ltd

**Total Construction Pty Ltd** ABN 32 067 732 941

**Sydney** Level 2 3 George Street PO Box 212 North Strathfield NSW 2137

**Melbourne** Level 1 21 Cremorne Street Richmond PO Box 2169 Richmond Sth VIC 3121

**Adelaide** 62 North Terrace PO Box 746 Kent Town BC SA 5071

**All accounts to** PO Box 212 North Strathfield NSW 2137

**T** 02 9746 9555 **F** 02 9746 9588

**T** 03 9417 4744 **F** 03 9417 7011

**T** 08 8363 1133 **F** 08 8363 6766

**www.totalconstruction.com.au**

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Consulting Structural & Civil Engineers • Project Management  
ABN 35 114 405 926

Level 1 Suite 13/110 Crown Street Wollongong NSW 2500  
PO Box 21 Wollongong NSW 2520  
Ph 02 4228 4853  
Fax 02 4228 4857  
Mobile 0401 067 250  
Email ivo@ocengineers.com.au  
Web www.ocengineers.com.au

5 February 2009

Our Ref OCE11049-STR-001

Mr Alan McCormack  
Total Construction Pty Ltd  
PO Box 212  
NORTH STRATHFIELD NSW 2137

Dear Alan,

**CIVIL ENGINEERING REPORT**  
**Seaside Aged Care – Proposed Ensuite to Rooms 2 & 10**  
**194 Garden Street, Warriewood**

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I have reviewed the architectural drawings by MCHP Architects Pty Ltd (drawings R0802 sheets 1 & 2) dated June 2007 and flood advice provided by Pittwater Council dated 15 January 2009

Based on the above advice the flood levels were identified as follows

- 1 1% AEP (Annual Exceedance Probability) flood level is 4.4m AHD and water velocity 0.5m/s
- 2 The level of PMF (Probable Maximum Flood) is 6.7m AHD and water velocity 1.0m/s
- 3 Flood Planning Level (FLP) is 4.9m AHD
- 4 The above property is located within Low Flood Risk Precinct

Based on the site plan by Moran Health Care Group the driveway level in front of the existing building is 5.5m AHD. It is assumed that the ground floor level of the building will be 100mm higher at the level 5.6m AHD

Based on this information we address the DA conditions as follows

**B1 Matters to be incorporated into the development and maintained over the life of the development**

- a All structural components will be above flood planning level. Consequently the walls do not need to be constructed from flood compatible materials
- b The proposed structure is located in the zone of low risk and well above flood planning level. Therefore the proposed structure will achieve low risk of damage and instability due to flood hazards
- c All new proposed foundations and slabs are at the existing ground level and therefore suspended floor requirement does not apply

- d The proposed floor will be above flood planning level and therefore this item does not apply (electrical equipment and wiring)
- e The proposed floor will be above flood planning level and therefore this item does not apply (storage of toxic goods)

Please contact me if you require any additional information

Yours faithfully

**OPTIMA CONSULTING ENGINEERS PTY LIMITED**



**IVO OLBRECHT B E (Civil) M I E AUST CPEng (NPER)**



Consulting Structural & Civil Engineers • Project Management  
ABN 35 114 405 926

Level 1 Suite 13/110 Crown Street Wollongong NSW 2500  
PO Box 21 Wollongong NSW 2520  
Received Ph 02 4228 4853  
11 MAR 2009 Fax 02 4228 4857  
Mobile 0401 067 250  
Email ivo@ocengineers.com.au  
Web www.ocengineers.com.au  
Blackett Maguire + Goldsmith

5 March 2009

Our Ref OCE11049-STC-002

Principal Certifying Authority  
Blackett Maguire & Associates Pty Ltd  
Suite C2 01, Level 2  
22-36 Mountain Street  
Ultimo NSW 2007

Dear Sir

Re Seaside Aged Care – Proposed Ensuite to Rooms 2 & 10

**CERTIFICATE OF DESIGN - STRUCTURAL**

**SUBJECT PREMISES 194 Garden Street, Warriewood  
DEVELOPMENT APPLICATION N0366/08**

Pursuant to the provisions of **Clause A2 2 of the Building Code of Australia**, I hereby certify that the above design is in accordance with normal engineering practice and meets the requirements (relating to structural design only) of the Building Code of Australia any relevant fire safety engineering report, the Environmental Planning and Assessment Regulation, relevant Australian Standards and relevant conditions of the Development Consent. In particular the design is in accordance with the following

- DA conditions and in particular condition C3
- AS1170 1-2002 Permanent, imposed and other actions
- AS1170 2-2002 Wind actions
- AS1170 4-2002 Earthquake loads
- AS2870-1996 Residential slabs and footings
- AS3600-2001 Concrete structures

I am an appropriately qualified and competent person in this area being listed in the National Professional Engineers Register (NPER) and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings

**OCE11049/S01, S02 & S03**

I possess Indemnity Insurance to the satisfaction of the building owner or my principal

**Full Name of Designer Ivo Olbrecht**  
**Qualifications B E (Civil) M I E AUST CPEng (NPER)**  
**Address of Designer as above**  
**Business Telephone No 0242284853 Fax No 0242284857**  
**Name of Employer OPTIMA CONSULTING ENGINEERS PTY LIMITED**

Please contact me if you require any additional information

Yours faithfully,  
**OPTIMA CONSULTING ENGINEERS PTY LIMITED**



**IVO OLBRECHT B E (Civil) M I E AUST CPEng (NPER)**

# **TOTAL CONSTRUCTION**

Concept to Completion

Received

13 MAR 2009

Blackett Maguire + Goldsmith

12/03/2009

Blackett Maguire + Goldsmith Pty Ltd  
Suite 2 01, 22 – 36 Mountain Street  
ULTIMO NSW 2007

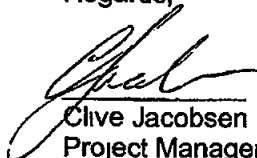
Dear Sir,

Re **SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
ALTERATIONS AND ADDITIONS**

Please be advised that the accessible WC is for resident use only

We trust the above meets your requirements for purposes of obtaining the necessary approval

Regards,



Clive Jacobsen  
Project Manager  
Total Construction Pty Ltd

**Total Construction Pty Ltd** ABN 32 067 732 941

**Sydney** Level 2 3 George Street - PO Box 212 North Strathfield NSW 2137

**Melbourne** Level 1 21 Cremorne Street Richmond PO Box 2169 Richmond Sth VIC 3121 T 03 9417 4744 F 03 9417 7011

**Adelaide** 62 North Terrace PO Box 746 Kent Town BC SA 5071

All accounts to PO Box 212 North Strathfield NSW 2137

T 02 9746 9555 F 02 9746 9588

T 03 9417 4744 F 03 9417 7011

T 08 8363 1133 F 08 8363 6766

[www.totalconstruction.com.au](http://www.totalconstruction.com.au)





PRINCIPAL HEALTHCARE FINANCE PTY LIMITED  
ABN 33 089 875 476

26 September 2008

To Whom it may Concern

The Board of Principal Healthcare Finance Pty Limited hereby authorise Geoffrey James Flower, Investment Manager to apply on our behalf to any Local Council in Australia for any Planning Building or Development consent or approval

SIGNED UNDER SEAL BY Principal Healthcare Finance Pty Limited



  
Director

  
Secretary

# GLAZING CALCULATOR FOR USE WITH CLAUSE J2.3, BCA VOLUME ONE (METHOD 1)

Climate zone **5** Building name/description **Warriewood - ensuite Room 2**

Unit no **1** Storey **1** Area of floor **7.6m<sup>2</sup>** Glazing **1.7% of area of floor - Storey 1)**

CONSTANTS and ALLOWANCES (per storey)

C <sub>g</sub> / C <sub>glass</sub>	1.9 / 0.14	not used
C <sub>g</sub> x Area	<b>14.4</b>	
C <sub>glass</sub> x Area	<b>1.1</b>	

Number of rows preferred in table below **12** (as currently displayed)

GLAZING ELEMENTS, ORIENTATION, SIZE and PERFORMANCE CHARACTERISTICS		SHADING			CALCULATED OUTCOMES - OK (if inputs are valid)					
Glazing element	Sector faced	Size			P&H of device		Conductance - PASSED			
		Height (m)	Width (m)	Area (m <sup>2</sup> )	Total U-Value (NFRG)	SHGC (NFRG)	Element share of % of allowance used	U x area	SHGC x C x area	Element share of % of allowance used
1	Storey 1	0.60	0.90	0.86	5.8	0.86	3.2	100% of 22%	0.4	100% of 36%
2										
3										
4										
5										
6										
7										
8										
9										
10										
11										
12										

**IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR**

The Glazing Calculator has been developed by the ABCB to assist in developing a better understanding of glazing energy efficiency parameters. While the ABCB believes that the Glazing Calculator if used correctly will produce accurate results it is provided 'as is' and without any representation or warranty of any kind. Including that it is fit for any purpose or of merchantable quality or functions as intended or at all. Your use of the Glazing Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

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**if inputs are valid**

# GLAZING CALCULATOR FOR USE WITH CLAUSE J2.3, BCA VOLUME ONE (METHOD 1)

Climate zone **5** Building name/description **Warriewood - ensuite Room 10**

Unit no **Storey 1** Area of floor **7.6m<sup>2</sup>**

**17%** of area of floor - Storey 1

**CONSTANTS and ALLOWANCES (per storey)**

C <sub>g</sub> / C <sub>shcc</sub>	19/0.14	not used
C <sub>u</sub> x Area	14.4	
C <sub>shcc</sub> x Area	11	

Number of rows preferred in table below **12** (rows currently displayed)

GLAZING ELEMENT		ORIENTATION		SIZE		PERFORMANCE CHARACTERISTICS		SHADING		CALCULATION DATA		CALCULATED OUTCOMES - OK (if inputs are valid)	
ID	Description (optional)	Sector	Faced	Height (m)	Width (m)	Area (m <sup>2</sup> )	Total U-value (NFR) (NFR)	SHGC (NFR)	P (m)	H (m)	U x area	Element share of % of allowance used	Solar heat gain - PASSED
1		W	1	0.60	0.90	0.54	5.8	0.86			3.2	100% of 22%	0.6
2													
3													
4													
5													
6													
7													
8													
9													
10													
11													
12													

**IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR**

The Glazing Calculator has been developed by the ABCB to assist in developing a better understanding of glazing energy efficiency parameters. While the ABCB believes that the Glazing Calculator if used correctly will produce accurate results it is provided as is and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Glazing Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.



