

Warriewood Bazem

Lot 11 Warriewood



Drawings

No	Rev	Drawing
A0000		Perspective Views, Notes, Areas
A1000		Site Plan
A1001		Landscape Plan
A2100		Ground Floor Plan
A2101		First Floor Plan
A2102		Roof Plan
A2400		Electrical Plans
A2401		Lighting Calculation
A2500		Shadow Diagrams
A3000		Elevations
A3001		Elevations
A3100		Sections
A3101		Sections 2
A6000		D & W Window Schedule

General Notes

External colour schedule



Render 1
Resene Foggy Grey

Cladding
Resene Nocturnal

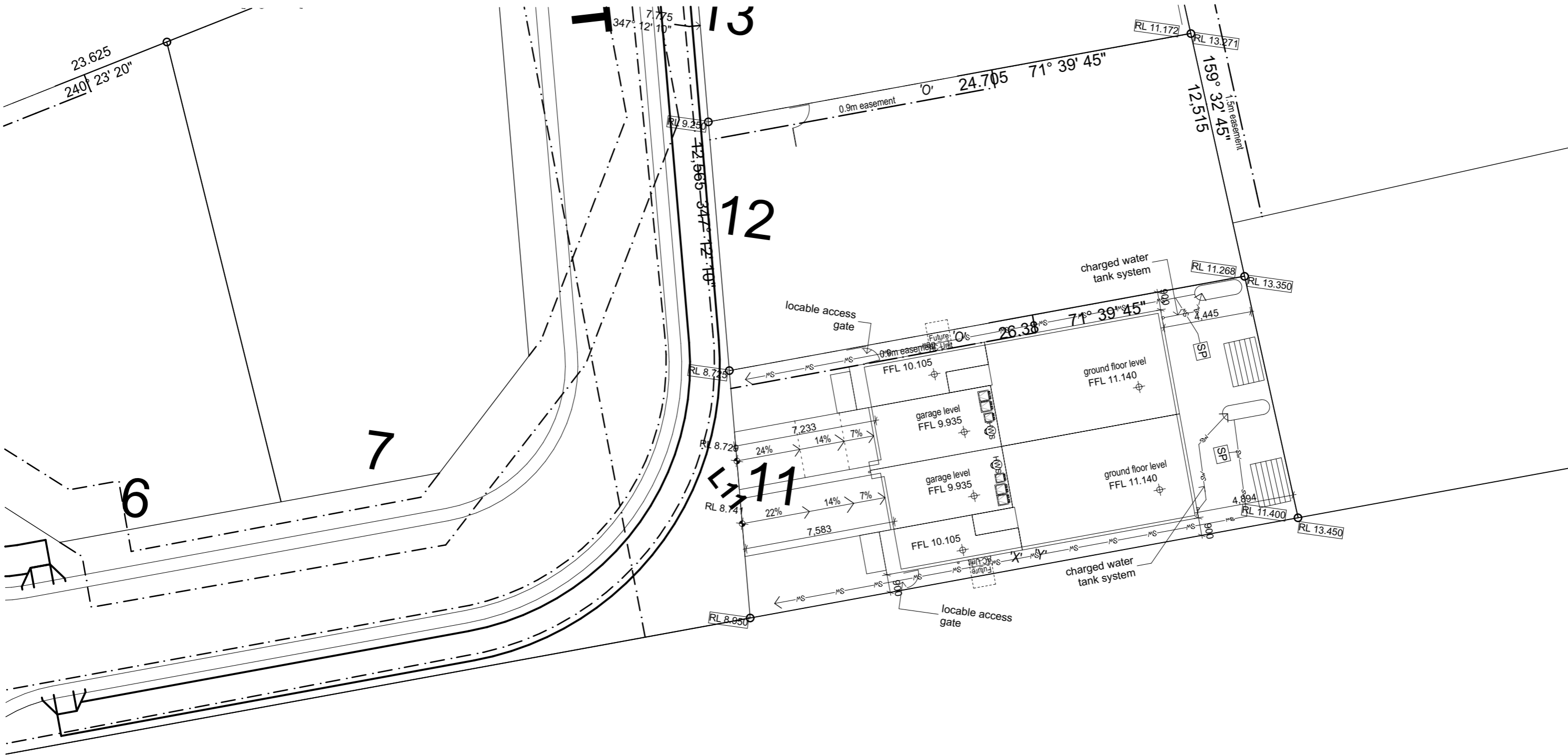
Garage Monument

Roof
Boral Contour Gunmetal

Note: colours indicative only and should not be used as a true representation of the product

Areas (for Building Permit purposes only)

Lot 11		
Unit	Area	Measured Area
L11-1	01 GF Living Area	61.96
L11-1	02 FF Living Area	70.06
L11-1	03 Garage	20.20
L11-1	05 Porch	1.04
		153.26 m ²
L11-2	01 GF Living Area	61.96
L11-2	02 FF Living Area	70.06
L11-2	03 Garage	20.20
L11-2	05 Porch	1.04
		153.26 m ²
		306.52 m²



WORK IN PROGRESS

Site Plan Lot 11 1:200

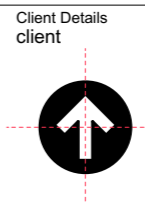
printed: 04-Apr-20 4:22 AM



© dKO Architecture Pty Ltd
 Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.
NOTES
 Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Architect
 dKO architecture (Vic) pty ltd
 Suite 2/112 Newquay Promenade
 Docklands, VIC, 3008, AUS
 T +61 3 8601 6000 / F+61 3 8601 6099
 www.dko.com.au / info@dko.com.au
 ABN: 61413783636

Rev Description By Date



Client Details
 client
 Project
 Warriewood Bazem
 Lot 11 Warriewood
 Project Number
 11268

Drawing Site
 Site Plan
 Project Status
 PRELIMINARY - not for construction
 Scale
 Drawn BK Checked ML
 Drawing Number A1000
 Revision



Group Plan - Landscape 1:200

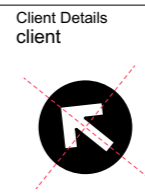
printed: 04-Apr-20 4:22 AM



© dKO Architecture Pty Ltd
 Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.
 NOTES
 Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Architect
 dKO architecture (Vic) pty ltd
 Suite 2/112 Newquay Promenade
 Docklands, VIC, 3008, AUS
 T +61 3 8601 6000 / F+61 3 8601 6099
 www.dko.com.au / info@dko.com.au
 ABN: 61413783636

Rev Description By Date



Client Details
 client
 Project
 Warriewood Bazem
 Lot 11 Warriewood
 Project Number
 11268

Drawing Site
 Landscape Plan
 Project Status
 PRELIMINARY - not for construction
 Scale
 Drawn BK Checked ML
 Drawing Number A1001
 Revision

Rev	Description	By	Date
-----	-------------	----	------

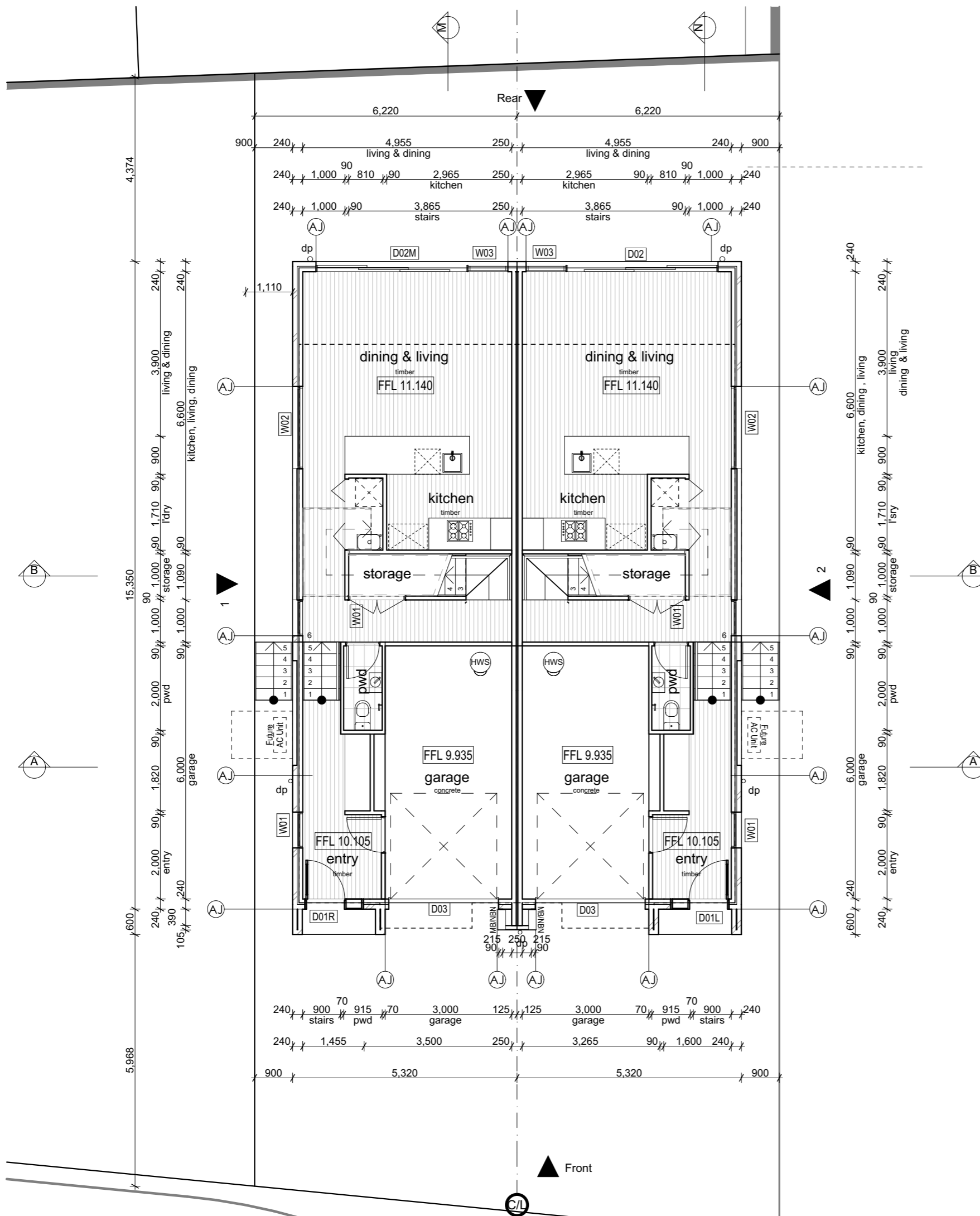


Project
 Warriewood Bazem
 Lot 11 Warriewood

Project Number
 11268

Drawing
 General Arrangement Plans
 Ground Floor Plan
 Project Status
 PRELIMINARY - not for construction
 Scale
 Drawn BK Checked ML
 Drawing Number **A2100**
 Revision

Note:
 THE DWELLING IS TO BE
 PROTECTED FROM TERMITE
 INFESTATION IN ACCORDANCE
 WITH AS 3660.1-2000



WORK IN PROGRESS

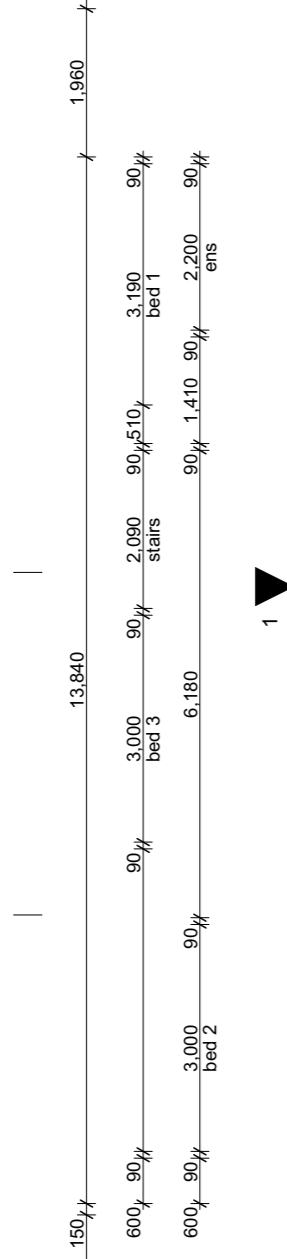
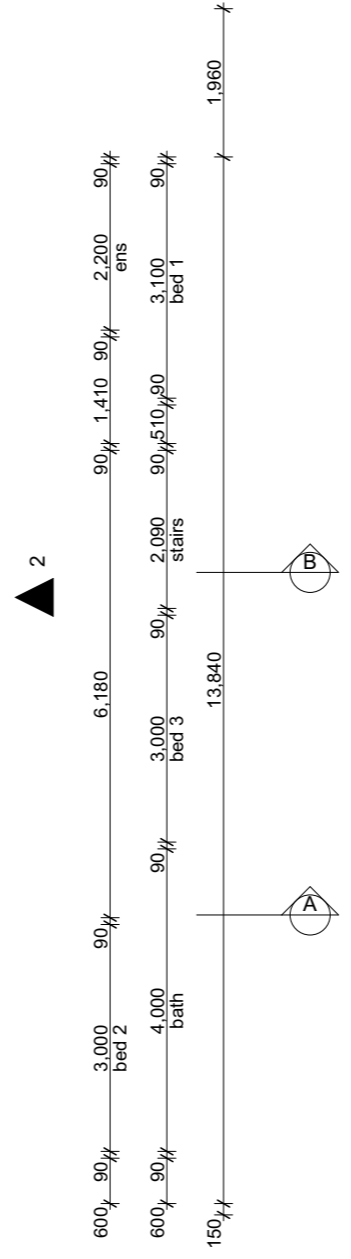
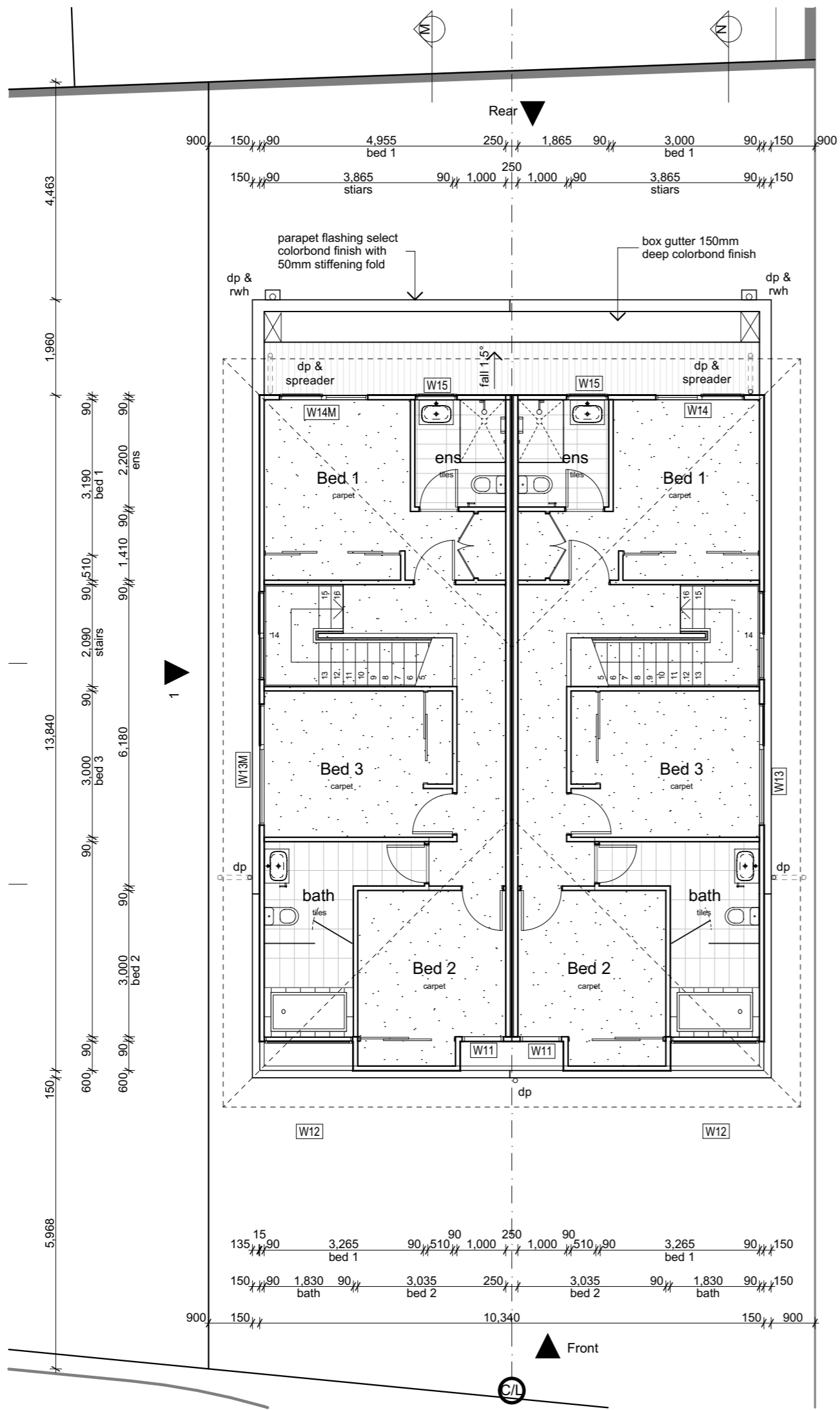


© dKO Architecture Pty Ltd

Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.

