TREVOR R HOWSE

21 NOV 2007

Our Ref: CP27065–1 TM

Your Ref: DA No: N0321/07

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/ Madam

Re: Construction Certificate
84 Mona Vale Road Mona Vale 2103

We refer to our engagement in respect of the above and enclose the Construction Certificate for such in accordance with the provisions of the Environmental Planning and Assessment Act 1979.

Please find enclosed the appointment of PCA and Notice of Commencement of Work.

Should you require any further information please do not hesitate to contact the undersigned.

Yours faithfully

Trent De Maria
Consultant
for Trevor R Howse & Associates Pty Ltd

SCANNED
26 NOV 2007
PITTWATER COUNCIL

Encl.

Rec: 228979 $30 23/11/07.

Trevor R Howse & Associates Pty Ltd ABN 24 003 753 839
Level 8, 210 George Street, Sydney NSW 2000 PO Box N694, Grosvenor Place, NSW 1220
Telephone +612 9251 4500 Facsimile +612 9252 9822 Email trh@trh.com.au www.trh.com.au

Building Regulations
Fire Safety Engineering
Management Services

CONSTRUCTION CERTIFICATE

BUILDING WORKS

TREVOR R HOWSE

PRELIMINARIES	
CERTIFICATE NO. :	CP27065-1 TM
PROPERTY :	Lot 120 DP 135512 No. 84 Mona Vale Road MONA VALE NSW 2103
APPLICANT :	Paynter Dixon Constructions Pty Ltd

DEVELOPMENT CONSENT	
CONSENT NO. :	N0321/07
DATE OF ISSUE :	5 October 2007
CONSENT AUTHORITY :	Pittwater Council

DETERMINATION	
DETERMINATION :	APPROVED
DATE :	21 NOV 2007
REFUSAL REASONS :	N/A

DEVELOPMENT DESCRIPTION	
APPROVED WORKS :	New Bowlers amenities building, new greenkeepers shed, relocation of the existing greenkeepers maintenance shed, landscaping and ancillary site works.
CLASSIFICATIONS :	The building contains a mixture of classes, namely:- ▪ Class 5; and, ▪ Class 10a
COST OF WORKS :	$851,600.00
BUILDING SOLUTION :	Deemed-to-satisfy
EXCLUSIONS :	This certificate relates only to those works approved within the Development Consent, and excludes all other works / inconsistencies. This Certificate does not authorise the construction of wire mesh screens to the external façade of the building, or the roof cover to the wash bay.

CERTIFYING AUTHORITY	
CERTIFIER :	Hayden L Howse
ACCREDITED BY :	Building Professionals Board – BPB 0188
STATEMENT :	Work completed in accordance with approved documentation, without variation to the Development Consent, will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979.
SIGNED :	

Trevor R Howse & Associates Pty Ltd ABN 24 003 753 839
Level 8, 210 George Street, Sydney NSW 2000 PO Box N694, Grosvenor Place, NSW 1220
Telephone +612 9251 4500 Facsimile +612 9252 9822 Email trh@trh.com.au www.trh.com.au

FIRE SAFETY SCHEDULE						
Fire Safety System	**Existing**	**Performance Standard**	**Year**	**Proposed**	**Performance Standard**	**Year**
Fire rated access panels & doors	NO			NO		
Automatic fail safe devices	NO			NO		
Automatic fire detection & alarm	NO			**Yes**	AS 3786	1993
Automatic fire suppression systems	NO			NO		
Emergency lifts	NO			NO		
Emergency lighting	NO			**Yes**	AS 2293.1 BCA Clause E4.4	2005 2007
EWIS	NO			NO		
Exit signs	NO			**Yes**	AS 2293.1 BCA Clause E4.8	2005 2007
Fire control centres & rooms	NO			NO		
Fire dampers	NO			NO		
Fire doors	NO			NO		
Fire hydrant systems	NO			NO		
Fire seals	NO			NO		
Fire shutters	NO			NO		
Fire windows	NO			NO		
Hose reel systems	NO			NO		
Lightweight construction	NO			NO		
Mechanical air handling systems	NO			NO		
Perimeter emergency vehicle access	NO			NO		
Portable fire extinguishers	NO			**Yes**	AS 2444 & BCA Clause E1.6	2001 2007
Safety curtain in proscenium opening	NO			NO		
Smoke & heat vents	NO			NO		
Smoke dampers	NO			NO		
Smoke detectors & heat detectors	NO			NO		
Smoke doors	NO			NO		
Solid core doors	NO			NO		
Standby power systems	NO			NO		
Wall-wetting sprinkler / drenchers	NO			NO		
Warning & operational signs	NO			NO		
OTHER	NO			NO		

CONSTRUCTION CERTIFICATE DOCUMENTATION

ANNEXURE	TITLED	DATED
1	Application Form	14.11.2007
2	Notice of Appointment of PCA	14.11.2007
2	Long Service Levy Payment (Receipt No. 227852)	08.11.2007
2	Haron Robson Electrical Services Statement	13.11.2007
2	Taylor Thomson Whitting Pty Ltd Consulting Engineers Design Certificate	15.11.2007
2	Taylor Thomson Whitting Pty Ltd Consulting Engineers Statement of Battered Banks	13.11.2007
2	Paytner Dixon Statement of finishes	13.11.2007
2	NSW Plumbing Services Pty Limited Design Certification	05.11.2007
2	AWTA Textile Test Report 7-516871-BO	20.02.2003
2	Bergstrom Architects Design Statement	15.11.2007
2	NSW Plumbing Services Pty Limited Stormwater Design Statement	15.11.2007
2	ILC Access Disabled Path Report	19.11.2007
2	Cardno Pty Ltd Design Statement	20.11.2007

CONSTRUCTION CERTIFICATE PLANS – ARCHITECTURAL *as prepared by Bergstrom Architects*		
PLAN NO	**TITLED**	**DATED**
WD 200 A	Elevations	20.09.2007
WD 201 A	Sections / Details	20.09.2007
WD 600 A	Internal Elevations	20.09.2007
CC 100 A	Site / Roof Plan	15.11.2007
CC 102 A	New Disabled Ramp Plan	15.11.2007
CC 101 A	Floor Plan	15.11.2007

CONSTRUCTION CERTIFICATE PLANS - SERVICES		
PLAN NO	**TITLED**	**DATED**
LPDA 08-06/1	Landscape Plan Proposed Amenities Area	July 2007
DA 1.00	Location Plan & Drawing List – Sydney Water Stamped Plan	03.06.2007
S0001	Slab Plans & Details	11.09.2007
S0002	Pavement Plan	11.09.2007
S0003	Pavement Details	28.08.2007
S0004	Retaining Wall Detail	29.08.2007
S0005	Future Amenities Building Slab Plan & Details	11.09.2007
600102-200 C	Cover Sheet and Drawing Schedule	20.11.2007
600102-201 C	OSD Stormwater Plan – Sheet 1 of 2	20.11.2007
600102-202 C	OSD Stormwater Plan – Sheet 2 of 2	20.11.2007
600102-203 C	Stormwater Longitudinal Sections – Line 'A'	20.11.2007
600102-204 C	Stormwater Longitudinal Sections – Line 'B' 'C' 'D' 'E"	20.11.2007
600102-205 C	Typical Details	20.11.2007
600102-225 C	Rainwater Tank Details	20.11.2007
600102-230 C	Erosion and Sediment Control Plan	20.11.2007
600102-231 C	Erosion and Sediment Control Notes and Details	20.11.2007

ANNEXURE "1"

CONSTRUCTION CERTIFICATE
APPLICATION FORM

APPLICATION FORM

TREVOR R HOWSE

- [ ] COMPLYING DEVELOPMENT CERTIFICATE (CDC)
- [x] CONSTRUCTION CERTIFICATE (CC)
- [ ] INTERIM OCCUPATION CERTIFICATE (IOC)
- [ ] OCCUPATION CERTIFICATE (OC)

APPLICANT (complete for any application)	
NAME / COMPANY :	PAYNTER DIXON CONSTRUCTIONS PTY LTD
ADDRESS :	320 LIVERPOOL ROAD
SUBURB / STATE :	ASHFIELD NSW 2131
STATEMENT :	I apply for approval to carry out the development / works described within this application. I declare all information given to be true and correct.
SIGNED :	

CONSENT OF OWNER (complete for CDC & CC only)	
NAME / COMPANY :	PITTWATER RSL CLUB
ADDRESS :	84 MONA VALE ROAD
SUBURB / STATE :	MONA VALE NSW
STATEMENT :	As owner (s) of the subject land, I / we consent to this application and Trevor R. Howse & Associates Pty Ltd entering the land for inspection.
SIGNED :	

SUBJECT LAND (complete for any application)			
ADDRESS :	84 MONA VALE ROAD		
SUBURB / STATE :	MONA VALE NSW		
COUNCIL AREA :	PITTWATER		
LOT NO :	120	DP / ~~SP~~ :	135512

DEVELOPMENT DESCRIPTION (complete for any application)			
CLASSIFICATION :			
COST OF WORKS :	$851,600 —		
D/A CONSENT NO. :	NO 321/07	DATE :	5-10-07

Trevor R Howse & Associates Pty Ltd ABN 24 003 753 839
Level 8, 210 George Street, Sydney NSW 2000 PO Box N694, Grosvenor Place, NSW 1220
Telephone +612 9251 4500 Facsimile +612 9252 9822 Email trh@trh.com.au www.trh.com.au

Building Regulations
Fire Safety Engineering
Management Services

DEVELOPMENT DESCRIPTION (complete for any application)	
▪ PROPOSED WORKS	BOWLER'S AMENITIES BUILDING, NEW GREENKEEPERS SHED, RELOCATION OF EXISTING GREENKEEPERS SHED, LANDSCAPING + ANCILLARY SITE WORKS.
▪ AREA OF OCCUPATION :	490M²

ACCOMPANYING DOCUMENTATION (complete for any application)	
NO.	TITLED
	STRUCTURAL
	CIVIL

FIRE SAFETY SCHEDULE (complete for CDC & CC only)				
Fire Safety System	Existing	Performance Standard	Proposed	Performance Standard
Fire rated access panels & doors				BCA C3.13
Automatic fail safe devices				
Automatic fire detection & alarm				AS 1670 AS 3786
Automatic fire suppression systems				AS 2118.1
Emergency lifts				BCA C3.4
Emergency lighting			✓	AS/NZS 2293.1
EWIS				AS 1670.4 AS 4428.4
Exit signs			✓	AS/NZS 2293.1
Fire control centres & rooms				BCA E1.8
Fire dampers				AS/NZS 1668.1, 2
Fire doors				AS 1905.1
Fire hydrant systems				AS 2419.1
Fire seals				BCA C3.15, C3.16
Hose reel systems				AS 2441
Lightweight construction				BCA C1.8
Mechanical air handling systems				AS/NZS 1668.1, 2
Perimeter emergency vehicle access				BCA C2.4
Portable fire extinguishers			✓	AS 2444
Safety curtain in proscenium opening				BCA H101.10
Smoke & heat vents				BCA Spec. E2.2c
Smoke dampers				AS/NZS 1668.1, 2
Smoke detectors & heat detectors			✓	~~AS 1670~~ AS 3786
Smoke doors				BCA Spec. C3.4
Solid core doors				BCA Spec. C3.4
Standby power systems				
Wall-wetting sprinkler / drenchers				BCA C3.2
Warning operational signs				BCA C3.6, D2.23, E3.3, H101.8
Other				

AUSTRALIAN BUREAU OF STATISTICS (complete for CDC & CC only)

Legislative requirement

PARTICULARS OF BUILDING

What is the area of the land (m^2)?	
What are the proposed uses of all parts of the building(s)/Land?	
How many pre-existing dwellings?	
What is the gross floor area of the existing building (m^2)	
What are the current uses of the building?	
Does the site contain a dual occupancy?	
How many dwellings are to be demolished?	
How many dwellings are proposed?	
What is the gross floor area of the proposed addition or new building (m^2)?	
How many storeys will the building consist of?	

MATERIALS TO BE USED

(tick the empty box as applicable)

ROOF			WALL			FLOOR			FRAME		
Tiles	10		Brick (double)	11		Concrete / slate	20	✓	Timber	40	✓
Concrete / slate	20		Brick (veneer)	12		Timber	40		Steel	60	
Fibre cement	30		Concrete / stone	20		Other	80		Aluminium	70	
Steel	60	✓	Fibre cement	30	✓	Not specified	90		Other	80	
Aluminium	70		Timber	40					Not specified	90	
Other	80		Curtain glass	50							
Not specified	90		Steel	60							
			Aluminium	70							
			Other	80							
			Not specified	90							

RESIDENTIAL WORKS – BUILDER DETAILS (complete for CDC & CC only)

NAME :	
ADDRESS :	
SUBURB / STATE :	
LICENSE NO : **(attach copy of license)**	
OWNER BUILDER :	Where the works are to be performed by an owner builder, a declaration signed by the owner of the land is required, to the effect that reasonable market cost of the labour and materials is less than the amount prescribed in section 29 of the Home Building Act for ***owner builder work***

ANNEXURE "2"

OTHER DOCUMENTATION

Pittwater Council

OFFICIAL RECEIPT

08/11/2007 Receipt No 227852

To paynter dixon constructions
pty limited

locked bag 9
ashfield nsw 2131

Applic	Reference	Amount
GL Re	QLSL-Buil 1 x n0321/07	$2,980.60

Total:	$2,980.60
Amounts Tendered	
Cash	$0.00
Cheque	$2,980.60
Db/Cr Card	$0.00
Money Order	$0.00
Agency Rec	$0.00
Total	$2,980.60
Rounding	$0.00
Change	$0.00
Nett	$2,980.60

Printed 08/11/2007 9:16:07

Cashier CDicks

LONG SERVICE BUILDING & CONSTRUCTION

See reverse of form for instructions

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

PART A – DETAILS OF PERSON OR COMPANY WHO IS LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person) or Company/Organisation name: PAYNTER DIXON CONSTRUCTIONS

Given names (if person):

ABN (if applicable):

POSTAL ADDRESS No. and street or PO Box: LOCKED BAG 9

Town/suburb: ASHFIELD

State: NSW Postcode: 2131 Bus. hours phone: 97975555

PART B – DETAILS OF WORK – to be completed by the Authority issuing the building approval

Number and street: 84 MONAVALE ROAD

Town/suburb: MONA VALE

State: NSW Postcode: 2103

Estimated start date: D 26 M 11 Y 2007 Estimated finish date: D M 03 Y 2008

PART C – DETAILS OF WORK – to be completed by the Authority issuing the building approval

Local Council Area: Pittwater

[1] DA/CC/CDC No.: N0321/07

Estimated value of work (see note on back): $ 851,600.00 Levy payable $ 2,980.60

[1] If you have provided a CC above, please provide DA number here:

Signature of Officer/Private Certifier: Date: D 8 M 11 Y 2007

Name of Officer/Private Certifier: C. LUMMAS Business hours phone: 02 9970 1111

PART D – DETAILS – to be completed by the Authority issuing the building approval – see reverse

Department/Authority:

Contract/DA No (circle which): Contract amount $

Levy payable $

Contact person (Print): Phone number:

Contact person (Signature): Date: D M Y

PART E – DECLARATION – to be completed by the person who is liable to pay the levy

Any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name: A. FUCILE Signature: Date: D 08 M 11 Y 2007

PART F – EXEMPTION CERTIFICATE – see reverse

Exemption Approval Certificate No.

Building and Construction Industry Long Service Payments Corporation, Locked Bag 3000, Central Coast MC NSW 2252
Tel: 13 14 41 Fax: (02) 9287 5685 Email: levy@lspc.nsw.gov.au www.lspc.nsw.gov.au ABN 93 646 090 808

HARON ROBSON
Electrical Consultants and Lighting Designers

13 November, 2007

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD NSW 2131

Attention: Tony Fucile

RE: PITTWATER RSL CLUB – BOWLS AMENITIES
ELECTRICAL SERVICES STATEMENT OF DESIGN INTENT

The Electrical Services for the above project in the new Bowlers Amenities Building covered under DA No. N0321/07 shall be documented in accordance with the following:

- The Smoke Alarm System shall be designed in accordance with Australian Standard AS 3786.
- The Emergency and Exit Sign Lighting System shall be designed in accordance with Clause E4.2 to E4.8 of the Building Code of Australia and AS 2293.1 2005 utilising "pictogram" legend and exit signs.
- The Electricity Supply System shall be designed in accordance with DA Conditions B5 in that the new supply shall be in underground wiring.
- The Lighting to Pedestrian Pathways within the development shall be designed in accordance with Australian Standard AS 1158.3.1 1999 Road lighting Pedestrian (Category P) Performance and Installation Design Requirements.
- The Internal Lighting within the development shall be designed in accordance with Australian Standard AS 1680.0 and Part F4.4 of the Building Code of Australia 2007. Interior lighting Circulation Spaces and Other General Areas.

When the design documentation is complete, our office shall issue a Design Certificate (as per Building Code of Australia) confirming that the systems have been designed in accordance with the requirements of the Building Code of Australia.

When the Electrical Contractors Contractor has completed the installation, testing and commissioning of the systems he shall have to provide Statements of Compliance (as per Building Code of Australia) that the systems have been installed, tested and found to operate in accordance with the requirements of the Building Code of Australia and the relevant Australian Standards.

Haron Robson Pty Ltd
ABN 54 050 140 531
191 Victoria Road
Drummoyne 2047 NSW Australia
PO Box 330
Drummoyne 1470 NSW Australia
T 61 2 9819 6611
F 61 2 9819 6665
info@haronrobson.com.au
www.haronrobson.com.au

Should you have any questions on this matter please do not hesitate to contact the undersigned at this office.

Yours faithfully,
HARON / ROBSON PTY LTD

Tom Russell
Director

trussell@haronrobson.com.au

Taylor Thomson Whitting (NSW) Pty Ltd Consulting Engineers ACN 113 578 377
48 Chandos Street St Leonards NSW 2065 PO Box 738 Crows Nest NSW 1585
T 61 2 9439 7288 F 61 2 9439 3146 ttwsyd@ttw.com.au www.ttw.com.au

TaylorThomsonWhitting

15th November 2007 071188

Trevor Howse & Associates Pty Ltd
Level 8, 210 George Street
SYDNEY NSW 2000

Attention: Hayden Howse

PITTWATER RSL BOWLERS AMENITIES BUILDING
DESIGN CERTIFICATE

Dear Sir,

We certify that we have prepared the structural design of Pittwater RSL Bowlers Amenities Buildings as shown on Drawing No. 071188; S0001-C, S0002-C, S0003-A, S0004-A, S0005-B in accordance with the following Australian Standards:

AS 3600-2001	Concrete Structures
AS 4100-1998	Steel Structures
AS 2870-1996	Residential Slabs and Footings

and the structure shown would be sufficient to carry the relevant loads specified in the AS 1170 Parts 0, 1, 2-1989, AS 1170 Part 4-2007, Minimum design loads on structures.

For and on behalf of
TAYLOR THOMSON WHITTING (NSW) PTY LTD

ROB MACKELLAR
Director

P:\2007\0711\071188\Certificates\071115 Design Certificate Bowlers Amenities Building.doc

Structural
Civil
Traffic
Facade
Engineers

TTW Group
Directors
RT Green BE(Hons) MEng Sc RE Aust
D Carolan BE(Hons) MEng Sc MIE Aust
R VanKatwyk BE(Hons) DipEng MIE Aust
R Mackellar BE(Hons) MIE Aust
B Young BE(Hons) MIE Aust
M Eddy BE(Hons)
Technical Directors
P Yannoulatos BE(Hons) Dip LGE MIE Aust
B Smith BE(Hons) MEng Sc MIE Aust
D Genner BE(Hons) MIE Aust
D Jeffree BE MIE Aust
S Brain BE(Hons) MIE Aust
R McDougall BE MIE Aust
Associate Directors
M Hennessy BSc(Eng)Hons Dip Eng
G Hetherington BE(Hons) MIE Aust
S Schuetze BE(Hons) MIE Aust
M Rogers BSc(Hons) MIE Aust
T Shamrock BE(Hons) BEc MIE Aust
A Soroggie BE(Hons) LLB MIE Aust
J Tropiano BE MIE Aust
N Foye BE(Hons) MIE Aust
G Freeman BE(Hons) Grad Dip IT MIE Aust
G Janes BE(Hons) MIE Aust
H Nguyen BSc(Eng) MIE Aust
D Taylor BE(Hons) MIE Aust
Associates
G. Peschack JP

Taylor Thomson Whitting (NSW) Pty Ltd Consulting Engineers ACN 113 578 377
48 Chandos Street St Leonards NSW 2065 PO Box 738 Crows Nest NSW 1585
T 61 2 9439 7288 F 61 2 9439 3146 ttwsyd@ttw.com.au www.ttw.com.au

TaylorThomsonWhitting

13 November 2007 071188

Paynter Dixon Constructions
320 Liverpool Road
Ashfield NSW 2131

Attention: Tony Fucile

PITTWATER RSL BOWLERS AMENITIES BUILDINGS
DA No. 321/07 CONDITIONS OF APPROVAL
Clause 7.3 - EXISTING BATTERED BANKS

Dear Tony,

Further to Pittwater Councils' Condition of approval Clause 7.3 we confirm that the battered bank to the East and South of the proposed Amenities building as shown on the Architectural drawing WD101 are existing and that following advice from Geotechnical engineers Douglas Partners Pty Ltd dated 13th November 2007 we are satisfied that the battered banks are in a stable condition.