*If inputs are valid*

# MCHP Architects Pty Ltd

ABN 21 096 632 450

28 CHANDOS STREET, ST LEONARDS N S W 2065  
Phone (02) 9436 2222 Fax (02) 9439 1340 Email architects@mchp.com.au



29 January 2008

Mr David Blackett  
Principal Certifying Authority  
Blackett Maguire & Goldsmith Pty Ltd  
Suite C2 01, Level 2, 22-36 Mountain Street  
ULTIMO NSW 2007

Dear David

**RE** PROPOSED ALTERATIONS & ADDITIONS TO EXISTING NURSING  
HOME FACILITY  
**AT:** 194 GARDEN STREET, WARRIEWOOD NSW 2102  
**FOR** PRINCIPAL HEALTH CARE / AMP

## DESIGN STATEMENT

**DA NO** N0366/08

I, David Cahill, (Director and Nominated Architect) MCHP Architects Pty Ltd, 28 Chandos Street, St Leonards NSW 2065, state that

- The following Construction Certificate drawings are in accordance with the approved Development Consent plans and consistent with conditions of development consent
  - 08-021-A002 Issue F – Room 2 Ensuite – Plan
  - 08-021-A003 Issue E – Room 2 Ensuite – Elevations
  - 08-021-A004 Issue F – Room 10 Ensuite – Plan
  - 08-021-A005 Issue E – Room 10 Ensuite – Elevations/Details
- The design variance of the proposed sanitary facilities from AS1428 1 is due to the required compliance with GR Consulting's (Aged Care Specialist) Aged Care Group Standards. These standards allow for the necessary space requirement to allow for the assisted care of resident's by facility staff
- The design of the proposed sanitary facilities are compliant with the following relevant and applicable Section J clauses
  - J1 5 Walls (refer floor plan drawings)
  - J2 Glazing (refer attached glazing calculation assessment)

Nominated Architect David Cahill B Arch (Hons) NSW Architects Registration Board No 7135

H:\MCHP\AMP Nursing Home Stage 1\Warriewood\CC\Construction Certificate Statement 290109.doc

Page 1 of 2

Full Name of Designer  
Qualifications

**David Cahill**  
**B Arch(Hons)**  
**NSW Architects Registration Board No 7135**  
**28 Chandos Street, St Leonards NSW 2065**  
**02 9436 2222**  
**02 9439 1340**  
**MCHP Architects Pty Ltd**

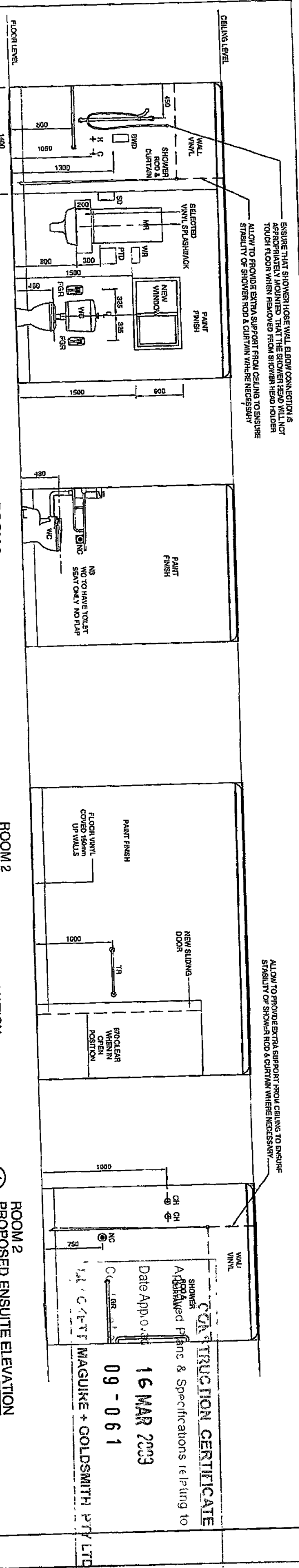
Address of Designer  
Business Telephone No  
Fax No  
Name of Employer

Yours Faithfully,  
**MCHP Architects Pty Ltd**



David Cahill





ROOM 2  
PROPOSED ENSUITE ELEVATION  
Scale 1:50 @ A3

ROOM 2  
PROPOSED ENSUITE ELEVATION  
Scale 1:50 @ A3

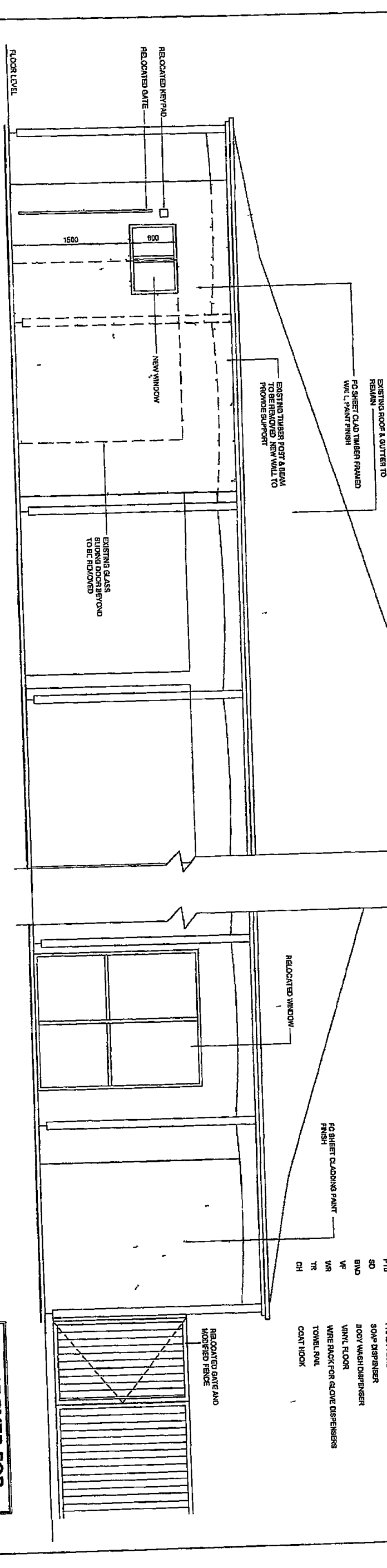
ROOM 2  
PROPOSED ENSUITE ELEVATION  
Scale 1:50 @ A3

ROOM 2  
PROPOSED ENSUITE ELEVATION  
Scale 1:50 @ A3

NOTE  
ENSURE ALL NEW HOT WATER INSTALLATIONS ARE TO BE PROVIDED WITH THERMAL MIXING VALVES (OR SIMILAR TEMPERATURE CONTROL SYSTEM) IN ACCORDANCE WITH AS3500  
ENSURE ALL FLOOR WASTES COMPLY WITH AS1428.1 REQUIREMENTS  
ENSURE THAT ALL NEW MECHANICAL VENTILATION SYSTEMS TO COMPLY WITH AS1546.2 REQUIREMENTS  
ENSURE SELECTED SLIDING DOOR HANDLE IS INSTALLED TO PROVIDE BRIM CLEAN OPENING WHEN IN AN OPEN POSITION. ALLOW FOR BRIM CLEANING TO BACK UP HANDLE WHEN DOOR IS IN OPEN POSITION

LEGEND

FOR	FOLDING GRABBAR
NC	NAILER CALL BUTTON (COMPLY ENTIRELY WATERPROOF)
TH	TOILET PAPER HOLDER
SHR	SHOWER SET
GR	GRABBAR
WC	TOILET SUITE
FW	FLOOR WASTE
BN	HANDWASH
MR	MIRROR (450mm x 900mm) WITH SHELF
PTD	PAPEY TOWEL DISPENSER
SD	SOAP DISPENSER
BND	BODY WASH DISPENSER
VF	VINYL FLOOR
WR	WIRE RACK FOR GLOVE DISPENSERS
TR	TOWEL RAIL
CH	COAT HOOK



ROOM 2  
PROPOSED NORTH ELEVATION  
Scale 1:50 @ A3

ROOM 2  
PROPOSED EAST ELEVATION  
Scale 1:50 @ A3

**APPROVED FOR CONSTRUCTION**

**TOTAL CONSTRUCTION**  
Concept to Completion

No	Date	Author
1	20/03/2023	AV
2	21/03/2023	AV
3	21/03/2023	AV
4	21/03/2023	AV
5	21/03/2023	AV

**MCHP Architects Pty Ltd**  
21 Charles Street, St Leonards NSW 2055  
Phone: (02) 9438 2222  
Fax: (02) 9438 1340  
Email: architects@mchp.com.au

Client: **PRINCIPAL HEALTH CARE**  
Project: **SEASIDE RESIDENTIAL AGED CARE NURSING HOME**  
194 GARDEN STREET  
WARREWOOD NSW 2102

Drawing Title: <b>ROOM 2 ENSUITE ELEVATIONS</b>	
Drawn: AV	Check: AV
1:25	1:50
Date: 20/03/2023	Revision: E
Drawing No: <b>08-021-A003</b>	

