

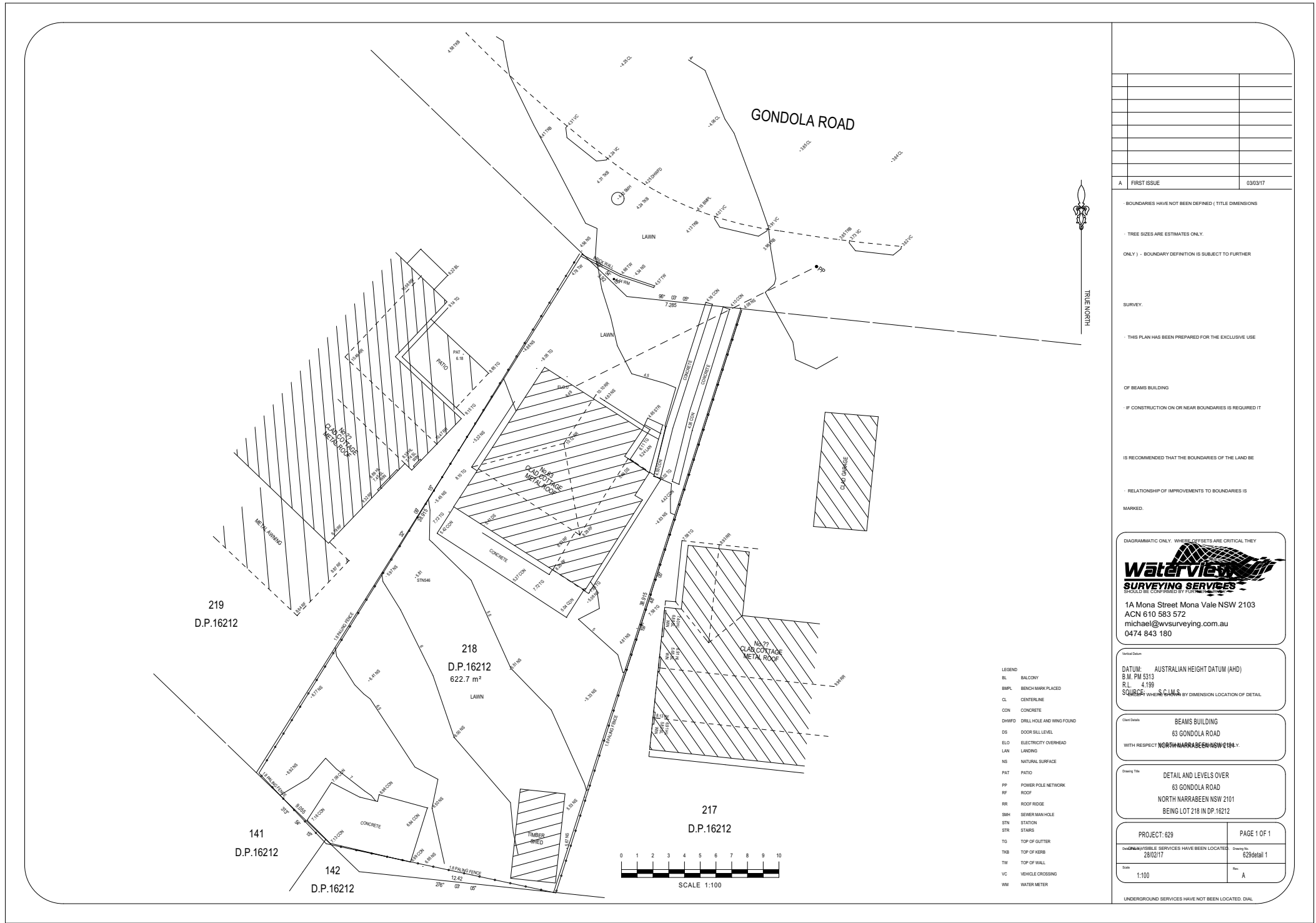
| | | | |
|---|--|-------------------------|----------|
| A | | FIRST ISSUE | 03/03/17 |
| BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS | | | |
| TREE SIZES ARE ESTIMATES ONLY. | | | |
| ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER | | | |
| SURVEY. | | | |
| THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE | | | |
| OF BEAMS BUILDING | | | |
| IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT | | | |
| IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE | | | |
| RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS | | | |
| MARKED. | | | |
| <div>DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY</div> <div>Watervies</div> <div>SURVEYING SERVICES</div> <div>SHOULD BE CONFIRMED BY FURTHER SURVEY</div> <div>1A Mona Street Mona Vale NSW 2103</div> <div>ACN 610 583 572</div> <div>michael@wvsurveying.com.au</div> <div>0474 843 180</div> | | | |
| <div>Vertical Datum</div> <div>DATUM: AUSTRALIAN HEIGHT DATUM (AHD)</div> <div>B.M. PM 5313</div> <div>R.L. 4.199</div> <div>SOURCE: S.C.I.M.S</div> <div>EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL</div> | | | |
| <div>Client Details</div> <div>BEAMS BUILDING</div> <div>63 GONDOLA ROAD</div> <div>WITH RESPECT NORTH NARRABEEN NSW 2101.</div> | | | |
| <div>Drawing Title</div> <div>DETAIL AND LEVELS OVER</div> <div>63 GONDOLA ROAD</div> <div>NORTH NARRABEEN NSW 2101</div> <div>BEING LOT 218 IN DP.16212</div> | | | |
| PROJECT: 629 | | PAGE 1 OF 1 | |
| DATE: 28/02/17 | | DRAWING NO: 629detail 1 | |
| Scale: 1:100 | | Rev: A | |
| UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL | | | |

- LEGEND
- BL BALCONY
 - BMPL BENCH MARK PLACED
 - CL CENTERLINE
 - CON CONCRETE
 - DHWFD DRILL HOLE AND WING FOUND
 - DS DOOR SILL LEVEL
 - ELO ELECTRICITY OVERHEAD
 - LAN LANDING
 - NS NATURAL SURFACE
 - PAT PATIO
 - PP POWER POLE NETWORK
 - RF ROOF
 - RR ROOF RIDGE
 - SMH SEWER MAN HOLE
 - STN STATION
 - STR STAIRS
 - TG TOP OF GUTTER
 - TKB TOP OF KERB
 - TW TOP OF WALL
 - VC VEHICLE CROSSING
 - WM WATER METER