Structural
Civil
Traffic
Facade
Engineers

Yours faithfully,
TAYLOR THOMSON WHITTING (NSW) PTY LTD

ROB MACKELLAR
Director

P:\2007\0711\071188\Letters\071113 Battered Bank Stability.doc

TTW Group

Directors
RT Green BE(Hons) MEng Sc FIE Aust
D Carolan BE(Hons) MEng Sc MIE Aust
R VanKatwyk BE(Hons) DipEng MIE Aust
R Mackellar BE(Hons) MIE Aust
B Young BE(Hons) MIE Aust
M Eddy BE(Hons)
Technical Directors
P Yannoulatos BE(Hons) Dip LGE MIE Aust
B Smith BE(Hons) MEng Sc MIE Aust
D Genner BE(Hons) MIE Aust
D Jeffree BE MIE Aust
S Brain BE(Hons) MIE Aust
R McDougall BE MIE Aust
Associate Directors
M Hennessy BSc(Eng)Hons Dip Eng
G Hetherington BE(Hons) MIE Aust
S Schuster BE(Hons) MIE Aust
M Rogers BSc(Hons) MIE Aust
T Sharrock BE(Hons) BEc MIE Aust
A Scroggie BE(Hons) LLB MIE Aust
J Tropiano BE MIE Aust
N Foye BE(Hons) MIE Aust
G Freeman BE(Hons) Grad Dip IT MIE Aust
G Janes BE(Hons) MIE Aust
H Nguyen BSc(Eng) MIE Aust
D Taylor BE(Hons) MIE Aust
Associates
G. Petschack JP

13th November 2007

Job Ref: PRL 1/18

PAYNTER DIXON

Paynter Dixon Constructions Pty Limited
ABN 84 097 120 315

320 Liverpool Road, Ashfield NSW 2131
Telephone (02) 9797 5555
Facsimile (02) 9716 6870
www.paynterdixon.com.au

Trevor R Howse & Associates Pty Ltd
PO Box N694
GROSVENOR PLACE NSW 1220

RE: Pittwater RSL Club – DA No. 321/07
Construction Certificate

We hereby confirm that in accordance with 'condition No. B6' the external materials and finishers in the 'finishers board' submitted to council and approved by council will be incorporated in the construction of this amenities building as listed in DA N0321/07

Yours faithfully
PAYNTER DIXON CONSTRUCTIONS PTY LIMITED

Theo Penglis
PROJECT MANAGER

Direct Line: 9797 5568
Mobile: 0425 317 701
e-mail: theo.penglis@paynterdixon.com.au
web: www.paynterdixon.com.au

N.S.W. PLUMBING SERVICES PTY. LIMITED
Contractors Authority No. A567 Inc. in NSW ABN 78 000 369 059
47/A BAYVIEW STREET TENNYSON. N.S.W. 2111.
TELEPHONE: 9879-6645 FAX: 9879-4074

5th November 2007

Ref: 7932

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD. NSW. 2131.

Attention: Mr. T. Fucile

Dear Sir,

Re: Pittwater RSL Club - Bowler's Amenities

We herein confirm that the Hydraulic Services design documentation requires that he tapware be AAA rated and that the hot water unit will be a minimum 3.5 star rated.

Should you require further details, please contact me at your convenience.

Yours faithfully
N.S.W. PLUMBING SERVICES PTY LTD

W.C. BLAKE

C:\Documents and Settings\Bill\My Documents\P&D CORRESPONDENCE\PITTWATER RSLCLUB BOWLERS AMENITIES7932.wpd

AWTA TEXTILE TESTING

Australian Wool Testing Authority Ltd – trading as AWTA Textile Testing
A.B.N. 43 006 014 106
26 Robertson Street, Kensington, Victoria 3031
P.O. Box 240, North Melbourne, Victoria 3051
Phone (03) 9371 2126 Fax (03) 9371 2102

TEST REPORT

CLIENT : TISSAGE ET ENDUCTION SERGE
FERRARI SA
Z.1-BP54-38352 LA TOUR DU PIN
CEDEX FRANCE

TEST NUMBER : 7-516871-BO
DATE : 20/02/2003

SAMPLE DESCRIPTION CLIENTS REF: PRECONTRAINT 702
COATED FABRIC COLOUR: WHITE
END USE: TEXTILE ARCHITECTURE

THESE RESULTS MUST BE CONSIDERED IN CONJUNCTION WITH THE COMMENTS ON THE FOLLOWING PAGE(S)

MATERIAL SPECIFICATION PROVIDED BY CLIENT:
NOMINAL COMPOSITION: PES YARNS COATED WITH PVC FLAME RETARDANT ON BOTH SIDES AND VARNISHED NOMINAL MASS: 750g/m2 NOMINAL THICKNESS: 0.6mm

AS/NZS 1530.3 - 1999 SIMULTANEOUS DETERMINATION OF IGNITABILITY, FLAME PROPAGATION, HEAT RELEASE AND SMOKE RELEASE.

RESULTS:

	MEAN		STANDARD ERROR
IGNITION TIME	3.80	min	0.23
FLAME PROPAGATION TIME	NIL	s	NIL
HEAT RELEASE INTEGRAL	50.7	kJ/m2	5.9
SMOKE RELEASE, LOG D	-0.0844		0.0728
OPTICAL DENSITY, D	0.8750	/m	

NUMBER OF SPECIMENS IGNITED: 6
NUMBER OF SPECIMENS TESTED: 6

REGULATORY INDICES:

IGNITABILITY INDEX	16	RANGE 0-20
SPREAD OF FLAME INDEX	0	RANGE 0-10
HEAT EVOLVED INDEX	2	RANGE 0-10
SMOKE DEVELOPED INDEX	7	RANGE 0-10

COMMENTS:

THESE RESULTS ONLY APPLY TO THE SPECIMEN MOUNTED, AS DESCRIBED IN THIS REPORT.

THE RESULTS OF THIS FIRE TEST MAY BE USED TO DIRECTLY ASSESS FIRE HAZARD, BUT IT SHOULD BE RECOGNIZED THAT A SINGLE TEST METHOD WILL NOT PROVIDE A FULL ASSESSMENT OF FIRE HAZARD UNDER ALL FIRE CONDITIONS.

© Australian Wool Testing Authority Ltd
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This Laboratory is accredited by the National Association of Testing Authorities, Australia, for:
- Chemical Testing of Textiles & Related Products : Accreditation No. 983
- Mechanical Testing of Textiles & Related Products : Accreditation No. 985
- Heat & Temperature Measurement : Accreditation No. 1356

The tests reported herein have been performed in accordance with its terms of accreditation. Samples, and their identifying descriptions have been provided by the client unless otherwise stated. AWTA Ltd makes no warranty, implied or otherwise, as to the source of the tested samples. The above test results relate only to the sample or samples tested. This document shall not be reproduced except in full and shall be rendered void if amended or altered. This document, the names AWTA Textile Testing and AWTA Ltd may be used in advertising providing the content and format of the advertisement have been approved in advance by the Managing Director of AWTA Ltd.

AWTA LIMITED

0204/8/01

APPROVED SIGNATORY

MICHAEL A. JACKSON B.Sc. (Hons)
MANAGING DIRECTOR

AWTA TEXTILE TESTING

Australian Wool Testing Authority Ltd – trading as AWTA Textile Testing
A.B.N. 43 006 014 106
26 Robertson Street, Kensington, Victoria 3031
P.O. Box 240, North Melbourne, Victoria 3051
Phone (03) 9371 2126 Fax (03) 9371 2102

TEST REPORT

CLIENT : TISSAGE ET ENDUCTION SERGE
FERRARI SA
Z.1-BP54-38352 LA TOUR DU PIN
CEDEX FRANCE

TEST NUMBER : 7-516871-BO
DATE : 20/02/2003

THE REACTION OF THIN UNSUPPORTED FLEXIBLE MATERIALS TO FLAME IMPINGEMENT CAN BE ASSESSED IN ACCORDANCE WITH AS 1530.2. WHERE MATERIALS OF THICKNESS LESS THAN 2mm THAT ARE SUFFICIENTLY FLEXIBLE TO BE BENT BY HAND AROUND A MANDREL OF 2mm DIAMETER OR LESS ARE SUBJECTED TO THE TEST DESCRIBED HEREIN, THEY SHOULD ALSO BE SUBJECTED TO THE TEST IN AS 1530.2.

EACH TEST SPECIMEN WAS SANDWICHED BETWEEN TWO LAYERS OF GALVANISED WELDED SQUARE MESH MADE FROM WIRE OF NOMINAL DIAMETER 0.8mm AND NOMINAL SPACING OF 12mm IN BOTH DIRECTIONS, STAPLED THROUGH AT FOUR POINTS, EACH 100mm FROM THE CENTRE OF THE SAMPLE AND THE ASSEMBLY CLAMPED IN FOUR PLACES.

TO ALLOW FREE MOVEMENT OF SAMPLE DURING TESTING ALL CORNERS WERE FOLDED AWAY FROM THE CLAMPS.

THE SPECIMENS WERE MOUNTED TO SIMULATE USE IN AN UNSUPPORTED OR FREE HANGING MODE. THE RESULTS MAY BE SIGNIFICANTLY DIFFERENT WHEN MOUNTED TO SIMULATE A WALL CLADDING OR UPHOLSTERY APPLICATION.

THE SPECIMENS MELTED AND FLOWED AWAY FROM THE AREA OF MAXIMUM HEAT DURING THE TEST. DUE TO THIS PHENOMENA, IT SHOULD BE RECOGNISED THAT THIS TEST RESULT MAY NOT BE A TRUE INDICATION OF THE PRODUCT'S FIRE HAZARD PROPERTIES.

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This Laboratory is accredited by the National Association of Testing Authorities, Australia, for:
- Chemical Testing of Textiles & Related Products : Accreditation No. 983
- Mechanical Testing of Textiles & Related Products : Accreditation No. 985
- Heat & Temperature Measurement : Accreditation No. 1356

The tests reported herein have been performed in accordance with its terms of accreditation. Samples, and their identifying descriptions have been provided by the client unless otherwise stated. AWTA Ltd makes no warranty, implied or otherwise, as to the source of the tested samples. The above test results relate only to the sample or samples tested. This document shall not be reproduced except in full and shall be rendered void if amended or altered. This document, the names AWTA Textile Testing and AWTA may be used in advertising providing the content and format of the advertisement have been approved in advance by the Managing Director of AWTA Ltd.

AWTA LIMITED

APPROVED SIGNATORY

MICHAEL A. JACKSON B.Sc.(Hons)
MANAGING DIRECTOR

0204/8/01

Bergstrom ARCHITECTS

15 November, 2007

Paynter Dixon Constructions
320 Liverpool Road
Ashfield, NSW 2131

Attn: Tony Fucile

Dear Tony;

Re: Proposed Amenities Block – Pittwater RSL, Mona Vale

We write to certify that the architectural documentation has been prepared to require the following specifications. Please note that certificates that the work has been built to conform to the specification will need to be obtained from the relevant suppliers and manufacturers through the course of the construction.

1. All glazing shall comply with AS1288-2006 and AS 2047-1999
2. Metal roof sheeting shall comply with AS1562.1-1992
3. The materials and construction of the amenities building shall have a spread of flame index not exceeding 9 and a smoke developed index not exceeding 8 if the S of F exceeds 5.
4. Floor linings shall have a CRF value not less than 2.2 and a smoke development rate not more than 750%-minues.
5. Wall and ceiling linings shall have a grouping of 1 or 2.
6. All doors have been designed to have clear unobstructed height of not less than 1980mm and opening width not less than 750mm.
7. AS2444-2001 compliant portable fire extinguishes shall be installed to the office in the amenities block.

Kind regards,

Thomas Bergstrom
Bergstrom Architects Pty. Ltd (ACN 095 092 989)

cc.

F:\Jobs\06-022-PDC-Pittwater RSL\Text-Sports\PDC071115-CC-CERT.doc

BERGSTROM ARCHITECTS PTY LIMITED ABN 75 095 092 989 / NOMINATED ARCHITECT NSW: THOMAS BERGSTROM NO. 7052
SUITE 9, 9 MYRTLE STREET, NORTH SYDNEY NSW 2060 T 02 8920 1499 F 02 8920 1599 E info@bergstromarchitects.com.au www.bergstromarchitects.com.au

N.S.W. PLUMBING SERVICES PTY. LIMITED
Contractors Authority No. A567 Inc. in NSW ABN 78 000 369 059
47/A BAYVIEW STREET TENNYSON. N.S.W. 2111.
TELEPHONE: 9879-6645 FAX: 9879-4074

15th November 2007

Ref: 7940

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD. NSW. 2131.

Attention: Mr. T. Fucile

Dear Sir,

Re: Pittwater RSL Club Bowlers Amenities & Green Keepers Shed

We herein confirm that the stormwater drainage to both buildings will be carried out to comply with the requirements ASNZ3500.3.2-2-3 and the relevant sections of the Building Code of Australia.

If we can be of any further assistance, please contact me at your convenience.

Yours faithfully
N.S.W. PLUMBING SERVICES PTY LTD

W.C. BLAKE

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ILC Access

A service of Independent Living Centre NSW

19 November 2007

Mr Anthony Fucile
Paynter Dixon
320 Liverpool Road
Ashfield NSW 2131

Dear Anthony

Re: Accessible path of travel from the proposed Bowls amenities to the Pittwater RSL Club
Pittwater Council DA No: NO321/07

I have audited the CC drawings of the proposed accessible path of travel between Bowls amenities and the main Pittwater RSL Club. The drawings were received in this office on 15 November 2007 from Paynter Dixon and bergstrom Architects.

Job number: 06-022

Drawing no.	Scale	Revision	Issue Date
CC102	1:250	A	15/11/07

Brief description:

The proposed accessible paths of travel to the Bowls amenities will include two accessible parking spaces on the lower level of the RSL car parking area with a pathway linking these to the Bowls Amenities and an extensive ramp system to provide an accessible path of travel to the main Club.

In a letter dated 5 October 2007 from Pittwater Council to Paynter Dixon Constructions it states that certain conditions are to be met before the issue of a Construction Certificate. In Section C clause 8 the Council have asked for an accessible path of travel from the Bowls amenities to the Pittwater RSL Club to comply with AS1428 and C5.5 of the Pittwater 21 DCP.

Independent Living Centre NSW • ABN: 56 486 236 348
No 1 Fennell Street Parramatta NSW 2150
Telephone: 02 9890 0940 • Fax: 02 9890 0966
e-mail: accessteam@ilcnsw.asn.au • Web: www.ilcnsw.asn.au

Path of travel from accessible car parking spaces to Bowls Amenities:
The proposed accessible path of travel for people with a disability to the Bowls amenities which complies with AS1428.2 includes:

- Two accessible parking spaces in the outdoor parking area with dimensions to comply with AS2890.1.
- The drawing indicate the spaces located so that a person using the spaces would have to cross the internal roadway. Therefore to decrease your risk of non-compliance with the DDA it is recommended that the spaces are located adjacent to the walkway into the Bowls amenities and the bowling greens.
- A continuous accessible path of travel 2000mm wide and gradients that comply with AS1428.2 as a walkway, from the car parking spaces on the lower level of the car park to the Bowls amenities.

Path of travel from Bowls Amenities to the main RSL Club:

The proposed accessible path of travel for people with a disability from the Bowls Amenities to the main RSL Club which complies with AS1428.2 includes:

- A continuous accessible path of travel 1500mm wide and gradients that comply with AS1428.2 as a walkway and a ramp, from the Bowls amenities to the main RSL Club
- The ramps have landings 1500mm in length and handrails on both sides of the ramp to comply with AS1428.1
- Tactile Ground Surface Indicators (TGSI) are located on the top and bottom landings of the ramp to comply with AS1428.4.

From information shown on the drawings it is my opinion that there is an accessible path of travel provided for people with disabilities to comply with BCA, AS1428.1, AS1428.2 and Pittwater Council DCP21.

However it is also my opinion that the accessible path of travel from the Bowls amenities to the main RSL Club does not create a convenient and safe accessible path of travel between the proposed Bowls amenities and the Club for a Bowls Club member or visitor with an ambulant disability as the path of travel is excessively long and circuitous.

Yours sincerely

Sue Slattery BA Dip OT grad Dip Ed
Access Consultant
Occupational therapist

Ref: 600102.2.L07:rtc

Contact: Russell Clark

20 November 2007

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Busselton

Port Moresby, PNG
Abu Dhabi, UAE
Portland, USA

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD NSW 2131

FAO – Tony Fucile

DA N0321/07 – PITTWATER RSL – BOWLER'S AMENITIES STORMWATER DRAINAGE AND ON-SITE DETENTION DESIGN

Please find enclosed our 'For Construction' plan set for the stormwater drainage and on-site detention component of the Bowler's Amenities at the above noted.

With regards Pittwater Council's Notice of Determination, as issued 5 October '07, we offer the following by way of clarification as to our intent in dealing with the relevant clauses.

- B1 – Our stormwater drainage system connects to an existing storage tank on-site. We have detailed modifications to the existing tank that will allow it's operation as a combined rainwater and on-site detention system.

  We can verify that in accordance with Consent Condition B1 the overflow from the rainwater tank discharges to the on-site detention tank;

- B2 – As per the note on Cardno Drawing No. 600102-202. We can verify that discharge from the site is by direct connection to the adjacent street pit and pipe drainage system;

- C1 – This letter serves as confirmation that the submitted plans have been prepared in accordance with Section 5.3 'On-site Detention' of Pittwater Council's DCP 21;

- C2 – As discussed previously Council call for submission of an Erosion and Sediment Control Plan prepared in accordance with the requirements of the NSW Department of Land and Water Conservation's Urban Erosion and Sediment Control Manual.

  We note that the NSW Department of Land and Water Conservation no longer exists, having undergone a few transformations it is currently a part of the Department of Water and Energy, and the quoted document superseded.

  Please note that the Erosion and Sediment Control Plan prepared for the project, with details sheet, has been prepared in accordance with the NSW Department of Housing Blue Book 'Soils and Construction' which is the widely recognized industry standard in New South Wales;

- C7 – We note that generally this clause is intended for a structural engineer and relates directly to the building footprint and excavation. We can however verify part concurrence with Parts 1 and 2 of this Clause on the following grounds:
    - Part 1 – An existing catch drain, installed in accordance with Cardno's prior design for the bowling greens, is located directly upstream of the building works and will essentially operate as a diversion drain to direct surface waters away from the area of excavation;
    - Part 2 – Should surface waters enter the area of excavation we would suggest a pump be employed to provide relief to the area of excavation. Given the potential for sediment transportation in this instance we note the pump outlet should not discharge water directly to the catch drain noted above or to any other area of clean water discharge.

We trust you find the above agreeable however if you wish to discuss further then please do not hesitate to contact me regarding.

Yours faithfully

Russell Clark
Project Manager
for **Cardno**

Enc: Cardno Drawing Set 600102 – 200 series (9 plans)

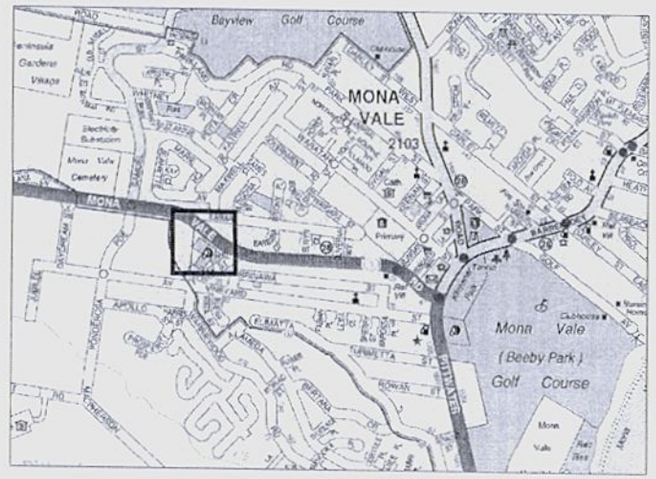
Cardno

PITTWATER RSL CLUB - MONA VALE

AMENITIES BUILDING - STORMWATER DRAINAGE AND ON SITE DETENTION

DRAWING SCHEDULE

600102-200	COVER SHEET AND DRAWING SCHEDULE
600102-201	OSD STORMWATER PLAN - SHEET 1 OF 2
600102-202	OSD STORMWATER PLAN - SHEET 2 OF 2
600102-203	STORMWATER LONGITUDINAL SECTIONS - LINE 'A'
600102-204	STORMWATER LONGITUDINAL SECTIONS - LINE 'B' 'C' 'D' 'E'
600102-205	TYPICAL DETAILS
600102-225	RAINWATER TANK DETAILS
600102-230	EROSION AND SEDIMENT CONTROL PLAN
600102-231	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS



LOCALITY PLAN

MAP REPRODUCED WITH THE PERMISSION OF UBD
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GENERAL

CG1. THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR CIVIL ENGINEERING PURPOSES ONLY. ALL DISCREPANCIES WITH OTHER CONSULTANTS DOCUMENTATION THAT COULD RESULT IN CHANGES TO THE CIVIL ENGINEERING DETAILS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION

CG2. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS FOR THESE WORKS AND/OR AS DIRECTED BY THE SUPERINTENDENT

CG3. THE CONTRACTOR SHALL LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND PROTECT AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE AND/OR ADJUST IF NECESSARY. INFORMATION GIVEN ON THE DRAWINGS IN RESPECT TO SERVICES IS FOR GUIDANCE ONLY IS NOT GUARANTEED COMPLETE NOR CORRECT.

CG4. CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND SUPERINTENDENT.

CG5. ALL SITE REGRADING AREAS SHALL BE FINALLY GRADED TO THE SATISFACTION OF THE SUPERINTENDENT

CG6. SURPLUS EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE.