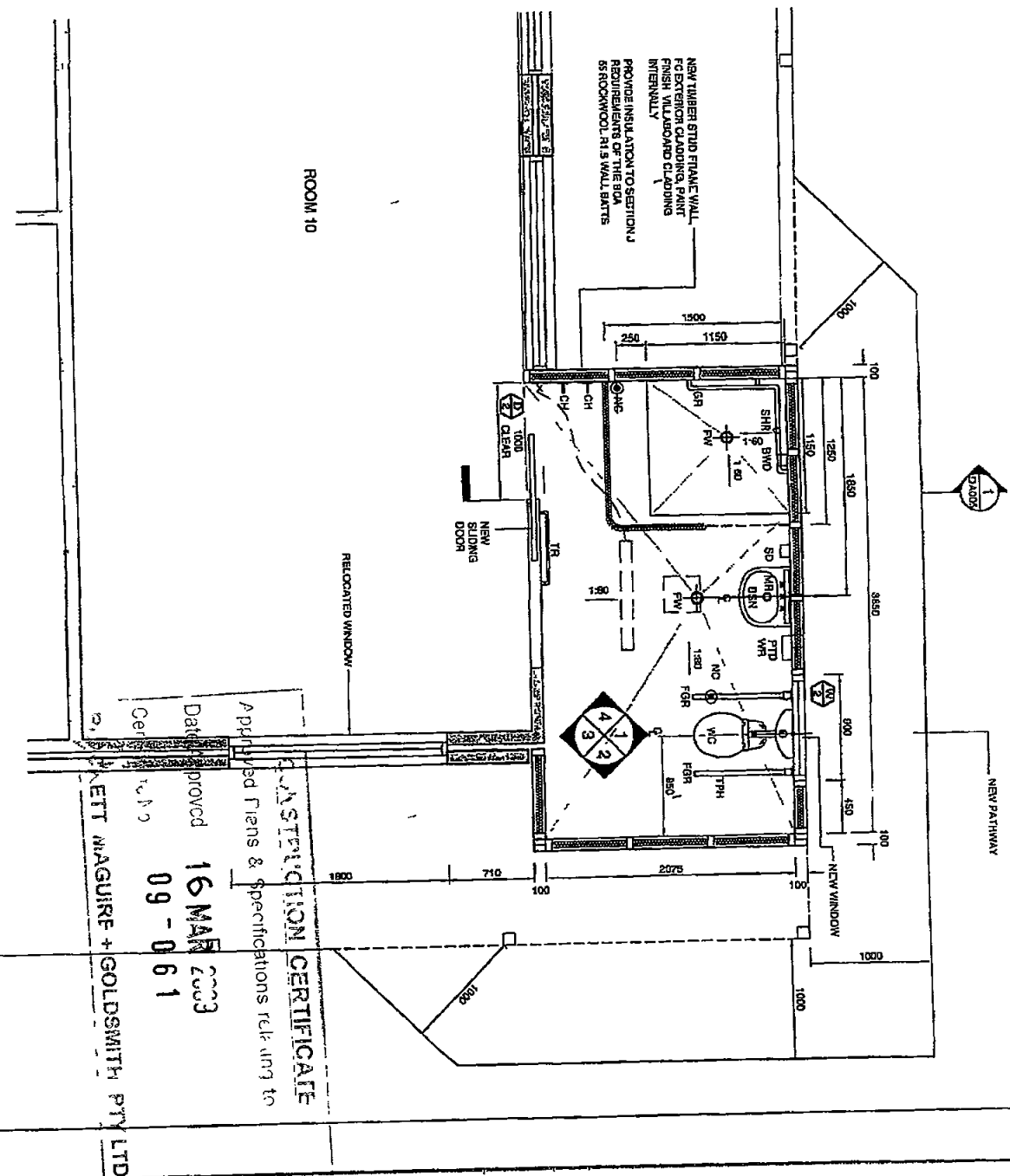
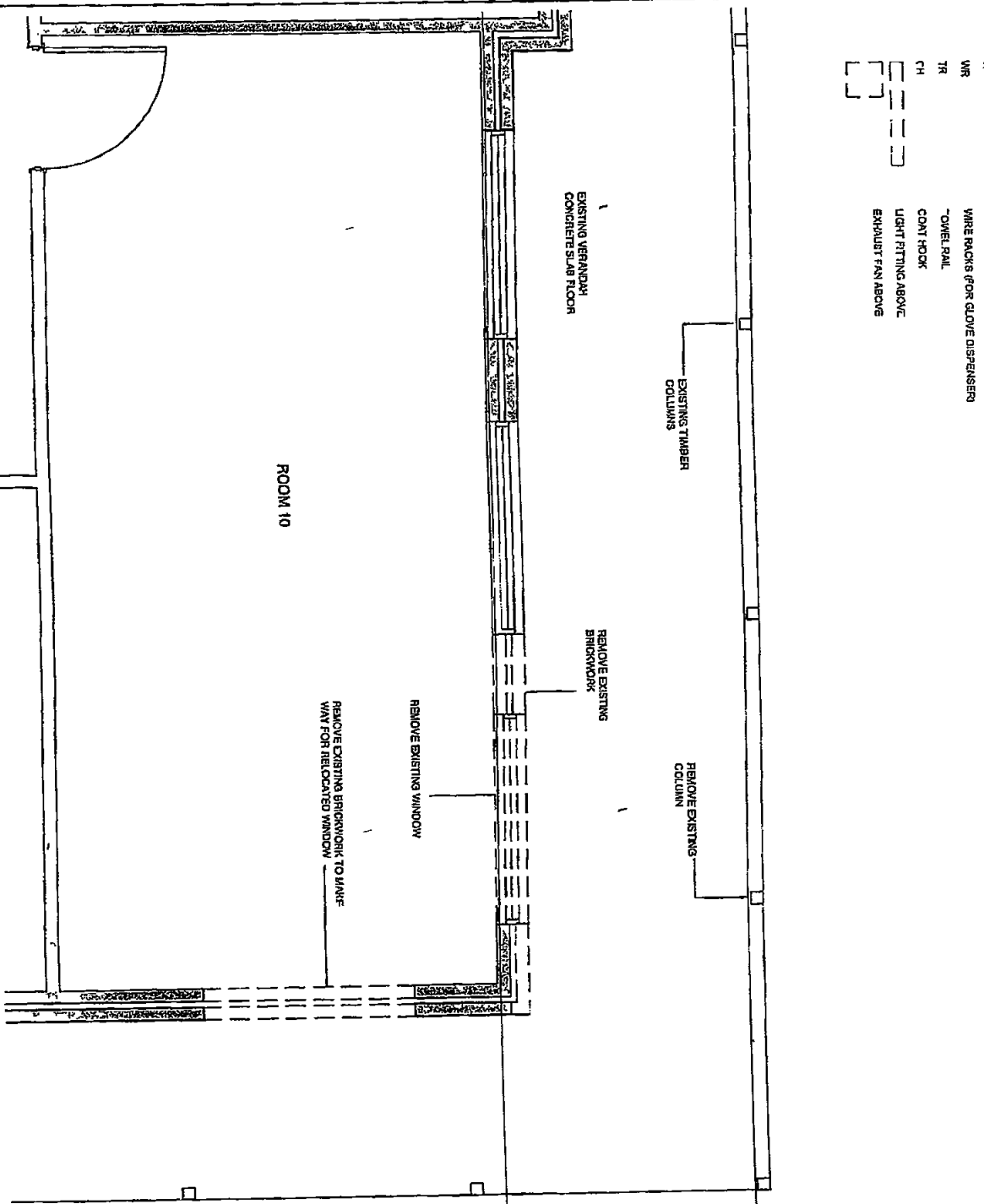
**APPROVED FOR CONSTRUCTION**

**LEGEND**

- FOR FOLDING GRABBAR
- NR NURSE CALL BUTTON (COMPLETELY WATERPROOFED)
- TRH TOILET PAPER HOLDER
- SHR SHOWER SET
- GRB GRABBAR
- WC TOILET SILLITE
- FW FLOOR WASTE
- BSN HANDBASIN
- MR MIRROR (500mm x 800mm) WITH SHELF
- PTD PAPER TOWEL DISPENSER
- SD SOAP DISPENSER
- BWD BODY WASH DISPENSER
- VP VAPOR FLOOR
- WR WIRE RACKS (FOR GLOVE DISPENSERS)
- TR TRAVEL RAIL
- CH COAT HOOK
- CH LIGHT FITTING ABOVE
- CH EXHAUST FAN ABOVE

**NOTE**

ENSURE ALL NEW HOT WATER INSTALLATIONS ARE TO BE PROVIDED WITH THERMAL INSULATION AND SHOWER WITH THERMOSTATIC CONTROL SYSTEM IN ACCORDANCE WITH AS4555  
 ENSURE ALL FLOOR WASTES COMPLY WITH AS1423.1 REQUIREMENTS  
 ENSURE THAT ALL NEW MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS1682.3 AS1625.555.1  
 SLIDING DOORS  
 ENSURE SELECTED SLIDING DOOR HANDLE IS INSTALLED TO PROVIDE CLEARANCE FROM CLEARANCE TO BACK OF HANDLE WHEN DOOR IS IN OPEN POSITION



**ROOM 10 - PROPOSED FLOOR PLAN**  
Scale: AS 9 150



**TOTAL CONSTRUCTION**  
Concept to Completion

7	30.01.2007	NOTE & WALL INSULATION ADDED	AV
6	25.07.2006	DOOR LOCKS AND TOWER RAIL ADDED DOOR SCHEDULED	AV
5	18.07.2006	AMENDMENTS MADE TO RUMBLE COMMENTS SHEET FOR CONSTRUCTION	AV
4	04.07.2006	LAUNCH REVISED	JF
3	27.05.2006	ISSUED TO ARCHITECT	AV
2	21.05.2006	ISSUED TO ARCHITECT	AV
1	21.05.2006	CONCEPT	AV

**MCHP Architects Pty Ltd**  
 25 Collins St | St Leonards NSW 1585  
 Phone: (02) 9439 1344  
 Fax: (02) 9439 1344  
 website@mchp.com.au

Client: **PRINCIPAL HEALTH CARE**  
 Project: **SEASIDE RESIDENTIAL AGED CARE NURSING HOME**  
 194 GARDEN STREET  
 WARRIEWOOD NSW 2102

Drawing Title: **ROOM 10 ENSUITE PLAN**  
 1:25  
 1:50  
 20.06.2006  
 Drawing to: **F**

**CONSTRUCTION CERTIFICATE**  
 Approved Plans & Specifications Relating to  
 Date Approved: **16 MAR 2003**  
 09 - 06 1  
**KETT MAGUIRE + GOLDSMITH PTY LTD**



**APPROVED FOR CONSTRUCTION**

**CONSTRUCTION CERTIFICATE**

Approved Plans & Specifications relating to

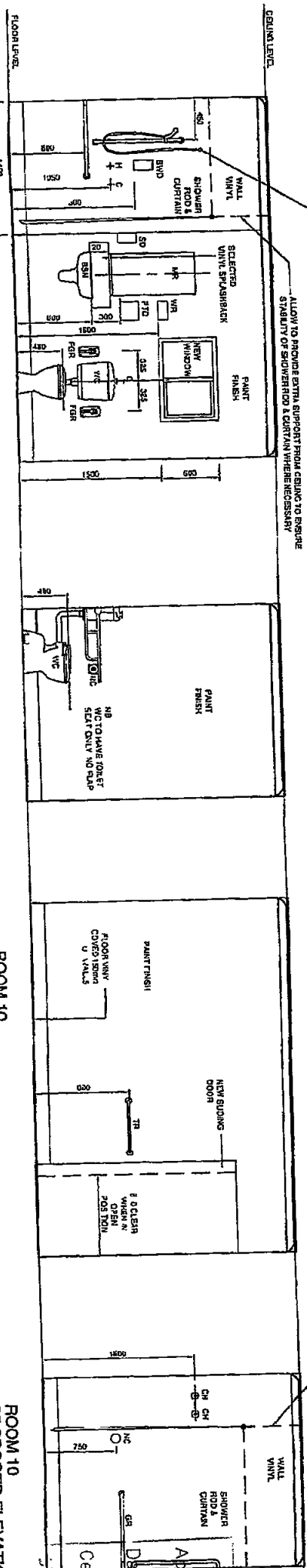
Date Approved **16 MAR 2009**

Certificate No **09 - 0 6 1**

**CECILEY MCGOWAN + COLBERT PTY LTD**

ENGINE THAT SHOWER HOSE WALL BELOW CONNECTION IS APPROPRIATELY ANCHORED THAT THE SHOWER HOSE WALL DOES NOT TOUCH FLOOR WHEN REMOVED FROM SHOWER HEAD POSITION ALLOW TO PROVIDE EXTRA SUPPORT FROM CEILING TO ENSURE STABILITY OF SHOWERHEAD & CURTAIN WHERE NECESSARY