1 Survey 1:200

Builder to Check and Confirm all Measurements Prior to Commencement

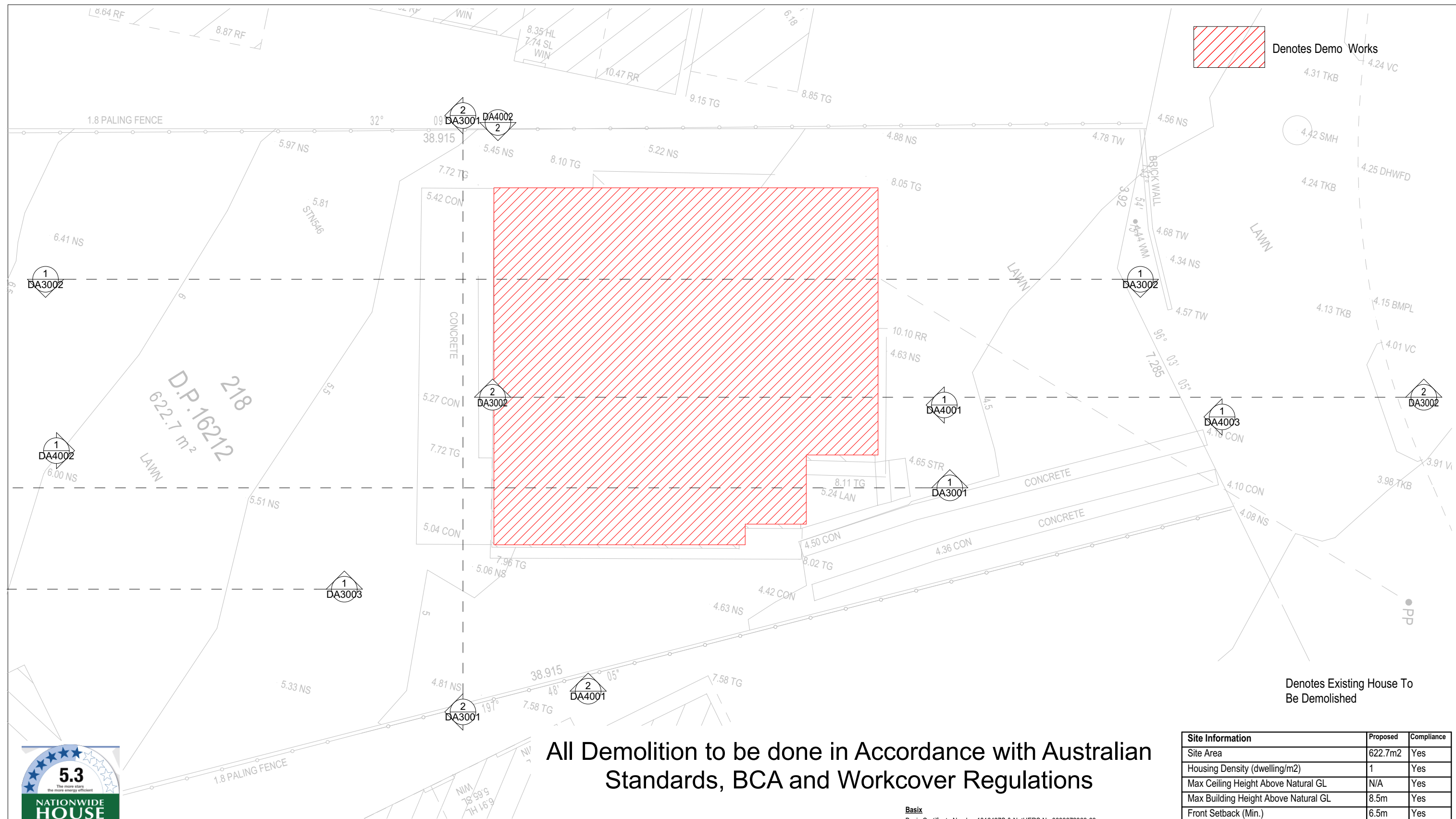
DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1 Survey 1:300

Builder to Check and Confirm all
Measurements Prior to
Commencement

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

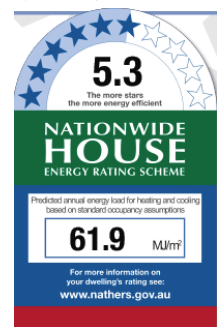
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 622.7m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundry setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 3.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m ²) | 314.42m ² | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Rapid Plans
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PO Box 6193 Frenchs Forest
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Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



Project North



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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Site Plans - Demolition Ground
Floor Plan
Demolition Ground Floor

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No.
DA1005

NOTES

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Construction

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Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basix

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Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Greg Beeman
Project Name: New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Site Plans - Stormwater Plan

Stormwater Plan

Scale: A3 as noted

Date: 4/03/20

Status: DA Rev2

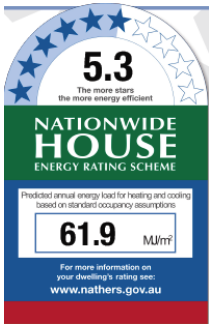
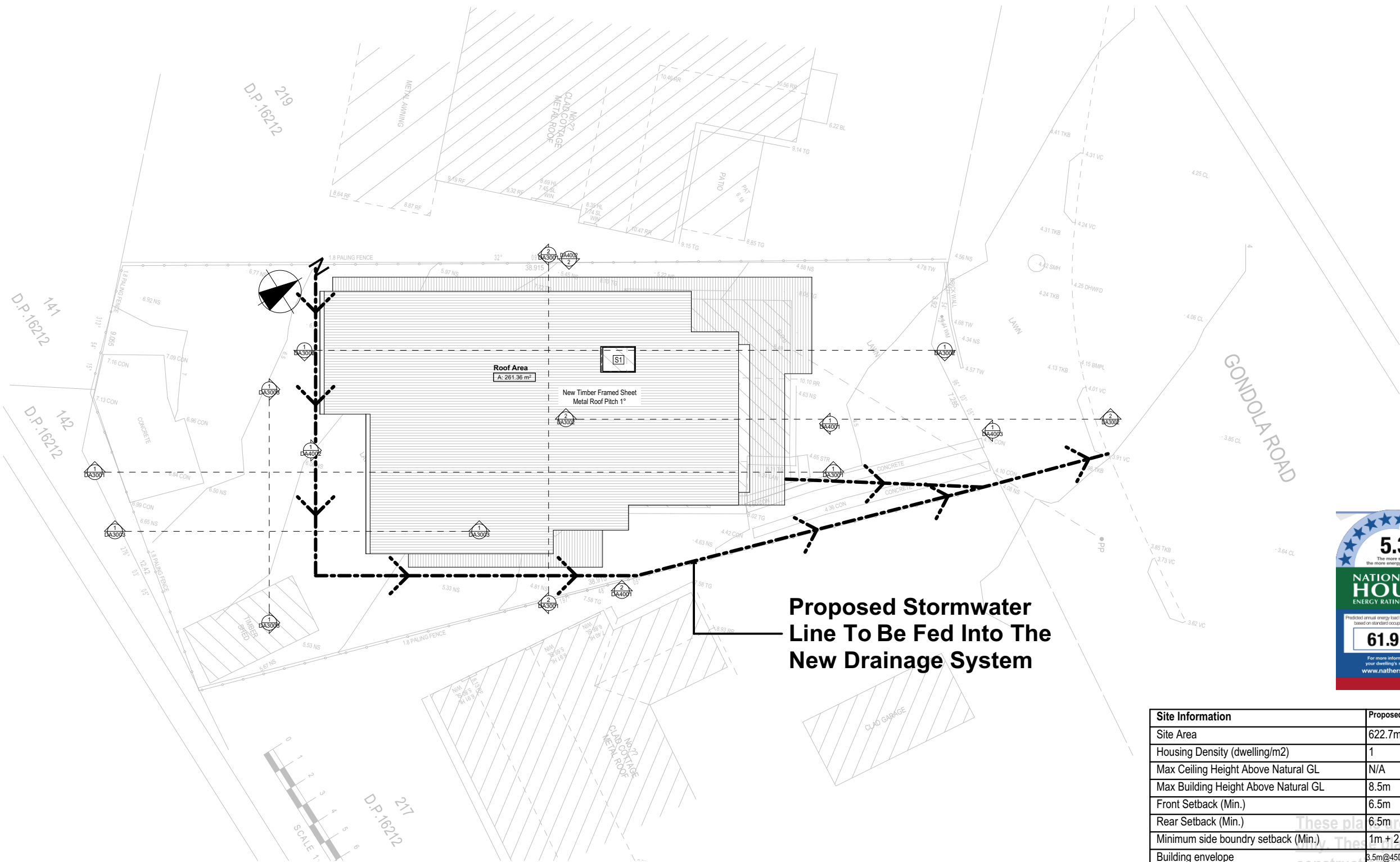
Checked By: GBJ

Project No:

Drawing No.