CG7. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING

CG8. ANCILLARY CONCRETE WORKS SHALL BE AS DETAILED

REV	DATE	REVISIONS	DRN	CHK
C	30/11/07	CONSTRUCTION ISSUE	VP	EB
B	10/10/07	PRELIMINARY CONSTRUCTION ISSUE	VP	RC
A	06/03/2007	FOR APPROVAL	PL	RC

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CLIENT:
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	RTC
DRAWN	PL	

APPROVED: PROJECT DIRECTOR DATE
APPROVED: PROJECT MANAGER DATE 30/11/07

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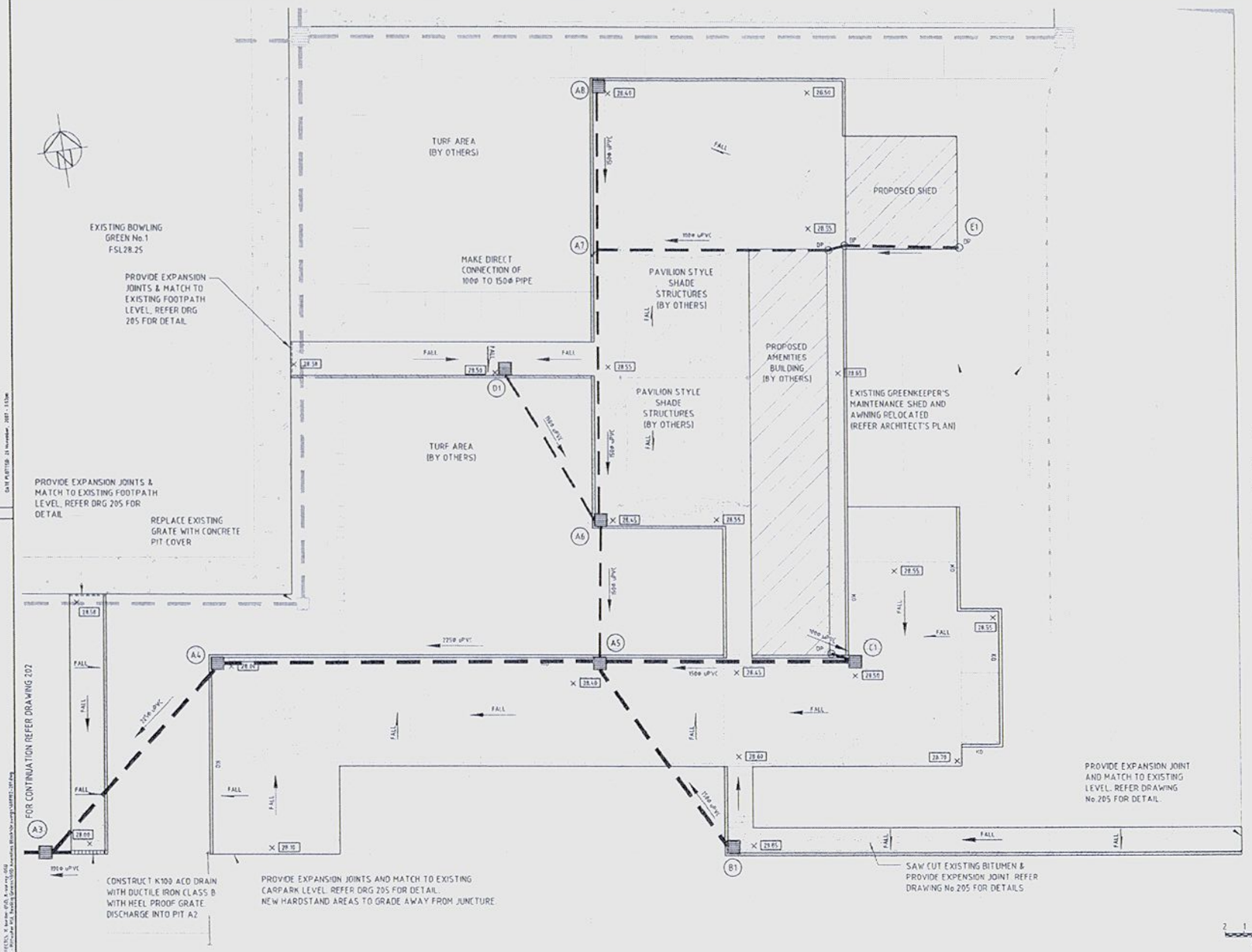
PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
PROPOSED AMENITIES BUILDING
COVER SHEET AND DRAWING SCHEDULE

DRAWING STATUS: FOR APPROVAL
DRAWING NUMBER: 600102-200
REV: C

A1 ON ORIGINAL


TURF AREA (BY OTHERS)
EXISTING BOWLING GREEN No.1 FSL28.25
PROVIDE EXPANSION JOINTS & MATCH TO EXISTING FOOTPATH LEVEL, REFER DRG 205 FOR DETAIL
MAKE DIRECT CONNECTION OF 100Ø TO 150Ø PIPE
PAVILION STYLE SHADE STRUCTURES (BY OTHERS)
PROPOSED SHED
PROPOSED AMENITIES BUILDING (BY OTHERS)
EXISTING GREENKEEPER'S MAINTENANCE SHED AND AWNING RELOCATED (REFER ARCHITECT'S PLAN)
PROVIDE EXPANSION JOINTS & MATCH TO EXISTING FOOTPATH LEVEL, REFER DRG 205 FOR DETAIL
REPLACE EXISTING GRATE WITH CONCRETE PIT COVER
FOR CONTINUATION REFER DRAWING 202
CONSTRUCT K100 ACO DRAIN WITH DUCTILE IRON CLASS B WITH HEEL PROOF GRATE. DISCHARGE INTO PIT A2
PROVIDE EXPANSION JOINTS AND MATCH TO EXISTING CARPARK LEVEL. REFER DRG 205 FOR DETAIL. NEW HARDSTAND AREAS TO GRADE AWAY FROM JUNCTURE.
PROVIDE EXPANSION JOINT AND MATCH TO EXISTING LEVEL, REFER DRAWING No 205 FOR DETAIL.
SAW CUT EXISTING BITUMEN & PROVIDE EXPENSION JOINT. REFER DRAWING No 205 FOR DETAILS.
A8
A7
A6
A5
A4
A3
B1
C1
D1
E1
FALL
150Ø uPVC
225Ø uPVC
175Ø uPVC
100Ø uPVC
28.40
28.50
28.75
28.55
28.65
28.45
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28.85
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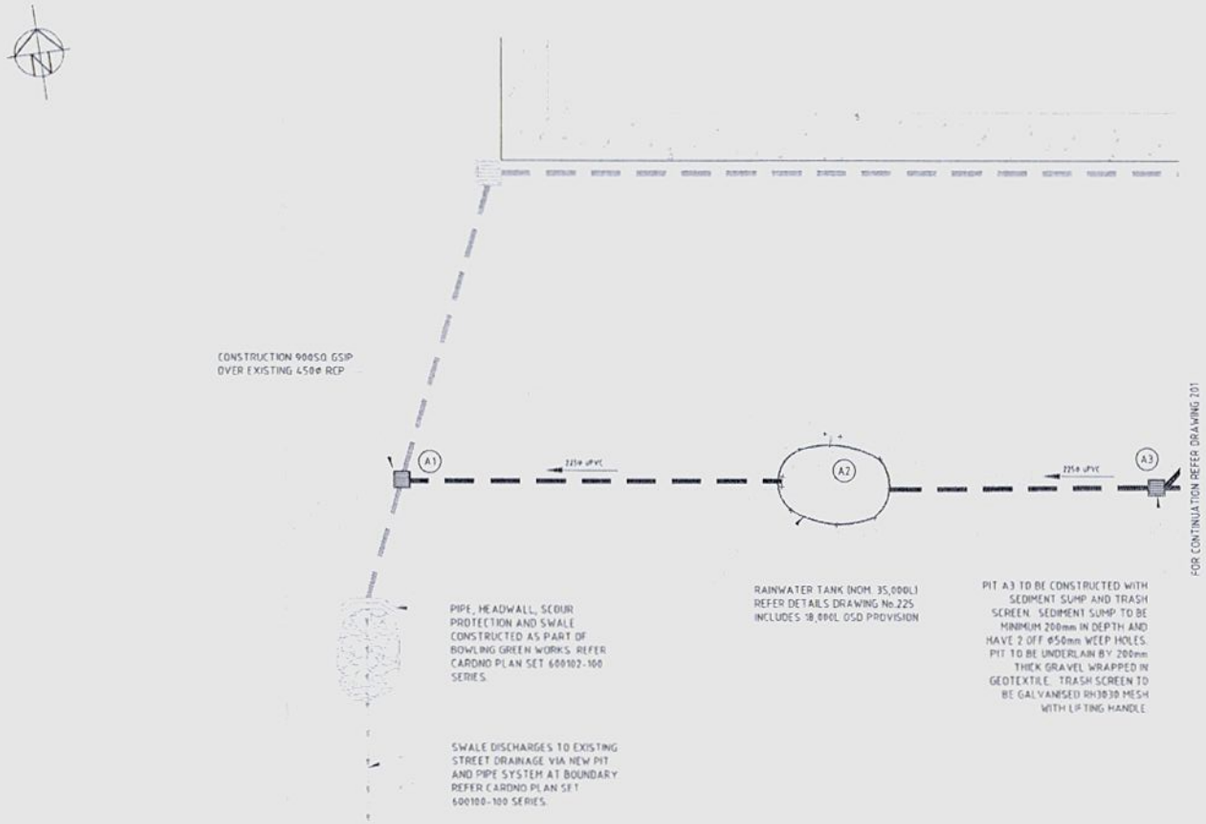

NOTES:

1. SITE LAYOUT BASED UPON ARCHITECT'S DRGS BY BERGSTROM ARCHITECTS, DRAWING No. DA101, DATE: 29/05/2006.
2. SURVEY BASED UPON AAMHatch's SURVEY DRAWING 11435A_01_REV1 MADE ON 08/05/2007.
3. PLANS PREPARED ASSUMING BOWLING GREENS BOWLS AS SHOWN ON CARDNO PLAN SET 600102-109 HAVE BEEN COMPLETED.
4. OSD DESIGNED IN ACCORDING WITH PITTWATER COUNCIL POLICY 21DCP.
5. INCREASE IN IMPERVIOUS AREA = 860 m^2
6. MINIMUM OSD STORAGE TO BE PROVIDED = 18 m^3.
7. ALL PROPOSED HARD SURFACE AREA TO BE DIRECTED TO OSD.
8. MIN PIPE COVER 400 U.N.O.
9. KERB MIN 150mm HIGHER THAN PATHWAY DESIGN LEVEL
10. INSTALL HEAVY DUTY GRATE WITHIN DRIVEWAY AREAS.

LEGEND

- BUILDING ROOF AREA
- HARD SURFACE APEA (BY OTHERS)
- PROPOSED STORMWATER PIT
- PROPOSED STORMWATER PIPE
- EXISTING STORMWATER PIPE
- × 24.18 SPOT LEVELS
- 2/A STORMWATER PIT NUMBER
- FOOTPATH EDGE TREATMENT 50mm HIGH (LANDSCAPE ARCHITECT NOM.)
- FALL CROSS FALL
- DP DOWN PIPE

2 1 0 2 4 6 8 10
SCALE OF METRES - FENCE BEFORE REDUCTION

REV	DATE	REVISIONS	DRN	CHK
C	28/11/07	CONSTRUCTION ISSUE	VF	SB
B		NOT ISSUED		
A		NOT ISSUED		

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CLIENT
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	PTC
DRAWN	PL	
APPROVED PROJECT DIRECTOR	APPROVED PROJECT MANAGER	DATE 22/11/07

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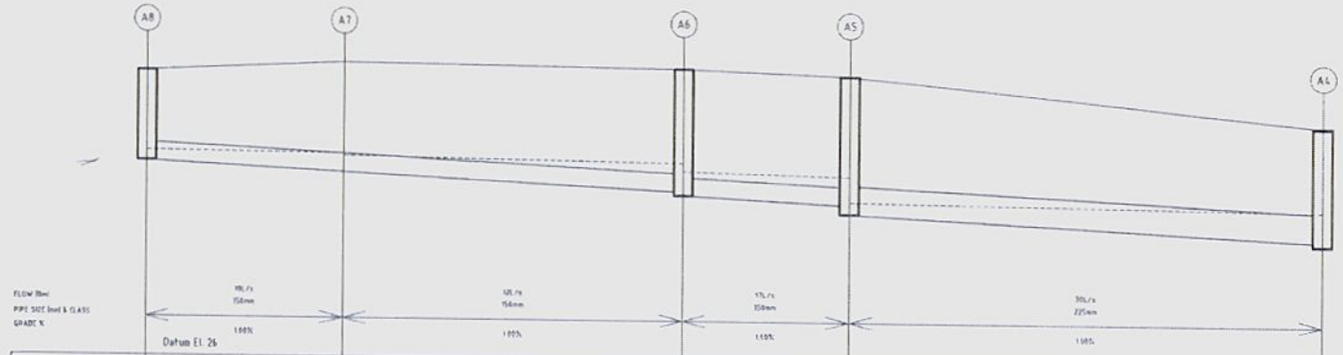
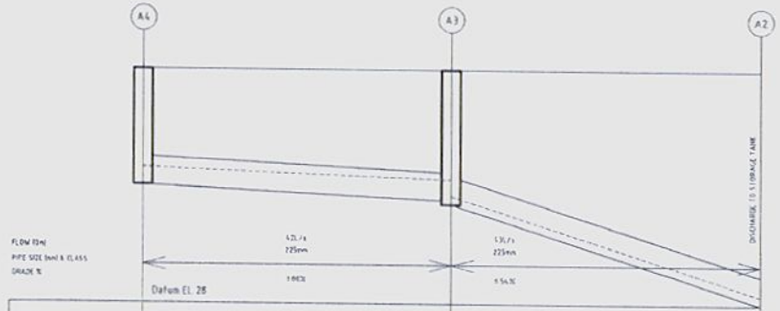
PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
AMENITIES BUILDING
OSD STORMWATER PLAN - SHEET 2

DRAWING STATUS: FOR APPROVAL
DRAWING NUMBER: 600102-202
REV: C

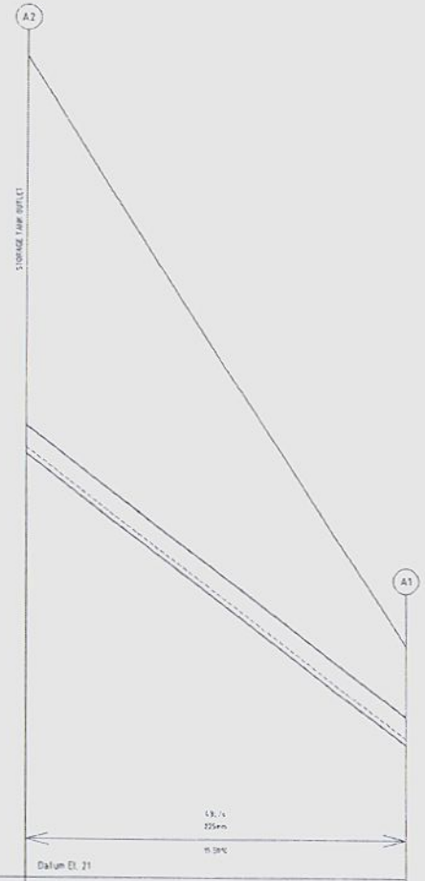
A1 ON ORIGINAL



LINE 'A' - PART 1



LINE 'A' - PART 2



LINE 'A' - PART 3

SCALE H 1:100, V 1:20 @ A1 SCALE OF METRES (1:20 BEFORE REDUCTION) SCALE OF METRES (1:100 BEFORE REDUCTION)

REV	DATE	REVISIONS	DRN	CHK
C	23/11/07	CONSTRUCTION ISSUE	VP	SB
B	10/10/07	PRELIMINARY CONSTRUCTION ISSUE	VP	RC
A	06/03/2007	FOR APPROVAL	PL	RC

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CLIENT
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	RTC
DRAWN	PL	
REVIEWED		

APPROVED
PROJECT DIRECTOR DATE PROJECT MANAGER DATE

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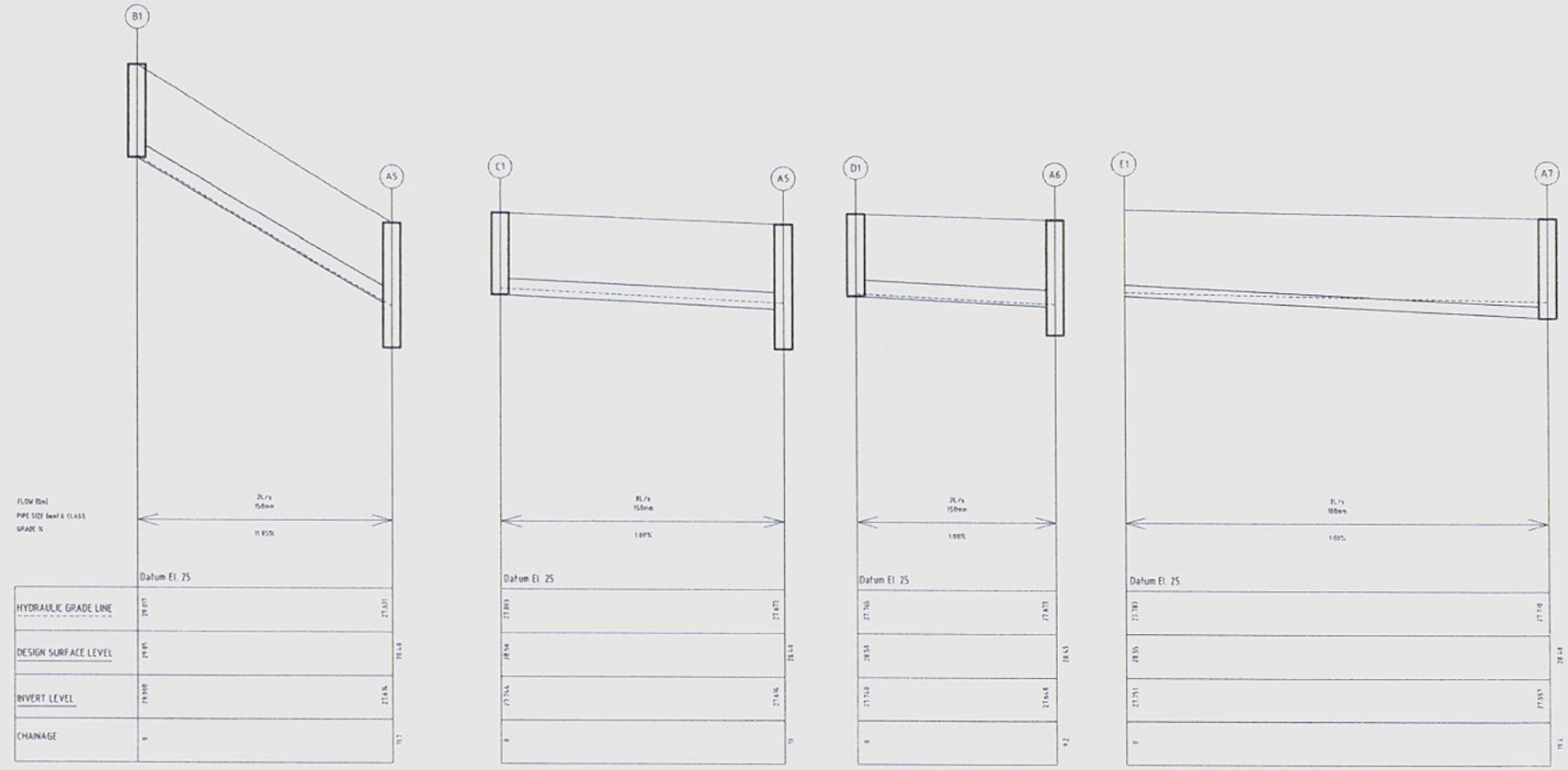
PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
AMENITIES BUILDING
STORMWATER LONGITUDINAL SECTIONS - LINE 'A'

DRAWING STATUS: FOR APPROVAL
DRAWING NUMBER: 600102-203
REV: C

A1 ON ORIGINAL



SCALE: H 1:100, V 1:20 @ A1 SCALE OF METRES (1:25 BEFORE REDUCTION) SCALE OF METRES (1:100 BEFORE REDUCTION)

REV	DATE	REVISIONS	DRN	CHK
C	20/11/07	CONSTRUCTION ISSUE	VP	SS
B		NOT ISSUED		
A		NOT ISSUED		

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CLIENT:
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	RTC
DRAWN	PL	
REVIEWED		

APPROVED
PROJECT DIRECTOR PROJECT MANAGER DATE

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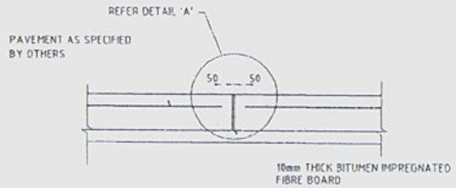
PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
AMENITIES BUILDING
STORMWATER LONGITUDINAL SECTIONS - LINE 'B' 'C' 'D' 'E'

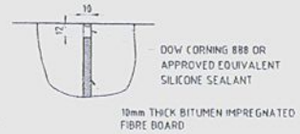
DRAWING STATUS: FOR APPROVAL

DRAWING NUMBER: 600102-204 REV: C

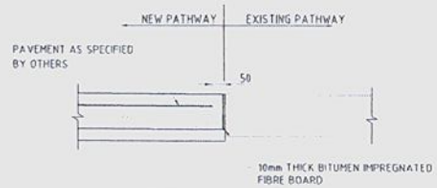
A1 ON ORIGINAL



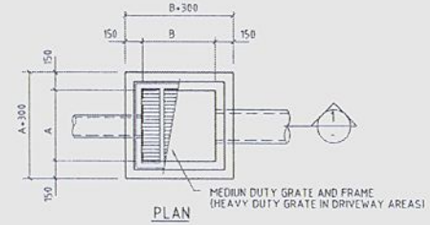
EXPANSION JOINT (EJ)
NEW WORKS
SCALE 1:10



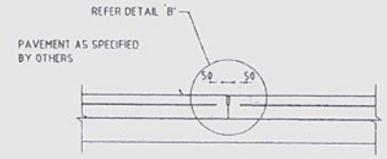
DETAIL 'A'
N.T.S.