ALLOW TO PROVIDE EXTRA SUPPORT FROM CEILING TO MAINTAIN STABILITY OF SHOWER HEAD & CURTAIN WHERE NECESSARY



**ROOM 10 PROPOSED ELEVATION**  
SCALE 1:50 @ A3

**ROOM 10 PROPOSED ELEVATION**  
SCALE 1:50 @ A3

**ROOM 10 PROPOSED ELEVATION**  
SCALE 1:50 @ A3

**ROOM 10 PROPOSED ELEVATION**  
SCALE 1:50 @ A3

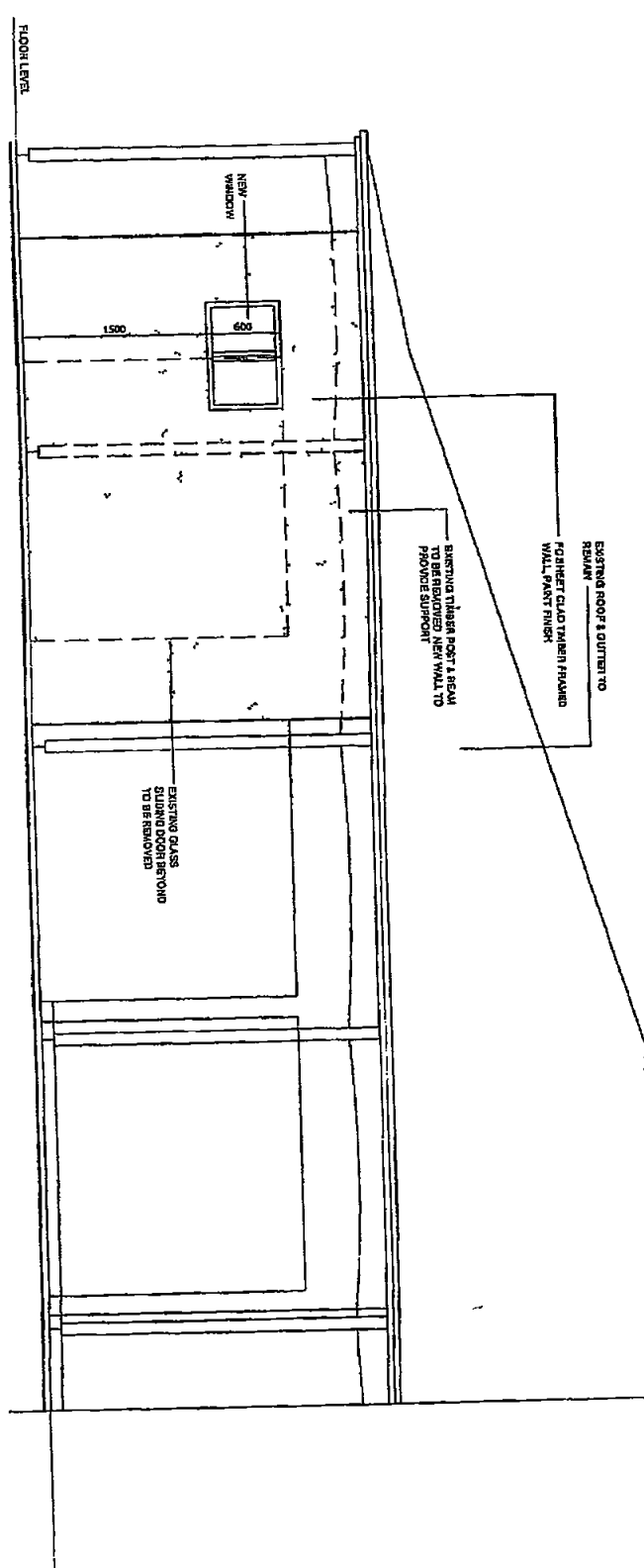
**NOTE**

ENSURE ALL NEW HOT WATER INSTALLATIONS ARE TO BE PROVIDED WITH THERMAL BREAK VALVES FOR BULK INSULATION CONTROL SYSTEM IN ACCORDANCE WITH AS/NZS 4841.  
ENSURE ALL FLOOR WASTES COMPLY WITH AS/NZS 4841 REQUIREMENTS.  
ENSURE THAT ALL NEW MECHANICAL VENTILATION SYSTEMS TO COMPLY WITH AS/NZS 2 & AS/NZS 3841.  
FLOOR WASTES TO BE PROVIDED WITH A DRAIN TO FLOOR WASTE TO PROVIDE A CLEAR DRAINING POINT FOR WATER FROM THE FLOOR.  
HANDLING WASTES TO BE PROVIDED IN POSITION.

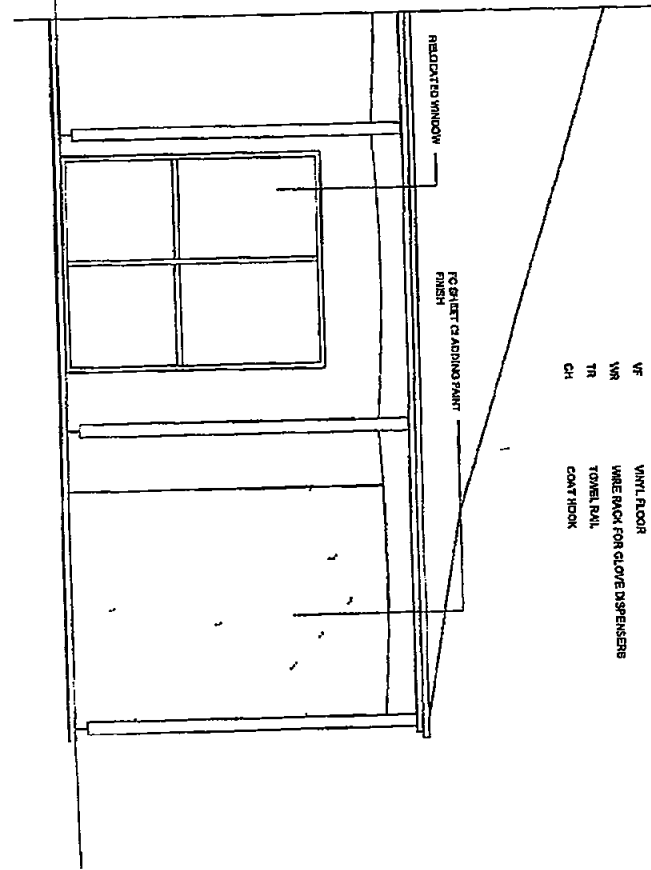
**LEGEND**

- FGR FOLDING GARABULL
- NC NURSE CALL BUTTON (COMPLY EVERY WATERPROOF)
- TPH TOILET PAPER HOLDER
- SHR SHOWER BATH
- GRB GRABBAR
- NO TOILET BRUSH
- FW FLOOR WASTE
- BNH BENCH
- MR MILLER (to be removed WITH SHEET)
- PDP PAPER TOWEL DISPENSER
- PD PAPER DISPENSER
- BO BODY DISPENSER
- BDV BODY WASH DISPENSER
- VF VINYL FLOOR
- WR WARE BACK FOR GLOVE DISPENSERS
- TR TOWEL RAIL
- CH COAT HOOK

**ROOM 10 PROPOSED WEST ELEVATION**  
SCALE 1:50 @ A3



**ROOM 10 PROPOSED NORTH ELEVATION**  
SCALE 1:50 @ A3



**TOTAL CONSTRUCTION**  
Concept to Completion

No.	Date	App. Detail	By
A		ORIGINAL LVL	AV
B	27/05/2008	ISSUED FOR A. P. FINAL	AV
C	04/02/2009	LAYOUT FOR E.D.	AV
D	18/07/2008	AMENDMENTS FOR CLIENT COMMENTS ISSUED FOR CONSTRUCTION	AV
E	23/07/2008	CONTRACT & TENDERS PREPARED	AV

**MCHP Architects Pty Ltd**

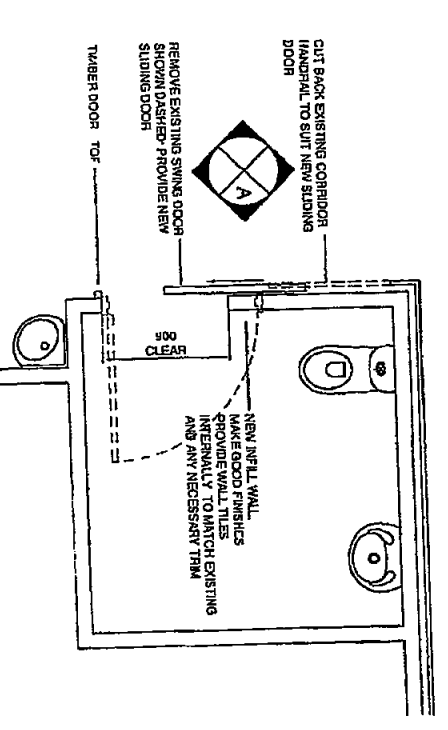
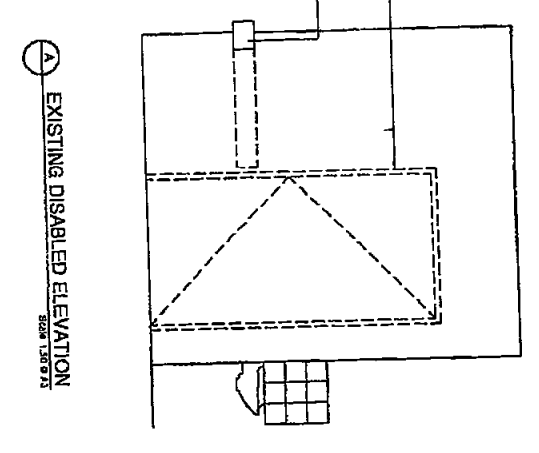
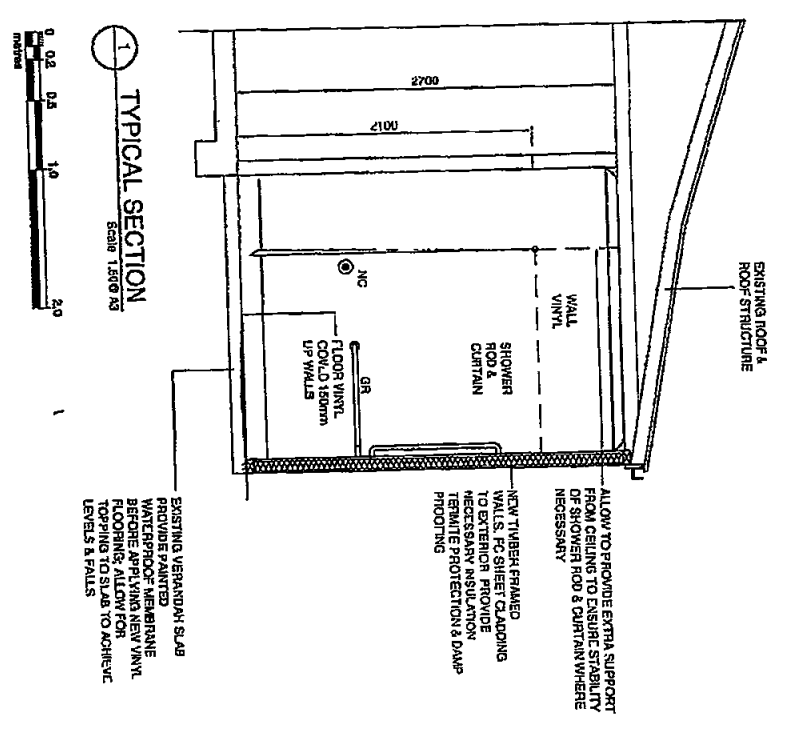
28 Charles Street, St Leonards NSW 2055  
 Phone (02) 9436 7222  
 Fax (02) 9437 1540  
 Email info@mchp.com.au

**Client**  
**PRINCIPAL HEALTH CARE**  
 194 GARDEN STREET  
 WARRIEWOOD NSW 2102

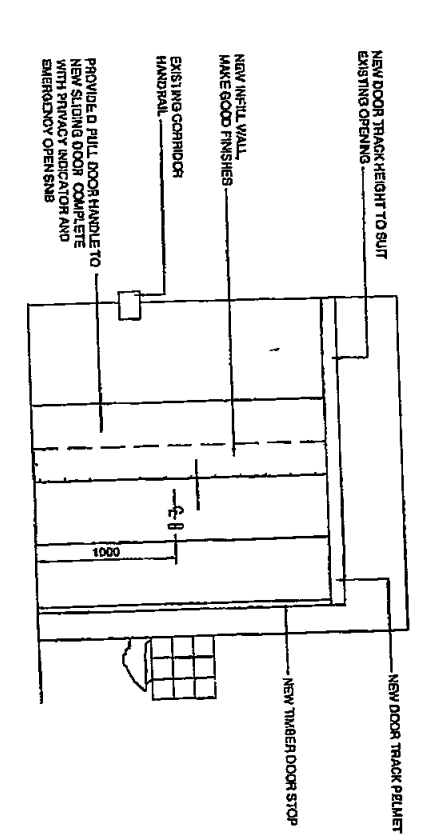
**Drawing Title**  
**ROOM 10 - ENSUITE ELEVATIONS DETAILS**

AI Scale	AS Scale	Date	Drawn
1:25	1:50	20/08/2008	AV

Drawing No **08-021-A005** Revision **E**



**CONSTRUCTION CERTIFICATE**  
 Approved Plans & Specifications relating to  
 Date Approved **16 MAR 2009**  
 Certificate No **09-061**  
**BLACKETT MAGUIRE & GOLDSMITH PTY LTD**