RP1018BEE

DA1011



| Site Information | Proposed | Compliance |
|--------------------------------------|------------|------------|
| Site Area | 622.7m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 3.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m2) | 314.42m2 | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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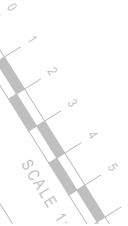
Builder to Refer to Site Drainage Plan By Greenwood Consulting Engineers

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Stormwater Plan

1:200

1



D.P.16212

D.P.16212

D.P.16212

D.P.16212

200

150

100

50

40

30

20

10

10 20 30 40 50 100 150 200 length in millimeters at full size

New Skylight To Manufacturers Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°

RL +8,900
First

New Timber Floor Frame To BCA & Aust. Stds.

RL +6 100
Upr Ground
RL +5,500
Ground

New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details

RL +3,400
Basement

New Timber Framed
Sheet Metal Flat Roof

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm
Timber Framed Wall

RL +8,900
First

New Timber Stairs & Handrail
To BCA & Aust. Stds.

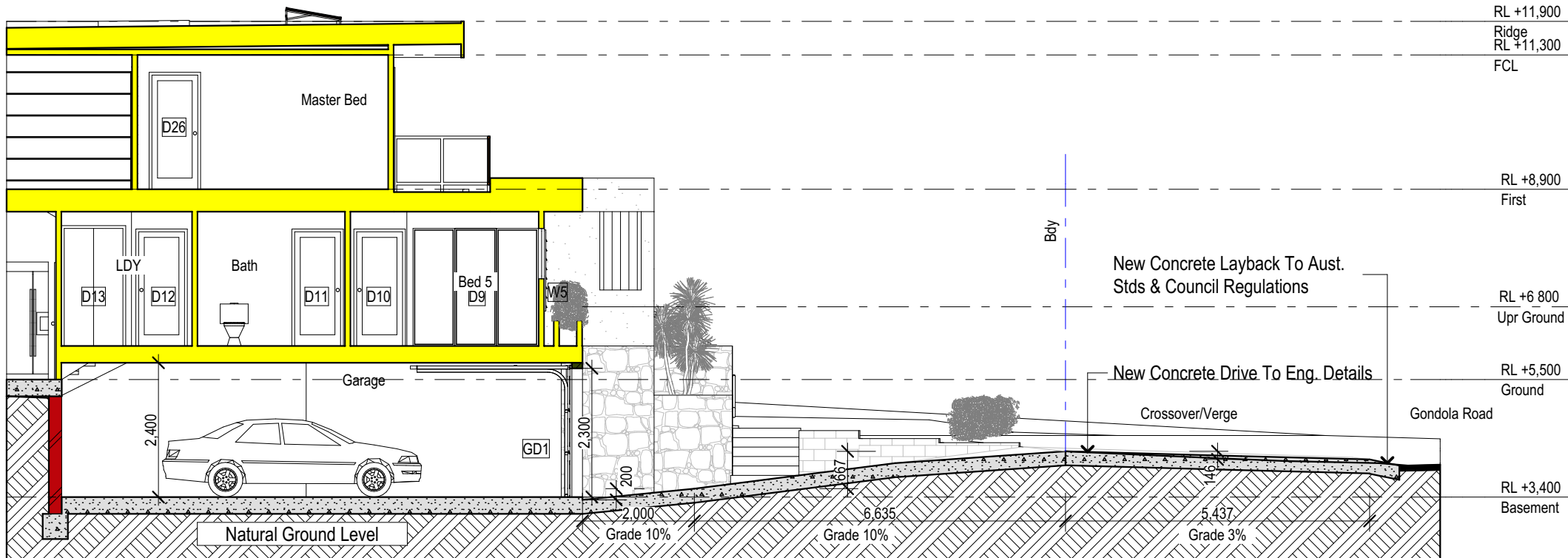
New Concrete Slab To
Eng. Details

RL +5,500
Ground

New Concrete Stairs
To BCA, Aust. Stds. &
Eng. Details

RL +3,400
Basement

Section Stairs
1:100



Section Drive
1:100

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Concrete Block Wall
- Denotes New Masonry Wall
- Denotes Concrete Slab/Footing

| Site Information | Proposed | Compliance |
|--------------------------------------|------------|------------|
| Site Area | 622.7m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variaton |
| Building envelope | 3.5m@45Deg | Variaton |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m2) | 314.42m2 | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |

NOTES

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Construction

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Project North

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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Sections - Section 2
Section Stairs, Section Drive

Scale: A3 as noted

Status: DA Rev2
Project No.

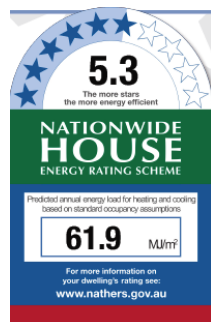
RP1018BEE

Date: 4/03/20

Checked By: GBJ

Drawing No.

DA3002



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Email: greg@rapidplans.com.au



RL +11,900
Ridge
RL +11,300
FCL

RL +11,900
Ridge
RL +11,300
FCL

RL +8,900
First

RL +8,900
First

New 69kL Pool To Manufacturers Details

New Min. 1200 high Pool Safety Barrier
To BCA & Aust. Stds.

New Concrete Block Retaining Wall To
Eng. Details

RL +5,500
Ground

RL +5,500
Ground

New Concrete Slab To Eng. Details

RL +3,400
Basement

RL +3,400
Basement

1

Section Pool
1:100

RL +11,900
Ridge
RL +11,300
FCL

RL +11,900
Ridge
RL +11,300
FCL

RL +8,900
First

RL +8,900
First

New Min. 1200 high Pool Safety
Barrier To BCA & Aust. Stds.

New Concrete Slab To Eng. Details

RL +5,500
Ground

RL +5,500
Ground

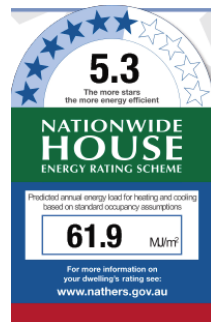
New 69kL Pool To Manufacturers
Details

RL +3,400
Basement

RL +3,400
Basement

1

Section Pool
1:100



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**DA APPLICATION
ONLY
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NOTES

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.

The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Swimming pool

The swimming pool must not have a volume greater than 69 kilolitres.

Water Commitments

The swimming pool must have a pool cover.

The swimming pool must be outdoors.