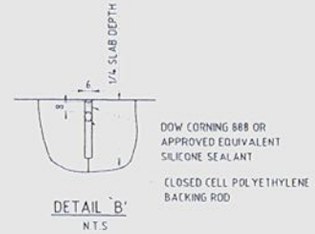
EXPANSION JOINT (EJ)
ADJACENT TO EXISTING WORKS
SCALE 1:10



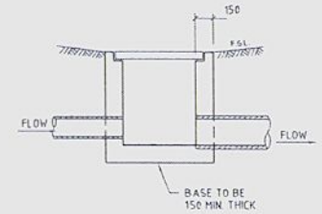
PLAN



TRANSVERSE CONTRACTION JOINT (TCJ) - SAWN
SCALE 1:10



DETAIL 'B'
N.T.S.



SECTION 1

CAST-IN-SITU CONCRETE STORMWATER PIT DETAIL

PRECAST CONCRETE PITS MAY BE SUBSTITUTED SUBJECT TO APPROVAL BY SUPERINTENDENT

PIT DEPTH	PIT SIZE 'A' x 'B'
≤ 600	450 x 450
> 600 ≤ 900	600 x 600
> 900 ≤ 1200x	600 x 900
> 1200 ≤ 2000x	900 x 900

PROVIDE STEP IRONS IN ALL PITS EXCEEDING 1200mm DEPTH

x PITS GREATER THAN 900 DEEP PROVIDE N12-200 BOTH WAYS (TYPICAL) WITH 30mm MIN COVER.

GENERAL NOTES:

1. TOLERANCES SPECIFIED ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THOSE NOMINATED IN THE SPECIFICATION WHERE THERE IS A CONFLICT.
2. ALL CONCRETE TO STRUCTURES SHALL BE STRENGTH GRADE N25 WITH 20mm MAX. AGGREGATE.

CONCRETE FOOTPATH JOINT DETAILS
SCALE 1:50

LEGEND:

——— · ——— E.J. - EXPANSION JOINT

..... T.C.J. - TRANSVERSE CONTRACTION JOINT

1 0.5 0 1 2 3 4 5
SCALE OF METRES (1:50 BEFORE REDUCTION)

200 100 0 200 400 600 800 1000
SCALE 1:10

REV	DATE	REVISIONS	DRN	CHK
C	29/11/07	CONSTRUCTION ISSUE	VP	SB
B	10/10/07	PRELIMINARY CONSTRUCTION ISSUE	VP	RC
A	04/07/2007	FOR APPROVAL	PL	RC

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CLIENT:
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	RTC
DRAWN	PL	
REVIEWED		

APPROVED
PROJECT DIRECTOR DATE PROJECT MANAGER DATE

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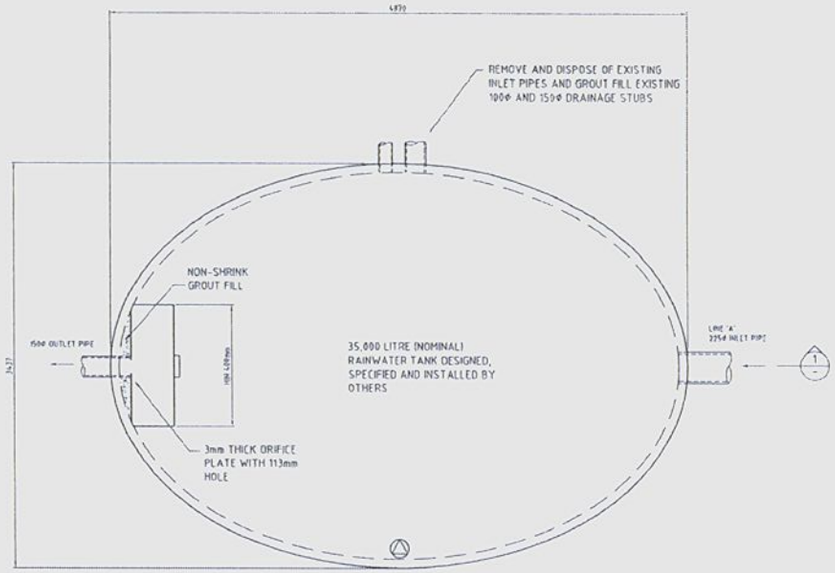
PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
AMENITIES BUILDING
TYPICAL DETAILS

DRAWING STATUS: FOR APPROVAL

DRAWING NUMBER: 600102-205 REV: C

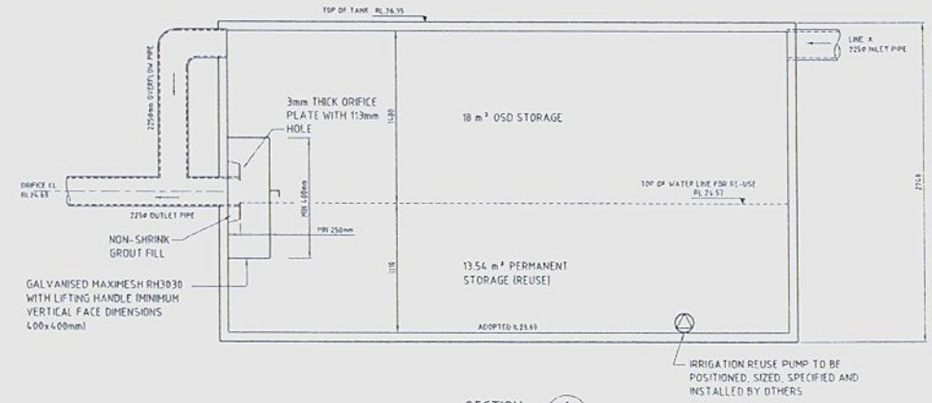
A1 ON ORIGINAL



RAINWATER STORAGE AND OSD TANK (PLAN VIEW)

SCALE 1:20

CONTRACTOR TO ENSURE THAT TANK HAS APPROPRIATE ACCESS AND PROVISIONS IN ACCORDANCE WITH CURRENT OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS



SECTION 1 / -

SCALE 1:20

0.4 0.2 0 0.4 0.8 1.2 1.6 2.0

SCALE OF METRES (1:20 BEFORE REDUCTION)

REV	DATE	REVISIONS	DRN	CHK
E	20/11/07	CONSTRUCTION ISSUE	VF	SB
D		NOT ISSUED		
A		NOT ISSUED		

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CLIENT:

PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNER	PL	PTC
DRAWN	PL	

APPROVED

PROJECT DIRECTOR DATE PROJECT MANAGER DATE

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PAYNTER DIXON CONSTRUCTIONS PTY LTD

PITTWATER RSL CLUB MONA VALE

AMENITIES BUILDING

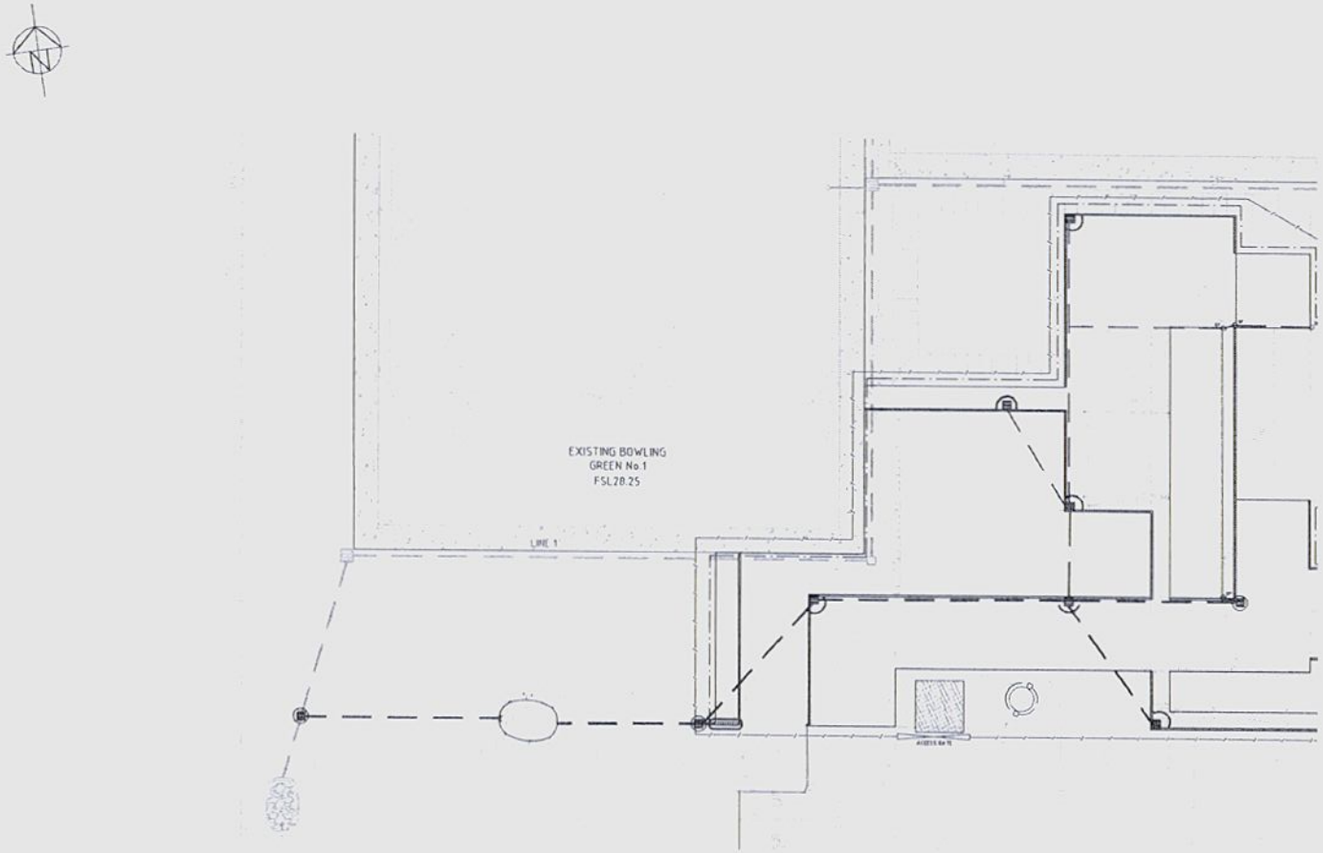
RAINWATER TANK DETAILS

DRAWING STATUS: FOR APPROVAL

DRAWING NUMBER: 600102-225

REV: C

A1 ON ORIGINAL



NOTES:

1. FOR EROSION & SEDIMENT CONTROL NOTES REFER DRAWING No.600102-231

LEGEND:

- SILT FENCE
- FENCE
- DRAINAGE
- SEDIMENT TRAP SURFACE INLET PIT
- CATMENT FLOW ARROW
- STOCKPILE AREA
- STABILISED SITE ACCESS
- GRAVEL FILLED GEOTEXTILE SEDIMENT TRAP

1 0.5 0 1 2 3 4 5
SCALE OF METRES (ISSI BEFORE REDUCTION)

REV	DATE	REVISIONS	DRN	CHK
C	20/11/07	CONSTRUCTION ISSUE	VP	SB
B	18/10/07	PRELIMINARY CONSTRUCTION ISSUE	VP	RC
A	04/07/2007	FOR APPROVAL	PL	RC

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CLIENT:
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	RTC
DRAWN	PL	
REVIEWED		

APPROVED
PROJECT MANAGER DATE

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PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
AMENITIES BUILDING
EROSION & SEDIMENT CONTROL PLAN

DRAWING STATUS: FOR APPROVAL
DRAWING NUMBER: 600102-230
REV: C

A1 ON ORIGINAL

EROSION AND SEDIMENT CONTROL NOTES

GENERAL

ALL SEDIMENT AND EROSION CONTROL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH DEPARTMENT OF HOUSING BLUE BOOK, COUNCIL STANDARDS, THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND RELEVANT STATUTORY REQUIREMENTS.

THE CONTRACTOR IS TO NOMINATE AND GAIN COUNCIL APPROVAL OF THE PERSON RESPONSIBLE FOR IMPLEMENTING THE APPROVED EROSION AND SEDIMENT CONTROL PLAN (ESCP) PRIOR TO COMMENCING ANY WORKS ON SITE. THE NOMINATED PERSON SHALL BE EXPERIENCED IN THE DESIGN, IMPLEMENTATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES.

ANY DEVIATIONS FROM THE APPROVED ARE TO BE APPROVED BY SUPERINTENDANT ENT.

THE APPROVED CONTROL MEASURES MUST BE IMPLEMENTED PRIOR TO COMMENCING ANY CLEARING, DEMOLITION OR LAND DISTURBANCE. ADDITIONAL CONTROL MEASURES FOR BUILDING WORKS ARE TO BE INSTALLED PROGRESSIVELY AS THE WORK PROCEEDS.

ALL WORKS AND STORAGE OF MATERIALS ARE TO BE CONTAINED WHOLLY WITHIN THE DEVELOPMENT SITE.

THE CONTRACTOR SHALL MAKE ALL WORKERS AND SUBCONTRACTORS AWARE OF THE REQUIREMENTS AND OBLIGATIONS OF ESCP, CONDITIONS OF DEVELOPMENT CONSENT AND RELEVANT LEGISLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL REQUIREMENTS OF THE APPROVED ESCP AND RELEVANT LEGISLATION SUCH AS PROTECTION OF THE ENVIRONMENT OPERATIONS ACT 1997. FINES AND PENALTIES APPLY FOR NON-COMPLIANCE.

SITE ACCESS

A SINGLE POINT OF ENTRY TO THE SITE IS TO BE PROVIDED WITH LOCKABLE GATE. THE GATE PROVIDED SHALL OPEN INTO THE PROPERTY BEING DEVELOPED.

A STABILISED CONSTRUCTION ACCESS IS TO BE PROVIDED AT AND CONFINED TO THE SINGLE ACCESS POINT. ALL CONSTRUCTION TRAFFIC AND MATERIAL DELIVERIES SHALL ENTER/EXIT THE SITE VIA THE SINGLE STABILISED ACCESS POINT.

THE STABILISED ACCESS SHALL BE MAINTAINED IN EFFECTIVE WORKING ORDER FOR THE DURATION OF THE WORKS. THE CONTRACTOR SHALL REPLACE AND/OR ADD AGGREGATE/GRAVEL AS REQUIRED WHEN SEDIMENT BUILD UP FILLS THE VOIDS IN THE AGGREGATE/GRAVEL OR AS DIRECTED BY THE SUPERINTENDENT. SHOULD WASHING OF TRUCK TYRES BE REQUIRED, ALL WASHING SHALL BE CARRIED OUT WITHIN THE SITE. ALL RUNOFF AND WASH WATER FROM THE CONSTRUCTION ACCESS IS TO BE DIRECTED TO AN APPROVED SEDIMENT TRAPPING DEVICE.

ANY SEDIMENT DEPOSITED ONTO COUNCIL'S FOOTPATH OR ROADWAY SHALL BE REMOVED EACH DAY BY SWEEPING PRIOR TO LEAVING THE SITE. NO HOSING OF COUNCIL'S FOOTPATH OR ROADWAY IS PERMITTED.

NO PARKING OR STORAGE OF MATERIAL IS PERMITTED ON COUNCIL'S FOOTPATH.

WASTE MANAGEMENT

THE CONTRACTOR SHALL MANAGE WASTE MATERIALS IN ACCORDANCE WITH THE APPROVED WASTE MANAGEMENT PLAN. ALL WASTE MATERIALS ARE TO BE DISPOSED OF IN A LEGAL MANNER.

THE CONTRACTOR SHALL PROVIDE, EMPTY AND MAINTAIN SUITABLE WASTE BINS/STORAGE ENCLOSURES TO PREVENT THE ENTRY OF ANY WASTE MATERIAL INCLUDING LITTER ONTO ADJOINING PROPERTIES OR THE STORMWATER SYSTEM. PARTICULAR PROVISIONS ARE TO BE MADE FOR DEMOLITION WASTE MATERIALS, CONCRETE AND MASONRY WASTE, SLURRIES AND WASH WATER, ACID WASH, PAINTS AND LIGHTWEIGHT WASTE MATERIAL.

EROSION CONTROL

DISTURBANCE OF LAND IS TO BE KEPT TO THE MINIMUM AREA REQUIRED TO CONSTRUCT THE WORKS. RETAIN EXISTING VEGETATION ON COUNCIL'S FOOTPATH EXCEPT AS REQUIRED TO CONSTRUCT SITE ENTRY.

DIVERSION DRAINS ARE TO BE FORMED AT THE UPSTREAM SIDES OF THE WORKS TO DIVERT RUNOFF FROM ADJOINING PROPERTIES AROUND THE WORKS. DIVERSION DRAINS ARE TO BE LINED WITH AN APPROVED EROSION CONTROL TREATMENT SUCH AS JUTEMATT (LIGHT DUTY) OR GEOTEXTILE FABRIC TO MINIMISE EROSION WITHIN THE DRAIN. DIVERSION DRAINS ARE TO BE INSTALLED PRIOR TO COMMENCING WORKS ON SITE.

EARTHWORKS ARE TO BE CARRIED OUT AS CUT TO FILL WHERE POSSIBLE TO MINIMISE STOCKPILES AND SPOIL REMOVED FROM SITE.

DUST FROM STOCKPILES IS TO BE CONTROLLED BY INSTALLATION OF WINDBREAKS AND/OR COVERING WITH TEMPORARY GRASS SEEDING OR GEOTEXTILE. DUST FROM ACCESS TRACKS IS TO BE CONTROLLED BY SWEEPING OR KEEPING TRACKS DAMP BUT NOT WET.

AS SECTIONS OF SITE WORKS ARE COMPLETED, PROGRESSIVE STABILISATION AND FINAL LANDSCAPING IS TO BE CARRIED OUT. FINAL LANDSCAPING AND ANY TEMPORARY VEGETATION SHALL BE COMPLETED IN ACCORDANCE WITH THE LANDSCAPE PLANS AND SPECIFICATION.

EROSION AND SEDIMENT CONTROL NOTES (CONT.)

INSPECTIONS AND MAINTENANCE.

THE CONTRACTOR SHALL NOMINATE A SITE SUPERVISOR RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENT CONTROL MEASURE. THE SITE SUPERVISOR SHALL MAINTAIN A LOG DETAILING INSTALLATION OF CONTROL MEASURES, ALL RAINFALL, INSPECTIONS AND MAINTENANCE CARRIED OUT AND REMOVAL O

EROSION AND SEDIMENT CONTROL NOTES (CONT.)

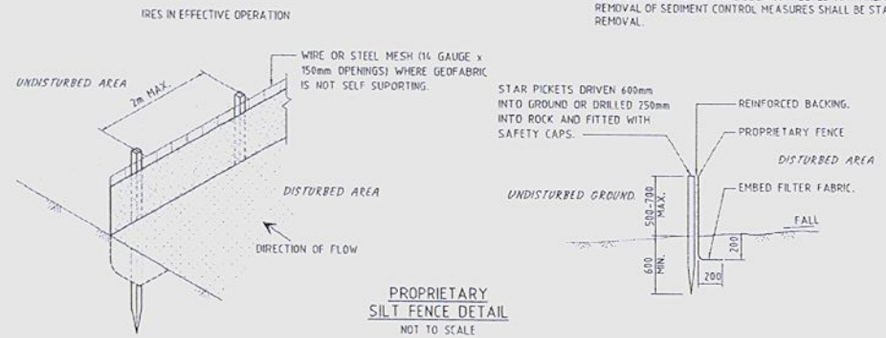
SEDIMENT CONTROL

SEDIMENT FENCES ARE TO BE INSTALLED ON ALL LOW SIDE BOUNDARIES.

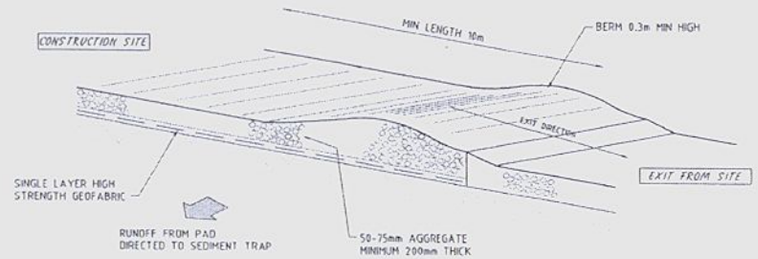
EARTHWORKS ARE TO BE GRADED TO FALL TO PITS WITH INLETS FITTED WITH GEOTEXTILE SEDIMENT FILTERS. ALL SEDIMENT FILTERS ARE TO BE MAINTAINED IN EFFECTIVE WORKING ORDER FOR THE DURATION OF THE WORKS.

LIMIT OR STOP WORKS IN PERIODS OF WET WEATHER.

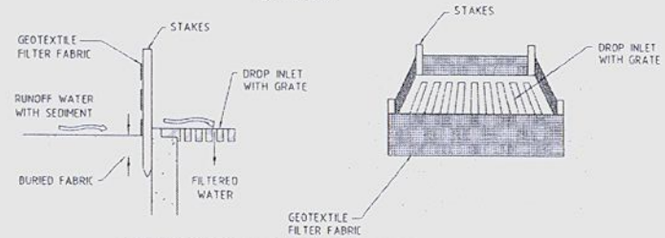
SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL LANDSCAPING AND FINAL SITE STABILISATION WORKS HAVE BEEN COMPLETED. ANY AREAS DISTURBED AS A RESULT OF THE REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE STABILISED IN CONJUNCTION WITH THEIR REMOVAL.