NOTES

Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.



Rev	Description	By	Date



Project
Warriewood Bazem
Lot 11 Warriewood

Project Number
11268

Drawing
General Arrangement Plans
First Floor Plan

Project Status
PRELIMINARY - not for construction

Scale
Drawn BK Checked ML
Drawing Number A2101

Revision

WORK IN PROGRESS

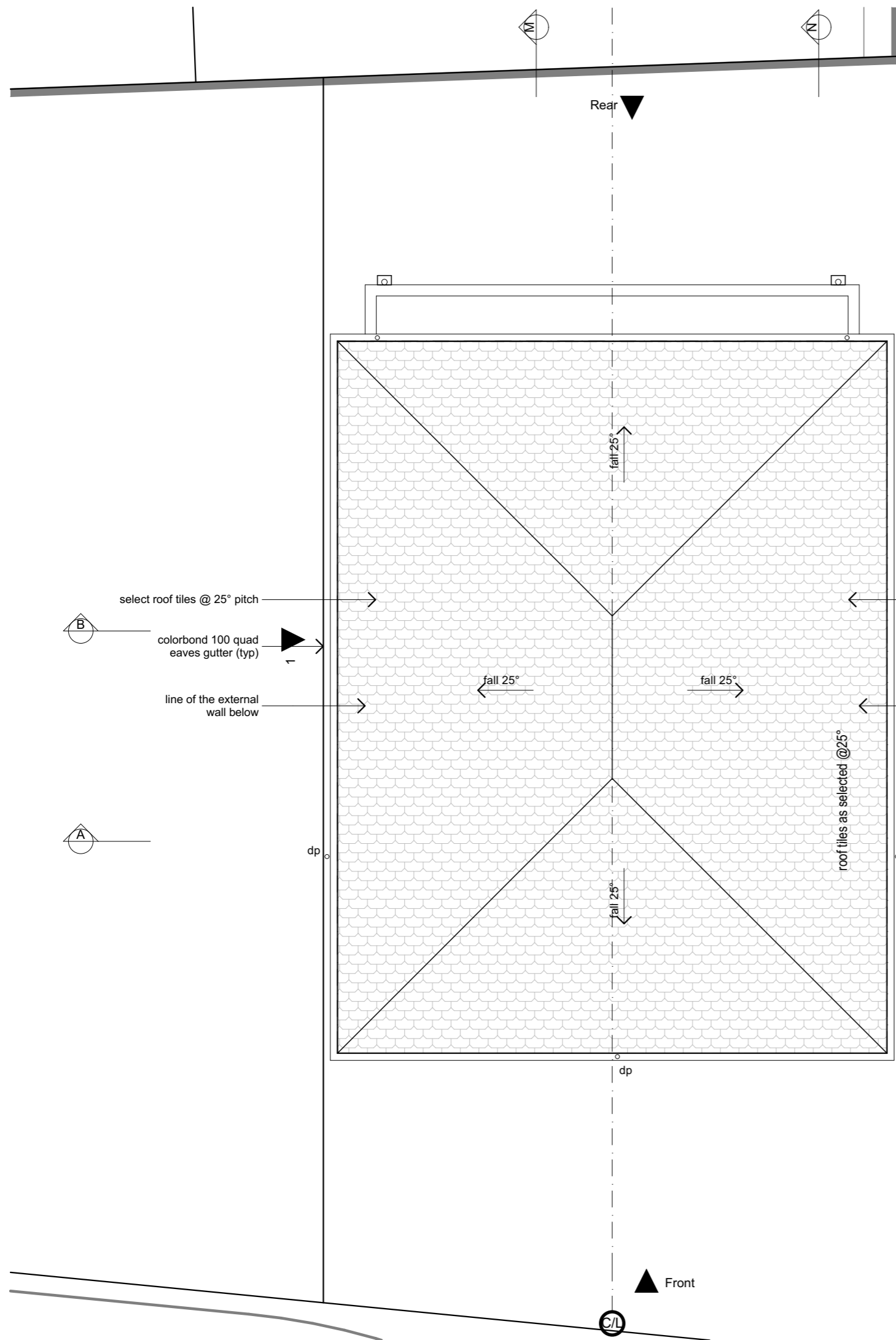
printed: 04-Apr-20 4:22 AM



© dKO Architecture Pty Ltd

Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.

NOTES
Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.



Rev	Description	By	Date
-----	-------------	----	------



Project
Warriewood Bazem
Lot 11 Warriewood

Project Number
11268

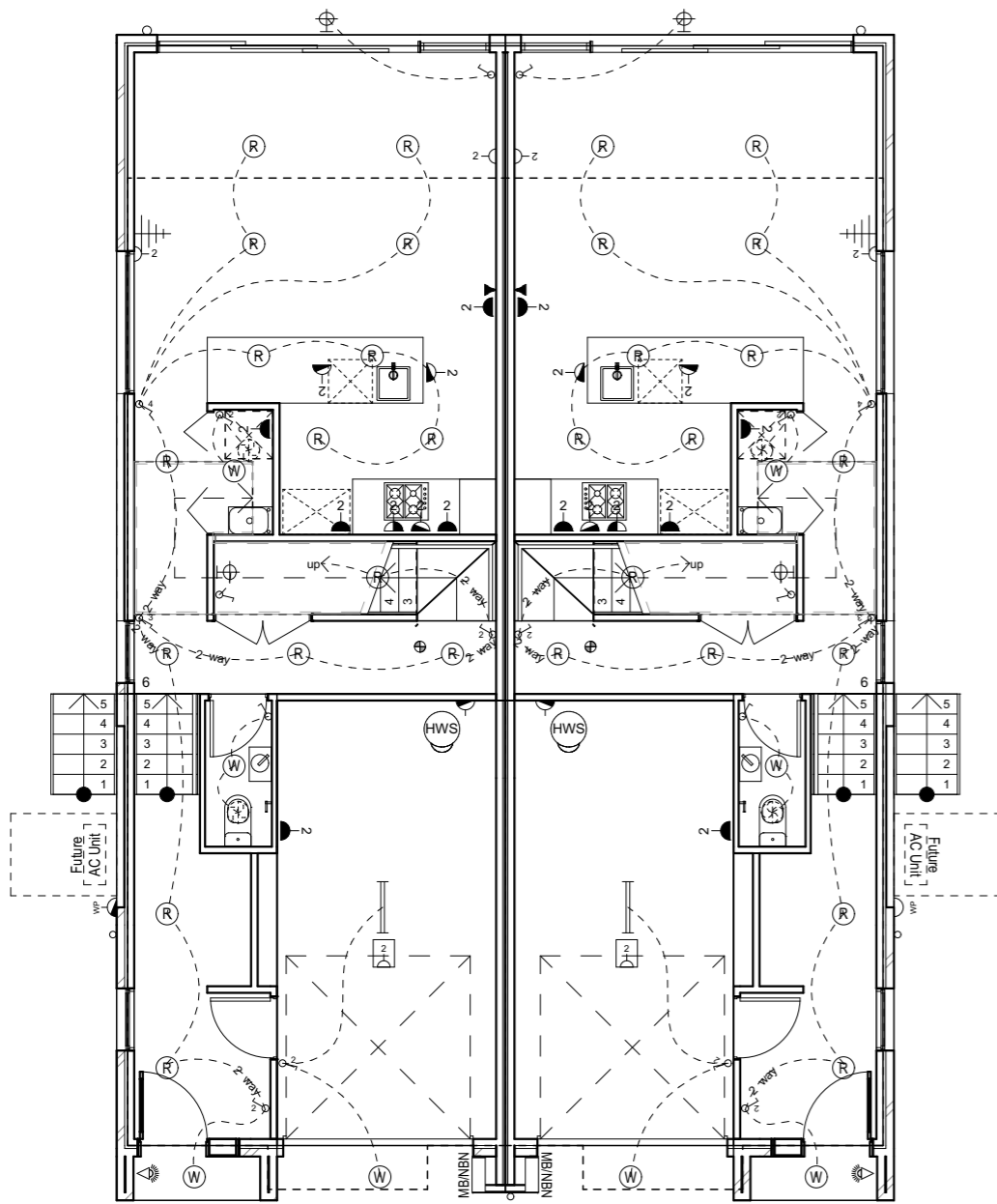
Drawing
General Arrangement Plans
Roof Plan

Project Status
PRELIMINARY - not for construction

Scale
Drawn BK Checked ML
Drawing Number A2102
Revision

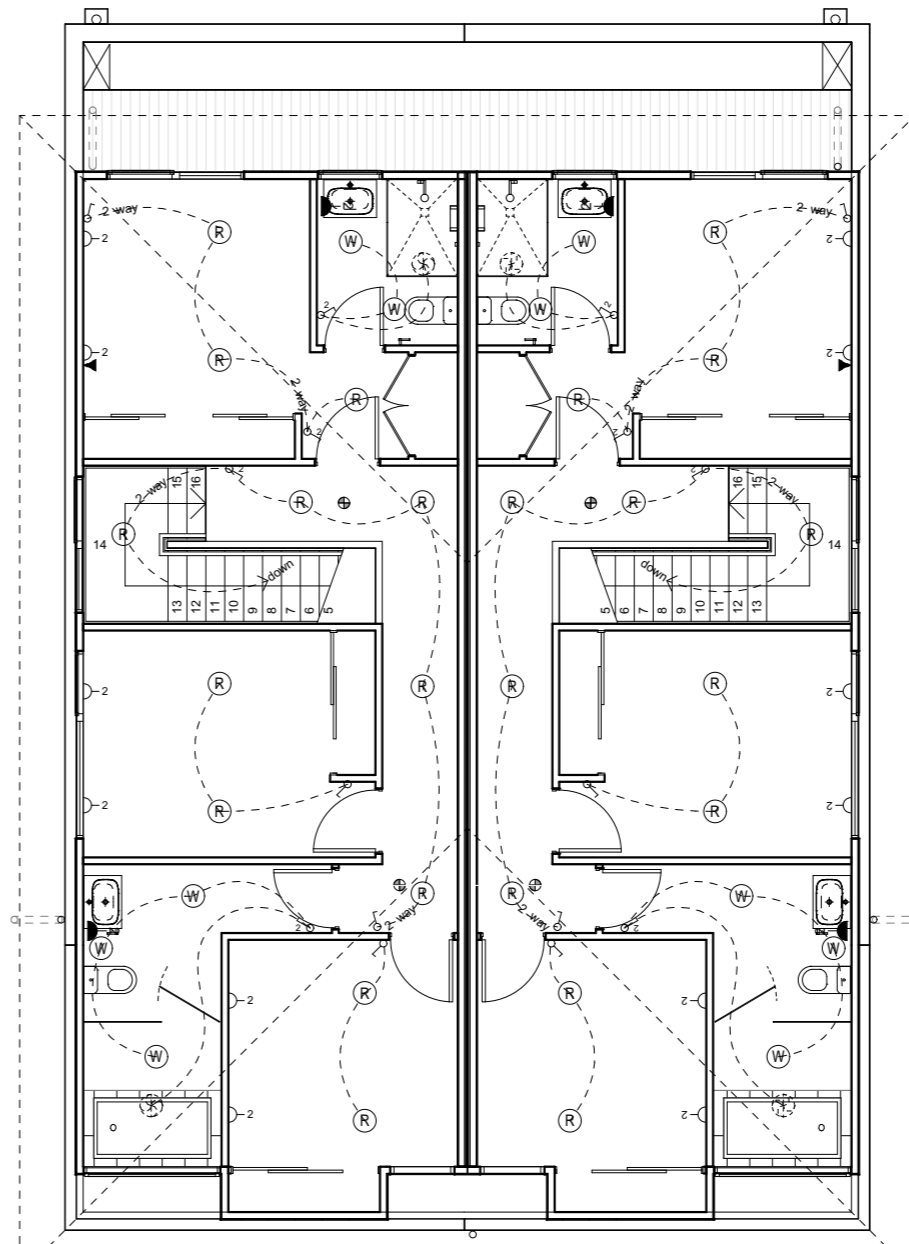
WORK IN PROGRESS

printed: 04-Apr-20 4:22 AM



Ground Floor Electrical

1:100



First Floor Electrical

1:100

Rev	Description	By	Date

WORK IN PROGRESS

Project
 Warriewood Bazem
 Lot 11 Warriewood

Project Number
11268

Drawing
 Electrical Plans
 Electrical Plans

Project Status
PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number **A2400**
 Revision

printed: 04-Apr-20 4:22 AM

ELECTRICAL SYMBOL LEGEND		HEATING / COOLING SYMBOL LEGEND	
MB	METER BOX - 1800mm	WALL LIGHT OUTLET - 2000mm	LIGHT SWITCH / DBL / TRPL - 1000mm (2 number of switches)
DISTRIBUTION BOX - 1650mm		WALL FLOOD LIGHT OUTLET - 2000mm	TWO WAY SWITCHING
INTERCOM BASE STATION - 1650mm		EAVES FLOOD LIGHT OUTLET	DIMMER SWITCH
PENDANT LIGHT		SMOKE DETECTOR	WP = weatherproof outdoor outlet
CEILING LIGHT OUTLET		DOOR BELL - 1000mm	GPO / DBL GPO / WP GPO - 300mm
ROOF LIGHT OUTLET		CEILING EXHAUST FAN DUCTED TO OUTSIDE WALL	GPO / DBL GPO / WP GPO - 750mm
RECESSED DOWNLIGHT		CEILING EXHAUST FAN DUCTED THROUGH ROOF	GPO / DBL GPO / WP GPO - 1200mm
WEATHERPROOF DOWNLIGHT		GPO - DATA POINT	GPO / DBL GPO / WP GPO - 1800mm
FLUORESCENT CEILING LIGHT		GPO - PHONE POINT	CEILING MOUNTED GPO
		GPO - TV POINT	CEILING REGISTER - SQUARE
			FUTURE AIR CONDITIONING SYSTEM CONDENSER UNIT LOCATION. (clear space shown dashed)
			CEILING MOUNT HEATING PLANT 3000 x 900 x 900mm
			CEILING MOUNTED LINEAR REGISTER 900 / 1200mm
			WALL MOUNTED LINEAR REGISTER
			CEILING REGISTER - SQUARE
			NOTE: BUILDER TO PROVIDE HARD WIRE CONNECTION TO APPLIANCES.





© dKO Architecture Pty Ltd

Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.

NOTES
Builder/Contractor shall verify job dimensions before any job commences.
Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

LIGHTING CALCULATOR FOR USE WITH J6.2(a) VOLUME ONE AND 3.12.5.5 VOLUME TWO (First issued with NCC 2014)

Building name/description: Job No 11268 Lot 11-1
Classification: Class 1
Number of rows preferred in table below: 16 (as currently displayed)
Advisory Note: Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used outcomes refer to these aggregate allowances.

Table with columns: ID, Description, Type of space, Floor area of the space, Design Lamp or Illumination Power Load, Location, Adjustment Factor One, Adjustment Factor Two (n/a for Class 1), OVERALL DESIGN PASSES (Lamp or Illumination Power Density, System Allowance, System Design, System Share of % of Aggregate Allowance Used).

191.9 m² 481 W

Summary table for allowances: Class 1 building (5.0 W/m², 3.4 W/m²), Verandah or balcony (4.0 W/m², 0.3 W/m²), Class 10a building (3.0 W/m², 0.7 W/m²).

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR
The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind...



Copyright © 2014 - Australian Government, State and Territory Governments of Australia. All Rights Reserved

LIGHTING CALCULATOR FOR USE WITH J6.2(a) VOLUME ONE AND 3.12.5.5 VOLUME TWO (First issued with NCC 2014)

Building name/description: Job No 11268 Lot 11-2
Classification: Class 1
Number of rows preferred in table below: 16 (as currently displayed)
Advisory Note: Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used outcomes refer to these aggregate allowances.