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 622.7m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
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| Building envelope | 3.5m@45Deg | Variation |
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Project North



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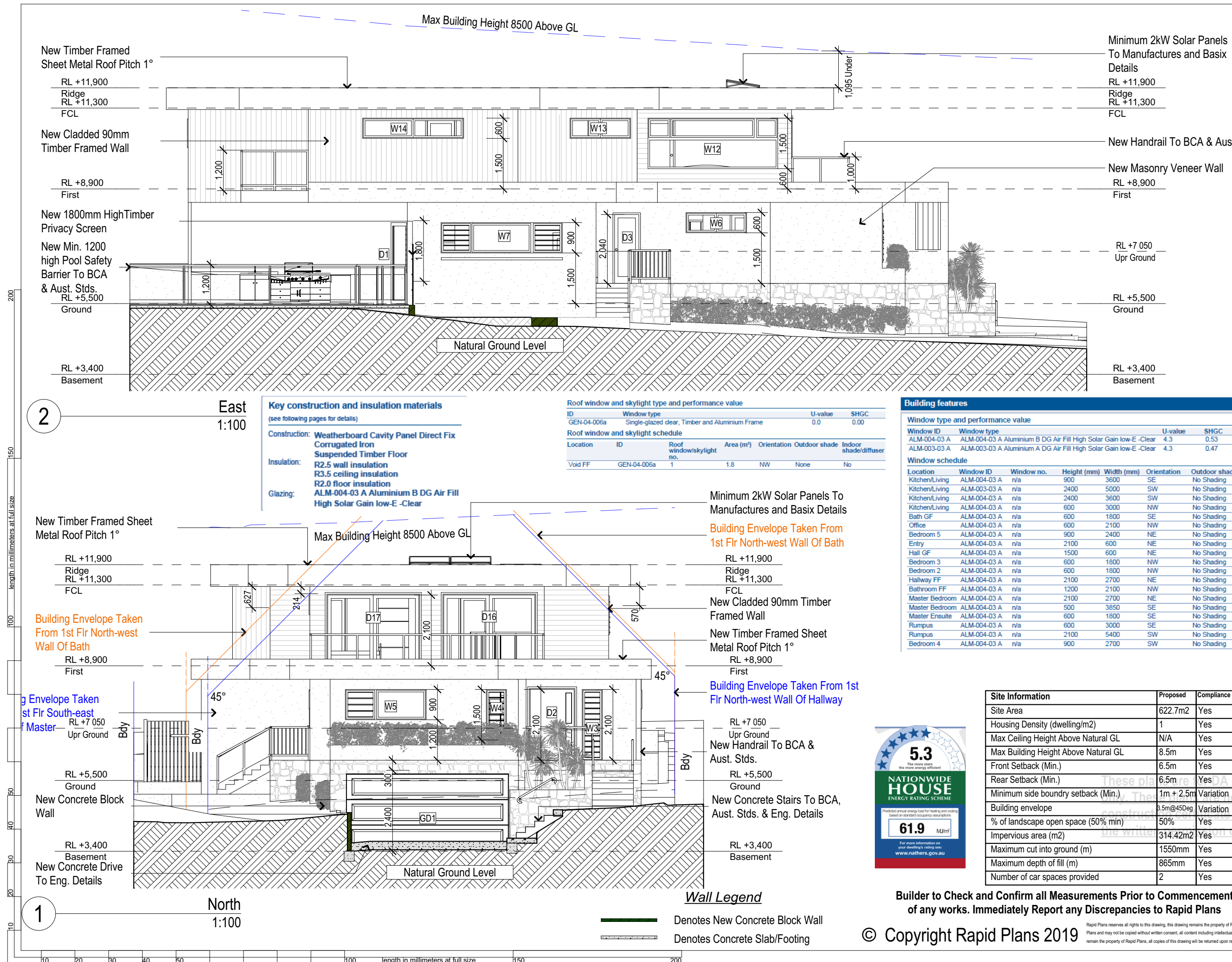
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Sections - Section Pool
Section Pool

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No.
DA3003



Rapid Plans
Building Design and Architectural Drafting

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PO Box 6193 Frenchs Forest NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : greg@rapidplans.com.au

BD&A BUILDING DESIGNERS AUSTRALIA NSW

NOTES
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Insulation to External Timber and Masonry Walls R2.5
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Glazing to BCA and AS1288-2047
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 622.7m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 8.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m ²) | 314.42m ² | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |

Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen 2101
Lot 218 D.P. 16212
Drawing Title:
Elevations - Elevations 1
North, East
Scale: A3 as noted
Date: 4/03/20
Status: DA Rev2
Checked By: GBJ
Project No: RP1018BEE
Drawing No: DA4001

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Elevations - Elevations 2

South, West

Scale: A3 as noted Date: 4/03/20

Status: DA Rev2 Checked By: GBJ

Project No:

RP1018BEE DA4002

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet

Metal Roof Pitch 1°

RL +8,900
First

New Masonry Veneer Wall

New Handrail To BCA & Aust. Stds.
RL +6 800
Upr Ground

RL +5,500
Ground

Max Building Height 8500 Above GL

New Timber Framed Sheet Metal Flat Roof

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Masonry Wall

RL +8,900
First

New Steel Post To Eng. Details

RL +6 800
Upr Ground

RL +5,500
Ground

Natural Ground Level

Roof window and skylight type and performance value

| ID | Window type | U-value | SHGC |
|-------------|---|---------|------|
| GEN-04-006a | Single-glazed clear, Timber and Aluminium Frame | 0.0 | 0.00 |

Roof window and skylight schedule

| Location | ID | Roof window/skylight no. | Area (m ²) | Orientation | Outdoor shade | Indoor shade/diffuser |
|----------|-------------|--------------------------|------------------------|-------------|---------------|-----------------------|
| Void FF | GEN-04-006a | 1 | 1.8 | NW | None | No |

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Building features

Window type and performance value

| Window ID | Window type | U-value | SHGC |
|--------------|---|---------|------|
| ALM-004-03 A | ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear | 4.3 | 0.53 |
| ALM-003-03 A | ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear | 4.3 | 0.47 |

Window schedule

| Location | Window ID | Window no. | Height (mm) | Width (mm) | Orientation | Outdoor shade |
|----------------|--------------|------------|-------------|------------|-------------|---------------|
| Kitchen/Living | ALM-004-03 A | n/a | 900 | 3600 | SE | No Shading |
| Kitchen/Living | ALM-003-03 A | n/a | 2400 | 5000 | SW | No Shading |
| Kitchen/Living | ALM-004-03 A | n/a | 2400 | 3600 | SW | No Shading |
| Kitchen/Living | ALM-004-03 A | n/a | 600 | 3000 | NW | No Shading |
| Bath GF | ALM-004-03 A | n/a | 600 | 1800 | SE | No Shading |
| Office | ALM-004-03 A | n/a | 600 | 2100 | NW | No Shading |
| Bedroom 5 | ALM-004-03 A | n/a | 900 | 2400 | NE | No Shading |
| Entry | ALM-004-03 A | n/a | 2100 | 600 | NE | No Shading |
| Hall GF | ALM-004-03 A | n/a | 1500 | 600 | NE | No Shading |
| Bedroom 3 | ALM-004-03 A | n/a | 600 | 1800 | NW | No Shading |
| Bedroom 2 | ALM-004-03 A | n/a | 600 | 1800 | NW | No Shading |
| Hallway FF | ALM-004-03 A | n/a | 2100 | 2700 | NE | No Shading |
| Bathroom FF | ALM-004-03 A | n/a | 1200 | 2100 | NW | No Shading |
| Master Bedroom | ALM-004-03 A | n/a | 2100 | 2700 | NE | No Shading |
| Master Bedroom | ALM-004-03 A | n/a | 500 | 3850 | SE | No Shading |
| Master Ensuite | ALM-004-03 A | n/a | 600 | 1800 | SE | No Shading |
| Rumpus | ALM-004-03 A | n/a | 600 | 3000 | SE | No Shading |
| Rumpus | ALM-004-03 A | n/a | 2100 | 5400 | SW | No Shading |
| Bedroom 4 | ALM-004-03 A | n/a | 900 | 2700 | SW | No Shading |