PROPRIETARY SILT FENCE DETAIL
NOT TO SCALE



TEMPORARY CONSTRUCTION VEHICLE EXIT
NOT TO SCALE



GOETEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP
NOT TO SCALE

REV	DATE	REVISING	DRN	CHK
C	23/11/07	CONSTRUCTION ISSUE	VP	SB
B	10/10/07	PRELIMINARY CONSTRUCTION ISSUE	VP	RC
A	04/07/2007	FOR APPROVAL	PL	RC

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CLIENT:
PAYNTER DIXON CONSTRUCTIONS

	PREPARED	CHECKED
DESIGNED	PL	RTC
DRAWN	PL	
REVIEW		
APPROVED: PROJECT DIRECTOR	DATE	PROJECT MANAGER DATE

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PAYNTER DIXON CONSTRUCTIONS PTY LTD
PITTWATER RSL CLUB MONA VALE
AMENITIES BUILDING
EROSION & SEDIMENT CONTROL NOTES AND DETAILS

DRAWING STATUS: FOR APPROVAL
DRAWING NUMBER: 600102-231
REV: C

A1 ON ORIGINAL

Landscaping and plant qauntities to previously approved Landscape Plan

MONA VALE ROAD

Landscaping and plant qauntities to previously approved Landscape Plan

Landscaping and plant qauntities to previously approved Landscape Plan

BOWLING GREEN 1
(PREVIOUSLY APPROVED-
UNDER CONSTRUCTION)
RL 24.60

BOWLING GREEN 3
(PREVIOUSLY APPROVED
-UNDER CONSTRUCTION)
RL 24.60

Endemic screen planting to consist of:
- Grey Gums
- Crimson Bottlebrush
- Purple Hop Bush
- Coastal Banksia
- Snow in Summer
- Grevillea sericea
- Correa
with Native Grasses
Refer to Plant Schedule for plant species and quantities

EXIST WATER TANK

EXIST WATER TANK

Landscaping and plant qauntities to previously approved Landscape Plan

Landscaping and plant qauntities to previously approved Landscape Plan

BOWLING GREEN 2
(PREVIOUSLY APPROVED
-UNDER CONSTRUCTION)
RL 24.60

TURF AREA

New awning to existing relocated shed

NEW SHED

EXISTING SHED RELOCATED

TERRACE

NEW PATH

TURF AREA

Read in conjunction with new architectural plans

TURF AREA

Mix of **Dianella "Silver Streak", Dianella "Tas Red" & Dinella "Breeze"**

DRIVEWAY ACCESS

NEW PATH

RAMP

ENTRY

RAMP

EXISTING GREEN KEEPERS SHED SHOWN DASHED TO BE RELOCATED TO AMENTITES AREA

Mix of **Lomandra "Tanika", Lomandra "Katrinus" & Lomandra "Nyalla"**

EXISTING CARPARKING

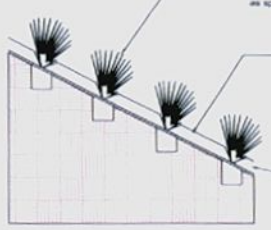
Callistemon citrinus

Dodonaea viscosa

Melaleuca spp.

Dianella cultivars

Lomandra cultivars

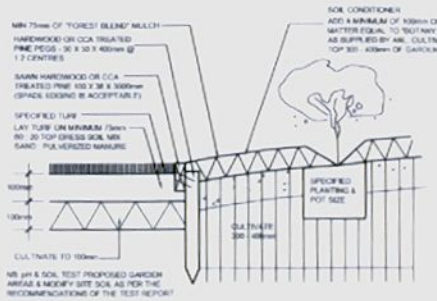


Selected Native Grasses to include:
Lomandra longifolia & cvs
Dianella cvs
Pennisetum alopecuroides
Plant grasses @ 3-5 per m2
as specified in schedule

Pocket plant through jute matting:
1) Grade and clear banks
2) Lay & pin Jute as per Man's spec.
3) Dig holes suitable for 100mm pots through Jute, break-up wall of holes & backfill with imported soil mix.
4) Pocket plant pots in bank.
5) Mulch finished surface with 75mm "Forest Blend" green waste mulch as supplied by ANL, or approved equal.

75mm "Forest Blend" leaf litter mulch as supplied by ANL (or equal) to be laid over Jute matting
"MAXJUTE" biodegradable erosion control matting as supplied by Treemax (or equal) laid to Man's Spec.

BANK TREATMENT -
POCKET PLANTING THROUGH JUTE MATTING n.t.s



MIN 75mm OF "FOREST BLEND" MULCH

HARDWOOD OR CCA TREATED PINE PEGS - 50 X 50 X 400mm @ 1.2 CENTRES

BARK HARDWOOD OR CCA TREATED PINE 100 X 38 & 3000mm (SPADE EDGING IS ACCEPTABLE)

SPECIFIED TURF

LAY TURF ON MINIMUM 75mm RO - 20 TOP DRESS SOIL MIX
SAND: PULVERIZED MANURE

100mm

150mm

CULTIVATE TO 100mm

NB: pH & SOIL TEST PROPOSED GARDEN AREAS & NEARBY SITE SOIL AS PER THE RECOMMENDATIONS OF THE TEST REPORT

SOIL CONDITIONER
ADD A MINIMUM OF 100mm OF ORGANIC MATTER EQUAL TO "SOLTANY HUMUS MIX" AS SUPPLIED BY ANL. CULTIVATE INTO THE TOP 300 - 400mm OF GARDEN BED

SPECIFIED PLANTING & POT SIZE

CULTIVATE 300 - 400mm

TYPICAL TURFING & GARDEN AREA
PREPARATION WITH TIMBER EDGE n.t.s

Plan prepared with reference to Pittwater Councils Landscaping Guidelines & requirements. Planting proposed using indigenous & native plant species from local planting lists.

All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & supressed.

Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period

LEGEND & SCHEDULE

Plant schedule amended to incorporate new planting in new Amentities Area

Endemic Canopy Tree

Ep — **Eucalyptus punctata** (45Lt Pots)
Grey Gum (Endemic)
(Mat. Hght approx. 10-25m x 5-8m).
Qty Required: **2**

Small Native Trees

Bi — **Banksia integrifolia** (35Lt Pots).
Coastal Banksia (Endemic)
(Mat. Hght approx. 5-10m x 3-5m)
Qty Required: **2**

Ml — **Melaleuca linearifolia** (35Lt Pots).
Snow in Summer
(Mat. Hght & Sp. approx. 5-8m x 3-4m)
Qty Required: **1**

Native Shrubs

Cc — **Callistemon citrinus** (200mm Pots).
Crimson Bottlebrush
(approx. mature height & spread 3-4m x 2-3m)
Qty Required: **5**

Dv — **Dodonaea viscosa "Purpurea"**
(200mm Pots). *Purple Sticky Hop Bush*
(approx. 2-4m x 2m)
Qty Required: **6**

Cr — **Correa reflexa** (250mm Pots).
Native Fuschia (Native)
(Approx. 1-2m x 1m)
Qty Required: **5**

G — **Grevillea sericea** (250mm Pots).
Pink Spider Flower
(approx. mature height & spread 1-1.5m x 1m)
Qty Required: **10**

Native Ground Covers

Doryanthes excelsa (250mm pots).
Gymea Lily
(Mature size; 750mm x 750mm)
Allow: 6 (3 under each Grey Gum)

Dianella "Silver Streak", Dianella "Tas Red" & Dianella "Breeze" (planted in 100mm pots in swales of same species, at **5 per m2** in areas indicated)

Pennisetum alopecuriodes cvs (100mm pots)
Swamp Fox Tail (Native)
(Approx Mature Size 600mm x 600mm)
Plant @ 3 per m2

Lomandra "Tanika", Lomandra "Katrinus" & Lomandra "Nyalla" (planted in 100mm pots in swales of same species, at **3 per m2** in areas indicated)

Other Landscape Items

Soft - Leaf buffalo turf on prepared surface & subgrade

TIMBER GARDEN EDGING (where required)

Existing trees proposed to be removed & replaced with new landscaping

Existing trees proposed to be retained and protected

Conzept
Landscape Architects

PO Box 416,
CREMORNE 2090

www.conzept.net.au
enquiries@conzept.net.au

Phone: 9438 1744
Fax: 9438 1766
Mobile: 0413 861 351

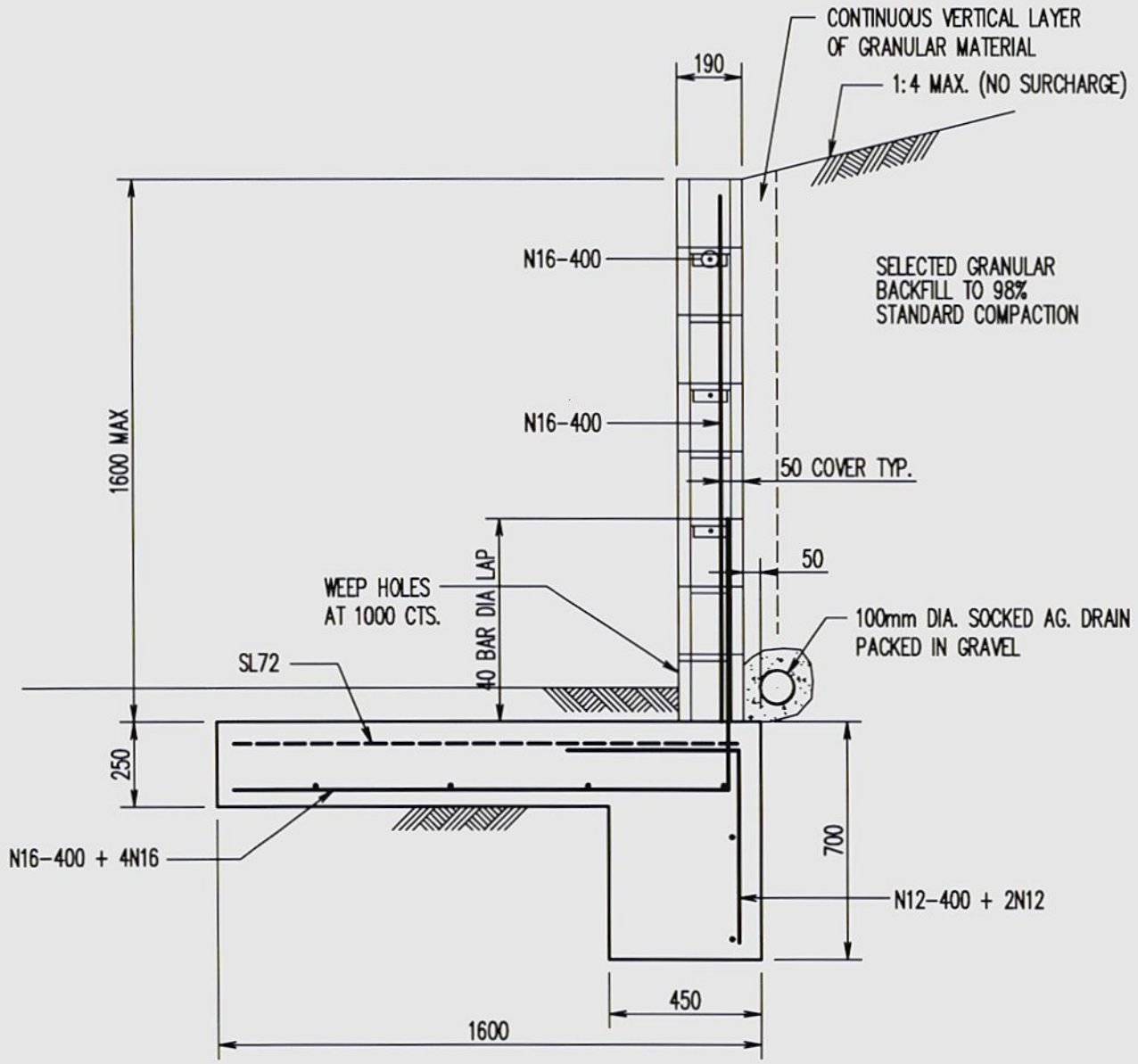
Landscape Plan

PROPOSED AMENITIES AREA

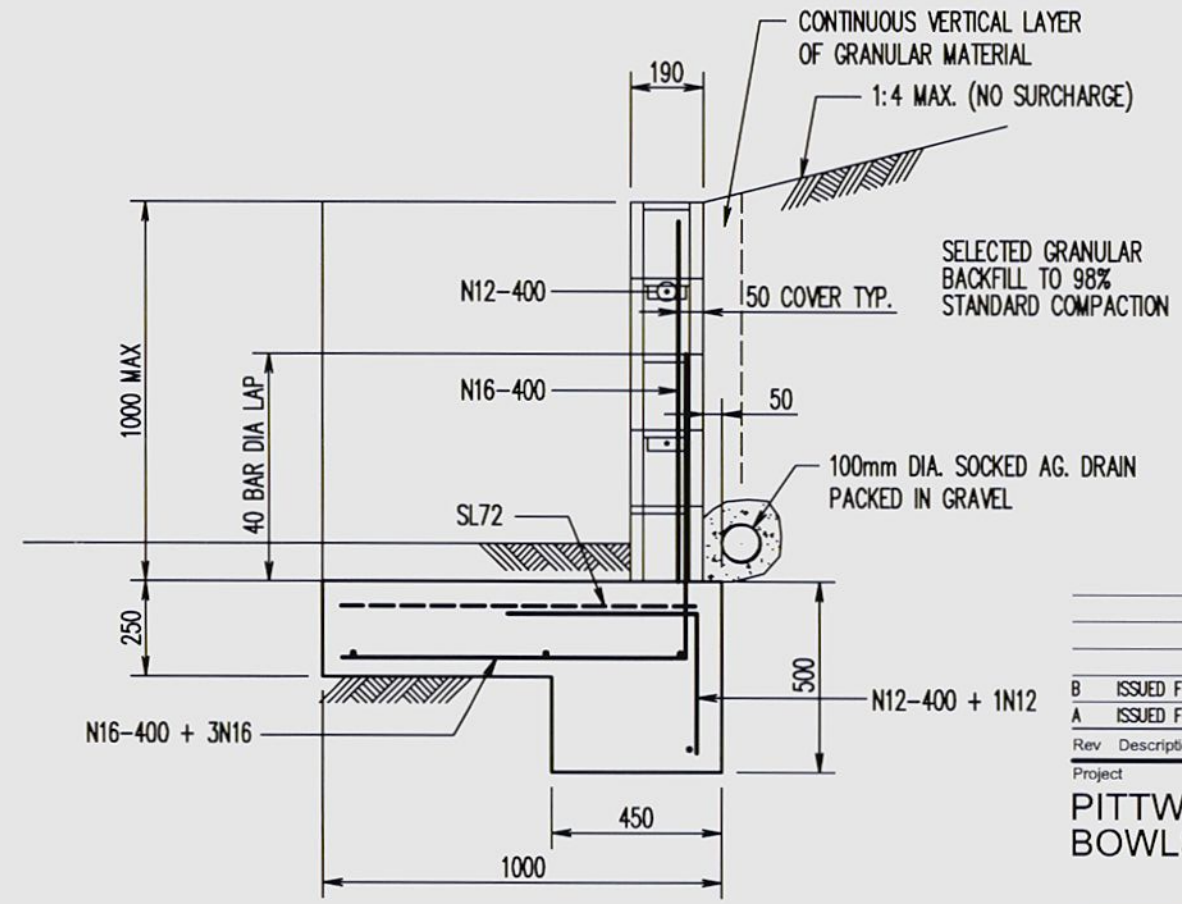
Pittwater RSL Club

Arhitect: Paynter Dixon Construction PTY LTD
Client: Mr Bruce
Council: PITTWATER
Scale: 1:250 @ A1
Date: July 2007
Drawing # **LPDA 08 - 06 / 1**

FOR GENERAL AND CONCRETE NOTES REFER TO DRAWING S0001.



TYPICAL RETAINING WALL SECTION - 1600 MAX HIGH.



TYPICAL RETAINING WALL SECTION - 1000 MAX HIGH.

Rev	Description	Eng	Draft	Date
B	ISSUED FOR CONSTRUCTION	G.P	G.J.P	15.11.07
A	ISSUED FOR TENDER	G.P	G.J.P	29.08.07

Project

PITTWATER RSL
BOWLS AMENITIES

Sheet Subject

RETAINING WALL DETAIL

Client

PAYNTER DIXON
HOSPITALITY

(ABN 840 971 203 15)
320 LIVERPOOL ROAD
ASHFIELD NSW 2131
Ph. 02.9797.5555 Fax. 02.9799.6149
No. - PRL 1/18

Architect

bergstrom ARCHITECTS

BERGSTROM ARCHITECTS PTY. LTD. (ABN 75 095 092 989)
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Ph. 02.8920.1499 Fax. 02.8920.1599

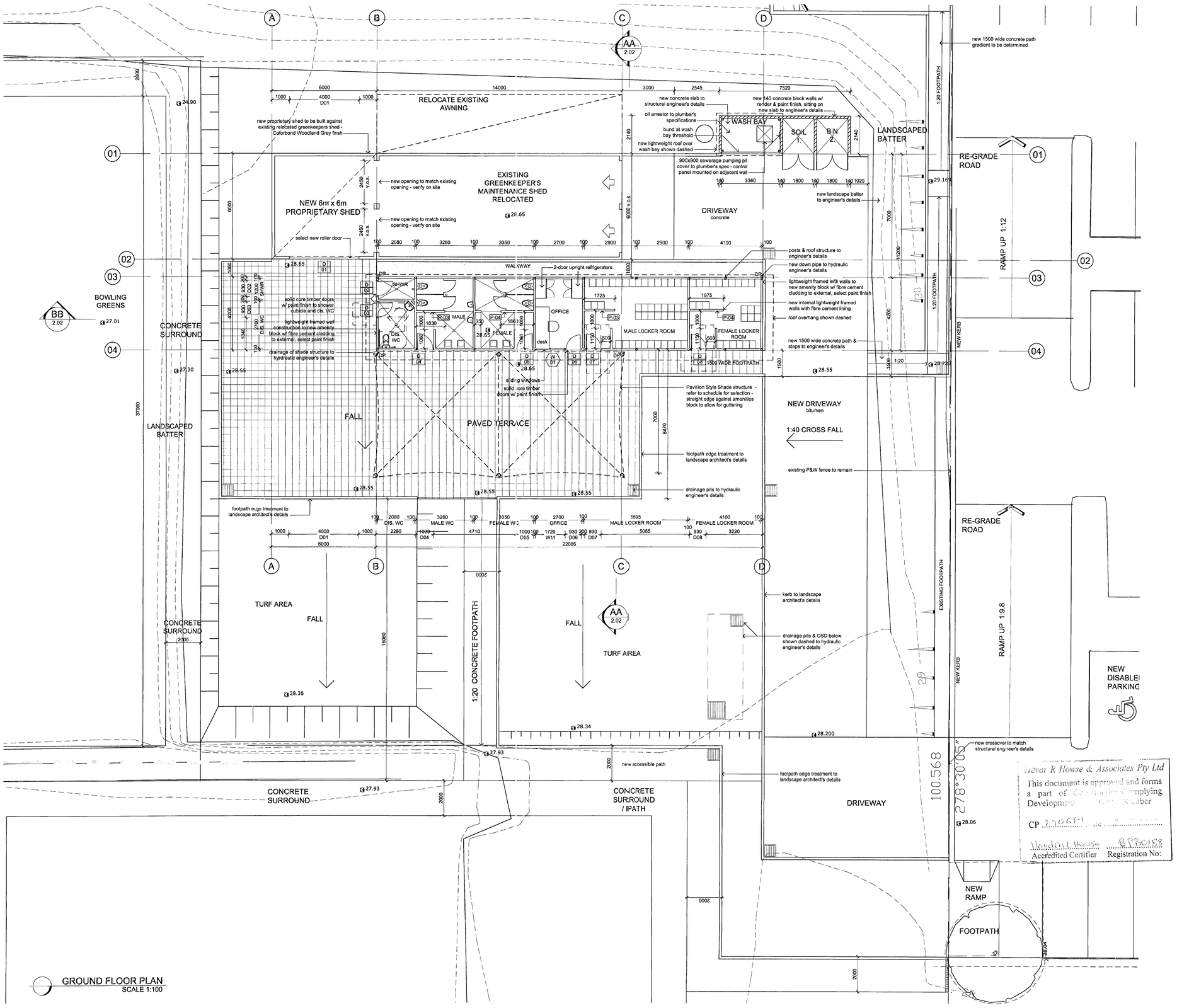
TaylorThomsonWhitting
Consulting Engineers
48 Chandos Street St.Leonards NSW 2065
T: +61 2 9439 7288 F: +61 2 9439 3146 ttwsyd@ttw.com.au
Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 578 377