Table with columns: ID, Description, Type of space, Floor area of the space, Design Lamp or Illumination Power Load, Location, Adjustment Factor One, Adjustment Factor Two (n/a for Class 1), OVERALL DESIGN PASSES (Lamp or Illumination Power Density, System Allowance, System Design, System Share of % of Aggregate Allowance Used).

190.5 m² 481 W

Summary table for allowances: Class 1 building (5.0 W/m², 3.4 W/m²), Verandah or balcony (4.0 W/m², 0.3 W/m²), Class 10a building (3.0 W/m², 0.7 W/m²).

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR
The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind...



Copyright © 2014 - Australian Government, State and Territory Governments of Australia. All Rights Reserved

WORK IN PROGRESS

Rev Description By Date

Project Warriewood Bazem
Lot 11 Warriewood

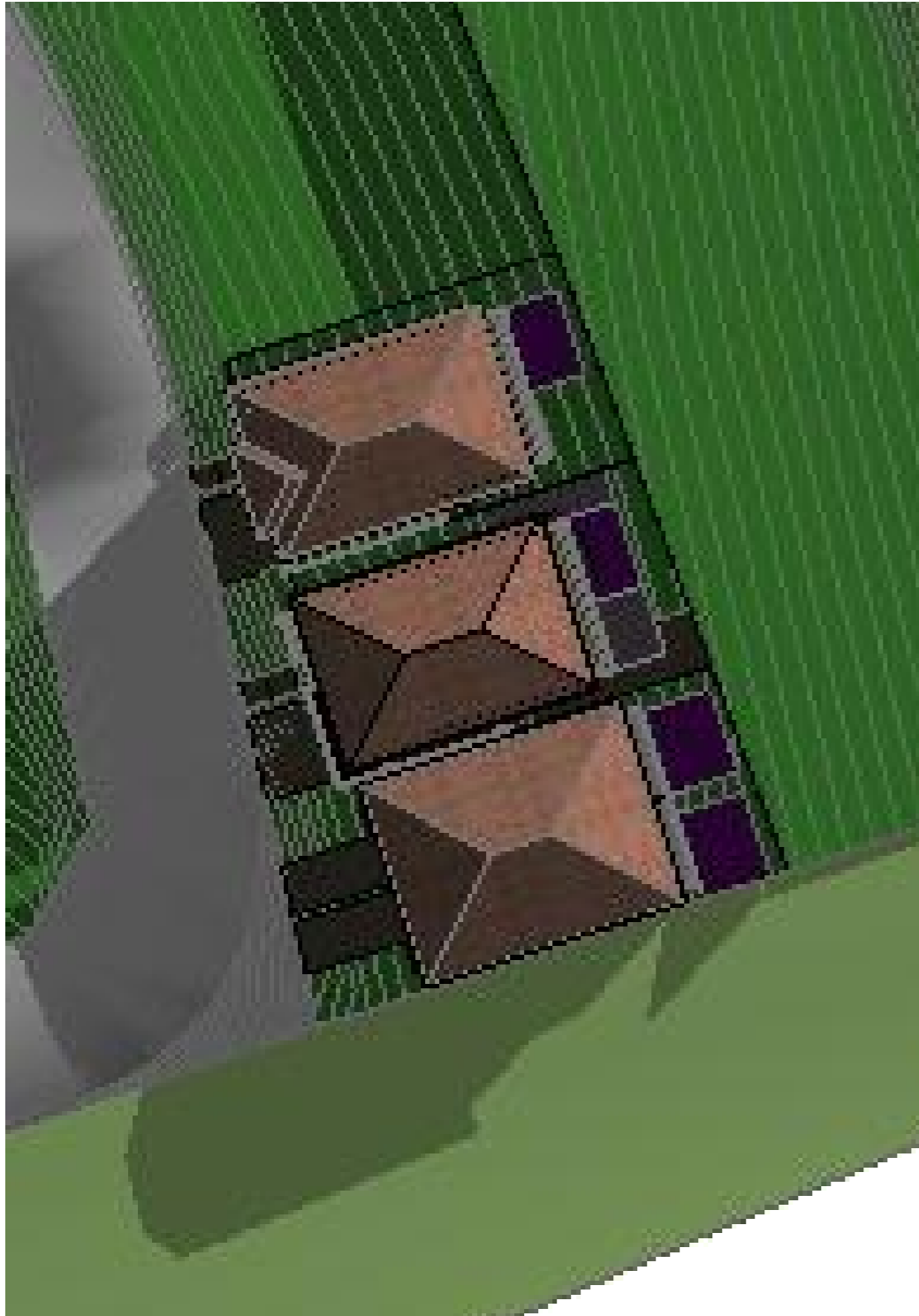
Project Number 11268

Drawing Electrical Plans
Lighting Calculation

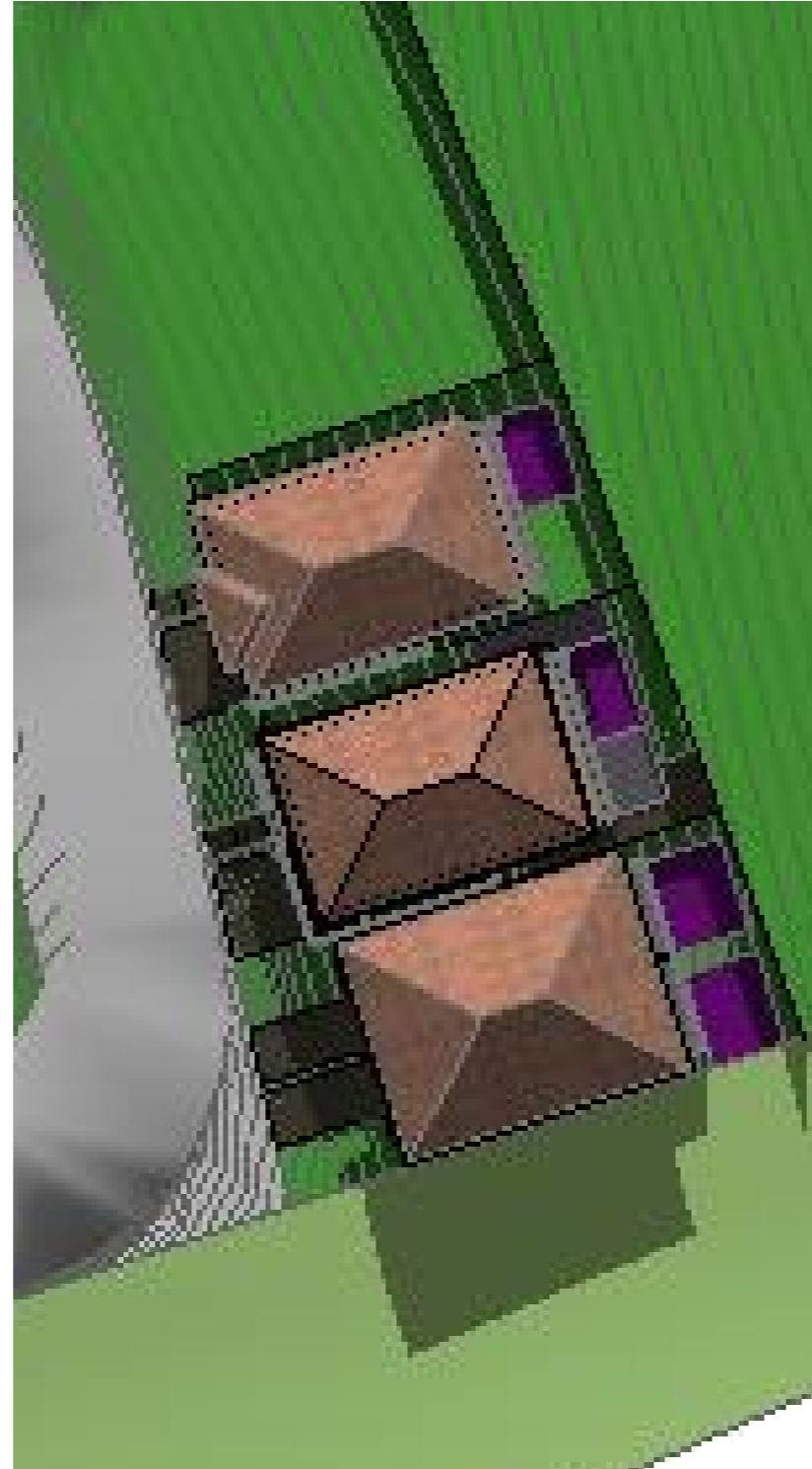
Project Status PRELIMINARY - not for construction

Scale Drawing BK Checked ML
Drawing Number A2401
Revision

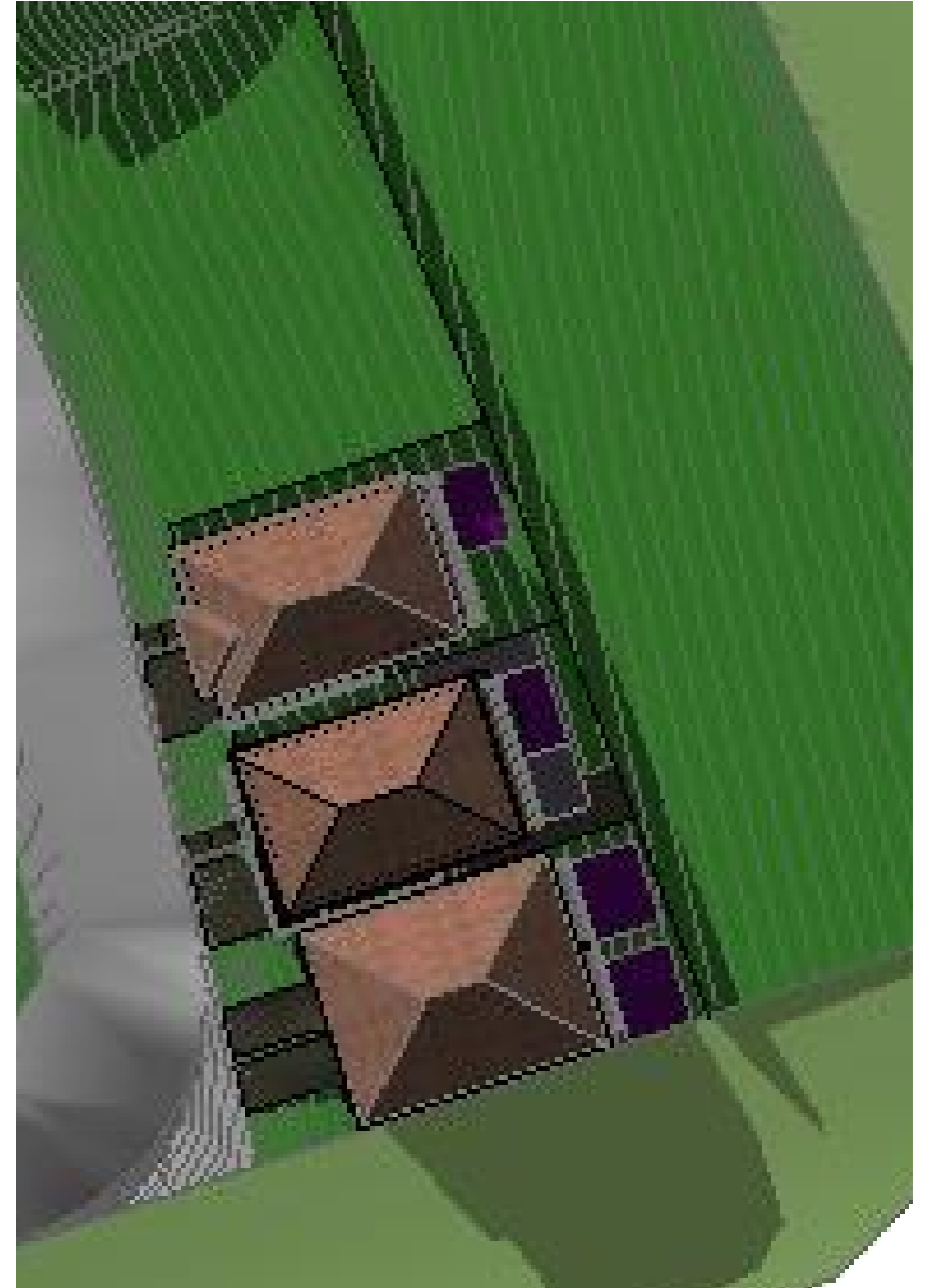
printed: 04-Apr-20 4:22 AM



Shadows @ 9am June 21



Shadows @ 12pm June 21



Shadows @ 3pm June 21

WORK IN PROGRESS

printed: 04-Apr-20 4:22 AM



© dKO Architecture Pty Ltd

Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.

NOTES
 Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Architect

dKO architecture (Vic) pty ltd
 Suite 2/112 Newquay Promenade
 Docklands, VIC, 3008, AUS
 T +61 3 8601 6000 / F+61 3 8601 6099
 www.dko.com.au / info@dko.com.au
 ABN: 61413783636