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

Building Envelope Taken From 1st Flr South-west Wall Of Bed 4

RL +8,900
First

New Masonry Veneer Wall

New Masonry Wall

RL +5,500
Ground

New Concrete Slab To Eng. Details

RL +3,400
Basement

Max Building Height 8500 Above GL

New Timber Framed Sheet Metal Roof Pitch 1°

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Handrail To BCA & Aust. Stds.
RL +8,900
First

Building Envelope Taken From 1st Flr South-east Wall Of Living Room

New 1800mm High Timber Privacy Screen

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.
RL +5,500
Ground

New Concrete Block Retaining Wall To Eng. Details

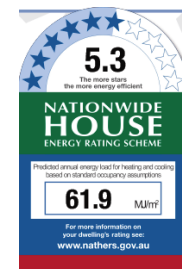
RL +3,400
Basement

New 69kL Pool To Manufacturers Details

Natural Ground Level

Wall Legend

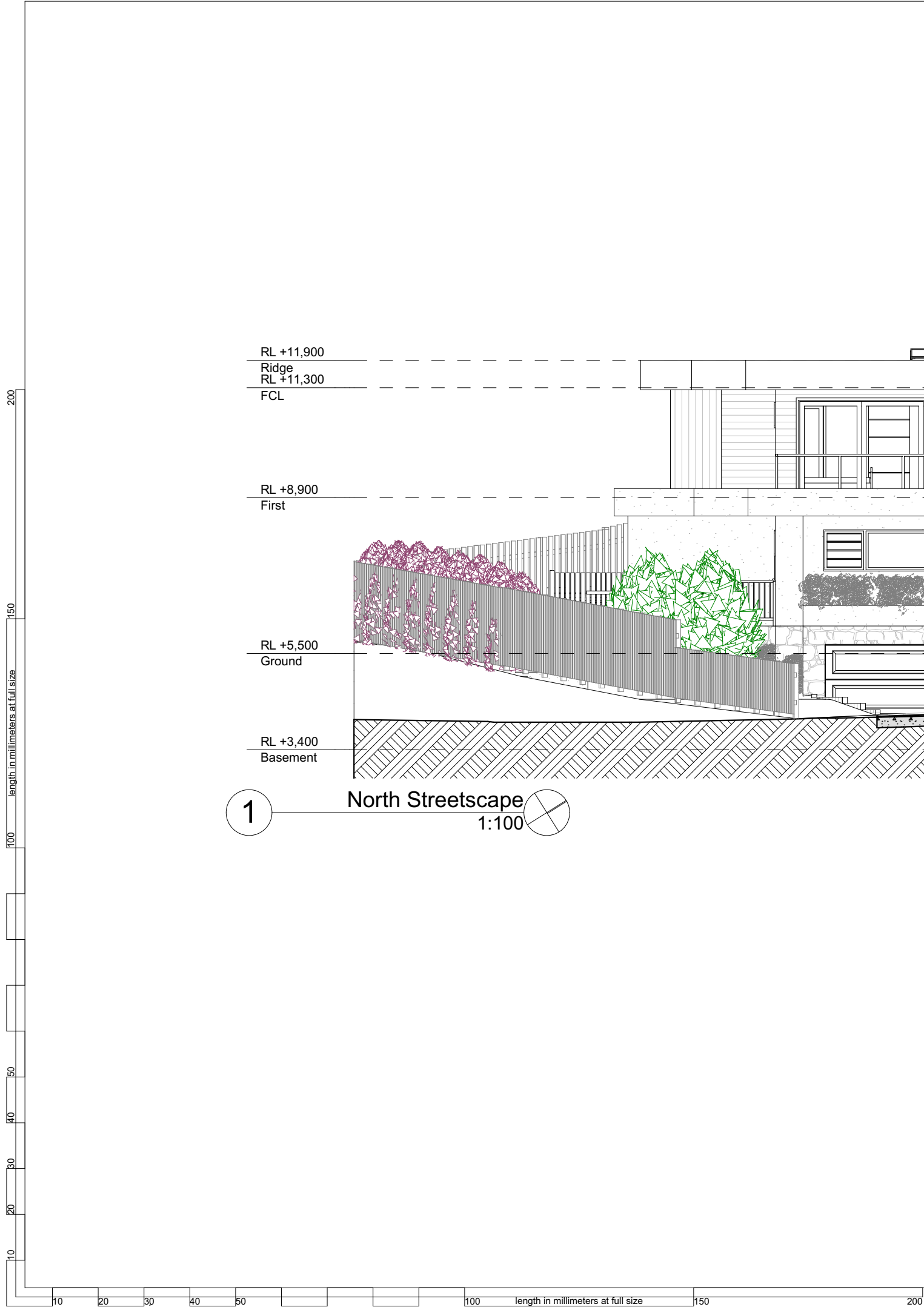
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing



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| Site Information | Proposed | Compliance |
|--------------------------------------|------------|------------|
| Site Area | 622.7m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundry setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 3.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m2) | 314.42m2 | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |



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Fax : (02) 9905-8865
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**BUILDING
DESIGNERS
AUSTRALIA NSW**

NOTES
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Construction
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Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen
2101
Lot 218 D.P. 16212

Drawing Title: Elevations - E/05 North Streetscape

North Streetscape

| | |
|-----------------------|--------------------|
| Scale: A3 as noted | Date: 4/03/20 |
| Status: DA Rev2 | Checked By: GBJ |
| Project No: RP1018BEE | Drawing No: DA4003 |

NOTES
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Construction
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Project North



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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Sunstudy - Perspective