Scale :	Drawn	Authorised
1:20	GJP	

Job No	Drawing No	Revision
071188	S0004	B

Plot File Created: Nov 15, 2007 - 8:56am

FileName: S0004.dwg - USER: grahamp - Plot File Created: Nov 15, 2007 - 8:56am



PITTWATER RSL CLUB

N

REVISIONS		
A	15.11.07	ISSUED FOR CONSTRUCTION CERTIFICATE

PAYNTER DIXON HOSPITALITY

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No. - PRL 1/18

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PROJECT

PITTWATER RSL CLUB BOWLS AMENITIES

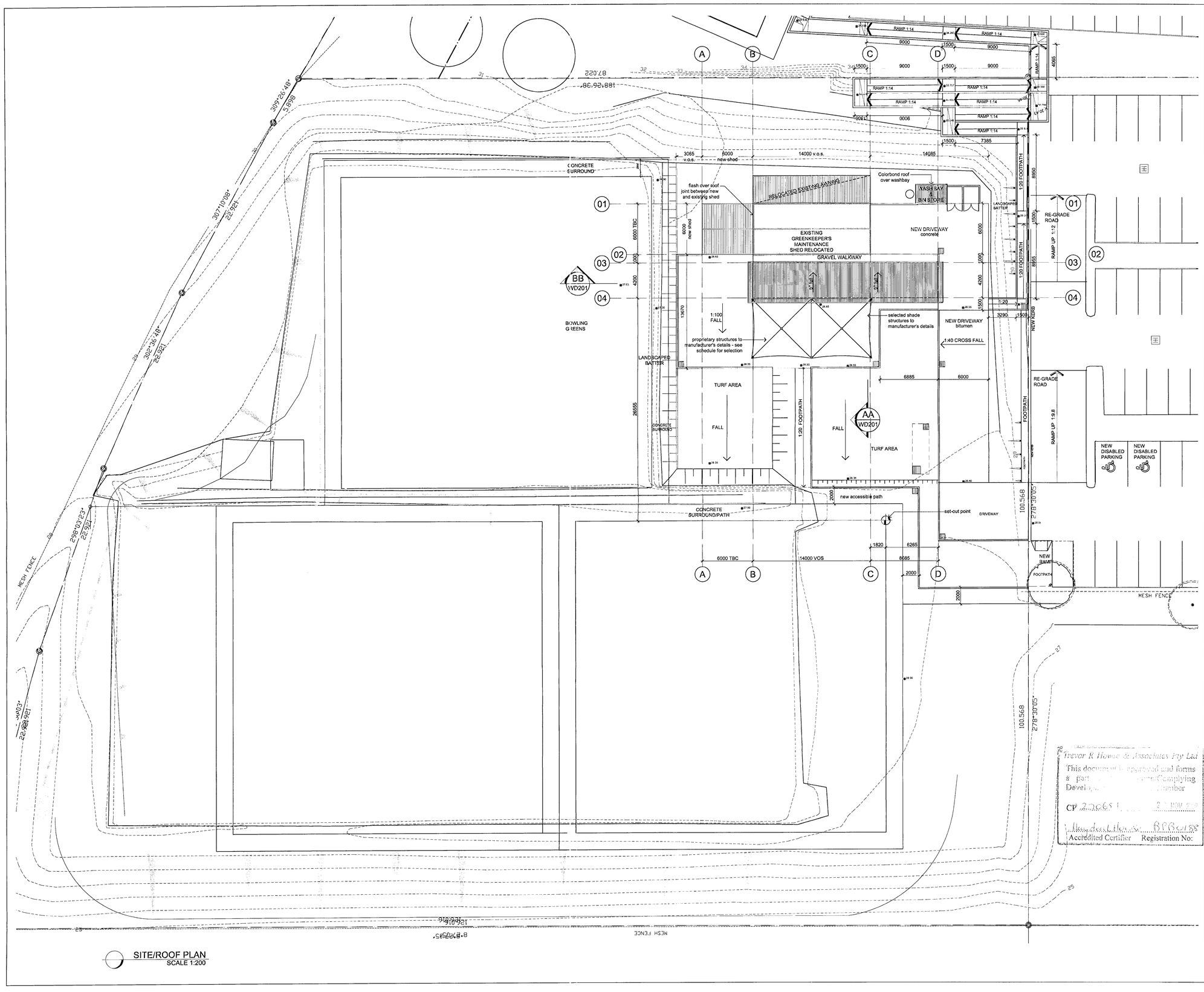
DRAWING

FLOOR PLAN

SCANNED 2 8 NOV 2007 PITTWATER COUNCIL

SCALE	DWG. NO.	REV.
1 : 100	CC101	A

DATE: 15.11.07
DRAWN BY: PVW
JOB NUMBER: 06-022



SITE/ROOF PLAN
SCALE 1:200

Trevor R Howse & Associates Pty Ltd
This document is approved and forms a part of a Complying Development Certificate
CP 23065
Accredited Certifier Registration No: BPB0188

PITTWATER RSL CLUB

N

BCA SPECIFICATION:

- ALL GLAZING TO COMPLY W/ AS1288-2006 & AS2047-1999 - AS PER CLAUSE B1.4 OF THE BCA

- ALL METAL ROOF COVER TO COMPLY WITH AS1562.1-1992 - AS PER CLAUSE B1.4 OF THE BCA

- ALL GENERAL MATERIALS OF CONSTRUCTION SHALL HAVE A SPREAD OF FIRE (SOF) INDEX NOT EXCEEDING 9, & A SMOKE DEVELOPED INDEX NOT EXCEEDING 8 IF THE SOF EXCEEDS 5 - AS PER CLAUSE C1.10 OF THE BCA

- ALL FLOOR LININGS SHALL HAVE A CRF VALUE NOT LESS THAN 2.2 AND A SMOKE DEVELOPMENT RATE NOT MORE THAN 750% - MINUTES - AS PER CLAUSE C1.10 OF THE BCA

- ALL WALL & CEILING LININGS SHALL HAVE A GROUPING OF 1 OR 2 - AS PER CLAUSE C1.10 OF THE BCA

- ALL NEW DOORWAYS ARE TO HAVE A CLEAR UNOBSTRUCTED HEIGHT NOT LESS THAN 1980MM & OPENING WIDTH NOT LESS THAN 750MM - AS PER CLAUSE D1.6 OF THE BCA

- A PORTABLE FIRE EXTINGUISHER COMPLYING WITH AS2444-2001 TO BE INSTALLED IN THE NEW OFFICE - AS PER CLAUSE E1.6 OF THE BCA

A	15.11.07	ISSUED FOR CONSTRUCTION CERTIFICATE

REVISIONS

PAYNTER DIXON
HOSPITALITY
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PROJECT
PITTWATER RSL CLUB BOWLS AMENITIES

DRAWING
SITE / ROOF PLAN

SCALE	DWG. NO.	REV.
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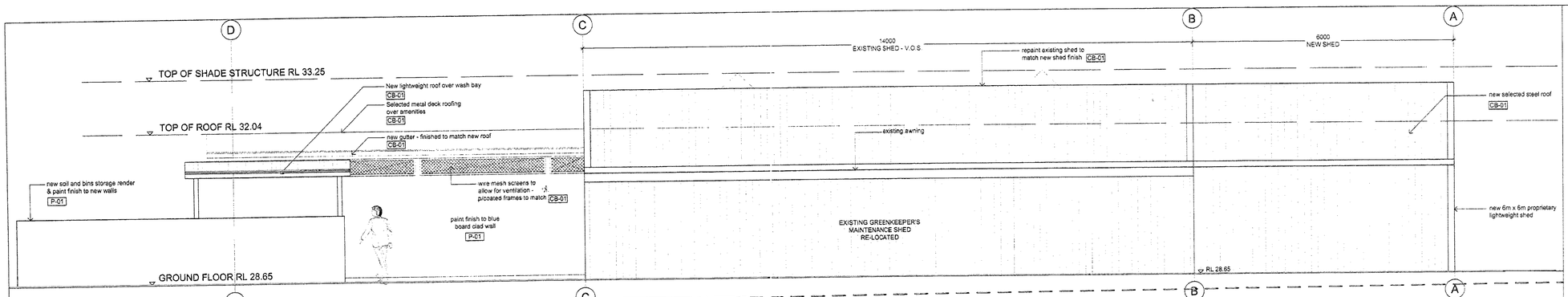
DATE: 15.11.07
DRAWN BY: PVW
JOB NUMBER: 06-022



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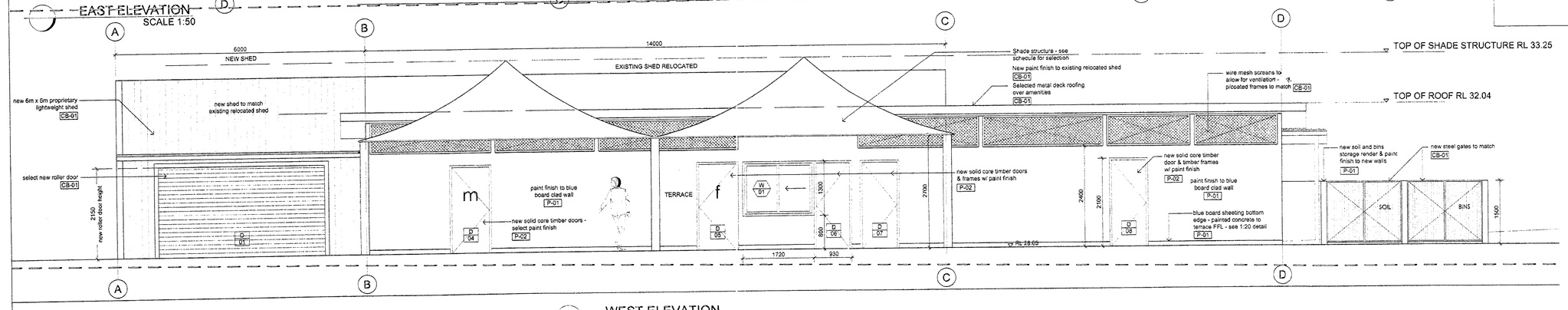

WEST ELEVATION
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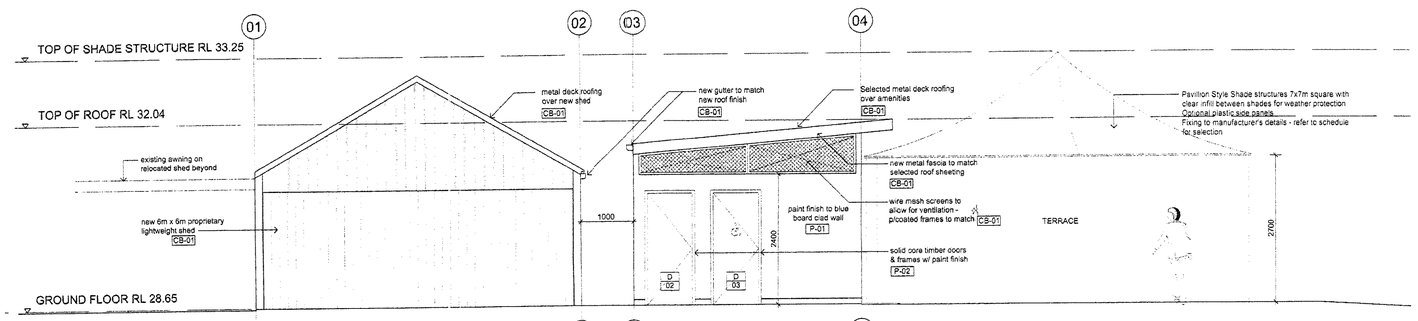

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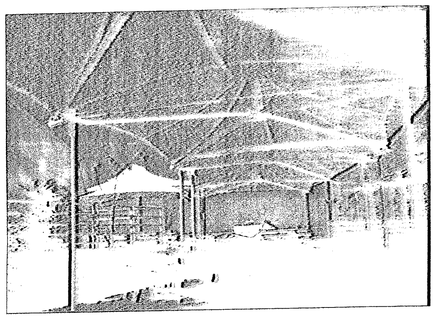
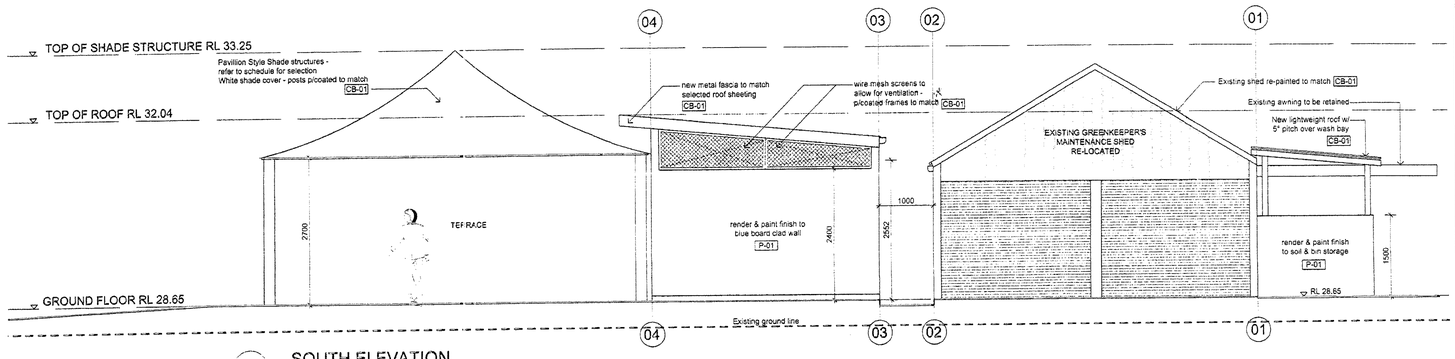


SHADE STRUCTURE IMAGE



SOUTH ELEVATION
SCALE 1:50

PITTWATER RSL CLUB

Trevor R Hawse & Associates Pty Ltd
This document is approved forms a part of the Development Application applying for
CP 370651
Registered Certifier Registration No: BPB0185

A	20.09.07	ISSUED FOR CONSTRUCTION

REVISIONS
* THE MESH SCREENS DO NOT FORM PART OF THIS APPROVAL.

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PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
ELEVATIONS

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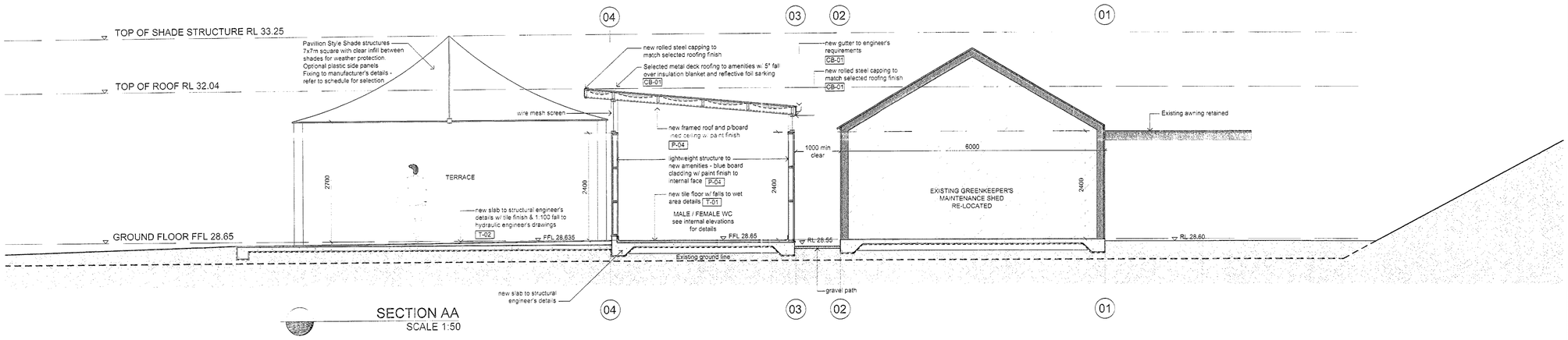
DATE: 20.09.07
DRAWN BY: PVW
JOB NUMBER: 06-022



SECTION AA
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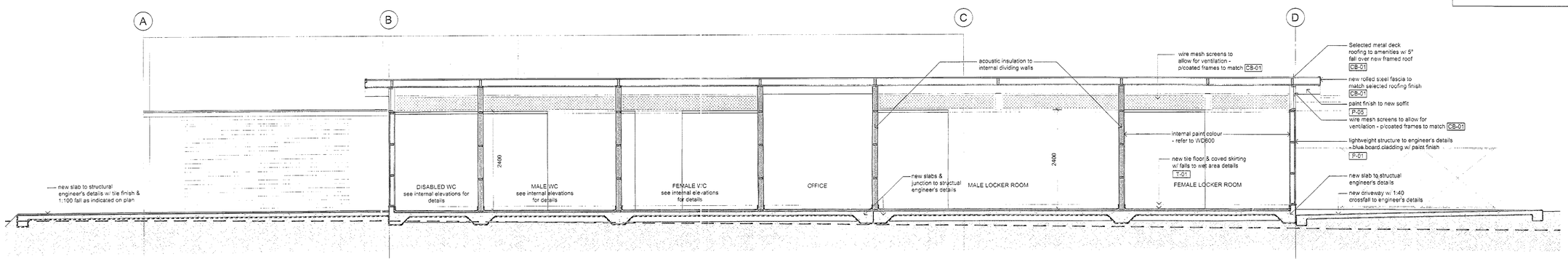

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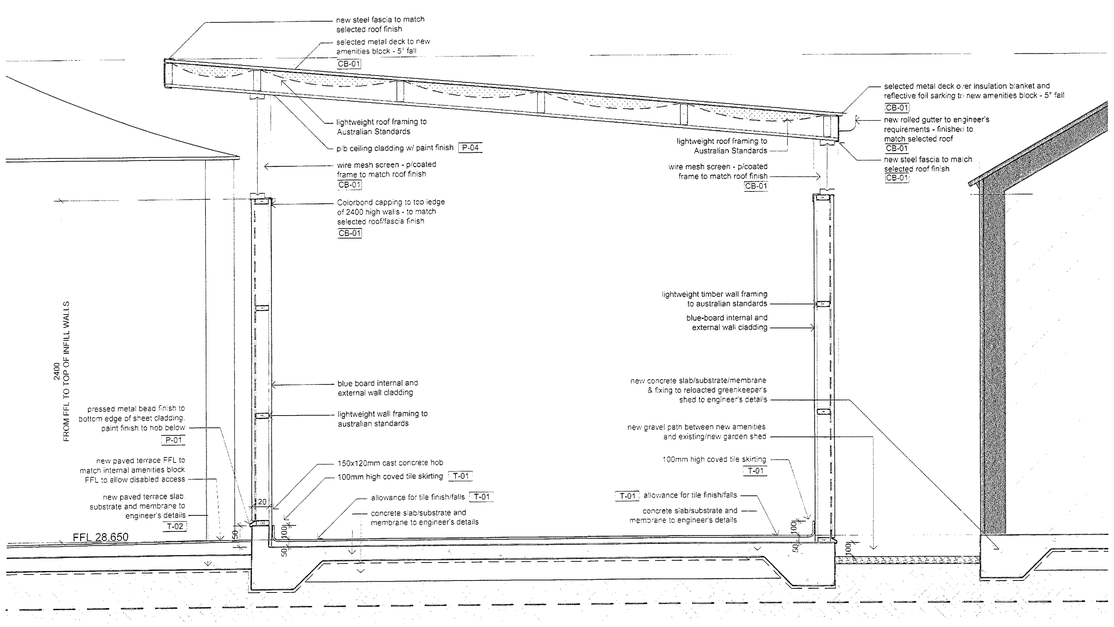

DETAIL SECTION AA
SCALE 1:20

Trevor R Howse & Associates Pty Ltd
This document is approved and forms a part of a Complying Development Certificate
CP 270651
Hayden L Howse
Accredited Certifier
Registration No: 0223018

A	20.09.07	ISSUED FOR CONSTRUCTION

REVISIONS

PAYNTER DIXON
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PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
SECTIONS / DETAILS

SCALE	DWG. NO.	REV.
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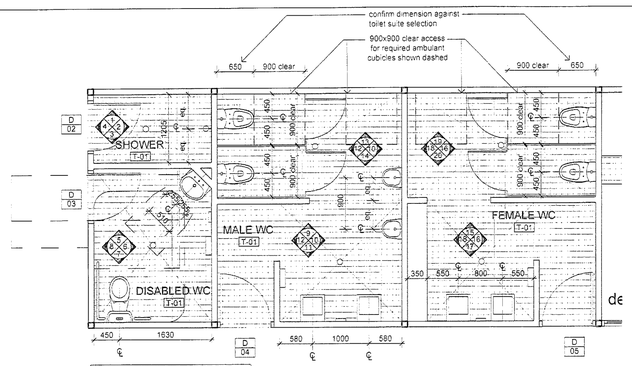
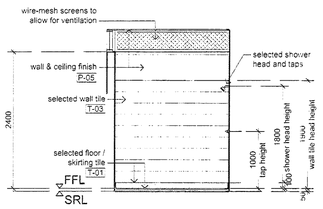
DATE: 20.09.07
DRAWN BY: PVW
JOB NUMBER: 06-022





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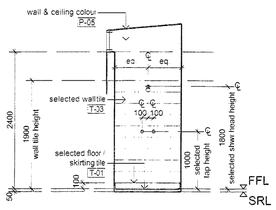

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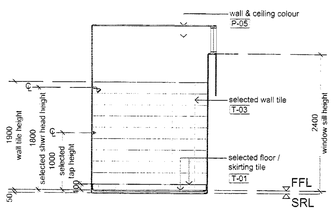

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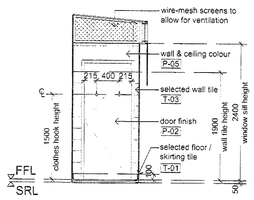

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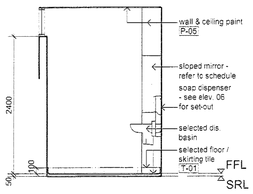

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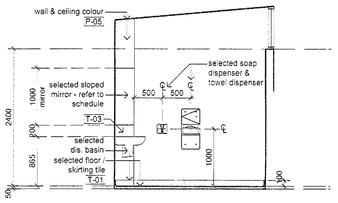

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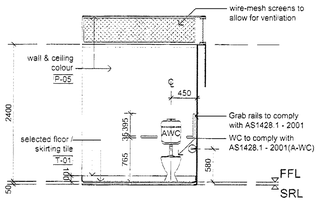

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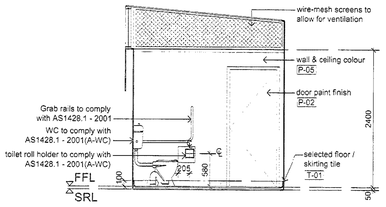

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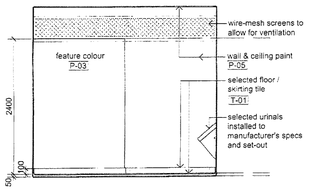

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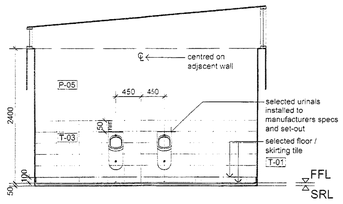