**APPROVED FOR CONSTRUCTION**

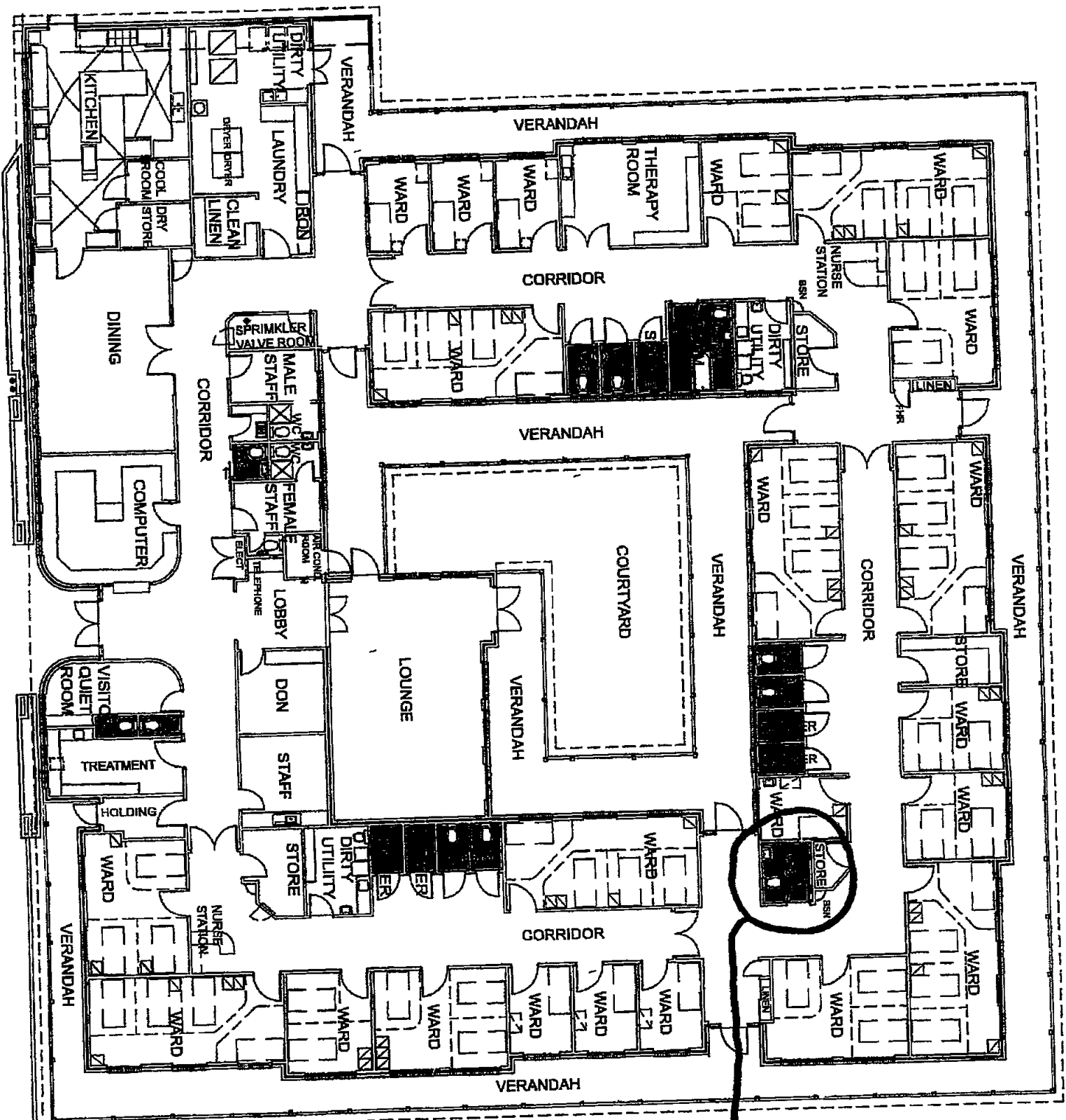
**TOTAL CONSTRUCTION**  
 Concept to Completion

No	Date	Amendment
A	26.07.2008	CONTRACT ISSUE
B	04.07.2008	LAYOUT REVISED
C	17.07.2008	ADJUSTMENTS MADE PER CLIENT COMMENTS ISSUED FOR CONSTRUCTION

**MCHP Architects Pty Ltd**  
 48 Dundas Street East, Level 4, NSW 2005  
 Ph: (02) 9439 2222  
 Fax: (02) 9439 1900  
 Email: architects@mchp.com.au

**CLIENT**  
**PRINCIPAL HEALTH CARE**  
 Project: SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
 134 CHUBB STREET  
 WARRENWOOD NSW 2102

Drawing Title		Drawing No	
Project	DISABLED TOILET & SECTION	Drawn	AV
Scale	A3 Scale	Checked	AV
Date	1.00	26.08.2008	
Project No	08-021-A006	Scale	



**LEGEND**

FORBID AQUILION RELIEF  
2.4319 FLOOR VINYL &  
SKIRTING  
FORBID DRYX 23531  
WALL VINYL

Received  
13 MAR 2009  
Blackett Maguire + Goldsmith

**NOTE**

EXISTING COMMUNAL TOILETS HAVE  
EXISTING TILED FLOOR & TILED  
SKIRTING. EXTENT OF NEW VINYL TO  
FLOOR & FLOOR SKIRTING  
EXISTING COMMUNAL SHOWERS  
HAVE EXISTING TILED FLOORS & TILED  
WALLS TO APPROX. 1800mm HIGH  
COVER FLOOR VINYL. 150mm UP WALLS  
AS ADVISED SKIRTING TO SHOWER  
ROOMS.  
ALL FITTINGS & FIXTURES TO BE  
RETAINED IN PLACE & UNDAMAGED

**SCOPE OF WORKS**

-REMOVE EXISTING FLOOR FINISHES  
-MAKE GOOD SUBFACES READY FOR  
VINYL. PROVIDE SMOOTH SURFACE  
WITH CORRECT DRAINAGE  
-INSTALL VINYL TO MANUFACTURER'S  
INSTRUCTIONS & AUSTRALIAN  
STANDARDS

LOCATION OF  
ACCESSIBLE WC

**APPROVED FOR  
CONSTRUCTION**

**TOTAL  
CONSTRUCTION**  
Concept to Completion

No	Date	Amendment
1	26/07/2008	ADDITIONAL AREA'S MARKED OUT
2	26/07/2008	ADDITIONAL AREA'S MARKED OUT
3	27/07/2008	REVISION TO CONSTRUCTION
4	27/07/2008	REVISION TO CONSTRUCTION
5	28/07/2008	REVISION TO CONSTRUCTION

**MCHP Architects Pty Ltd**

200 Orchard Street, St Leonards NSW 1590  
Phone: (02) 8439 1246  
Fax: (02) 8439 1246  
Email: info@mchp.com.au



**PRINCIPAL HEALTH CARE**

SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
194 GARDEN STREET  
WARRIEWOOD NSW 2102

**COMMUNAL BATHS & TOILETS FLOOR FINISHES**

At Scale: 1:125  
Drawing No: 08-021-A008  
Date: 22/06/2008  
Drawn: JF  
Checked: E

# STRUCTURAL NOTES

## STEEL WORK NOTES

- S1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100 AND AS 1554 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS
- S2 UNLESS OTHERWISE NOTED ALL STEELWORK SHALL BE IN ACCORDANCE WITH:
  - AS 1204 GRADE 250 FOR ROLLED SECTIONS AND PLATES
  - AS 1163 GRADE C350 FOR R.H.S., C.H.S. AND S.H.S. SECTIONS
- S3 SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR STRUCTURAL REVIEW. FABRICATION SHALL NOT COMMENCE UNTIL THE REVIEW HAS BEEN COMPLETED. TWO COPIES TO BE SUBMITTED ALL WELDING TO BE IN ACCORDANCE WITH AS 1554 PARTS 1 & 4
- S4 WELDING SYMBOLS TO AS 1101 PART 3
- S5 UNLESS NOTED OTHERWISE ON THE DRAWINGS WELDS SHALL BE 6mm CONTINUOUS FILET
- S6 ALL BUT WELDS SHALL DEVELOP THE FULL STRENGTH OF THE CONNECTED MEMBERS.
- S7 ELECTRODES TO BE COMPATIBLE WITH MATERIAL BEING WELDED
- S8 ALL STEELWORK WHICH IS TO BE EXPOSED TO VIEW SHALL HAVE WELD SPALTER FLUX DAGS AND BURRS REMOVED AND ALL SEALING AND BUTT WELDS GROUND FLUSH
- S9 WELDING PROCEDURE SHALL BE AS FOLLOWS
- S10 ALL BUT WELDS SHALL DEVELOP THE FULL STRENGTH OF THE CONNECTED MEMBERS.

ASC BOLTING PROCEDURE	BOLT NAME	AUSTRALIAN STANDARD	INSTALLATION AS 4100
4.6S	HIGH STRENGTH	AS1111	SLUG TIGHTENED
8.8S	HIGH STRENGTH	AS 1252	SLUG TIGHTENED
8.8/7E	HIGH STRENGTH	AS 1252	TENSION BEARING
8.8/7B	HIGH STRENGTH	AS 1252	TENSION BEARING

- G11 LOAD INDICATOR WASHERS (Coronet Type) SHALL BE USED TO ENSURE CORRECT TENSIONING TO AS 4100 ON ALL HIGH STRENGTH FULLY TENSIONED BOLTS.
- G12 ALL NUTS, BOLTS AND WASHERS TO BE GALVANISED
- G13 ALL BOLTS SHALL BE M20 DIA & UNLESS NOTED OTHERWISE HOLES FOR BOLTS SHALL BE 2mm CLEARANCE UNLESS NOTED OTHERWISE
- G14 HOLES IN BASEPLATES FOR HOLDING DOWN BOLTS SHALL BE 4mm CLEARANCE HOLES.
- G15 SUBSTITUTION FOR STEEL SECTIONS SHOWN ON THE DRAWINGS SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER
- G16 LOCATION OF SHOP SPLICES TO SUIT CONTRACTORS STOCK LENGTHS SHALL BE SUCH AS TO DEVELOP THE FULL STRENGTH OF THE PARENT METAL. EXACT LOCATION OF THE SPICE SHALL BE APPROVED BY THE ENGINEER
- G17 STEELWORK SHALL HAVE TYPE 1 NOMINATED SURFACE PROTECTION
- G18 TYPE A (EXTERNAL STEELWORK) HOT DIPPED GALVANIZED TO AS1690 TO 600g/m<sup>2</sup> OR 400g/m<sup>2</sup> AS APPROPRIATE
- G19 TYPE B (INTERNAL STEELWORK) THOROUGHLY CLEANED BY GRIT BLASTING TO CLASS 2 TO AS 1627 FOLLOWED BY A COAT OF HIGH BUILD ZINC PHOSPHATE PRIMER EQUAL TO DULUX STEEL FAB HB PRIMER TO A THICKNESS OF 75 MICRONS. FINAL PROTECTION TO BE ONE COAT OF DULUX ALKTD RESIN ENAMEL WITH FILM THICKNESS OF 50 um IN AN APPROVED COLOUR

- S19 DURING CONSTRUCTION TEMPORARY BRACING SHALL BE PROVIDED TO MAINTAIN THE ERECTED STEELWORK IN A STABLE AND PLUMB CONDITION AND NO PART SHALL BE OVERSTRESSED

## GENERAL

- G 1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK
- G 2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G 3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE BUILDER
- G 4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED
- G 5 THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LOADS.