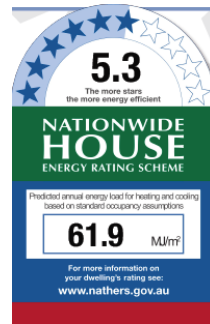
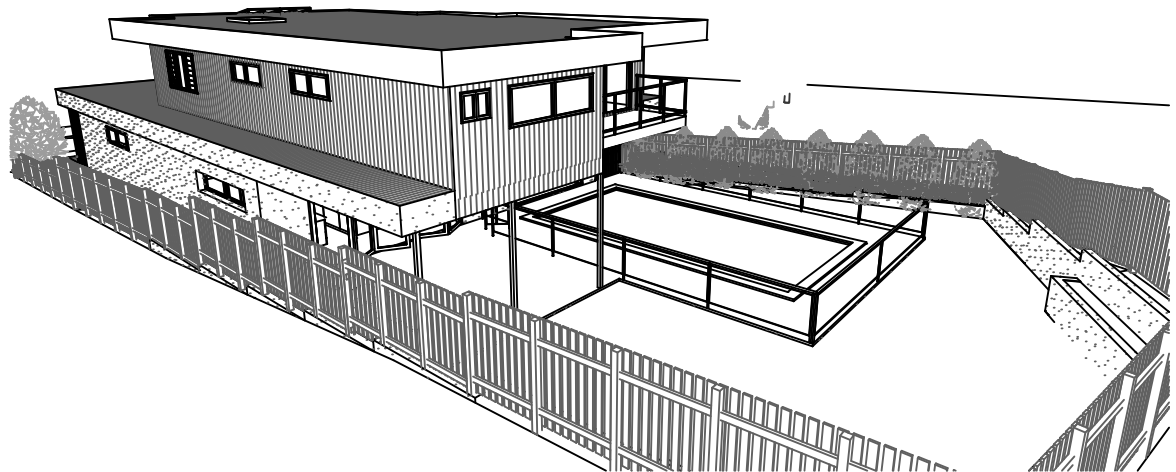
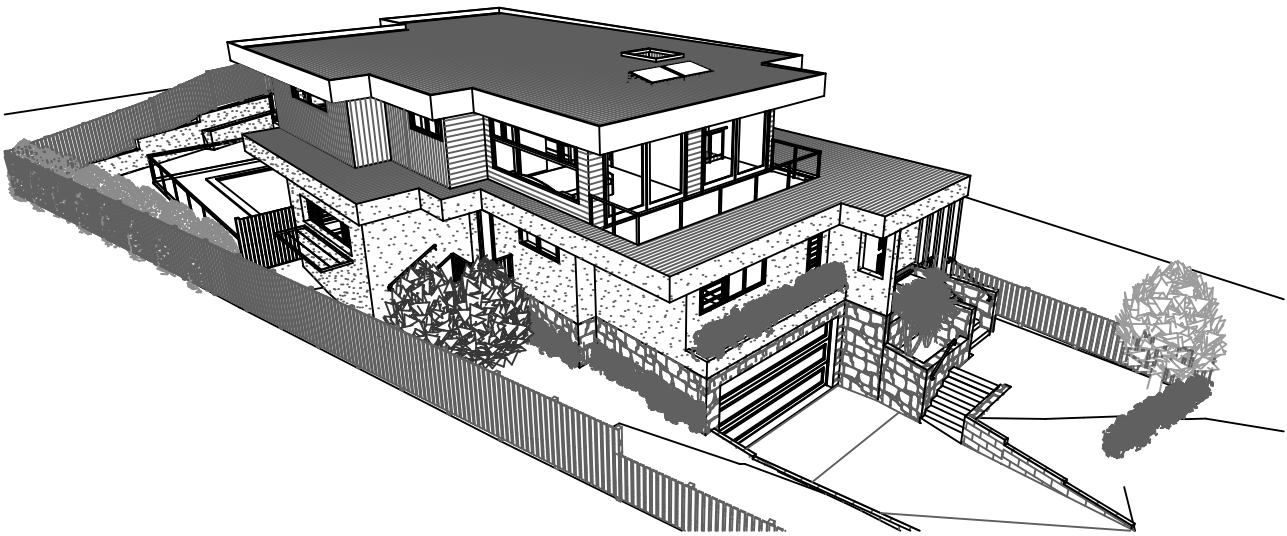
Per 1, Per 2, Per 3, Per 4

Scale: A3 as noted Date: 4/03/20

Status: DA Rev2 Checked By: GBJ

Project No: Drawing No.

RP1018BEE DA5001



| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 622.7m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 3.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m ²) | 314.42m ² | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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200

150

100

50

40

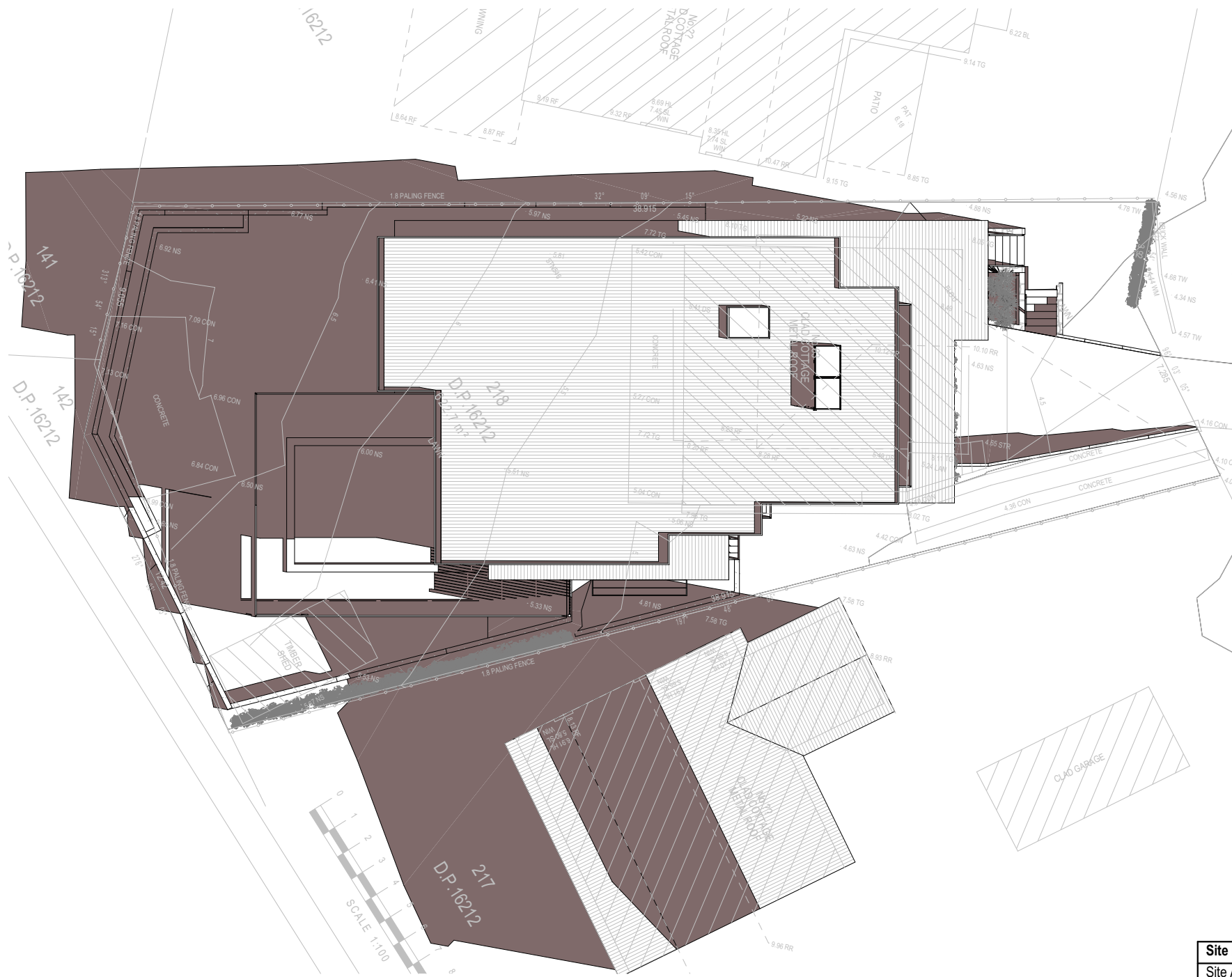
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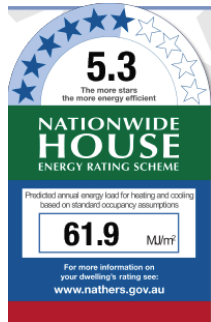
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10 20 30 40 50 100 150 length in millimeters at full size

200



Denotes Proposed Shadow



1 Jun-21-9am 1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
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Basix

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| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 622.7m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 3.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m ²) | 314.42m ² | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |



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Email : gregg@rapidplans.com.au