Rev Description

By Date

Client Details
 client



Project
 Warriewood Bazem
 Lot 11 Warriewood

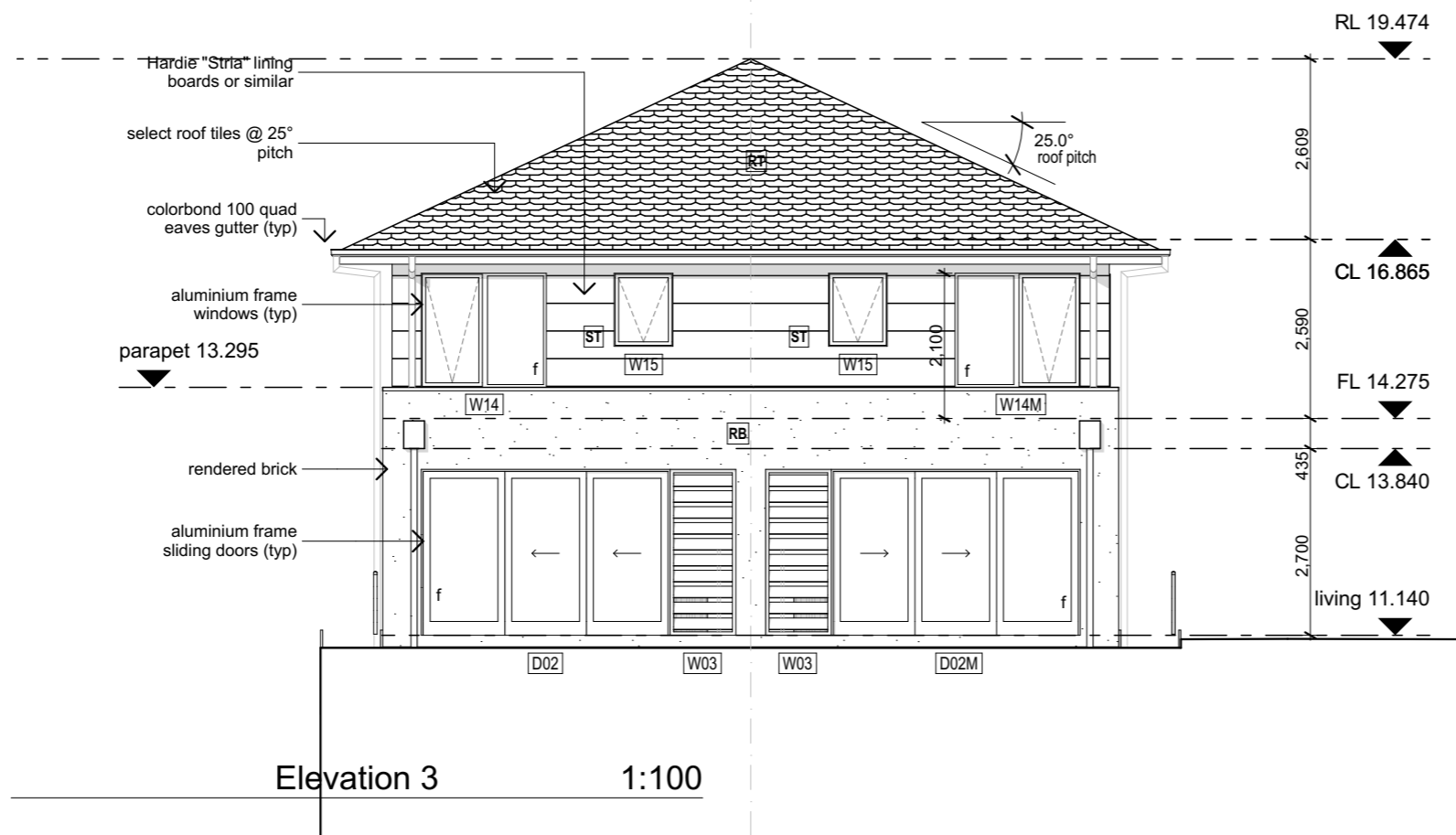
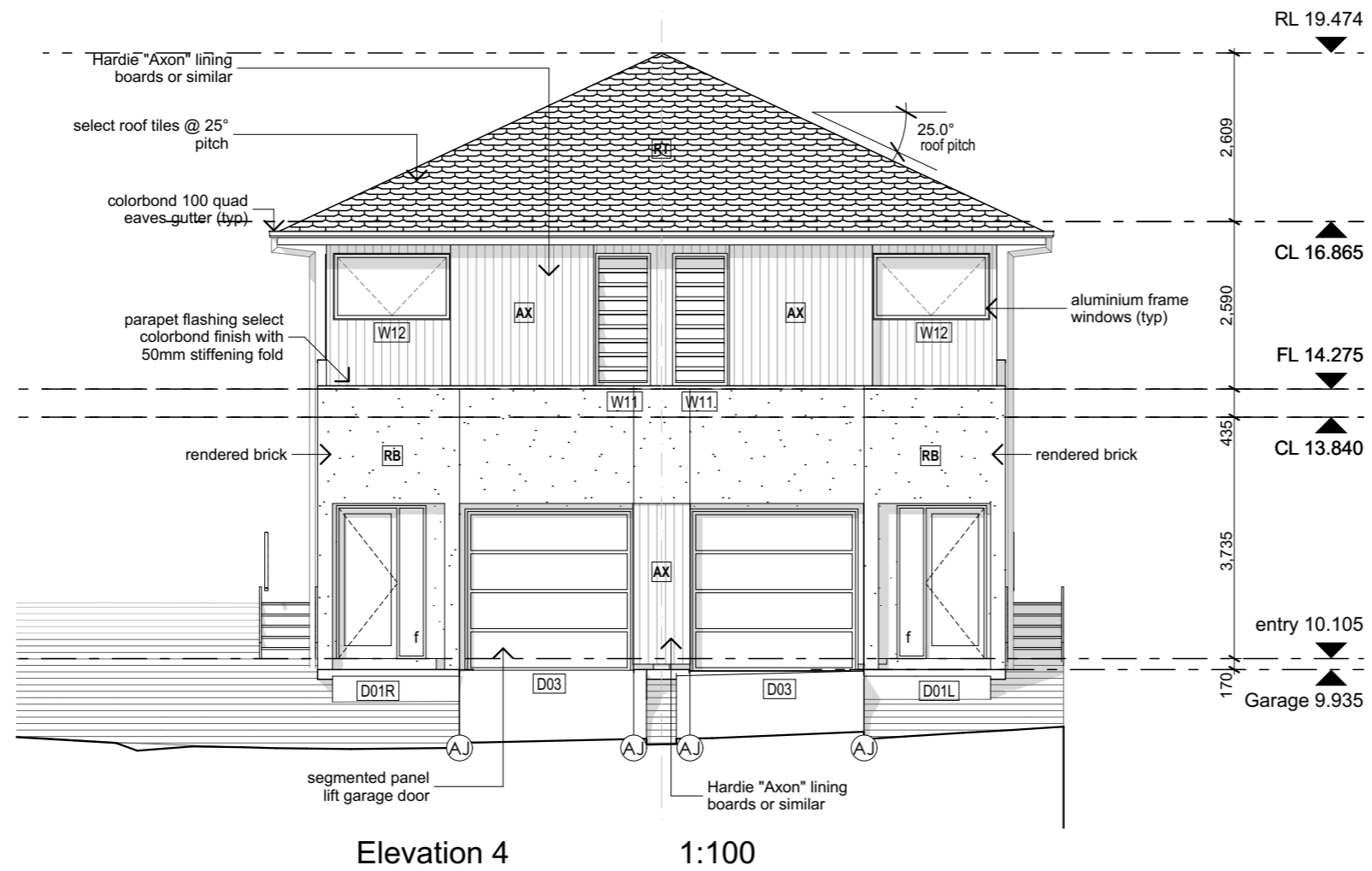
Project Number
 11268

Drawing
 Shadow Diagram
 Shadow Diagrams

Project Status
 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML

Drawing Number
 A2500
 Revision



Rev	Description	By	Date

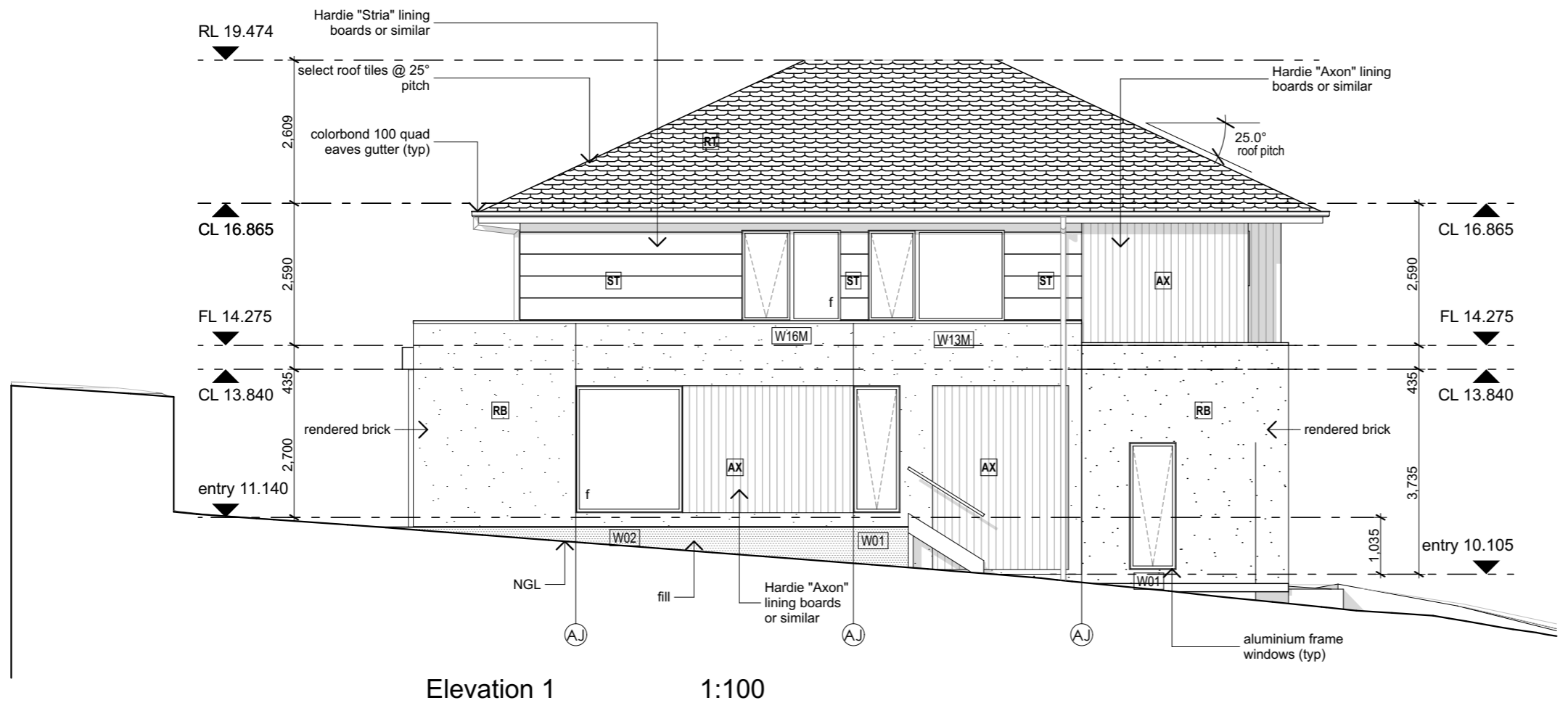
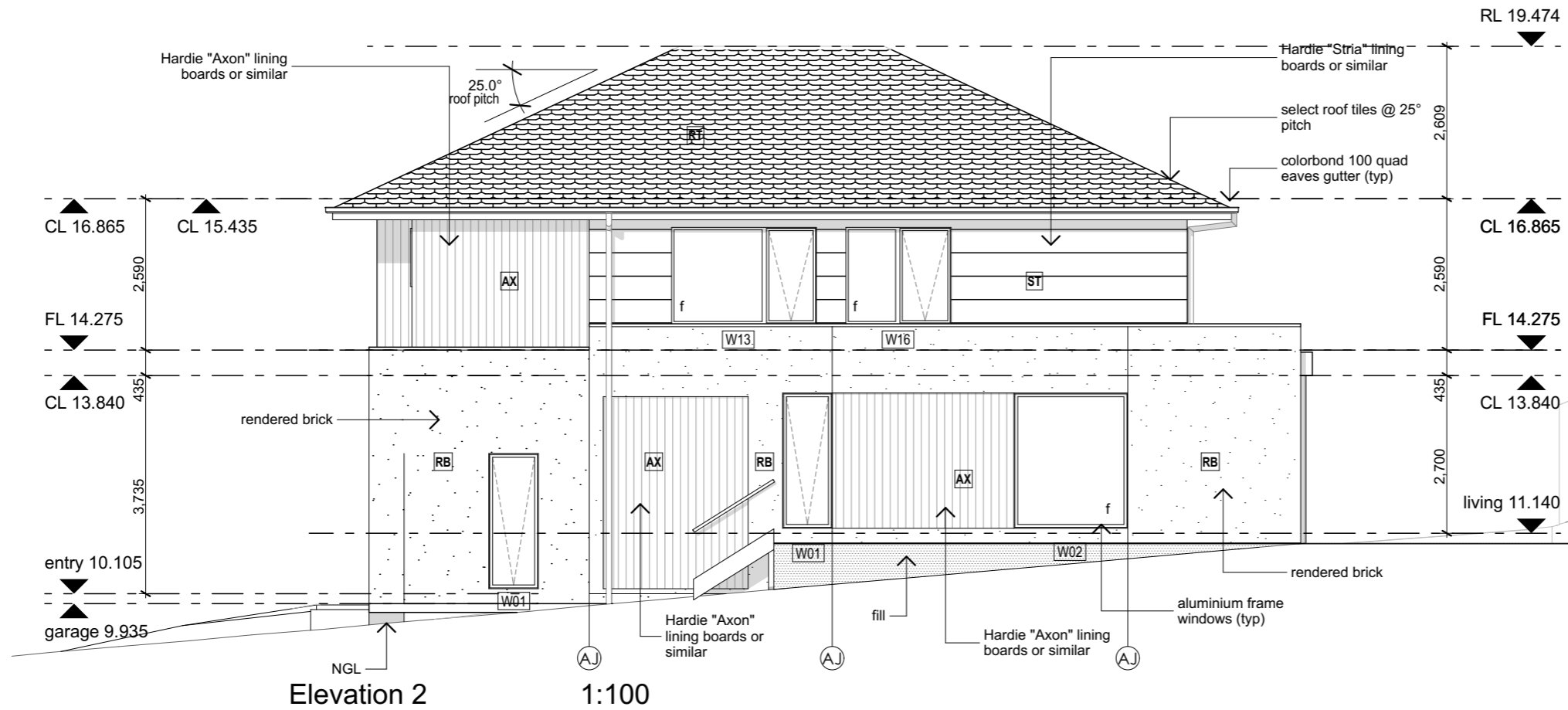
Project
 Warriewood Bazem
 Lot 11 Warriewood

Project Number
 11268

Drawing
 Elevations
 Elevations
 Project Status
 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number **A3000**
 Revision

WORK IN PROGRESS



Rev	Description	By	Date

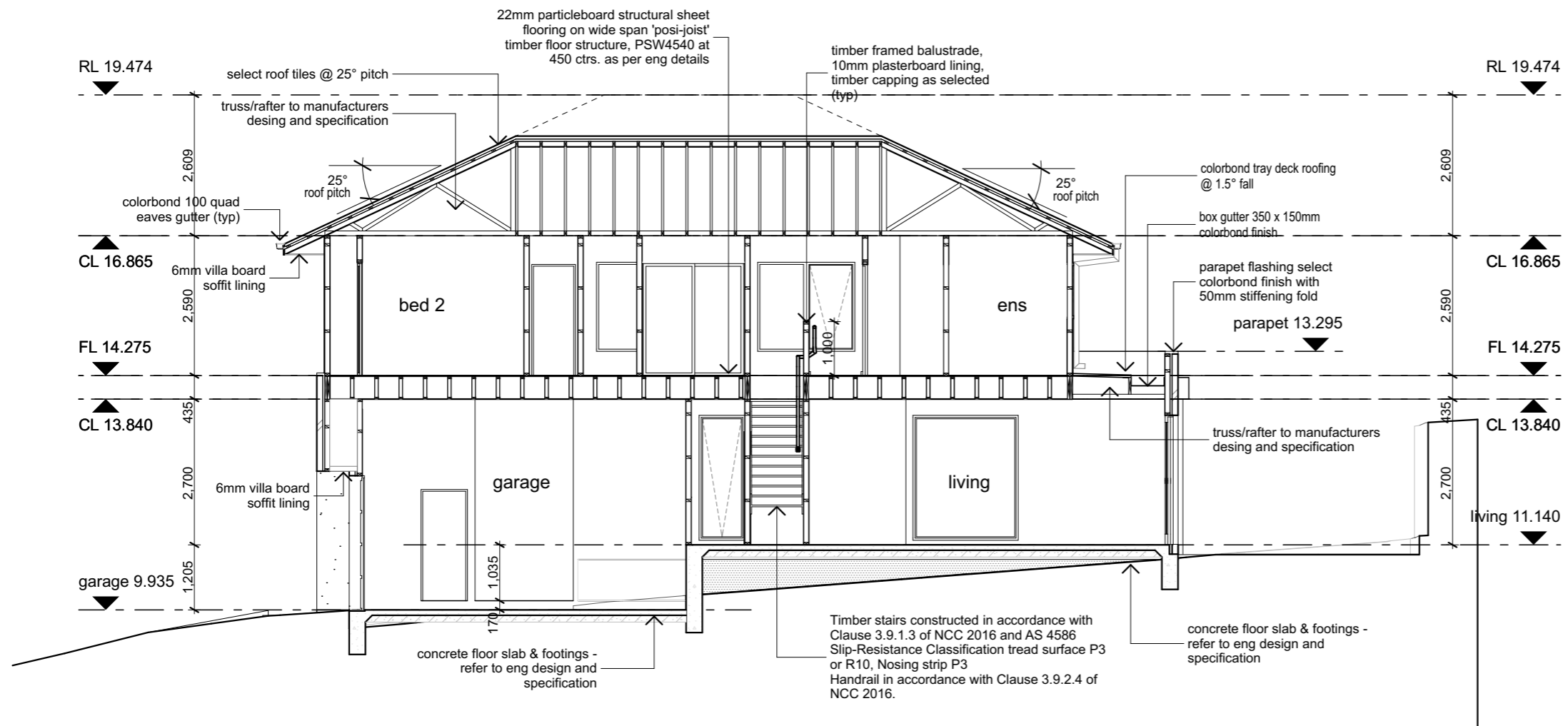
Project
 Warriewood Bazem
 Lot 11 Warriewood