WIND LOADS TO AS1170.2 - 2002 & AMENDMENTS

## FOUNDATIONS

- F 1 FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 100 kPa CLASS H
- F 2 FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE
- F 3 FOOTINGS HAVE BEEN DESIGNED FOR ARTICULATED MASONRY VENEER BRICKWORK SHALL BE PROVIDED WITH VERTICAL CONTROL JOINTS IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA

## CONCRETE

- C 1 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH AS 3600-1994 CURRENT EDITION WITH AMENDMENTS. EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C 2 STEEL REINFORCEMENT TO BE IN ACCORDANCE WITH AS 1304 CONCRETE TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH:
  - F<sub>c</sub> = 25 MPa AT 28 DAYS SLUMP 80 mm
  - F<sub>c</sub> = 25 MPa AT 28 DAYS SLUMP 60 mm
  - F<sub>c</sub> = 25 MPa AT 28 DAYS SLUMP 40 mm
- C 3 CLEAR COVER TO REINFORCEMENT SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN

ELEMENT	CAST AGAINST FORMS IN ACCORDANCE WITH AS 1509.	IN SHELTERED LOCATIONS.	EXPOSED TO GROUND WEATHER OR WATER	CAST AGAINST OTHER FORMWORK OR THE GROUND
STRIP FOOTING	40mm	50mm	75mm	50mm
COLUMNS & PILEHEADS	40mm	50mm	75mm	50mm
BEAMS	25mm	40mm	50mm	40mm
SLABS & WALLS	20mm	30mm	40mm	30mm

- C 4 CLEAR COVER TO REINFORCEMENT SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN
- C 5 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES
- C 6 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER
- C 7 BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS
- C 8 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER
- C 9 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY. IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION
- C 10 SPICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITION SHOWN. THE WRITTEN APPROVAL OF THE ENGINEER SHALL BE OBTAINED FOR ANY OTHER SPICE
- C 11 PLACE 1 LAYER OF 3-PLY BITUMINOUS STRIP ON ALL MASONRY BEARING SURFACES BEFORE PLACING CONCRETE
- C 12 BRICKS IN LOAD BEARING CONSTRUCTION SHOULD HAVE A MIN. COMPRESSIVE STRENGTH OF 15 MPa AND MORTAR M3 TO AS 3700 - 1998
- C 13 FABRIC TO HAVE 225mm LAPS AND EXTEND 90mm ONTO WALLS AND SUPPORT BEAMS.
- C 14 A VIBRATOR IS TO BE USED FOR THE PLACING OF ALL FRENCH MESH TO HAVE MINIMUM LAPS OF 500mm WHERE REQUIRED
- C 15 CONCRETE TO BE KEPT DAMP FOR 7 DAYS TO ENSURE CORRECT CURING.
- C 16 CONCRETE SLAB SURFACE TO BE TROWEL FINISHED AFTER INITIAL SET TO CLOSE INITIAL DRY SHRINKAGE CRACKS.

## REINFORCEMENT

- R1 N - DENOTES GRADE 500N HOT ROLLED DEFORMED BAR TO AS 1302
- R1 R - DENOTES GRADE 250R HOT ROLLED PLAIN BAR TO AS 1302
- R3 S - DENOTES HARD DRAWN WIRE REINFORCING FABRIC TO AS 1304

## REINFORCED CONCRETE BLOCKWORK

- CB1 ALL WORKMANSHIP SHALL COMPLY WITH AS 3700 AND THE SPECIFICATIONS.
- CB2 ALL BLOCKS SHALL CONFORM TO AS 2733
- CB3 THE DESIGN STRENGTH OF CONCRETE MASONRY SHALL BE:

ELEMENT	BLOCK STRENGTH GRADE	MORTAR MIX CEMENT/LIME/SAND
190 BLOCKS	12 MPa	M3 TO AS 3700-2001
290 BLOCKS	12 MPa	M3 TO AS 3700-2001

- CB4 LAY BOTTOM COURSE OF BLOCKS ON FULL MORTAR BED. ALL PERPENDS SHALL BE FULLY FILLED WITH MORTAR EXCEPT WHERE REQUIRED FOR WEEDHOLES.
- CB5 CLEAN OUT HOLES SHALL BE PROVIDED AT THE BASE OF ALL REINFORCED CORES. REINFORCED CORES SHALL BE CLEANED OF MORTAR PROTRUSIONS BEFORE GROUTING.
- CB6 ALL REINFORCED CORES SHALL BE FILLED WITH GROUT. THE GROUT FILLING SHALL BE THOROUGHLY COMPACTED BY MECHANICAL VIBRATOR OR RODDING.
- CB7 UNREINFORCED CORES SHALL ALSO BE FILLED UNLESS OTHERWISE NOTED
- CB8 GROUT SHALL BE IN ACCORDANCE WITH AS 3600 AND COMPLY WITH THE FOLLOWING CHARACTERISTIC STRENGTH F<sub>c</sub> = 20MPa AT 28 DAYS. SLUMP 230mm.
- CB9 MANHOLE CONTINUOUS POUR HEIGHT SHALL BE 3600mm STOP FOUR 50mm BELOW TOP OF BLOCK TO PROVIDE KEY FOR THE FOLLOWING POUR
- CB10 PROVIDE VERTICAL CONTROL JOINTS IN ALL WALLS AT A MAXIMUM OF 10m CENTRES OR WHERE INDICATED ON PLAN
- CB11 PROVIDE WATERPROOFING AND DRAINAGE TO BACK OF WALLS AS REQUIRED BY THE ARCHITECTS SPECIFICATION
- CB12 PROVIDE TEMPORARY PROPPING TO WALLS WHERE REQUIRED FOR STABILITY DURING CONSTRUCTION
- CB13 BACTERIAL RETAINING WALLS AFTER OBTAINING ENGINEERS APPROVAL WITH CLEAN GRANULAR FILLING FREE FROM CLAY AND OTHER ORGANIC MATTER
- CB14 VERTICAL REINFORCEMENT TO BE POSITIONED 50mm CLEAR FROM BACKFILLED FACE OF BLOCKWORK UNLESS NOTED OTHERWISE

**NOTE.**  
ALL CONCRETE SLABS & WALLS HAVE NOT BEEN DESIGNED AS BEING WATERPROOF. ALL EXTERNAL SLABS, BALCONIES, EXTERNAL WALLS & RETAINING WALLS MUST BE WATERPROOFED. REFER TO THE ARCHITECTS SPECIFICATION FOR WATERPROOFING DETAILS OR SEEK SPECIALIST ADVICE

**BERING**  
A SITE INSPECTION IS REQUIRED AT EXCAVATION STAGE TO DETERMINE ADEQUACY OF FOUNDATION MATERIAL NUMBER OF PIERS TO BE DETERMINED ON SITE

**EXCAVATION & FILL**  
ALL ORGANIC MATERIAL TO BE REMOVED FROM SITE OF FOUNDATION  
ALL FILL TO BE COMPACTED CLEAN GRANULAR FILL TO 95% DRY DENSITY IN ACCORDANCE WITH AS1289 PART E11

**U/G SERVICES**  
AT THE TIME OF THE DESIGN LOCATION OF EXISTING SERVICES WAS NOT AVAILABLE BUILDER MUST CONFIRM LOCATION OF SERVICES PRIOR TO COMMENCING CONSTRUCTION

This is a plan & specifications are to be read in conjunction with  
Certificate No  
00-061  
MAGRETT MAGUIRE + GOLDSMITH PTY. LTD



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ABN 35 114 405 926

DATE	05.02.2009
DRAWN BY	SE
DESIGNED BY	I. O'BRIEN
APPROVED BY	M.E. Aust C.P. Eng
SCALE	N/A

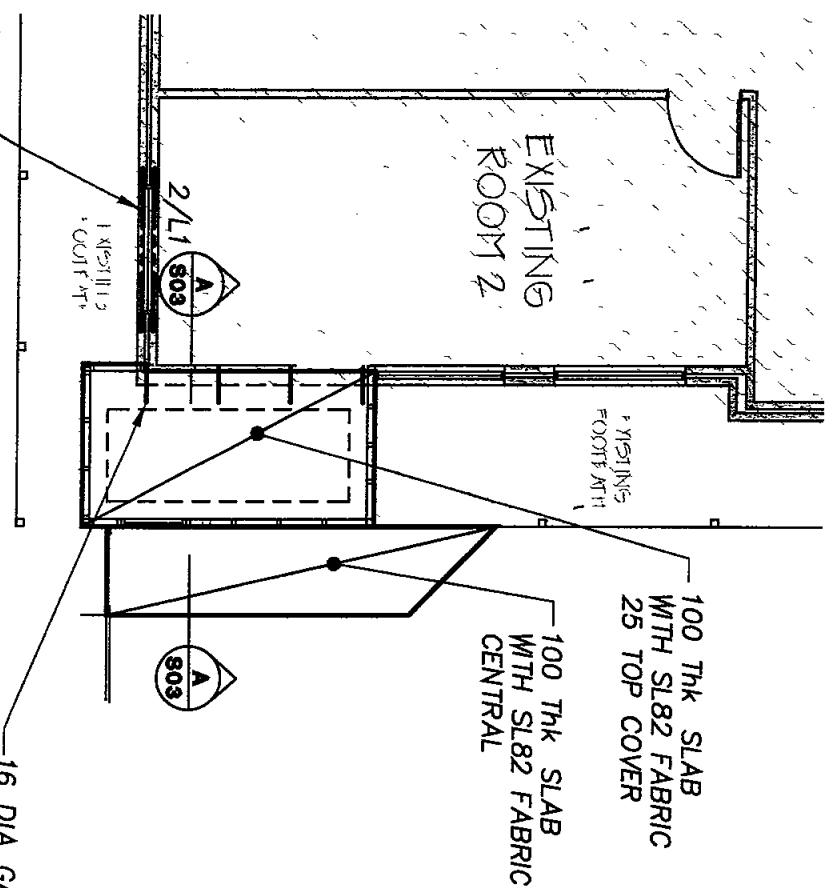
PROPOSED ADDITION TO EXISTING NURSING HOME  
TOTAL CONSTRUCTION  
194 GARDEN STREET, WARRIEWOOD  
STRUCTURAL NOTES

JOB No	OCE11049
FIG No	S01
SHEET	1 OF 3

AT THE TIME OF DESIGN NO GEOTECHNICAL REPORT WAS AVAILABLE INSPECTION AT EXCAVATION STAGE IS REQUIRED TO CONFIRM THE SITE CLASSIFICATION - CLASS 'H' USED IN DESIGN TO BE VERIFIED BY GEOTECHNICAL ENGINEER