Project North



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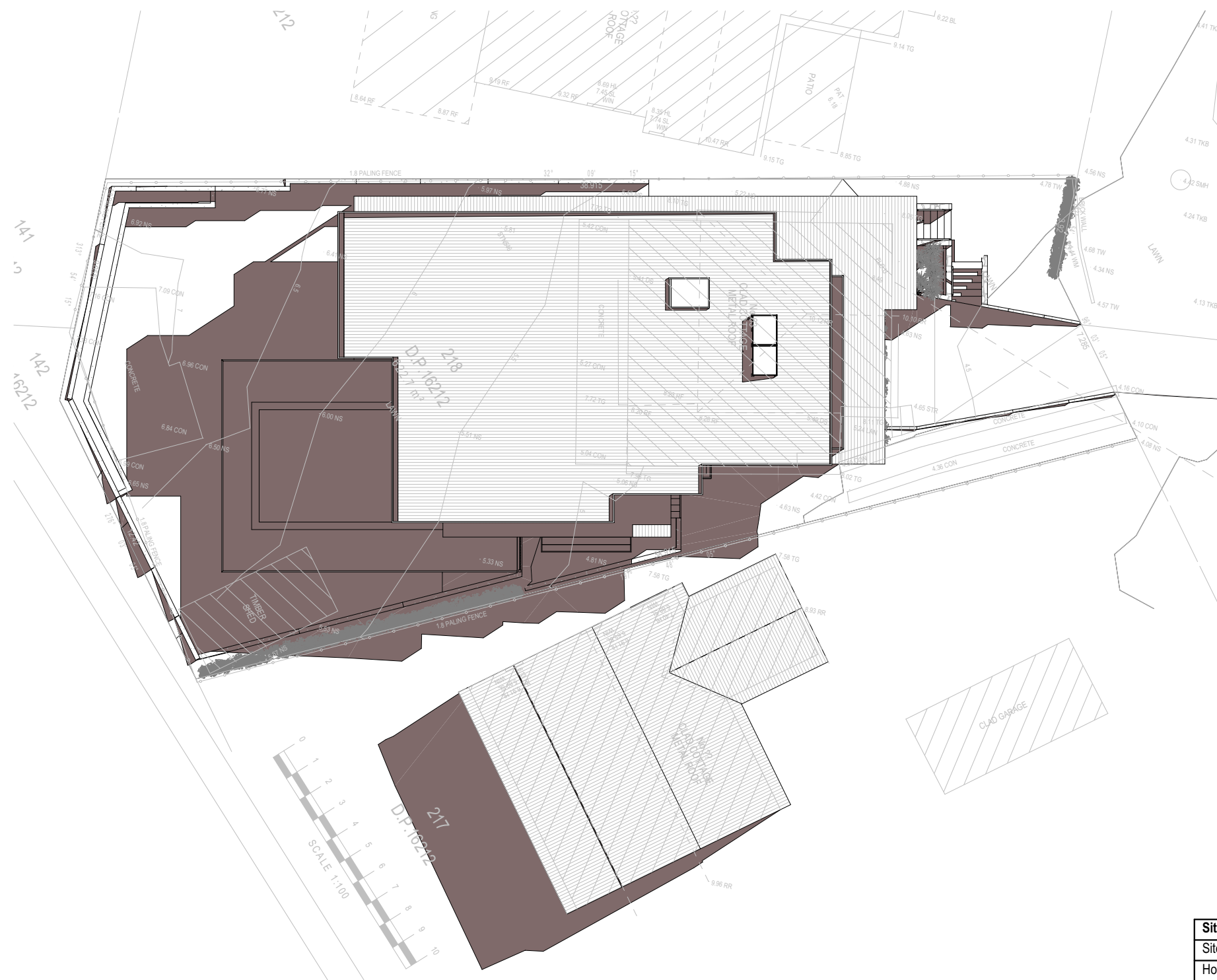
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

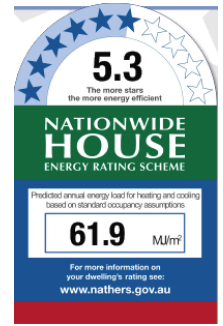
Lot 218 D.P. 16212
Drawing Title:
Sunstudy - June 21st Shadow -
9am
Jun-21-9am

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No.
DA5002



Denotes Proposed Shadow



1 Jun-21-12pm 1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
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|--------------------------------------|------------|------------|
| Site Area | 622.7m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variaton |
| Building envelope | 3.5m@45Deg | Variaton |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m2) | 314.42m2 | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |



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Project North

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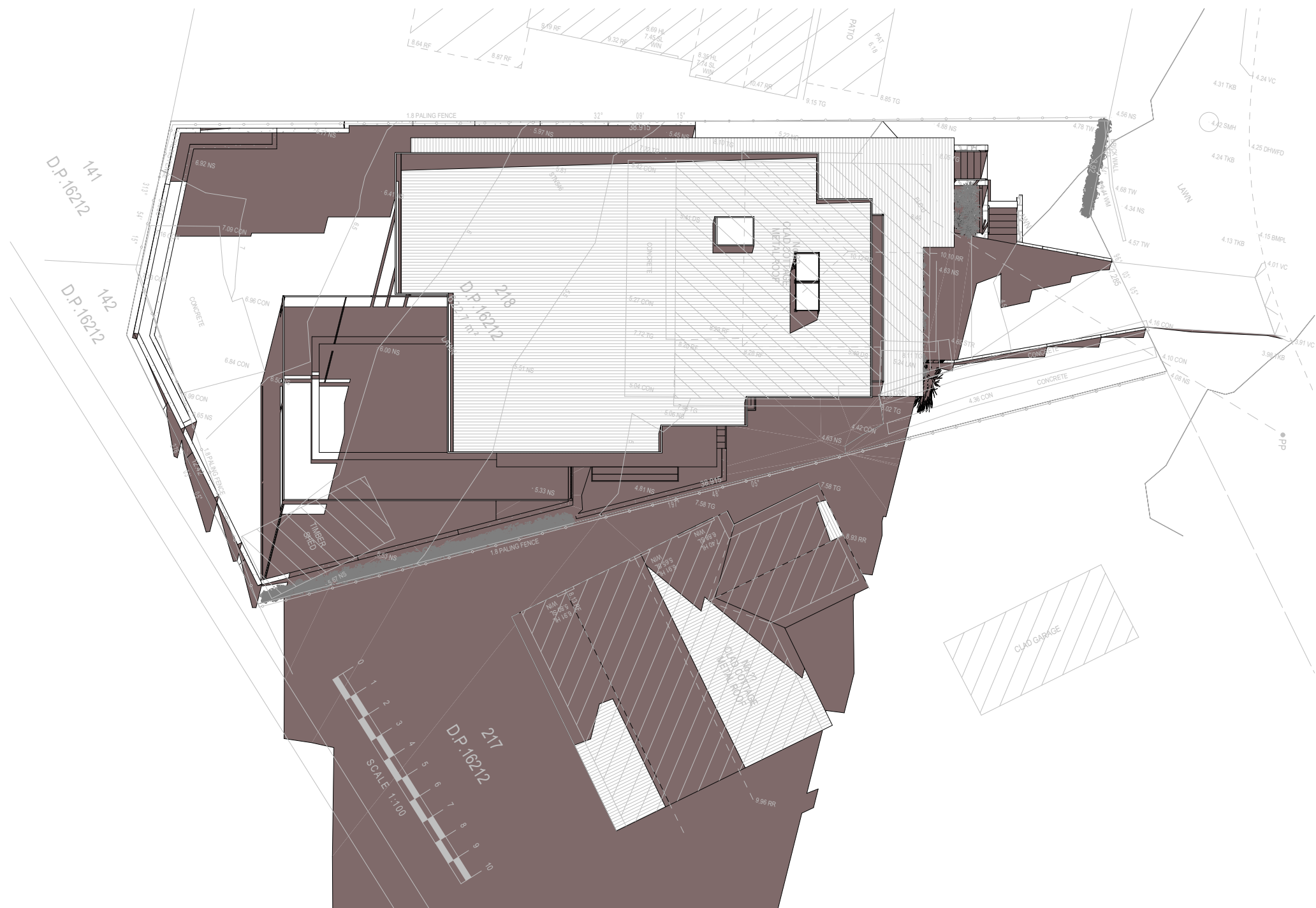
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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