Project Number
 11268

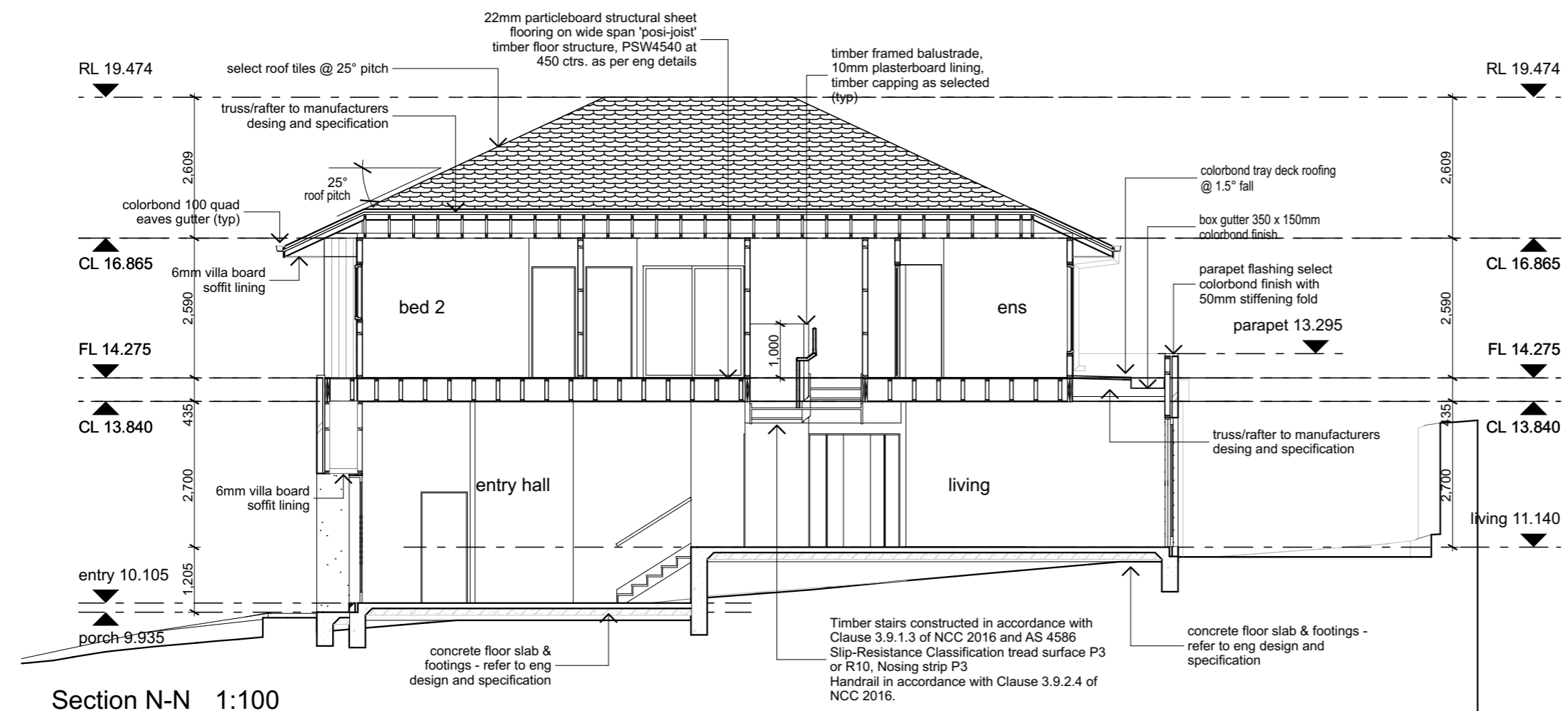
Drawing
 Elevations
 Elevations
 Project Status
 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number A3001
 Revision

WORK IN PROGRESS



Section M-M 1:100



Section N-N 1:100

Rev	Description	By	Date
-----	-------------	----	------

Project
 Warriewood Bazem
 Lot 11 Warriewood

Project Number
 11268

Drawing
 Sections
 Sections 2

Project Status
 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number A3101
 Revision

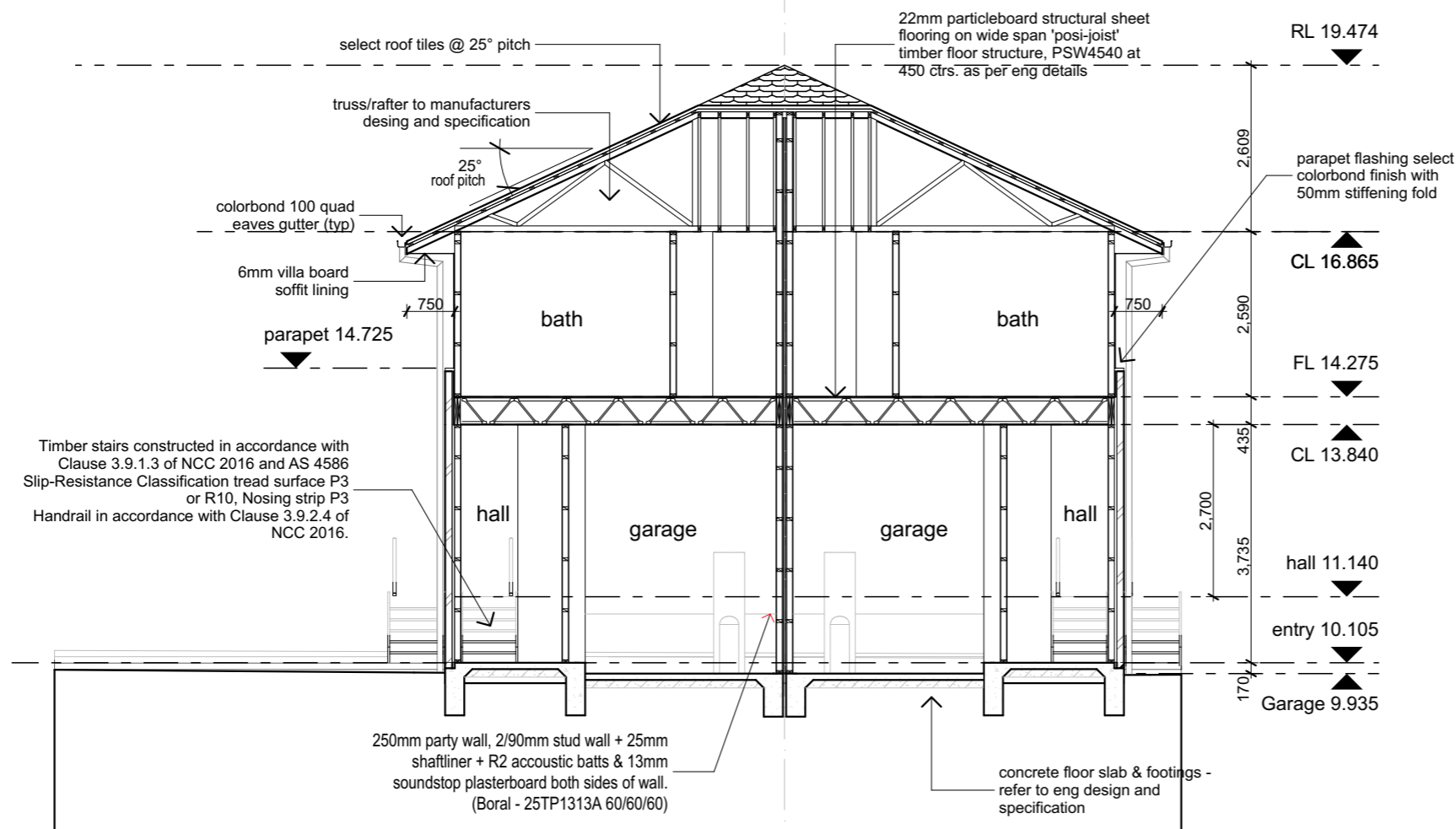
WORK IN PROGRESS



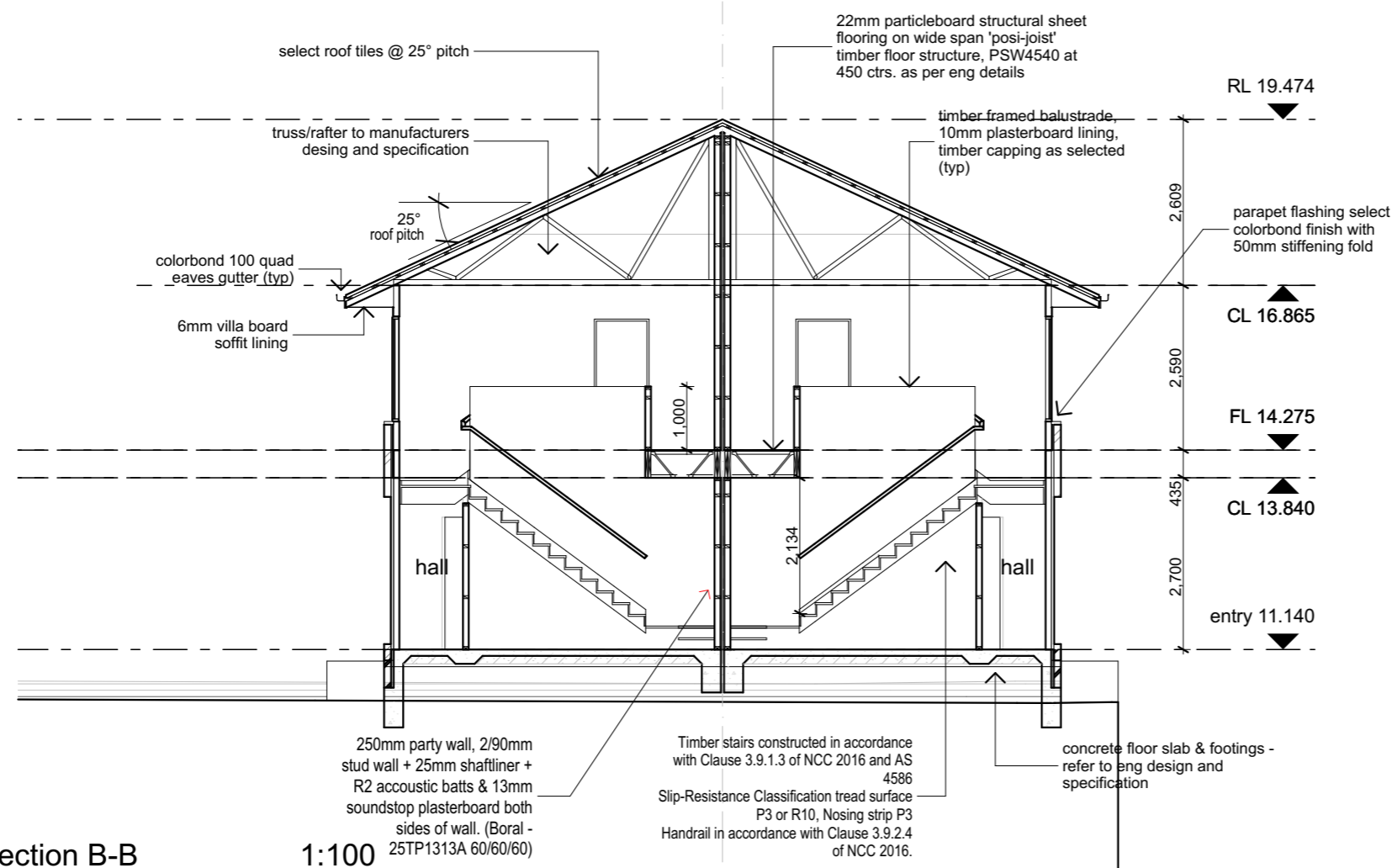
© dKO Architecture Pty Ltd

Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.

NOTES
Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.



Section A-A 1:100



Section B-B 1:100

Rev Description By Date

Project
Warriewood Bazem
Lot 11 Warriewood

Project Number
11268

Drawing
Sections
Sections
Project Status
PRELIMINARY - not for construction

Scale
Drawn BK Checked ML
Drawing Number A3100
Revision

WORK IN PROGRESS

printed: 04-Apr-20 4:22 AM

Window Schedule								
ID	W01	W01	W02	W03	W11	W12	W13	W13M
W x H Size	850x2,315	850x2,315	1,950x2,315	950x2,400	850x2,050	1,810x1,027	2,480x1,650	2,480x1,650
Stud opening								
Window head height	1,365	2,400	2,400	2,400	2,100	2,100	2,100	2,100
Elevations								
Quantity	2	2	2	2	2	2	1	1

Window Schedule					
ID	W14	W14M	W15	W16	W16M
W x H Size	1,810x1,650	1,810x1,650	850x1,057	1,800x1,650	1,800x1,650
Stud opening					
Window head height	2,100	2,100	2,100	2,100	2,100
Elevations					
Quantity	1	1	2	1	1

Door Schedule					
ID	D01L	D01R	D02	D02M	D03
W x H Size	920x2,340	920x2,340	3,600x2,400	3,600x2,400	2,600x2,506
Stud opening					
Door head height	2,340	2,340	2,400	2,400	1,281
3D Front View					
Quantity	1	1	1	1	2
Note					

printed: 04-Apr-20 4:22 AM



© dKO Architecture Pty Ltd
 Except as allowed under copyright act, no part of this drawing may be reproduced or otherwise dealt with without written permission of dKO Architecture.
 NOTES
 Builder/Contractor shall verify job dimensions before any job commences. Figured dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

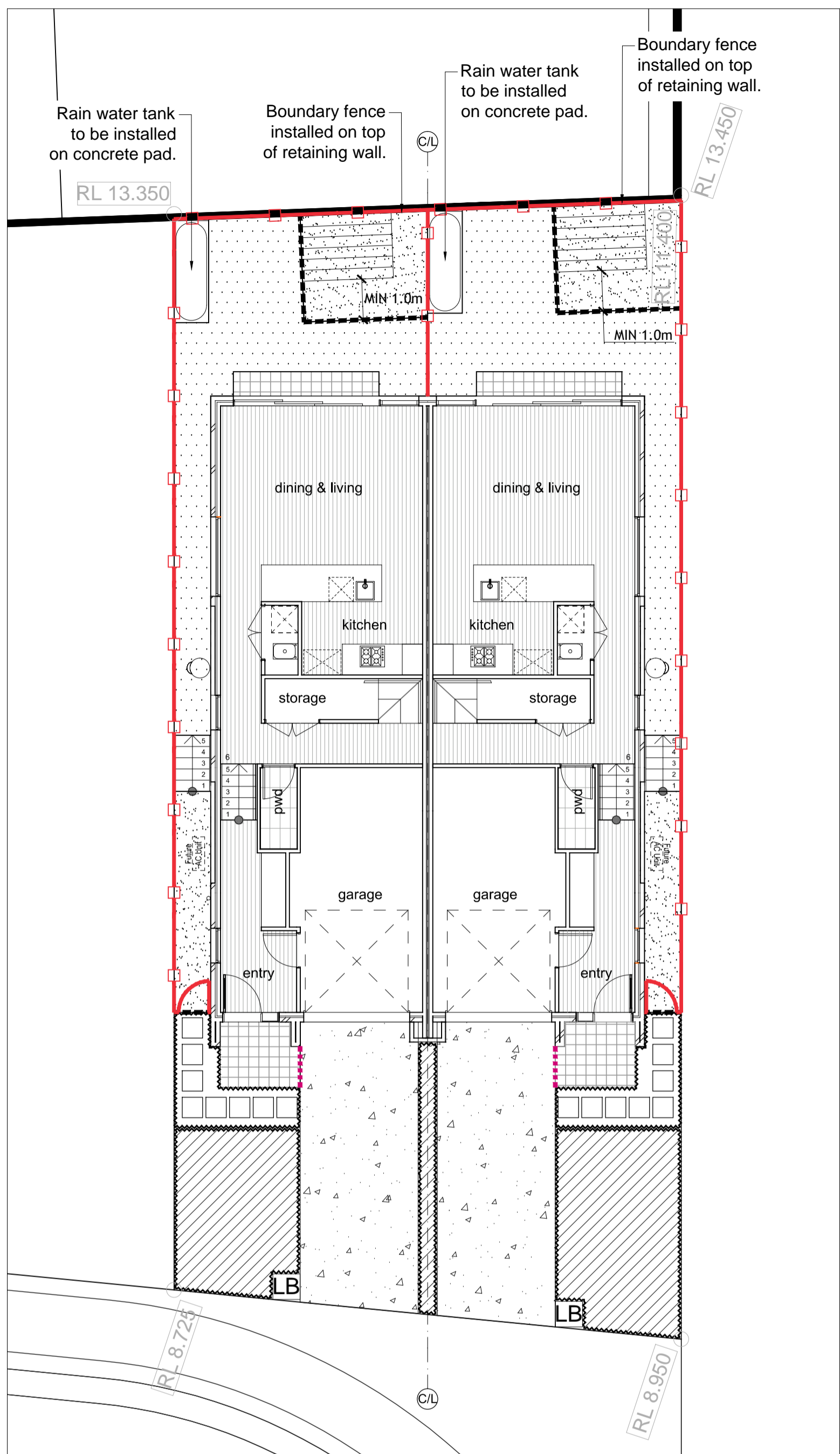
Architect
 dKO architecture (Vic) pty ltd
 Suite 2/112 Newquay Promenade
 Docklands, VIC, 3008, AUS
 T +61 3 8601 6000 / F+61 3 8601 6099
 www.dko.com.au / info@dko.com.au
 ABN: 61413783636

Rev	Description	By	Date
A	Street name changed, skylight SK1 deleted, W14 deleted		15.12.2015.