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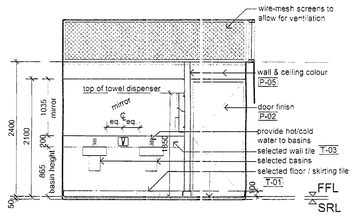

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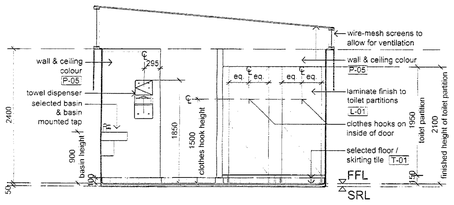

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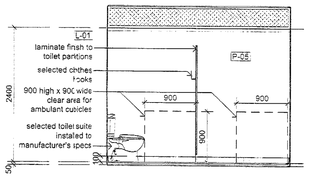

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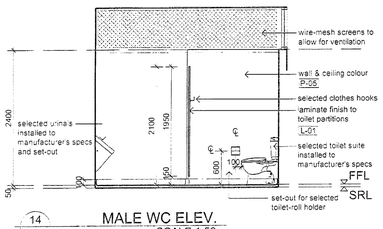

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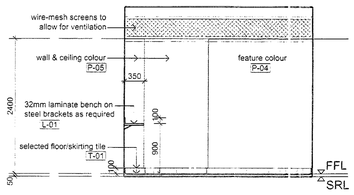

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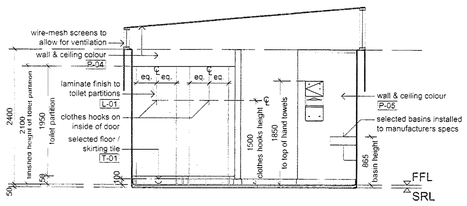

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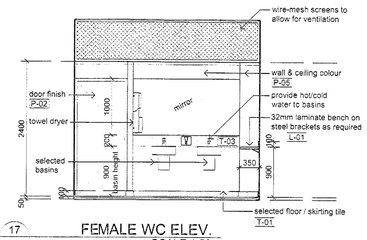

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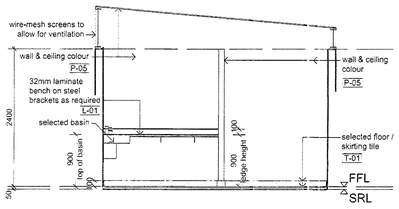

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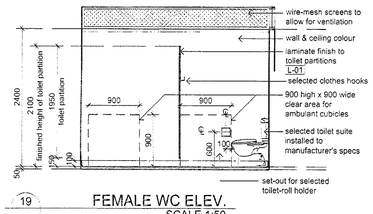

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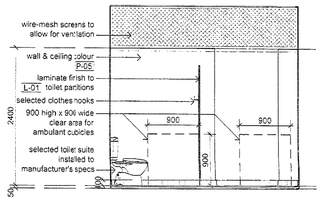

20 FEMALE WC ELEV.
SCALE 1:50

CP 27065-1

Hayden House BPB 0188
Accredited Certifier Registration No:

A	20.09.07	ISSUED FOR CONSTRUCTION

REVISIONS

PAYNTER DIXON
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No. - PRL 1/18

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Ph. 02.8920.1499 Fax. 02.8920.1599

PROJECT

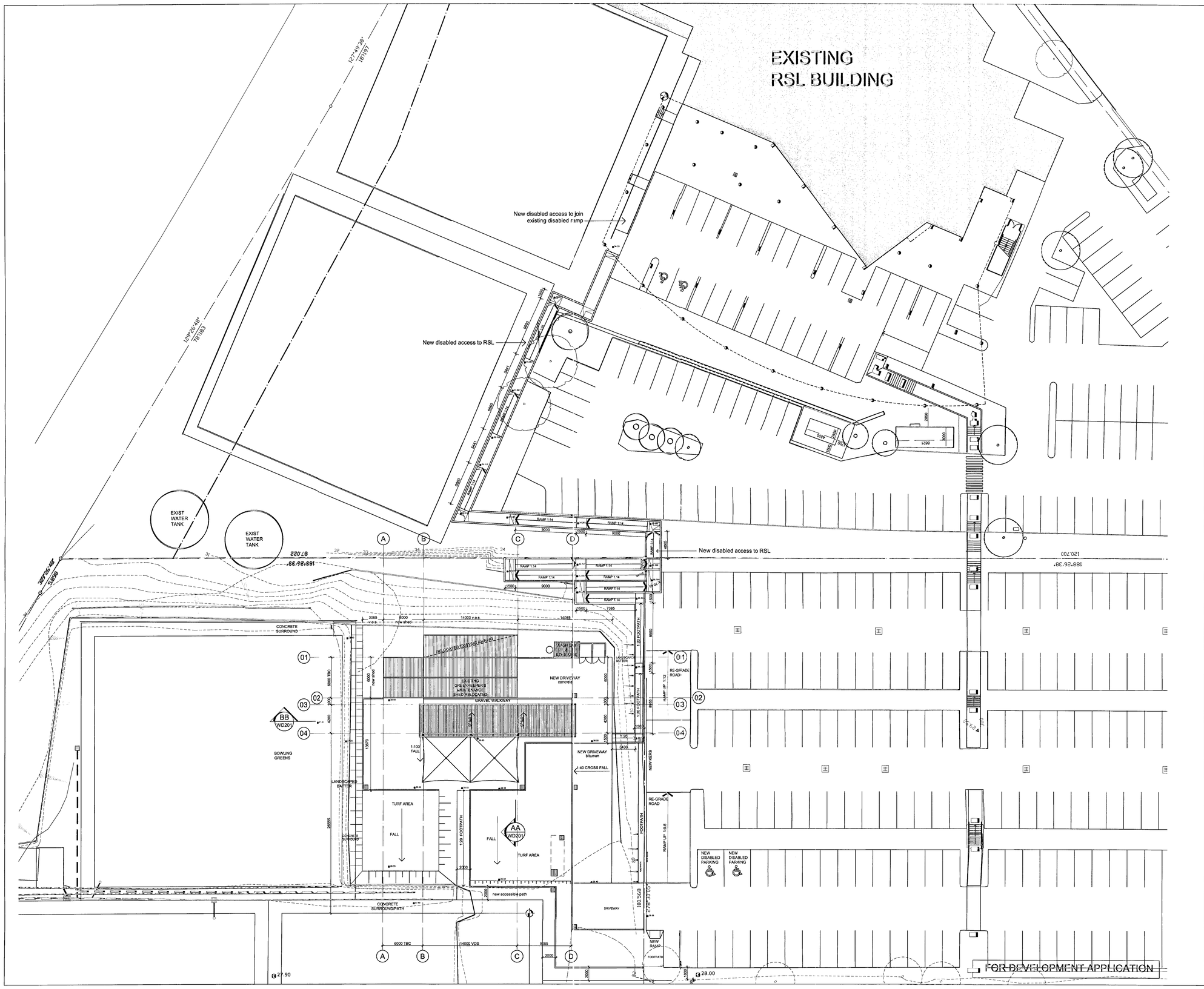
PITTWATER RSL CLUB BOWLS AMENITIES

DRAWING

INTERNAL ELEVATIONS

SCALE	DWG. NO.	REV.
1 : 50 @ A1	WD600	A

DATE: 20.09.07
DRAWN BY: PVW
JOB NUMBER: 06-022



PITTWATER RSL CLUB

N

Trevor R Howse & Associates Pty Ltd
This document is approved and forms a part of the [illegible] supplying Development [illegible] number
CP [illegible]
[illegible] BPB0188
Accredited Certifier Registration No:

REVISIONS		
A	15.11.07	ISSUE FOR CONSTRUCTION CERTIFICATE

CLIENT
PAYNTER DIXON HOSPITALITY

ARCHITECT
bergstrom ARCHITECTS

BERGSTROM ARCHITECTS PTY. LTD. (ABN 75 095 092 989)
SUITE 9, LEVEL 2 , 9 MYRTLE STREET,
NORTH SYDNEY NSW 2060
Ph. 02.8920.1499 Fax. 02.8920.1599

PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
NEW DISABLED RAMP PLAN

JOB NO.
PRL 1/17

SCALE	DWG. NO.	REV.
1:250	CC102	A

DATE: 15.11.07
DRAWN BY: PVW
JOB NUMBER: 06-022

PITTWATER RSL CLUB BOWLS AMENITIES

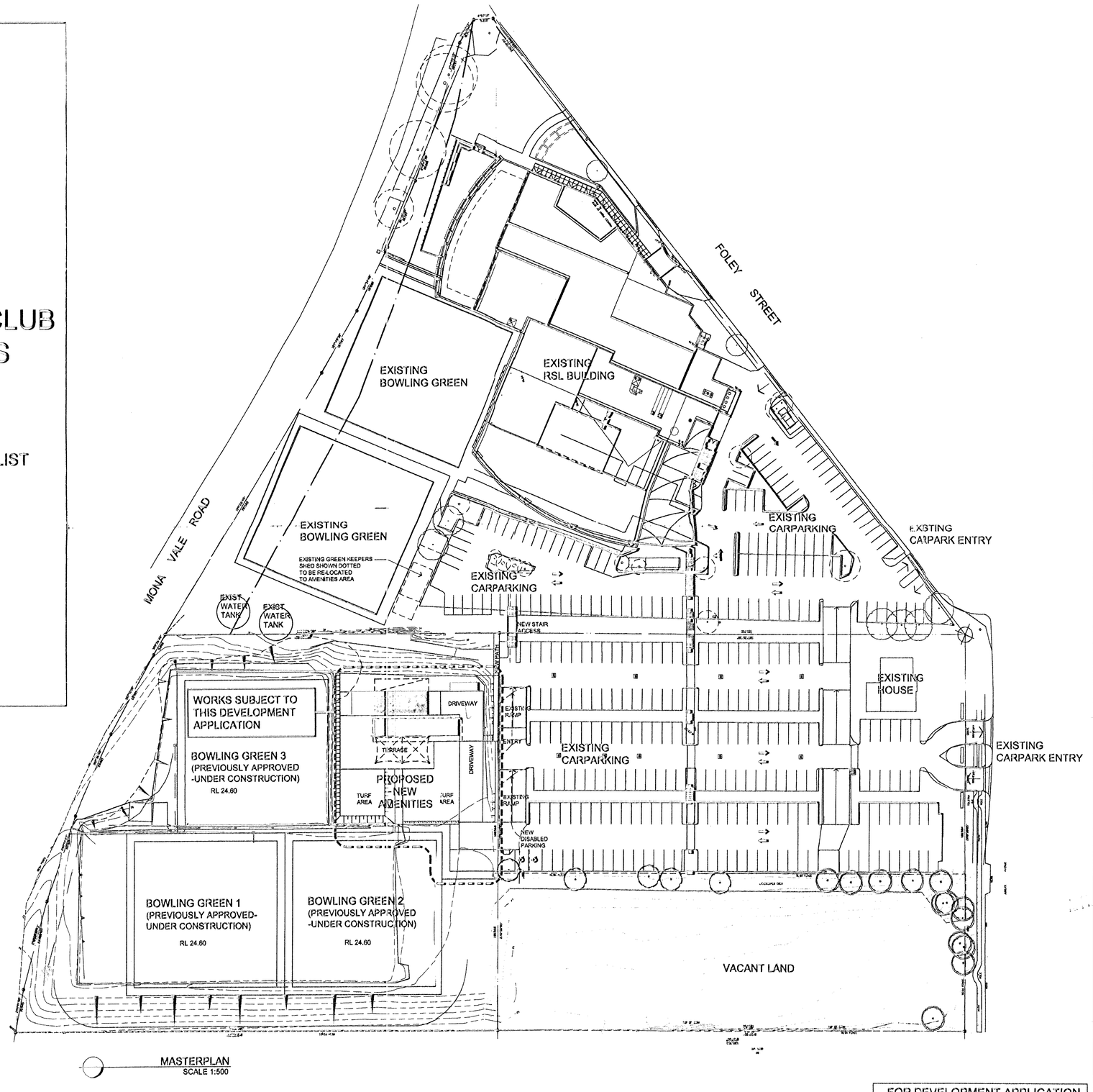
DRAWING LIST

1.00 SITEPLAN & DRAWING LIST
1.01 GROUND PLAN
1.02 ROOF PLAN

2.01 ELEVATIONS

3.01 SECTIONS

4.01 SHADOW DIAGRAMS



MASTERPLAN
SCALE 1:500

FOR DEVELOPMENT APPLICATION

N

SYDNEY WATER
APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainer.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, [illegible] and the NSW Code of Practice.
5. Gullies, Inspection [illegible] and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3435887

Reece, Punchbowl
Quick Check Agent on behalf of
SYDNEY WATER

[illegible] 01.11.07

P7	03.08.07	ISSUE FOR DA
P6	28.06.07	ISSUE FOR DA
P5	02.05.07	ISSUE FOR DA
P4	23.04.07	ISSUE FOR DA
P3	30.03.07	ISSUE FOR REVIEW
P2	24.07.06	ISSUE FOR REVIEW
P1	21.07.06	ISSUE FOR REVIEW

REVISIONS

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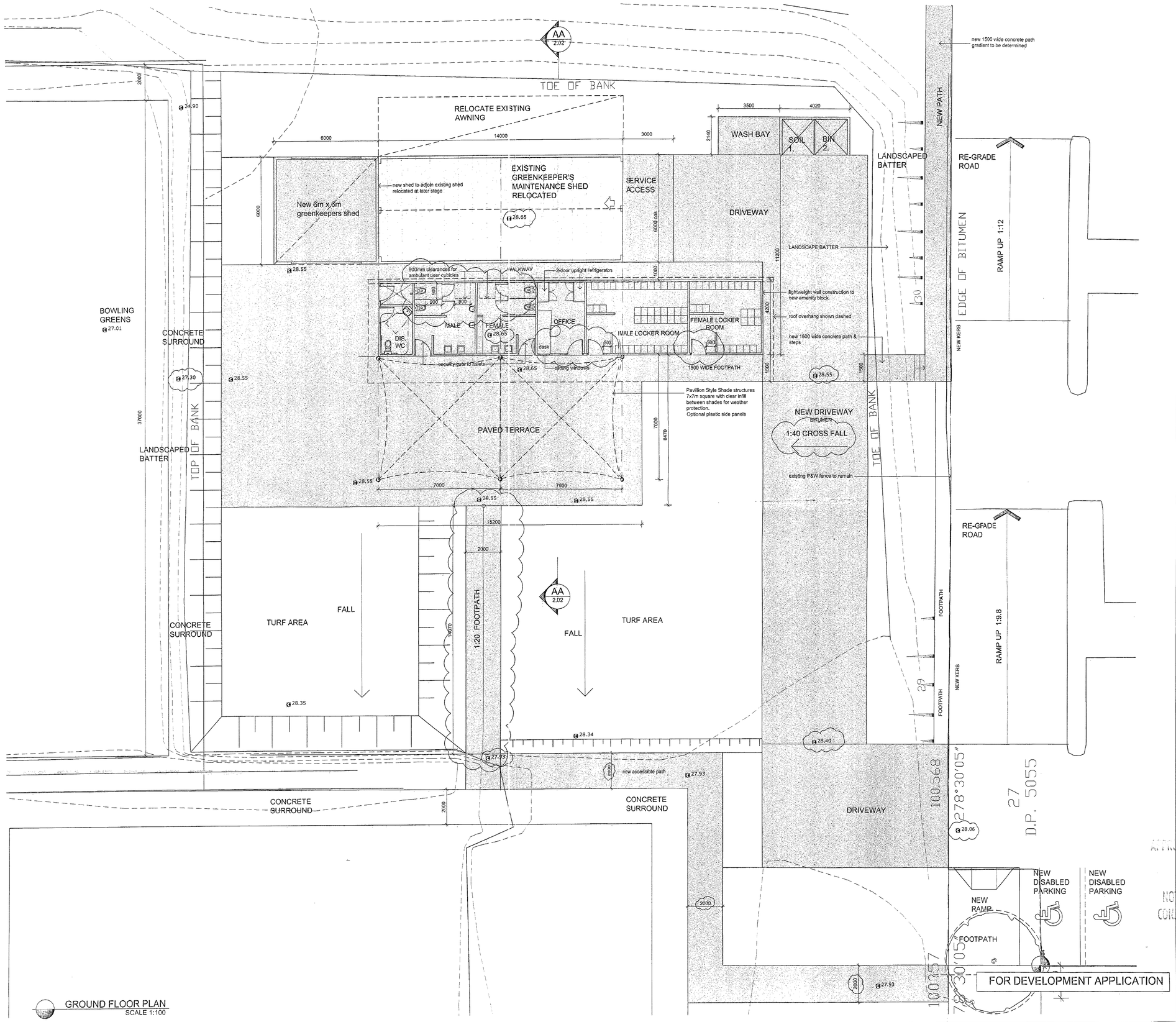
PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
LOCATION PLAN
& DRAWING LIST

SCANNED
20 NOV 2007
PITTWATER COUNCIL

SCALE	DWG. NO.	REV.
1 : 500	DA 1.00	P7

DATE: 29.05.06
DRAWN BY: JH
JOB NUMBER: 06-022



GROUND FLOOR PLAN
SCALE 1:100

PITTWATER RSL CLUB

N

LEGEND
Existing building being relocated
New work

P5	28.08.07	ISSUE FOR DA -Access compliance as clouded
P4	02.05.07	ISSUE FOR DA
P3	24.04.07	ISSUE FOR DA
P2	24.07.06	ISSUE FOR REVIEW
P1	21.07.06	ISSUE FOR REVIEW

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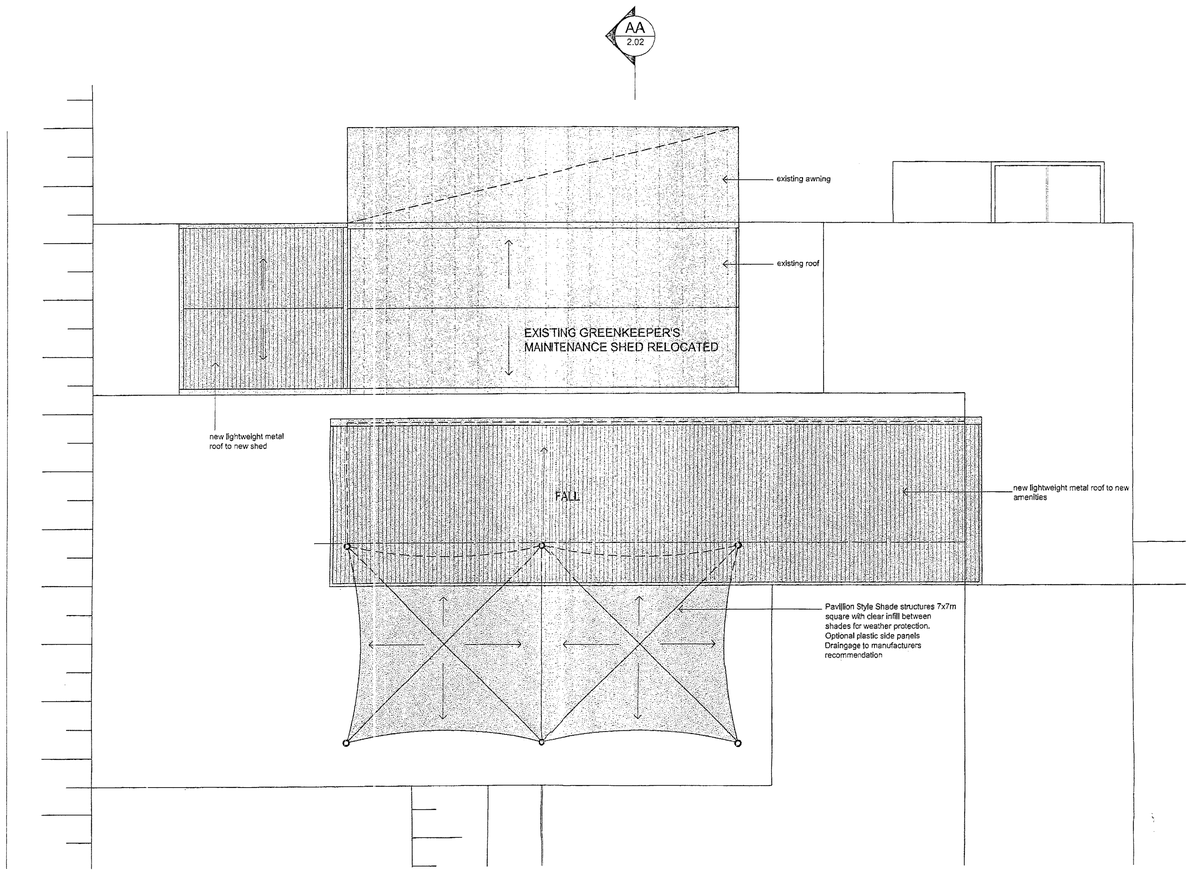
PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
FLOOR PLAN

SCALE	DWG. NO.	REV.
1 : 100	DA 1.01	P5

DATE: 29.05.06
DRAWN BY: JH
JOB NUMBER: 06-022



ROOF PLAN
SCALE 1:100

FOR DEVELOPMENT APPLICATION

PITTWATER RSL CLUB

LEGEND
Existing building being relocated
New work

P6	26.08.07	ISSUE FOR DA
P5	02.05.07	ISSUE FOR DA
P4	24.04.07	ISSUE FOR DA
P3	30.03.07	ISSUE FOR REVIEW
P2	24.07.06	ISSUE FOR REVIEW
P1	21.07.06	ISSUE FOR REVIEW

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PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
ROOF PLAN