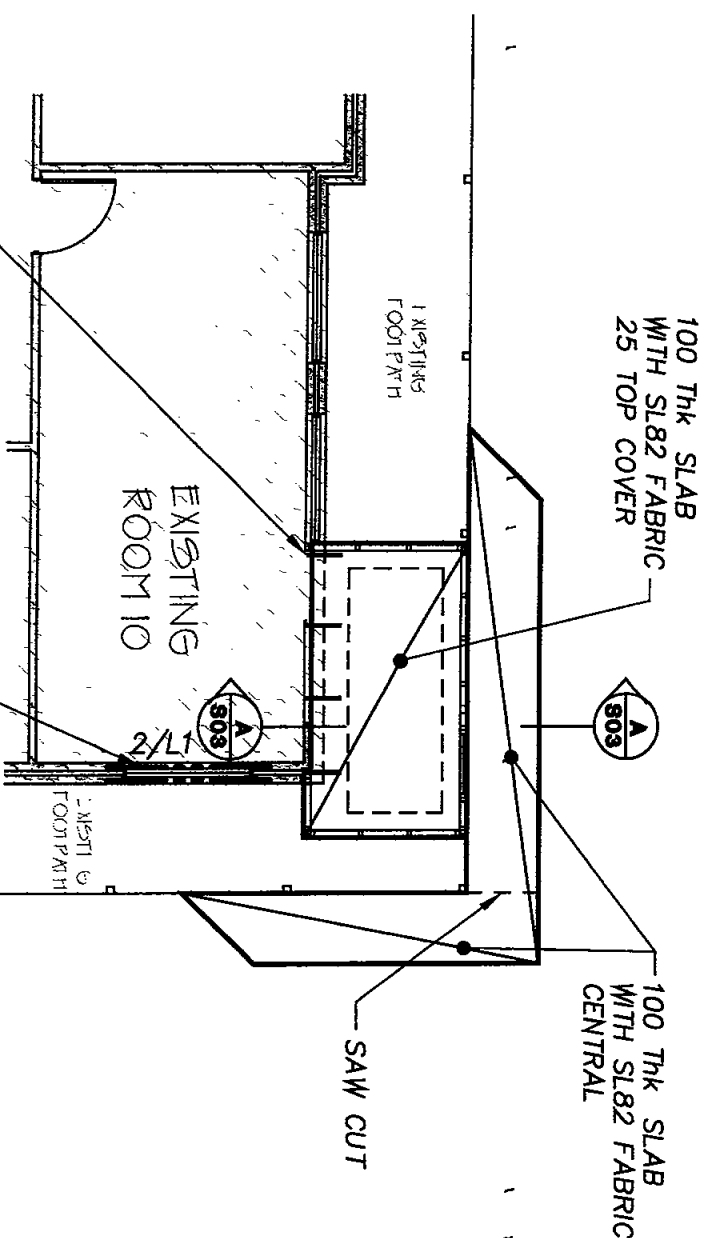
ALL FOOTINGS TO BEAR IN NATURAL STIFF CLAY WITH BEARING CAPACITY OF 100kPa  
IF ROCK IS ENCOUNTERED ALL FOOTING MUST BE PIERED TO ROCK

ALL TIMBER FRAMING & BRACING MUST COMPLY WITH AS1684-1999 NATIONAL TIMBER FRAMING CODE



PROVIDE 2/150x100 GALVANTEL. FOR NEW OPENING, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

16 DIA GALVANISED DOWELS 400 LONG @ 1000 CTRS. 200 CHEMSET FIXED INTO EXISTING FOOTING DETAIL SHALL BE CONFIRMED ON SITE



PROVIDE 2/150x100 GALVANTEL. FOR NEW OPENING, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

PROJECT ARRANGING + GOLD DIGITAL PTY LTD

09 - 061

## ROOM 2 - SLAB PLAN

SCALE 1 100

## ROOM 10 - SLAB PLAN

SCALE 1 100

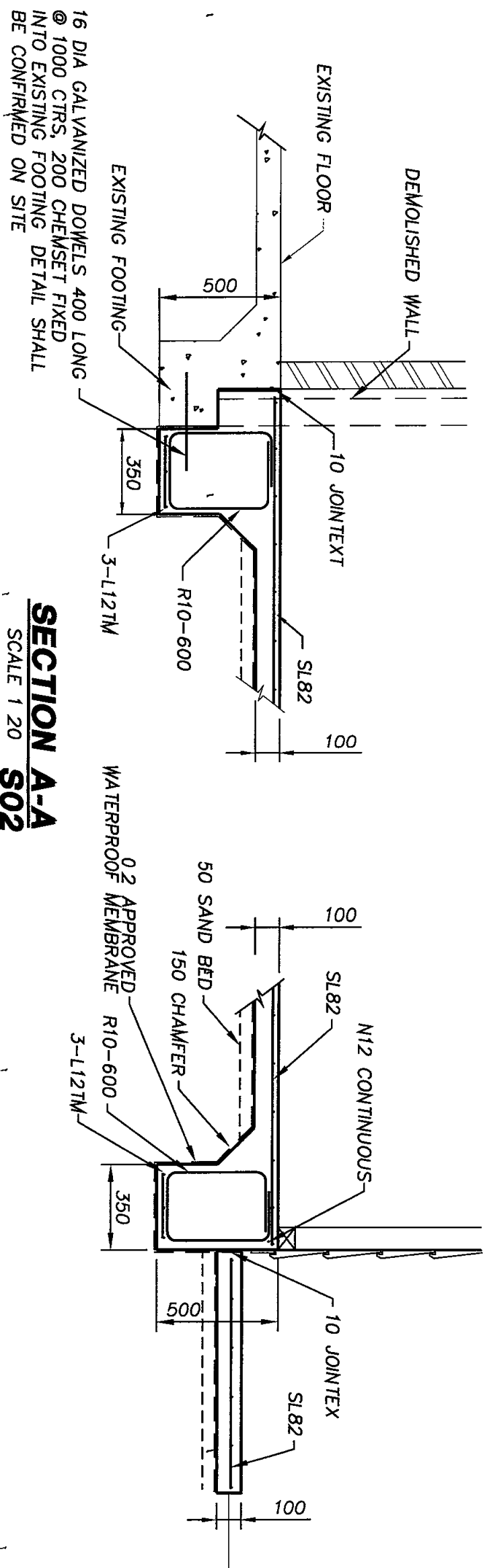
**OPTIMA**  
CONSULTING ENGINEERS  
Consulting Structural & Civil Engineers Project Management

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Ph 62 4228 483  
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ABN 55 14 008 576

DATE	05.02.2009
DRAWN BY	OLBRECHT
DESIGNED BY	M TE AUST C P Eng
APPROVED	
SCALE	1 100

PROPOSED ADDITION TO EXISTING NURSING HOME  
TOTAL CONSTRUCTION  
194 GARDEN STREET, WARRIEWOOD  
FLOOR SLAB PLANS

JOB No.	OCE11049
FIG No.	S02
SHEET	2 OF 3



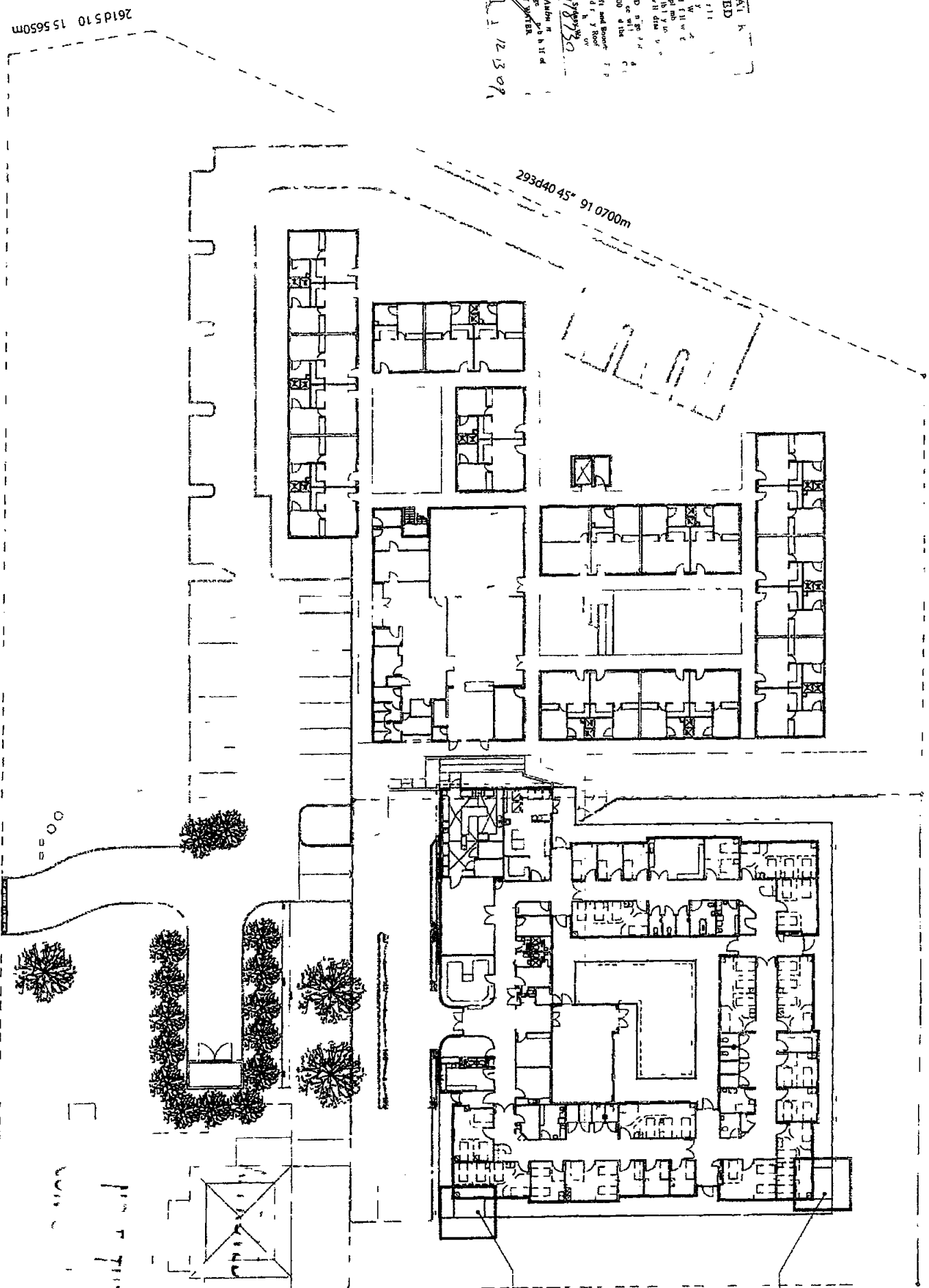
Dimensions & specifications are to be confirmed on site.  
 Date No: **09-061**  
 T. M. GILLIN + G. J. D. SMITH

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 ASB 35 114 405 926

DATE: 05.02.2009	<b>PROPOSED ADDITION TO EXISTING NURSING HOME</b> TOTAL CONSTRUCTION 194 GARDEN STREET, WARRIEWOOD STRUCTURAL DETAILS	JOB No. <b>OCE11049</b>
DRAWN: S.E. DESIGNED: T. OLBRECHT M.E. Aust. C.P. Eng		FIG No. <b>S03</b>
APPROVED:		SHEET 3 OF 3

APPROVED  
 12/13/09  
 George Ashby  
 SYDNEY WATER  
 1. The site is shown as being within the...  
 2. The site is shown as being within the...  
 3. The site is shown as being within the...  
 4. The site is shown as being within the...  
 5. The site is shown as being within the...  
 6. The site is shown as being within the...  
 7. The site is shown as being within the...  
 8. The site is shown as being within the...  
 9. The site is shown as being within the...  
 10. The site is shown as being within the...