Client Details
 client
 Project
 Warriewood Bazem
 Lot 11 Warriewood

Project Number
 11268

Drawing
 D & W Schedule
 D & W Window Schedule
 Project Status
 PRELIMINARY - not for construction
 Scale
 Drawn BK Checked ML
 Drawing Number **A6000**
 Revision

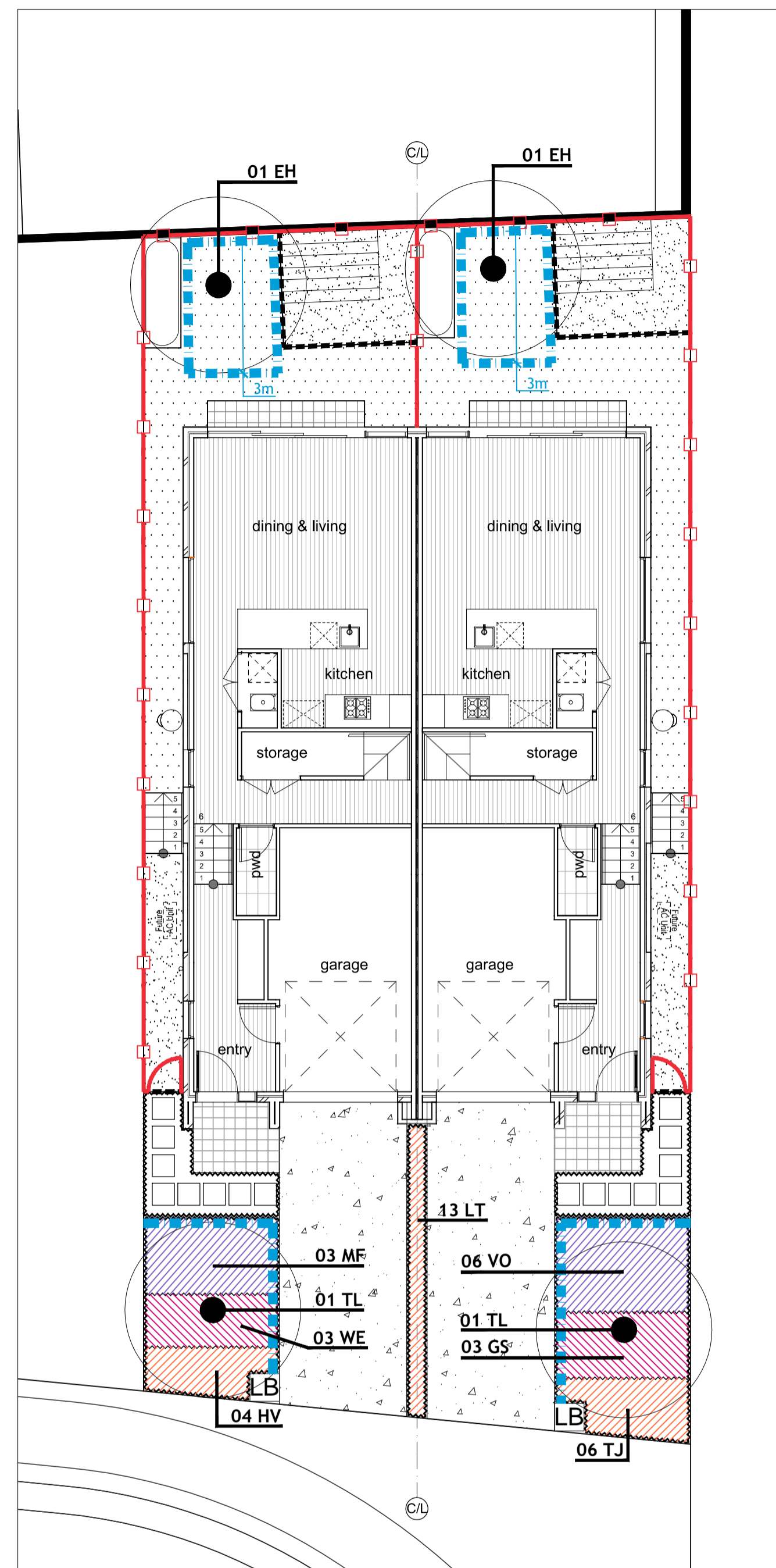


LEGEND

- MULCHED GARDEN BED ZONE**
Refer Surface Finishes Schedule on this sheet for further details.
- MULCHED AREA WITH STEPPING STONES**
Refer Surface Finishes Schedule on this sheet for further details.
- CONCRETE DRIVEWAYS**
Colored concrete.
- PAVING**
Colored concrete pavers. Refer to drawing for DA-02 further details.
- LAWN: 75mm TOPSOIL, GRASS SEED & FERTILISER**
Refer Surface Finishes Schedule on this sheet for further details.
- TUSCAN TOPPINGS: 75mm DEEP**
Refer Surface Finishes Schedule on this sheet for further details.
- 1.8m HIGH BOUNDARY FENCE & GATE**
NOTE: To Council standards.
- RETAINING WALLS**
Refer to Craig & Rhodes Engineers drawings for further information.
- TIMBER EDGE**
Refer to DA-02 (Landscape Details) for further information.
- STEPPING STONES**
500 X 500 Colored concrete pavers.
- FINISHED FLOOR LEVELS/PROPOSED FINISHED LEVELS**
- FINISHED GROUND LEVELS**
- ±120mm HIGH STEP FACED WITH PAVERS**
Refer to DA-02 (Landscape Details) for further information.
- WATER TANK**
Refer to DKO Architects drawings for further information.
- CLOTHES LINE**
Refer to DKO Architects drawings for further information.
- LETTER BOX**
Refer to DKO Architects drawings for further information.
- STEPS**
Refer to DKO Architects drawings for further information.

SURFACE FINISHES SCHEDULE

PLAN SYMBOL	SECTION	DESCRIPTION
		GARDEN BED
		MULCH AREA WITH STEPPING STONES
		LAWN
		TUSCAN TOPPINGS



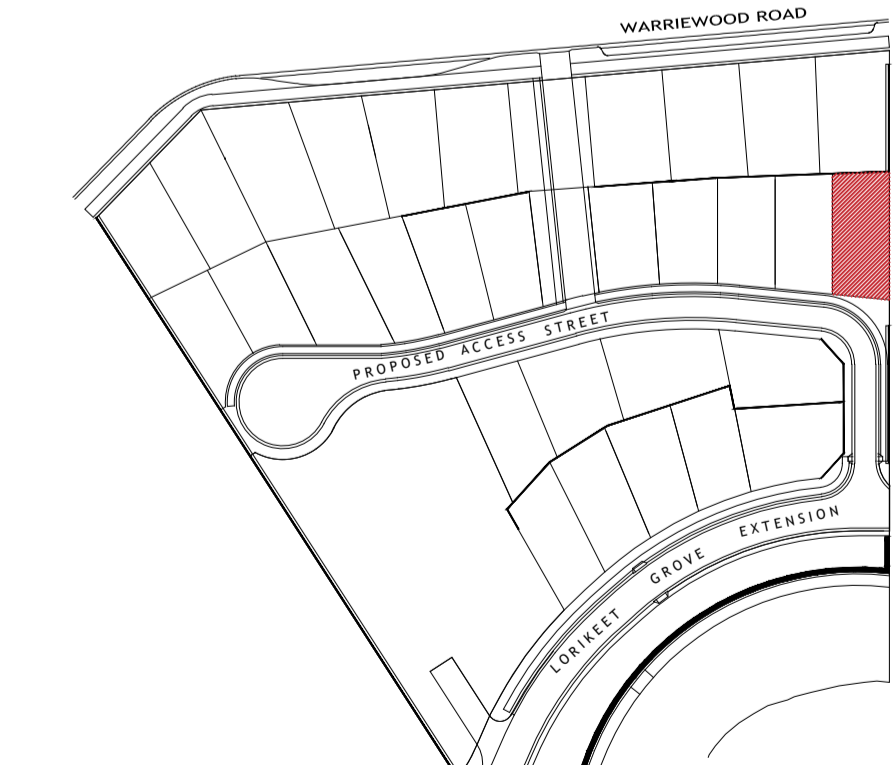
LEGEND

- PROPOSED PLANTING**
Refer to Plant Schedule on this sheet for further details.
- ROOT CONTROL BARRIER**
TYPE: Rootstop
SIZE: 1000mm (DEEP) x 50mm (THICK) x 3000mm (MIN. LENGTH)
SUPPLIER/MANUFACTURER: ARBORGREEN-TEL. 1300 760 642
NOTES: Installed as per supplier/manufacture instructions. Contractor to provide written confirmation stating all Root control barriers have been installed.
- PROPOSED TREES**
Refer to Plant Schedule on this sheet for further details.

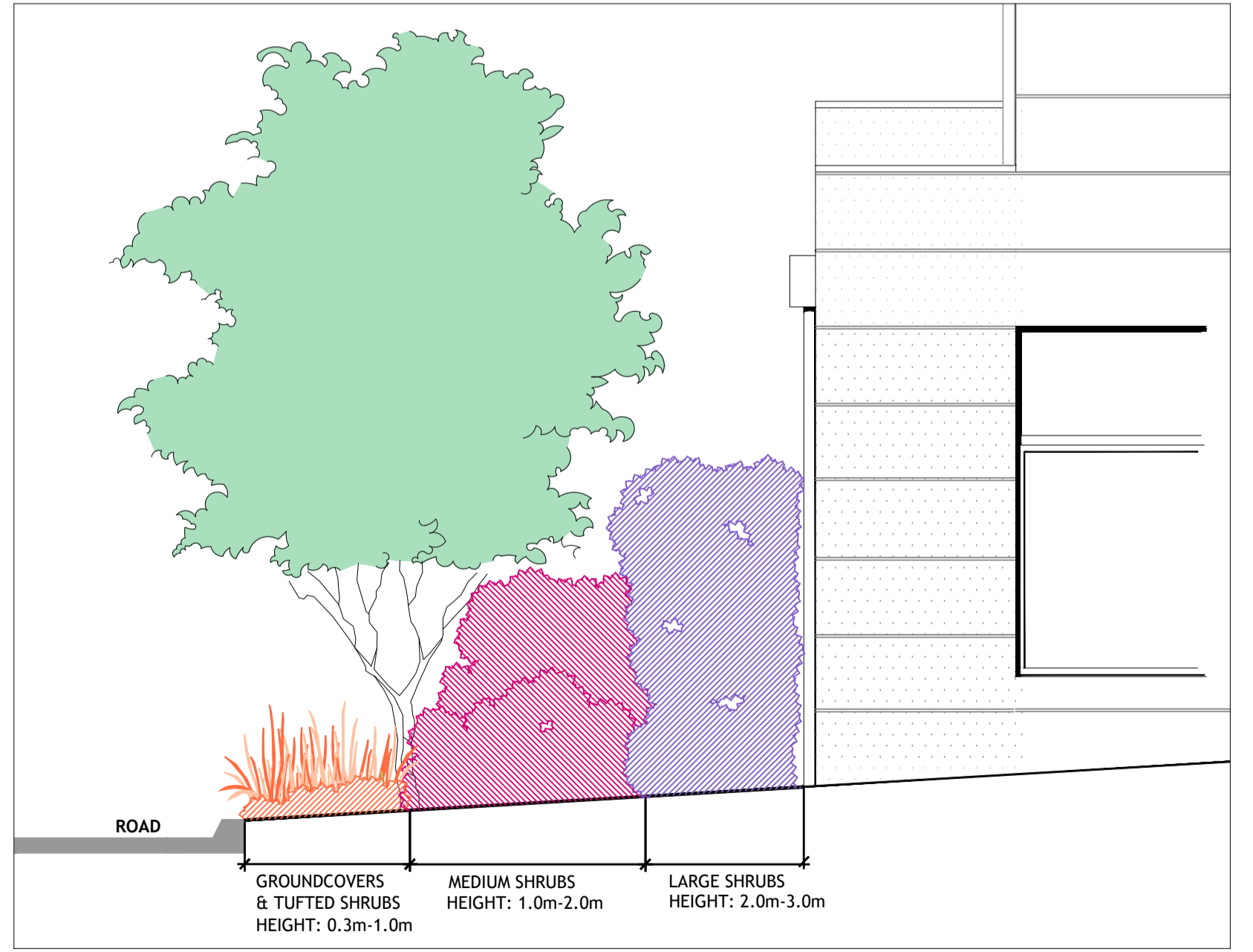
PLANT SCHEDULE

Code	Botanical Name	Common Name	Height & Width	Spacing	Pot Size/ Bag Size	Quantity
TREES (REAR YARDS)						
*EH	EUCALYPTUS haemastoma	Broad leaved Scribbly gum	12-15m x 5m	As shown	1.8m/45 Litre	02
TREES (FRONT GARDENS)						
**TL	TRISTANIOPSIS laurina	Kanooka Gum	12m x 4-6m	As shown	1.8m/45 Litre	02
LARGE SHRUBS						
MF	MICHELIA figo	Port Wine Magnolia	2.5m x 2m	As shown	200mm	03
VO	VIBURNUM odoratissimum	Sweet Viburnum	4-6m x 4m	As shown	200mm	06
MEDIUM SHRUBS						
WE	WESTRINGIA 'Wynabbie gem'	Westringia Wynabbie Gem	1.5m x 1.2m	As shown	200mm	03
GS	GREVILLEA sericea	Pink Spider Flower	1.5x 1.5m	As shown	200mm	03
GROUNDCOVERS & TUFTED PLANTS						
TJ	TRACHELOSPERMUM jasminoides	Star Jasmine	0.5m x 1m	As shown	200mm	06
LT	LOMANDRA 'Tanika'	Tanika	0.7m x 0.7m	As shown	200mm	13
HV	HARDENBERGIA violacea 'Meema'	Native Sarsparilla	0.5x 1.0m	As shown	200mm	04

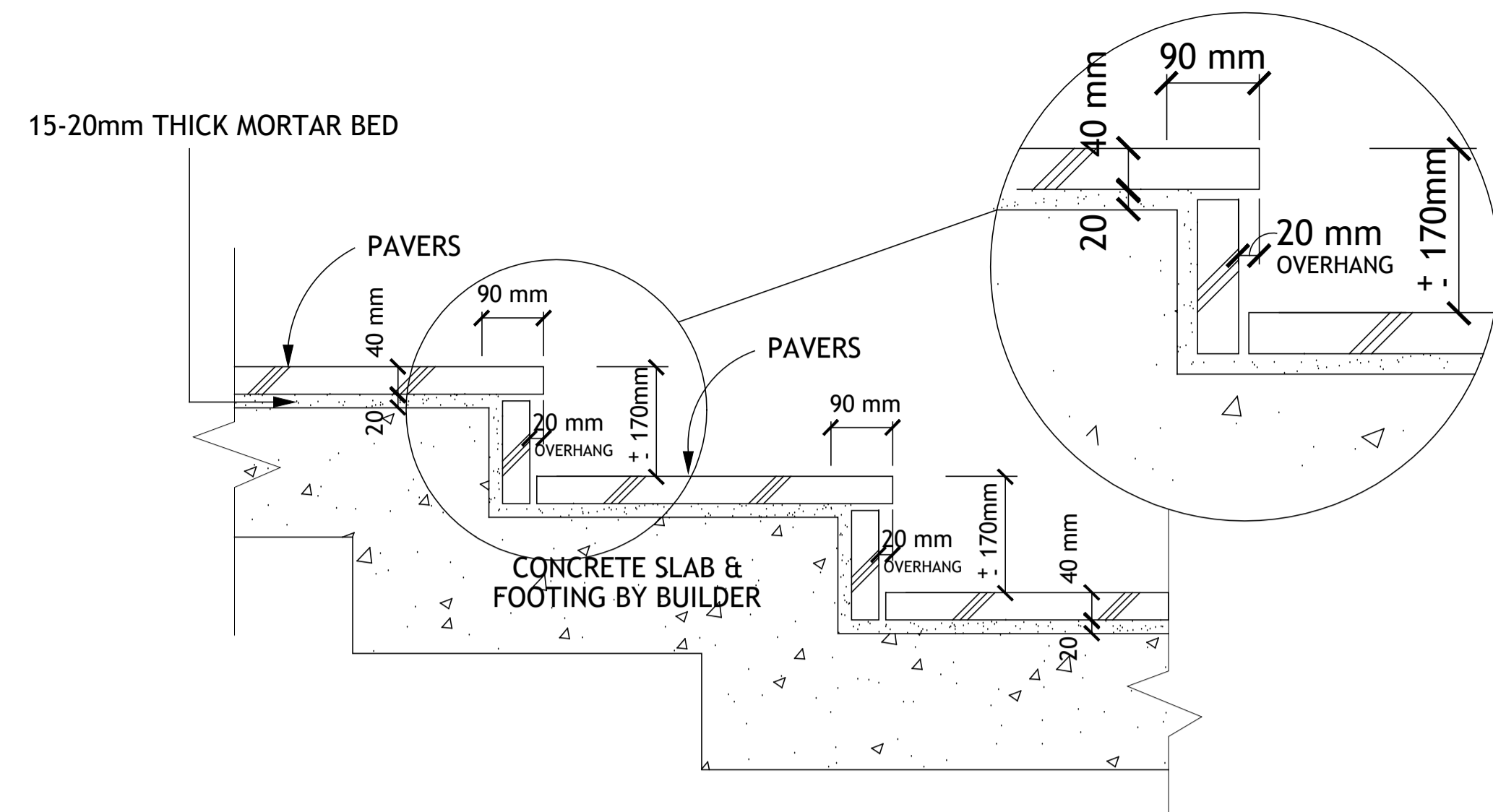
NOTES: All 45 Litre Trees planted in the rear of lots to have Root control barriers.
 ** All Trees to be Planted as 45 Litre container. Refer to installation detail on DA-02.
 # Plant Species have been selected from the following sources:
 1. PDCP 21 Control D16.5 Landscaped Areas for Newly Created Individual Allotments-Plant lists;
 2. Warriewood Valley Landscape Masterplan and Urban Design Guidelines-Plant List
 3. Pittwater Council-Native Plants for Your Garden-Lowlands Plant List;
 4. Pittwater Council-Prelodgement Report-Recommended Plants;
 # Less than 20% of the shrub species are exotic species and within the 30% allowable range.