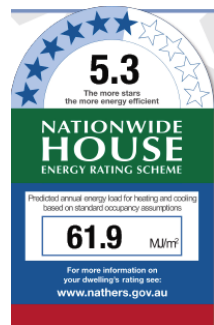
Lot 218 D.P. 16212
Drawing Title:
Sunstudy - June 21st Shadow -
12pm
Jun-21-12pm

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No.
DA5003



Denotes Proposed Shadow



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

1

Jun-21-3pm

1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 622.7m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 3.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m ²) | 314.42m ² | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |



Rapid Plans
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Project North



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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Sunstudy - June 21st Shadow -
3pm
Jun-21-3pm

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE
Date: 4/03/20
Checked By: GBJ
Drawing No.
DA5004

200

150

length in millimeters at full size

100

1

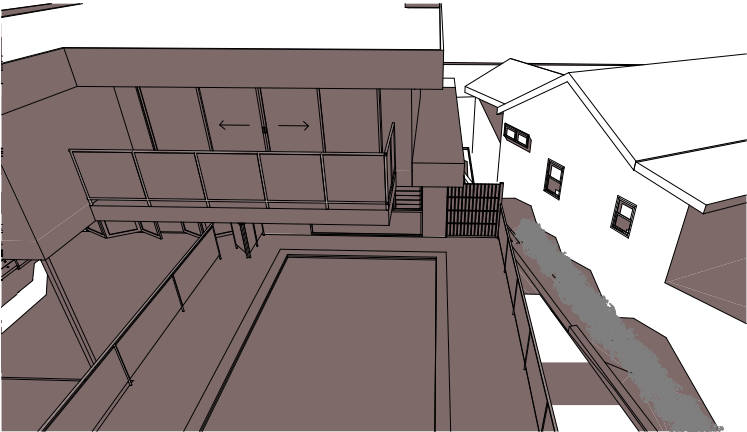
40

30

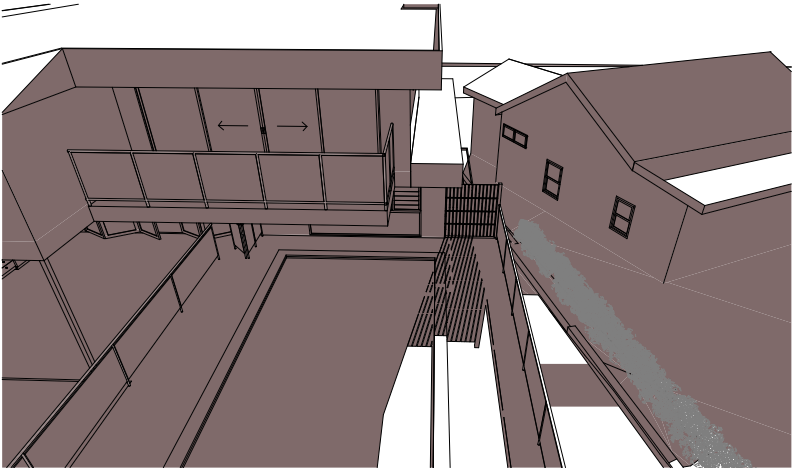
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10

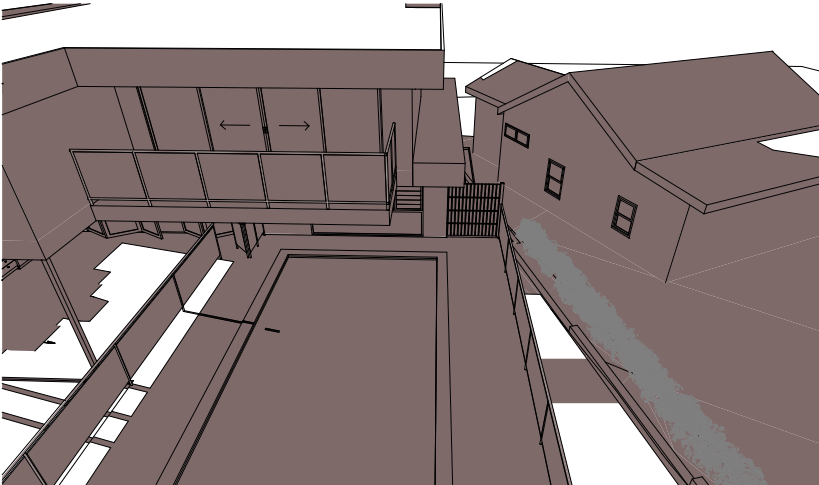
10 20 30 40 50 100 150 200 length in millimeters at full size



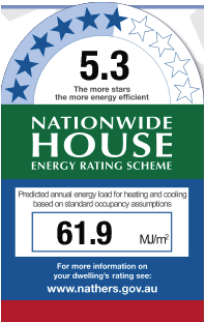
1 Wall Elev 12pm 1:100



1 Wall Elev 9am 1:100



1 Wall Elev 3pm 1:100



Denotes Proposed Shadow

| Site Information | Proposed | Compliance |
|--------------------------------------|------------|------------|
| Site Area | 622.7m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.5m | Yes |
| Minimum side boundary setback (Min.) | 1m + 2.5m | Variation |
| Building envelope | 8.5m@45Deg | Variation |
| % of landscape open space (50% min) | 50% | Yes |
| Impervious area (m2) | 314.42m2 | Yes |
| Maximum cut into ground (m) | 1550mm | Yes |
| Maximum depth of fill (m) | 865mm | Yes |
| Number of car spaces provided | 2 | Yes |

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NOTES
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
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All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1016487S & NatHERS No.0003872363-03
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Project North



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NOT FOR CONSTRUCTION

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Client: Greg Beeman
Project Name: New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Sunstudy - Wall Elevation Shadow

Wall Elev 9am, Wall Elev 12pm, Wall Elev 3pm,

Site Plan as noted Date: 4/03/20

Status: DA Rev2 Checked By: GBJ

Project No: RP1018BEE Drawing No: DA5005



Denotes Garage Door (Typical).
Owner To Confirm Colour and Type.



Denotes Concrete Block Retaining Wall (Typical).
Owner To Confirm Colour and Type.



Denotes Glass and Steel Balustrade (Typical).
Owner To Confirm Colour and Type.



Denotes Glass Timber Deck (Typical).
Owner To Confirm Colour and Type.



Denotes Tiled Patio (Typical).
Owner To Confirm Colour and Type.



Denotes Cladded Wall (Typical).
Owner To Confirm Colour and Type.



Denotes Sheet Metal Roofing (Typical).
Owner To Confirm Colour and Type.



Denotes Rendered Wall (Typical).
Owner To Confirm Colour and Type.



Denotes Concrete Stair (Typical).
Owner To Confirm Colour and Type.

Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

| Site Information | Proposed | Compliance |
|--------------------------------------|------------|------------|
| Site Area | 622.7m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | N/A | Yes |
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| Building envelope | 8.5m@45Deg | Variation |
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Building Design and Architectural Drafting

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Email : gregg@rapidplans.com.au

 BUILDING DESIGNERS AUSTRALIA NSW

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Project North



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Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Schedules - Material & Colour Sample Board

Scale: A3 as noted

Date: 4/03/20

Status: DA Rev2

Checked By: GBJ

Project No:

RP1018BEE

Drawing No.

DA6001