SITE PLAN  
 Scale 1:250 @ A1 1:500 @ A2  
 0 2 5 10  
 METRES

**TOTAL CONSTRUCTION**  
 Concept to Completion

2 10 2000 04/04/04  
 No. Date Rev. Description

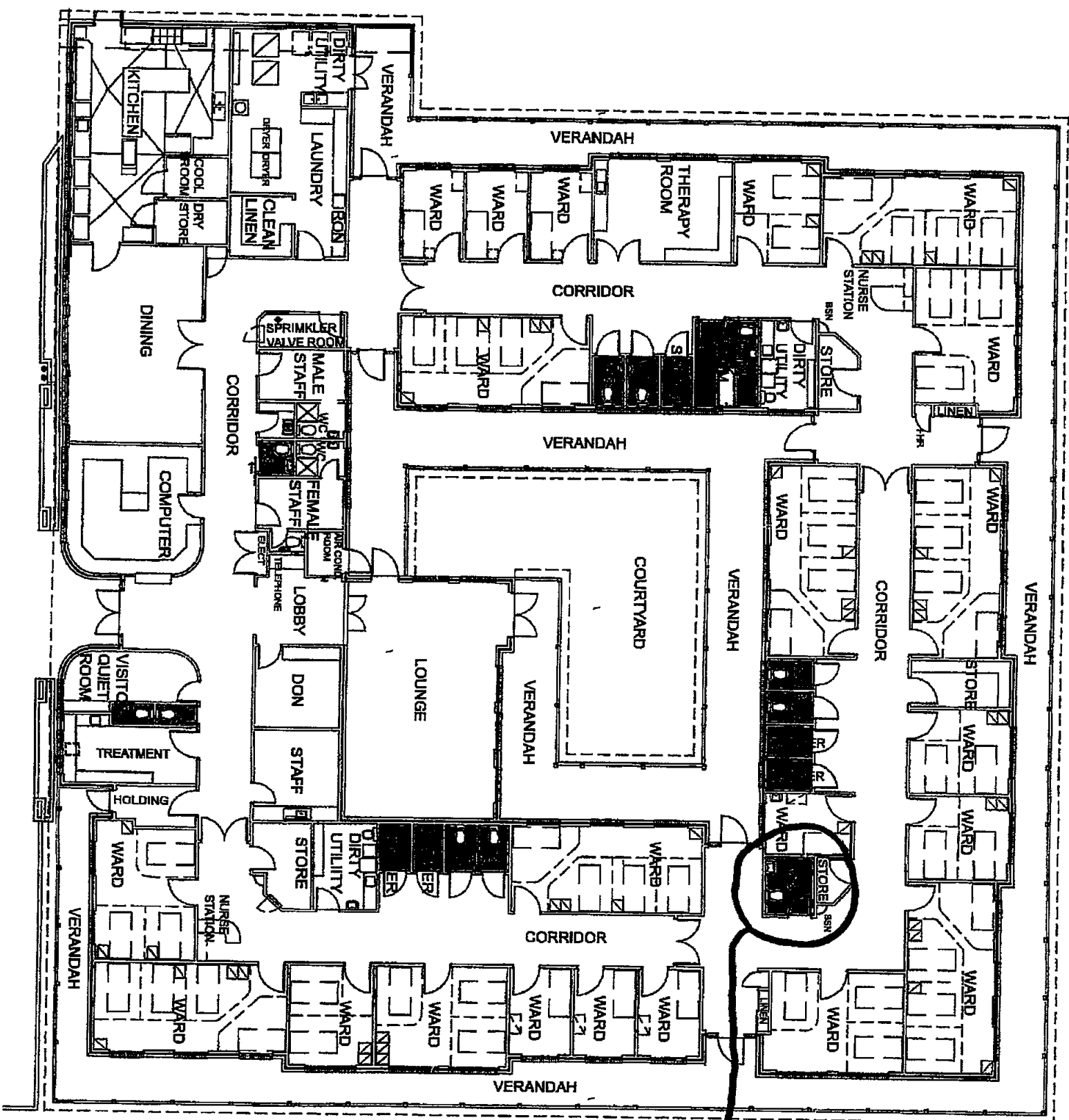
**MCHP Architects Pty Ltd**  
 PRINCIPAL HEALTH CARE  
 SEASIDE RESIDENTIAL AGED CARE NURSING HOME  
 194 GARDEN STREET  
 WARRIEWOOD NSW 2102



MUST BE REFERRED TO  
 CONCEPT PLANS

PROPOSED ENSUITE TO ROOM 10  
 REFER TO DRAWING 08 021 DA004 A  
 FOR DETAILS  
 PROPOSED ENSUITE TO ROOM 2  
 REFER TO DRAWING 08 021 DA002 A  
 FOR DETAILS  
 12 MAP  
 Hackett M391

SITE PLAN  
 A1 1:250  
 A2 1:500  
 08-021-DA001  
 A



Received  
 13 MAR 2009  
 Brackett Maguire + Goldsmith

LEGEND

FORBID AQUATION RELIEF  
 2.415 FLOOR VINYL &  
 SKIRTING  
 FORBID CONYR 23531  
 WALL VINYL.

NOTE

EXISTING COMMUNAL TOILETS HAVE  
 EXISTING TILED FLOOR & TILED  
 SKIRTING EXTENT OF NEW VINYL TO  
 FLOOR & FLOOR SKIRTING  
 EXISTING COMMUNAL SHOWERS  
 HAVE EXISTING TILED FLOORS & TILED  
 WALLS TO APPROX. 1800mm HIGH  
 CONVE FLOOR VINYL. 150mm UP WALLS  
 AS A COVERED SKIRTING TO SHOWER  
 ROOMS.  
 ALL FITTINGS & FIXTURES TO BE  
 RETAINED IN PLACE & UNDAMAGED

SCOPE OF WORKS

REMOVE EXISTING FLOOR FINISHES  
 MAKE GOOD SURFACES READY FOR  
 VINYL. PROVIDE SMOOTH SURFACE  
 WITH CORRECT DRAINAGE.  
 INSTALL VINYL TO MANUFACTURER'S  
 INSTRUCTIONS & AUSTRALIAN  
 STANDARDS

LOCATION OF  
 ACCESSIBLE WC.

APPROVED FOR  
 CONSTRUCTION

**TOTAL  
 CONSTRUCTION**  
 Concept to Completion

NO	DATE	DESCRIPTION	BY
1	24/07/2008	ADDITIONAL MEASUREMENTS	ME
2	24/07/2008	ADDITIONAL MEASUREMENTS	ME
3	28/07/2008	CONCEPT DESIGN	ME
4	27/08/2008	CONCEPT DESIGN	ME
5	20/09/2008	CONCEPT DESIGN	ME
6	27/09/2008	CONCEPT DESIGN	ME
7	27/09/2008	CONCEPT DESIGN	ME
8	27/09/2008	CONCEPT DESIGN	ME
9	27/09/2008	CONCEPT DESIGN	ME
10	27/09/2008	CONCEPT DESIGN	ME

**MCHP Architects Pty Ltd**  
 407 FIDELITY

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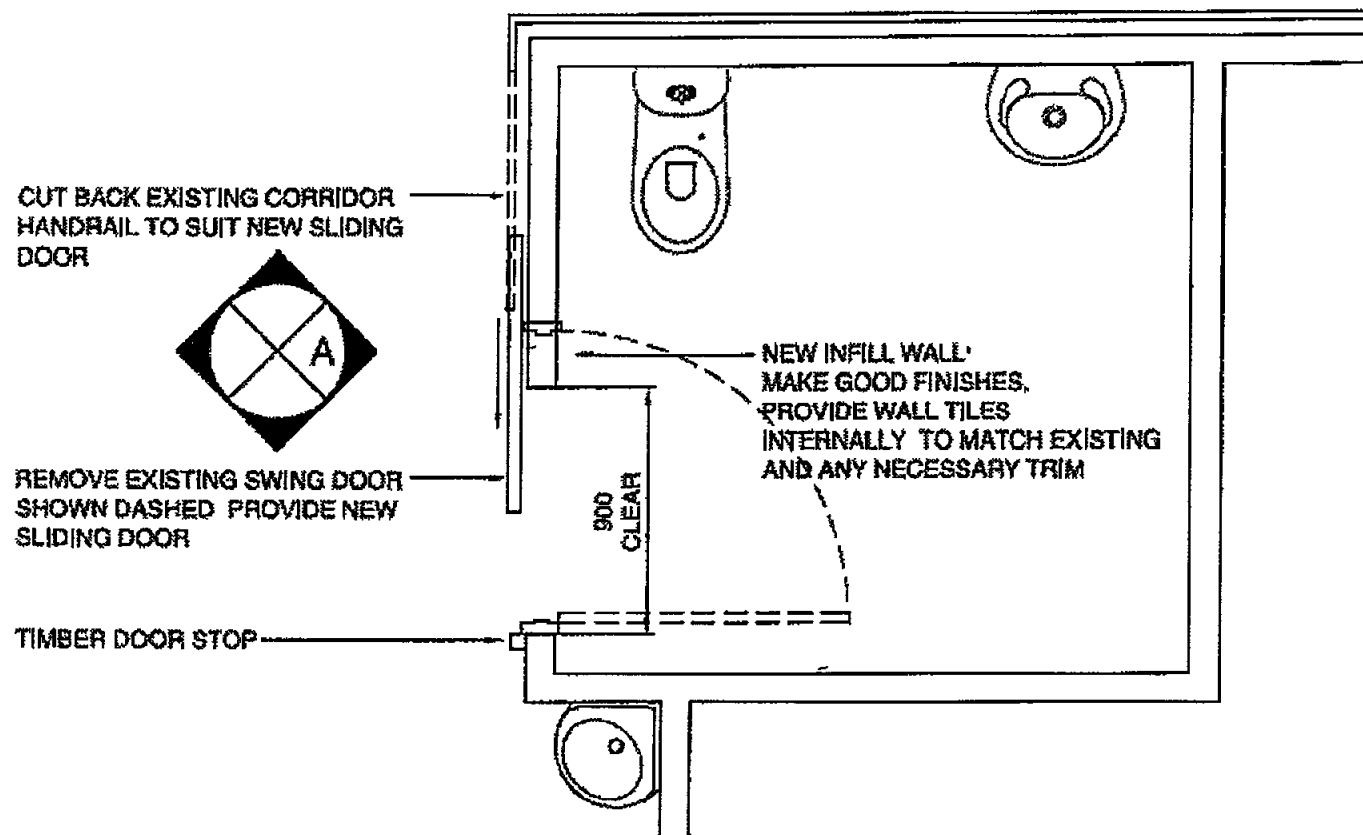
**PRINCIPAL HEALTH CARE**

194 GARDEN STREET  
 WARRIEWOOD, NSW 2102

**COMMUNAL BATHS & TOILETS FLOOR FINISHES**

At Scale: A3 50:1  
 Date: 27/09/2008  
 Drawn: JF  
 Checked: JF  
 Project No: 08-021-A008  
 E





**PROPOSED DISABLED TOILET FLOOR PLAN**

## SCOPE OF WORKS

- REMOVE EXISTING FLOOR FINISHES
- MAKE GOOD SURFACES READY FOR VINYL. PROVIDE SMOOTH SURFACE WITH CORRECT DRAINAGE.
- INSTALL VINYL TO MANUFACTURER'S INSTRUCTIONS & AUSTRALIAN STANDARDS

- EXISTING COMMUNAL TOILETS HAVE  
EXISTING TILED FLOOR & TILED  
SKIRTING EXTENT OF NEW VINYL TO  
FLOOR & FLOOR SKIRTING.

- EXISTING COMMUNAL SHOWERS  
HAVE EXISTING TILED FLOORS & TILED  
WALLS TO APPROX 1800mm HIGH.  
COVE FLOOR VINYL 150mm UP WALLS  
AS A COVED SKIRTING TO SHOWER  
ROOMS.

- ALL FITTINGS & FIXTURES TO BE  
RETAINED IN PLACE & UNDAMAGED