SITE CONTEXT PLAN
NTS



A TYPICAL SECTION FOR PLANTING LAYOUT
NTS



A STEP RISERS- Typical Detail

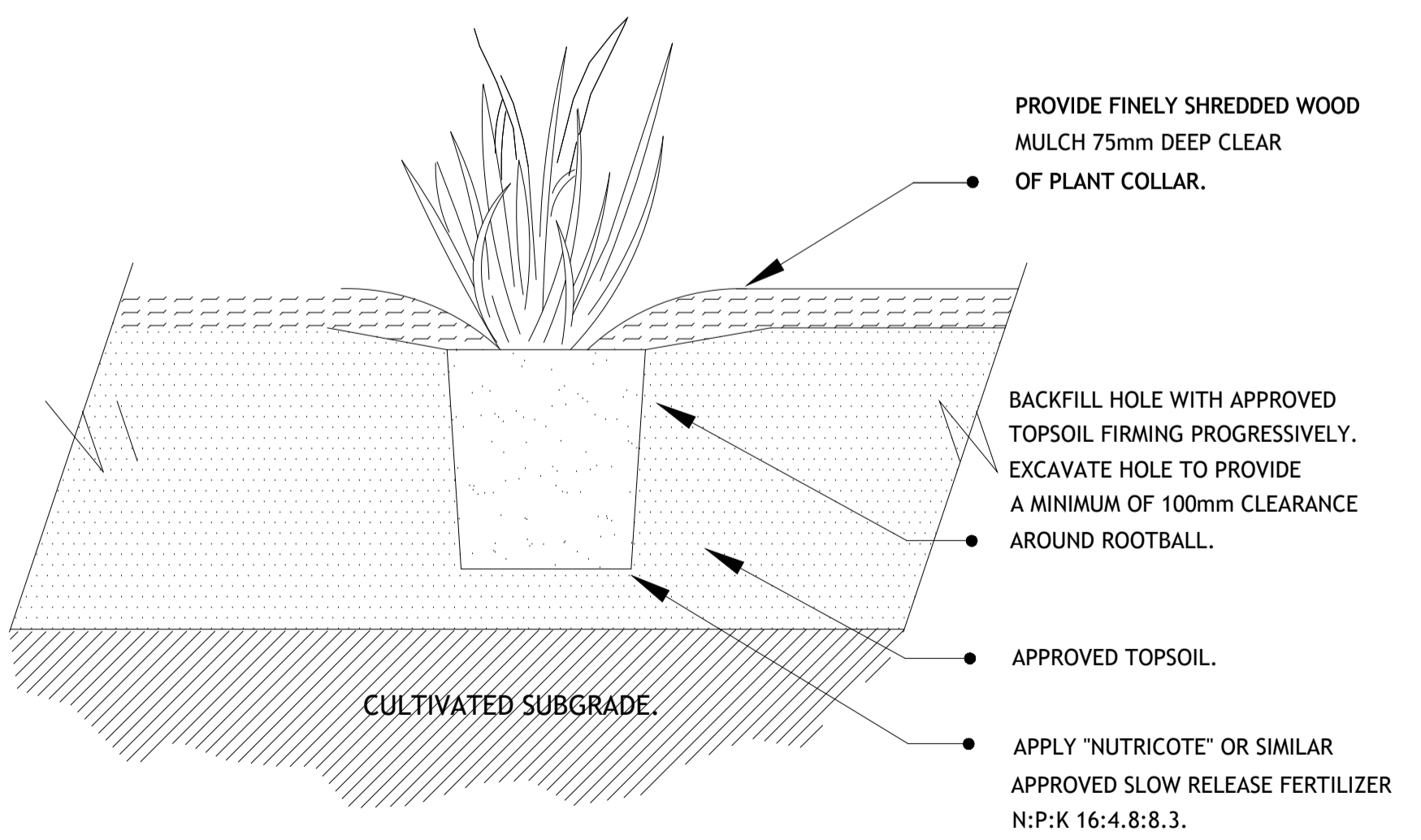
NOT TO SCALE

SURFACE FINISHES SCHEDULE

PLAN SYMBOL	SECTION	DESCRIPTION
		UNIT PAVERS ON CONC.
		COLOURED CONCRETE PAVERS ON A 15-20mm THICK MORTAR BED.
		75mm INSITU CONCRETE WITH F62 MESH CENTRAL
		50mm 20NS CLASS 2 CRUSHED ROCK
		PREPARED SUBGRADE

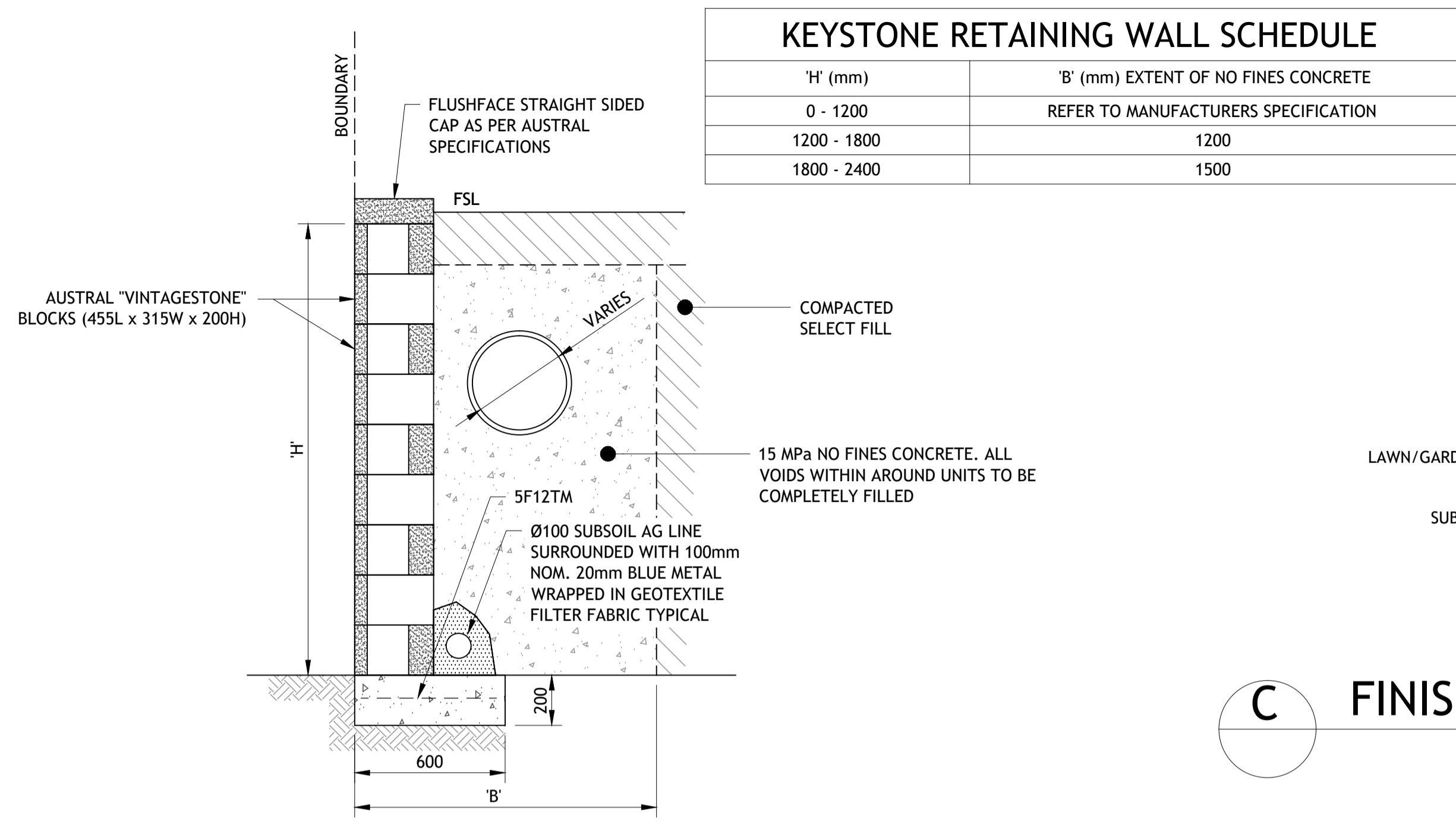
A. NOTE: CONCRETE FOOTINGS FOR FRONT STEPS TO BE DOWELLED INTO HOUSE SLAB & CONCRETE DRIVEWAY. CONFIRM & OBTAIN APPROVAL ON-SITE WITH BUILDER, THE DOWELLING METHOD, PRIOR TO WORKS BEING UNDERTAKEN.

B. NOTE: EXPANSION & CONTROL JOINTS TO ALL ADJOINING CONCRETE WORKS. CORKING TO BE INSTALLED AT ALL CONNECTIONS TO THE HOUSE, PATHS & DRIVEWAYS.



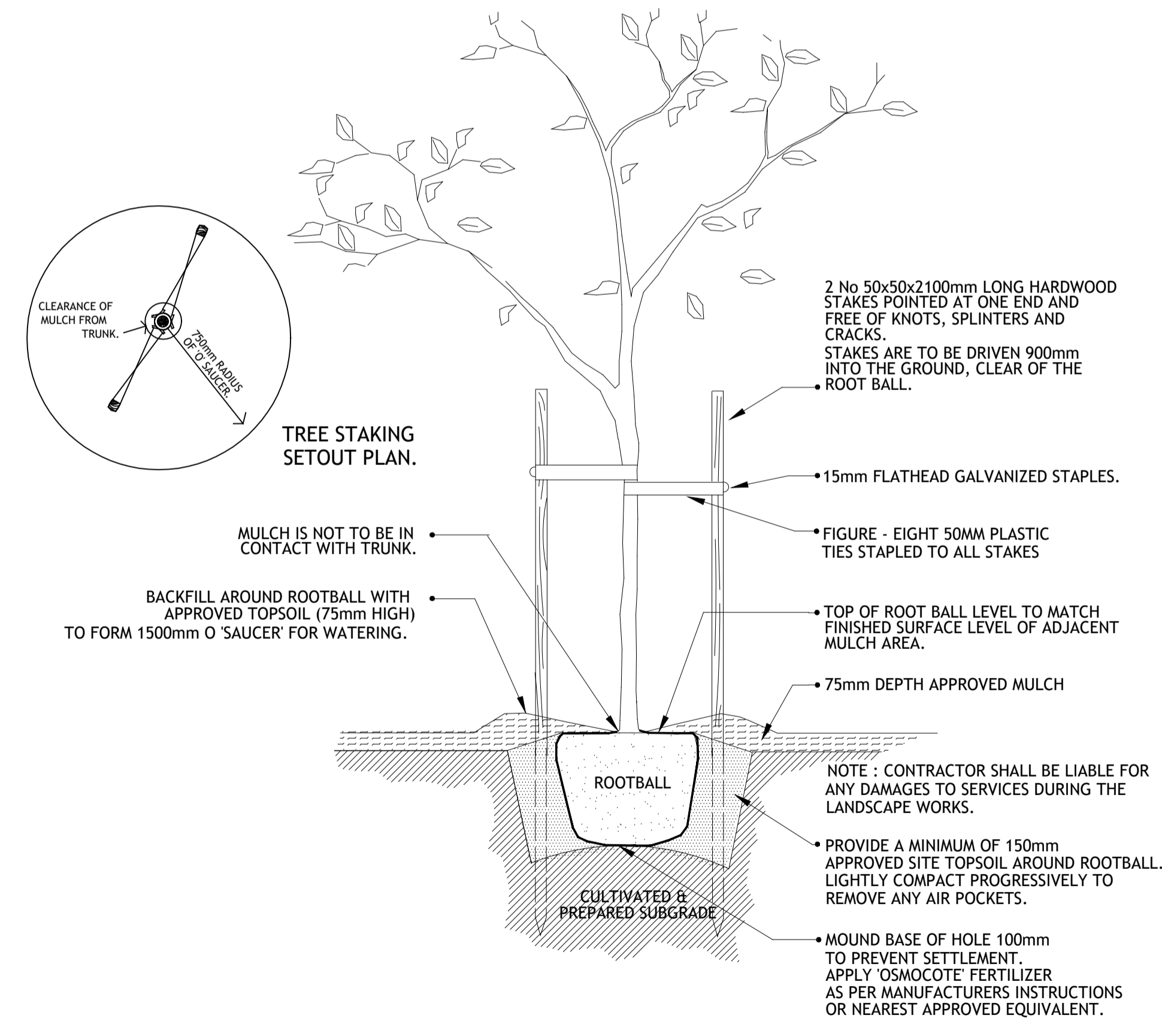
D PLANTING DETAIL - 200mm

NOT TO SCALE



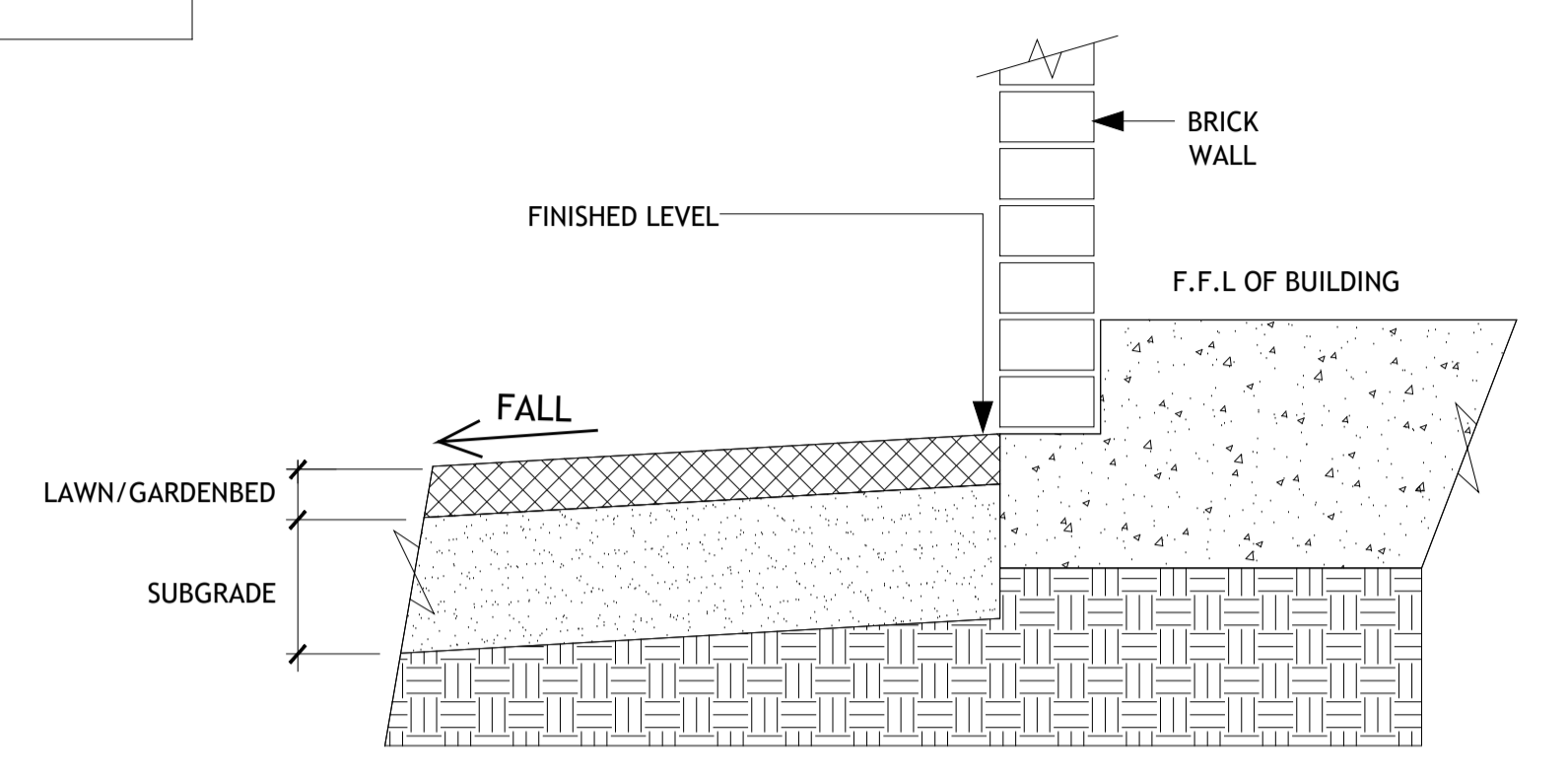
B TYPICAL KEYSTONE BLOCK RETAINING WALL

NOTE: THE ABOVE DETAIL HAS BEEN PREPARED AND PROVIDED BY CRAIG & RHODES ENGINEERS & HAS BEEN APPROVED BY COUNCIL AS PART OF THE CIVIL ENGINEERING WORKS.



E ADVANCED TREE PLANTING DETAIL- 45 Litres Tree

NOTE: CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGES TO SERVICES DURING THE LANDSCAPE WORKS.



C FINISHED SURFACE GRADING DETAIL

MAINTENANCE & ESTABLISHMENT PERIOD

THE WHOLE OF THE WORKS SHALL BE UPHELD AGAINST ANY DEFECTS DUE TO FAULTY AND/OR POOR WORKMANSHIP AND MAINTAINED FOR A PERIOD OF 12 MONTHS.

THE FOLLOWING IS A BREAKDOWN OF ALL MAINTENANCE ITEMS INCLUDING WATERING TO BE COMPLETED.

TREES: ALL TREE STAKING TO BE MAINTAINED AS PER THE TREE PLANTING DETAILS AT ALL TIMES. STAKES & TIES TO BE STRAIGHTENED AND REPLACED TO ENSURE STABILITY. ALL TREES ARE TO BE OF SOUND STRUCTURE AND DISPLAY GOOD HEALTH AND ARE FREE OF DISEASE AND PESTS. IF ANY SPRAYING OR TREATMENT FOR PEST AND DISEASE CONTROL IS REQUIRED, THESE SHOULD BE COMPLETED AS PER MANUFACTURER'S INSTRUCTIONS.

ANY DEAD OR POOR PERFORMING TREES SHALL BE REPLACED IMMEDIATELY. TREE STAKES NEED TO BE REGULARLY MONITORED AND RELOCATED AWAY FROM TREE BRANCHES IF THEY ARE DAMAGING THE TREES. MULCH BOWLS AT THE BASE OF EACH TREE ARE TO BE WEED-FREE AT ALL TIMES AND MULCH DEPTHS REGULARLY MAINTAINED AS PER INSTALLATION TREE DETAIL.

GARDEN BEDS & PLANTING: HERBICIDE SPRAY & REMOVE ALL WEEDS, ROCKS AND RUBBISH FROM THE SITE ON A MONTHLY BASIS. FULL COVERAGE OF PLANTS TO BE REQUIRED AT THE END OF THE MAINTENANCE PERIOD. ALL MULCHED AREAS TO BE MAINTAINED AT THE NOMINATED DEPTHS AS PER THE INSTALLATION DETAILS. ANY DEAD OR POOR PERFORMING PLANTS WITHIN THE GARDEN BEDS SHALL BE REPLACED IMMEDIATELY, AT THE EXPENSE OF THE CONTRACTOR. SPRAYING OF ALL PLANTS FOR PEST AND DISEASE CONTROL TO COMPLETED ON AN 'AS NEEDS' BASIS. ANY SPRAYING OF PLANTS SHALL BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. THE SAFETY AND PRECAUTION INSTRUCTIONS ARE TO BE READ, UNDERSTOOD AND APPLIED.

GRASS SEEDED LAWNS: ALL LAWN AREAS ARE TO BE HERBICIDED ONCE PER MONTH, WITH ALL WEEDS, ROCKS AND RUBBISH REMOVED OFF-SITE. A RED-DYE IS TO BE MIXED WITH THE HERBICIDE TREATMENT TO CONFIRM A MONTHLY APPLICATION. MOW ALL AREAS & BRUSH-CUT ALL ADJOINING EDGES - 12 TIMES PER YEAR. THE HEIGHT OF GRASS IS NOT TO EXCEED 120MM HIGH. THE AVERAGE GRASS HEIGHT OF 40-60MM HIGH IS REQUIRED AT ALL TIMES. THE TIMES OF THE YEAR REQUIRING MOWING MAY VARY DEPENDING ON THE SEASON, HOWEVER THE NOMINATED HEIGHT OF GRASS IS TO BE ADHERED TOO. TOP-SOILING AND RE-SEEDING OF BARE AREAS IS TO BE COMPLETED. REGULAR FERTILIZING OF SEEDED LAWNS SHALL BE COMPLETED AS PER THE MANUFACTURERS INSTRUCTIONS. THE OWNER IS TO REGULARLY MONITOR THE IRRIGATION SYSTEM, ENSURING THE CORRECT QUANTITY AND DISTRIBUTION OF WATER TO ALL PLANTS IS BEING UNDERTAKEN. ADJUSTMENTS TO THE WATERING REGIME WILL NEED TO BE REGULATED THROUGHOUT THE YEAR, DEPENDING ON THE SEASON.

IRRIGATION SYSTEM: THE OWNER IS TO REGULARLY MONITOR THE IRRIGATION SYSTEM, ENSURING THE CORRECT QUANTITY AND DISTRIBUTION OF WATER TO ALL PLANTS IS BEING UNDERTAKEN. ADJUSTMENTS TO THE WATERING REGIME WILL NEED TO BE REGULATED THROUGHOUT THE YEAR, DEPENDING ON THE SEASON.

REGULAR MONITORING AND ASSESSMENT OF ALL IRRIGATION MATERIALS AND FIXTURES IS TO BE COMPLETED, ENSURING WATER IS BEING DISTRIBUTED TO ALL PLANTS AND TURF AREAS. REGULAR MONITORING OF THE CONTROL BOX TIMER IS TO BE COMPLETED.

DA APPROVAL

HAMILTON LANDSCAPE ARCHITECTS PTY LTD
 Site Planning | Urban Design | Landscape Architecture
 1 York Place, Carlton VIC 3053 - Australia | Tel: +61 03 9348 2800
 E-mail: office@hla.net.au | http://www.hla.net.au

PROJECT
WARRIEWOOD LOT 11

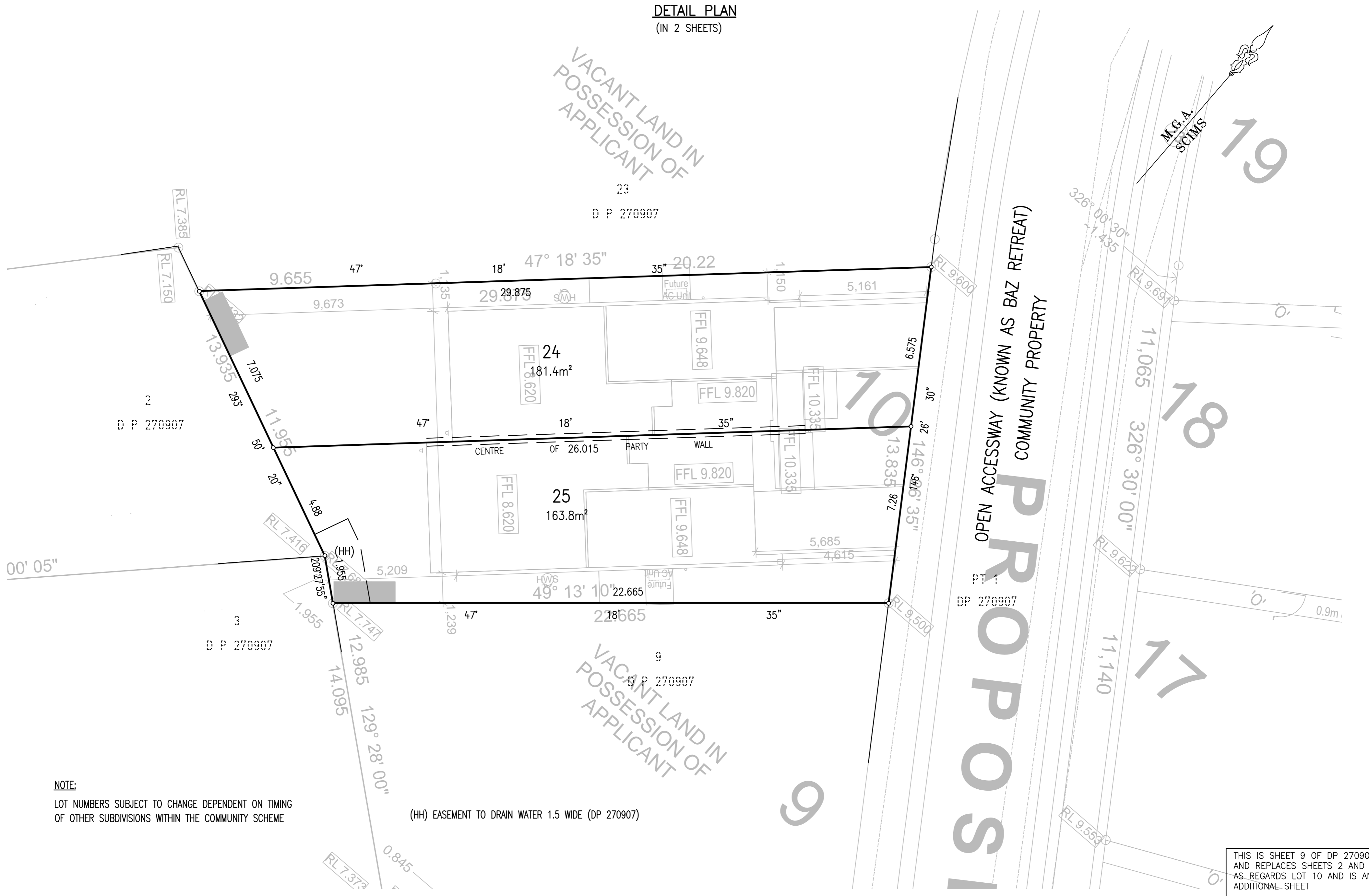
DRAWING LANDSCAPE DETAILS FOR: E & P COMELLI PTY LTD
 SCALE 1:100 @ A1 DRAWN WL DATE 30/09/2019 JOB NUMBER 19-046

DRAWING No.
DA-02

REVISION
A

FILE NAME
Lot 11 Landscape Plan

DETAIL PLAN
(IN 2 SHEETS)



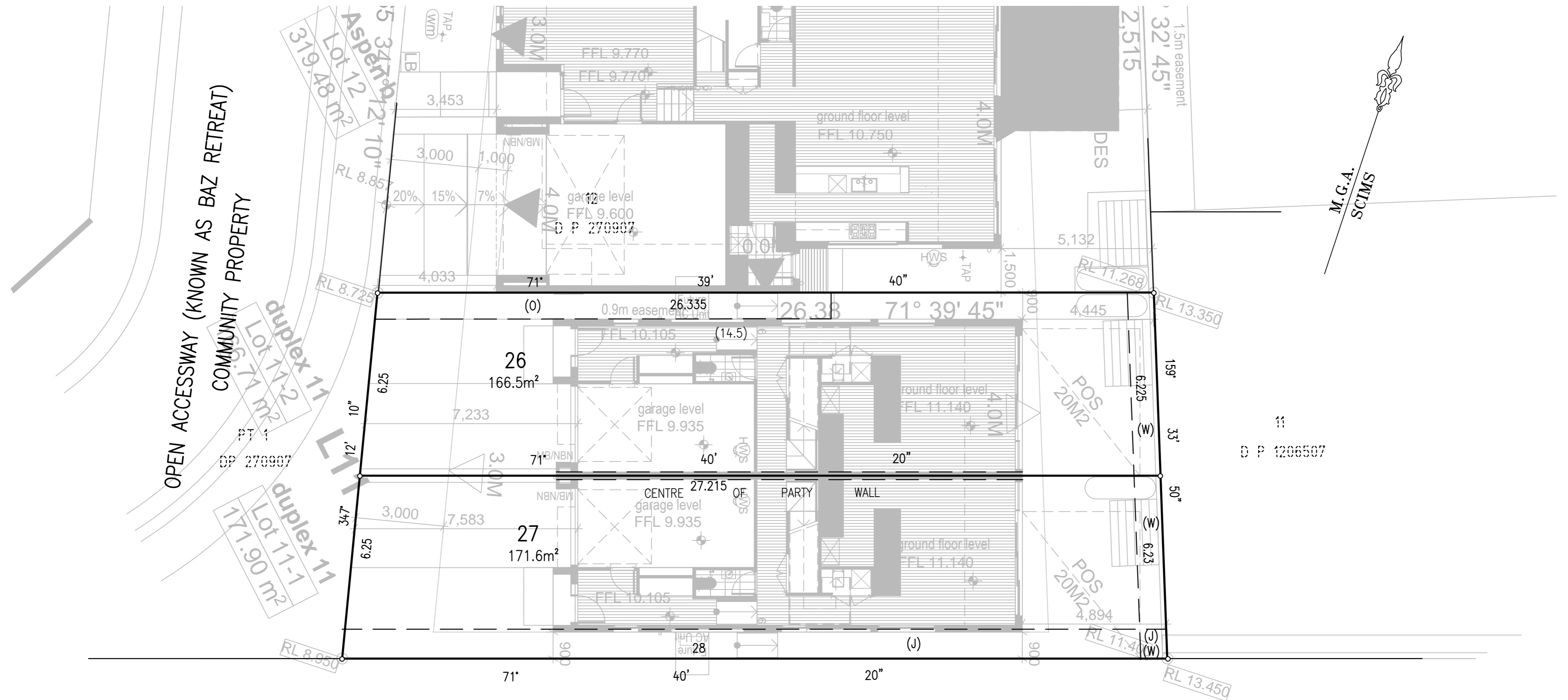
NOTE:
 LOT NUMBERS SUBJECT TO CHANGE DEPENDENT ON TIMING
 OF OTHER SUBDIVISIONS WITHIN THE COMMUNITY SCHEME

(HH) EASEMENT TO DRAIN WATER 1.5 WIDE (DP 270907)

THIS IS SHEET 9 OF DP 270907
 AND REPLACES SHEETS 2 AND 3
 AS REGARDS LOT 10 AND IS AN
 ADDITIONAL SHEET

SURVEYOR Name: MITCHELL KEITH AYRES Date: Reference: 201953 SUB PH	PLAN OF SUBDIVISION OF LOTS 10 AND 11 DP 270907	LGA: NORTHERN BEACHES Locality: WARRIEWOOD Reduction Ratio: 1:100 Lengths are in metres.	REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	PRINTED 20 NOV 2019 ISSUE 1
---	--	---	--	--------------------------------

DETAIL PLAN
(IN 2 SHEETS)



NOTE:

LOT NUMBERS SUBJECT TO CHANGE DEPENDENT ON TIMING OF OTHER SUBDIVISIONS WITHIN THE COMMUNITY SCHEME

- (J) EASEMENT FOR GAS MAIN 1 WIDE (DP 1206507)
- (O) EASEMENT FOR ACCCESS CONSTRUCTION & MAINTENANCE 0.9 WIDE (DP 270907)
- (W) EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE (DP 1206507)

29
SEC C
D P 5484

THIS IS SHEET 10 OF DP 270907 AND REPLACES SHEETS 2 AND 4 AS REGARDS LOT 11 AND IS AN ADDITIONAL SHEET

<p>SURVEYOR Name: MITCHELL KEITH AYRES Date: Reference: 201953 SUB PH</p>	<p>PLAN OF SUBDIVISION OF LOTS 10 AND 11 DP 270907</p>	<p>LGA: NORTHERN BEACHES Locality: WARRIEWOOD Reduction Ratio: 1:100 Lengths are in metres.</p>	<p>REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.</p>	<p>PRINTED 20 NOV 2019 ISSUE 1</p>
---	--	---	--	--