SCALE	DWG. NO.	REV.
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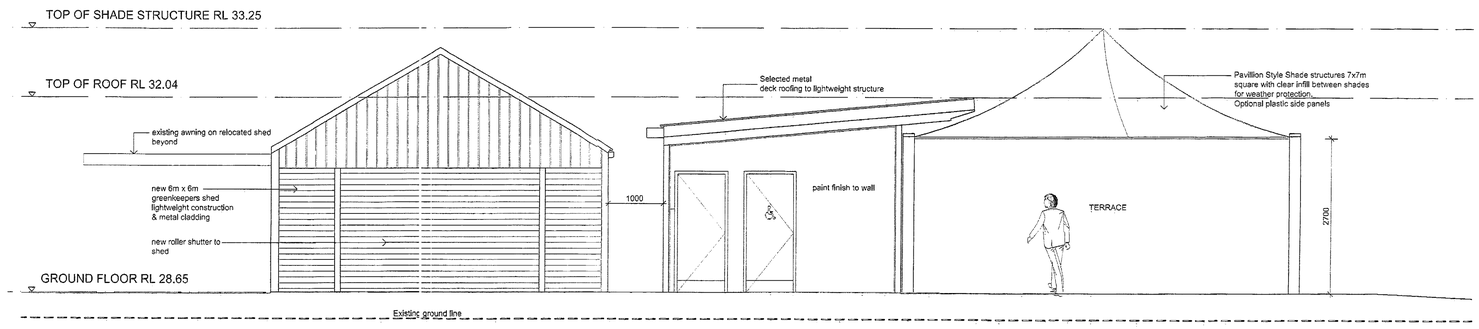
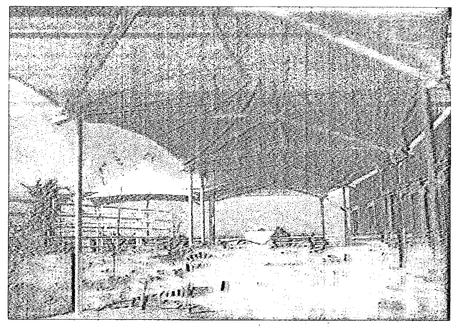
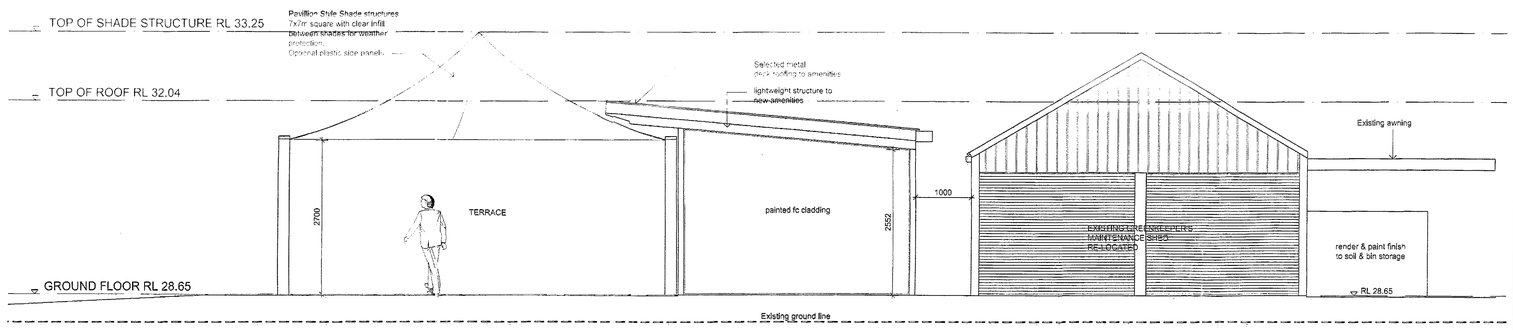
DATE: 29.05.06
DRAWN BY: JH
JOB NUMBER: 06-022



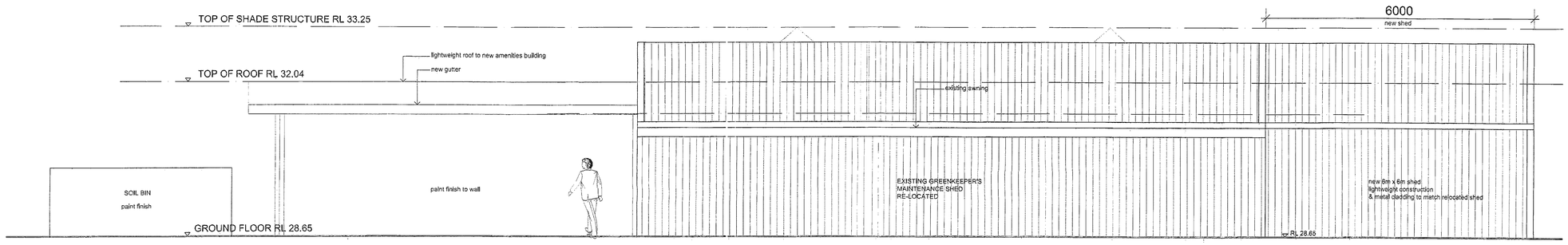
NORTH ELEVATION
SCALE 1:50



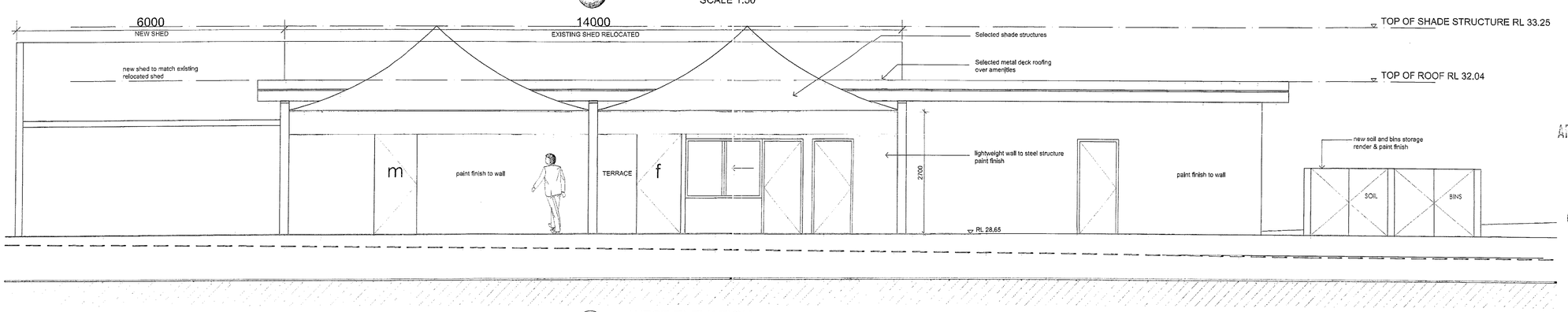
CONCEPT IMAGE



SOUTH ELEVATION
SCALE 1:50



EAST ELEVATION
SCALE 1:50



WEST ELEVATION
SCALE 1:50

FOR DEVELOPMENT APPLICATION

N

P4	28.06.07	ISSUE FOR DA - New RLs shown
P3	02.05.07	ISSUE FOR DA
P2	24.04.07	ISSUE FOR DA
P1	30.03.07	ISSUE FOR REVIEW

REVISIONS

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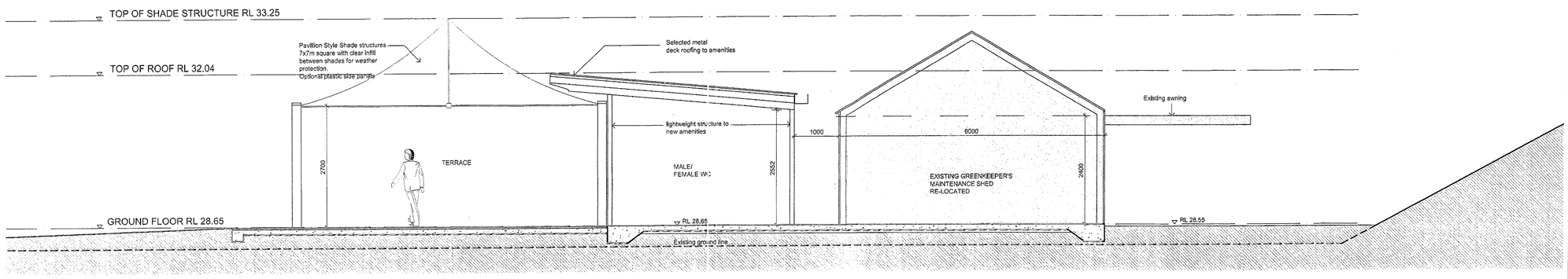
PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
ELEVATIONS

SCALE	DWG. NO.	REV.
1 : 100	DA 2.01	P4

DATE: 28.05.06
DRAWN BY: JH
JOB NUMBER: 06-022



SECTION AA
SCALE 1:50

PITTWATER RSL CLUB

N

P3	26.06.07	ISSUE FOR DA - New RLs shown
P2	24.04.07	ISSUE FOR DA
P1	30.03.07	ISSUE FOR REVIEW

REVISIONS

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PROJECT
PITTWATER RSL CLUB
BOWLS AMENITIES

DRAWING
SECTIONS

SCALE	DWG. NO.	REV.
1 : 100	DA 3.01	P3

DATE: 29.05.06
DRAWN BY: JH
JOB NUMBER: 06-022

FOR DEVELOPMENT APPLICATION

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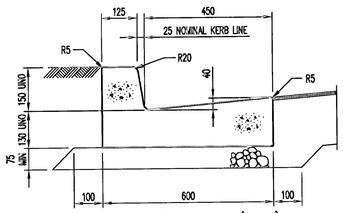
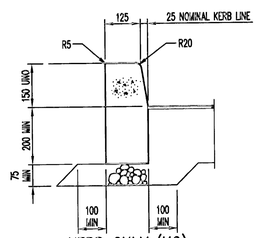
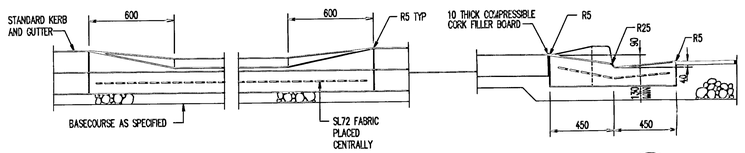


KERB AND GUTTER (K&G)
SCALE 1: 10

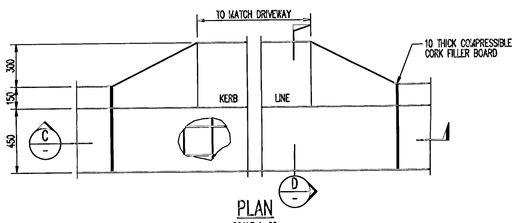


KERB ONLY (KO)
SCALE 1: 10



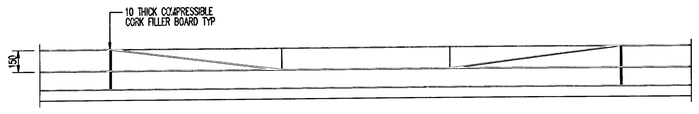
SECTION C
SCALE 1:20

SECTION D
SCALE 1:20

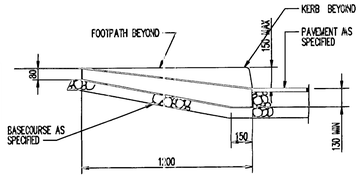


PLAN
SCALE 1: 20

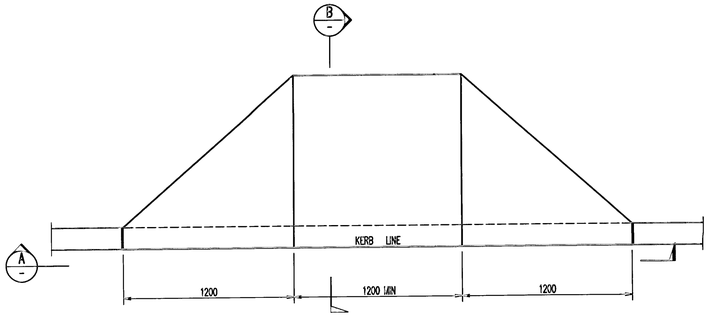
VEHICULAR CROSSING



ELEVATION A
SCALE 1:20



SECTION B
SCALE 1:20



PLAN
RAMPED CROSSING
SCALE 1: 20

Rev	Description	Eng	Draft	Date
B	ISSUED FOR CONSTRUCTION	G.M	G.J.P	15.11.07
A	ISSUED FOR TENDER	G.M	G.J.P	28.08.07

Project
PITTWATER RSL
BOWLS AMENITIES

Sheet Subject
PAVEMENT DETAILS

Client
PAYNTER DIXON
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Taylor Thomson Whitting (NSW) Pty Ltd A.C.N. 113 578 377

Scale : A1	Drawn	Authorised
1:20, 10	G.J.P	

Job No	Drawing No	Revision
071188	S0003	B

Plot File Created: Nov 15, 2007 - 8:58am

FileName: S0003.dwg - USER: grahamp - Plot File Created: Nov 15, 2007 - 8:58am

A1 0 1 2 3 4 5 6 7 8 9 10

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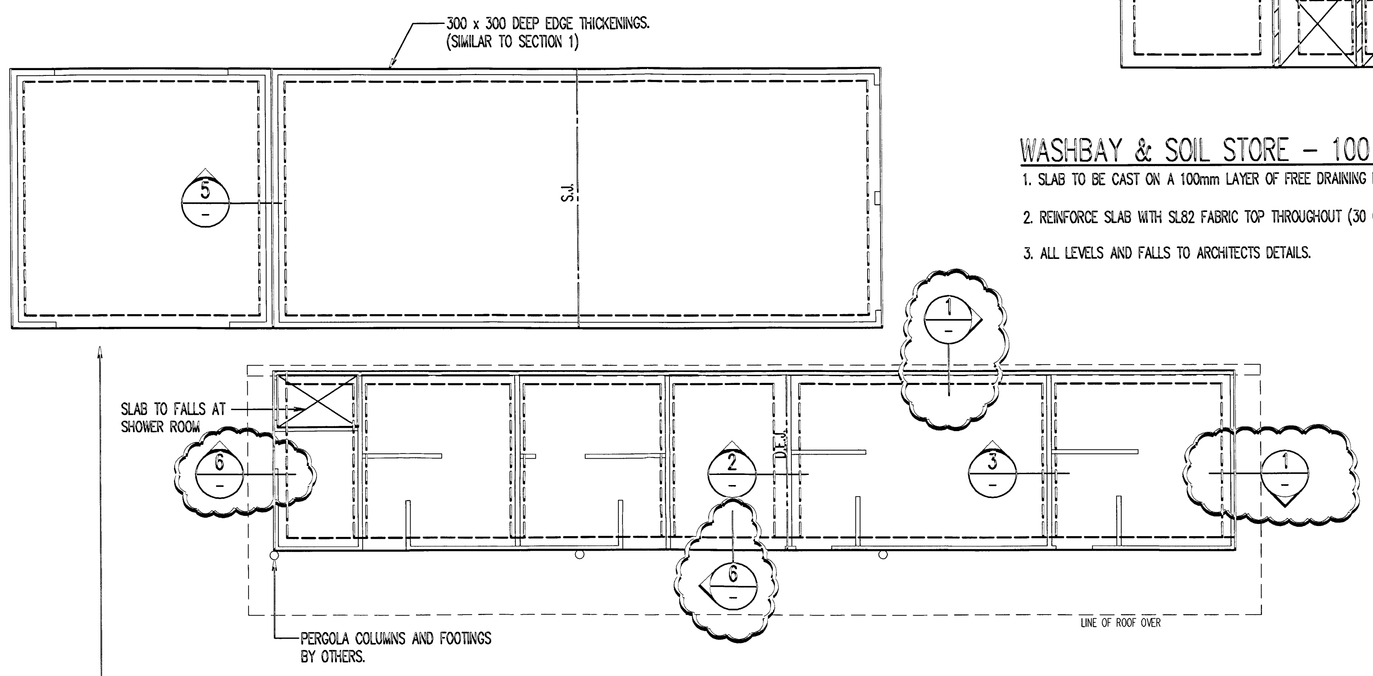
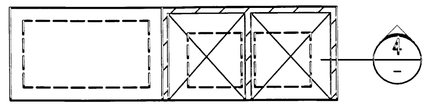
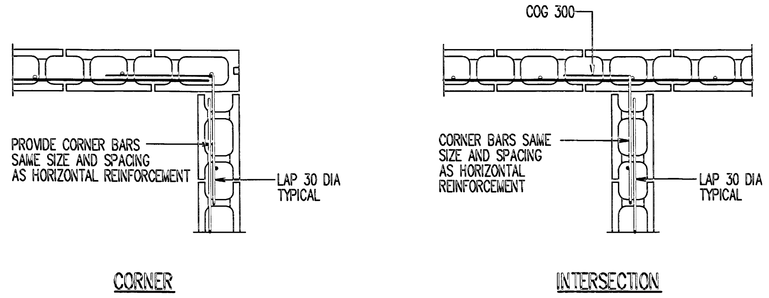




WASHBAY & SOIL STORE – 100 SLAB ON GROUND.

1. SLAB TO BE CAST ON A 100mm LAYER OF FREE DRAINING BASECOURSE
2. REINFORCE SLAB WITH SL82 FABRIC TOP THROUGHOUT (30 COVER).
3. ALL LEVELS AND FALLS TO ARCHITECTS DETAILS.

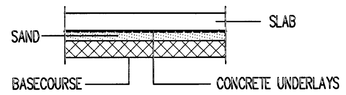


BLOCKWORK JUNCTION DETAILS

BOWLS AMENITIES BUILDING – 100 SLAB ON GROUND.

SCALE 1:100

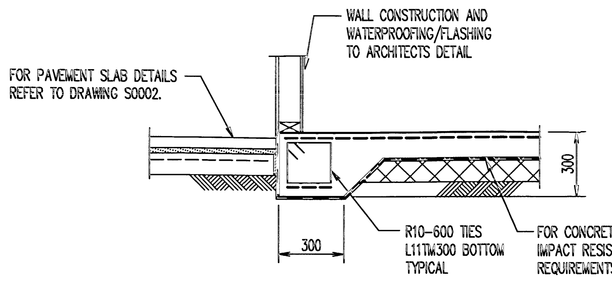
1. SLAB TO BE CAST ON A CONCRETE UNDERLAY OVER A 100mm LAYER OF BASECOURSE AND 30mm SAND. CONCRETE UNDERLAY TO BE 0.2mm THICK MEDIUM IMPACT RESISTANCE FILM TO AS/NZS 4347
2. REINFORCE SLAB WITH SL82 FABRIC TOP THROUGHOUT (30 COVER).
3. ALL LEVELS AND FALLS TO ARCHITECTS DETAILS.
4. REFER TO HYDRAULIC ENGINEERS DETAILS FOR ALL SUMPS, PITS & GRATED DRAINS U.N.O.



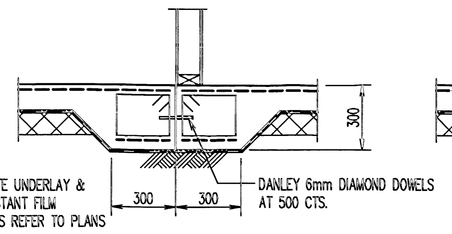
MAINTAINENCE BUILDINGS – 100 SLAB ON GROUND.

SCALE 1:100

1. SLAB TO BE CAST ON A CONCRETE UNDERLAY OVER A 100mm LAYER OF BASECOURSE AND 30mm SAND. CONCRETE UNDERLAY TO BE 0.2mm THICK MEDIUM IMPACT RESISTANCE FILM TO AS/NZS 4347
2. REINFORCE SLAB WITH SL82 FABRIC TOP THROUGHOUT (30 COVER).
3. ALL LEVELS AND FALLS TO ARCHITECTS DETAILS.

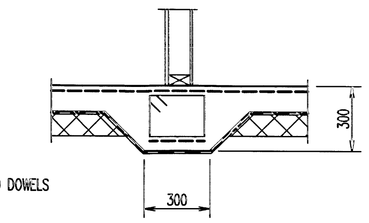


SECTION 1



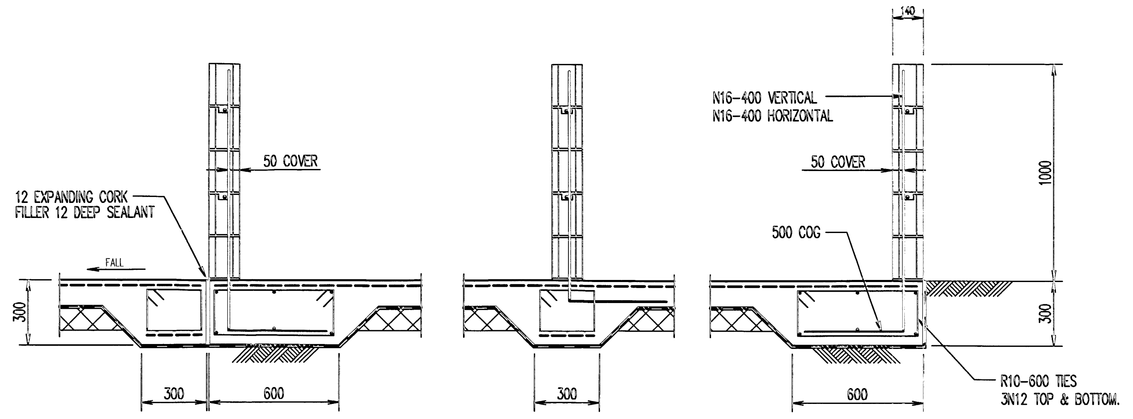
SECTION 2

D.E.J – DOWELLED EXPANSION JOINT



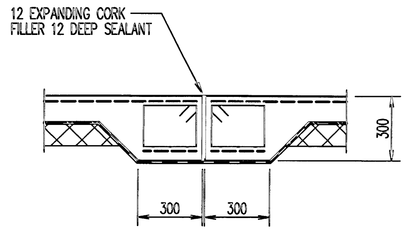
SECTION 3

TYPICAL INTERNAL THICKENING

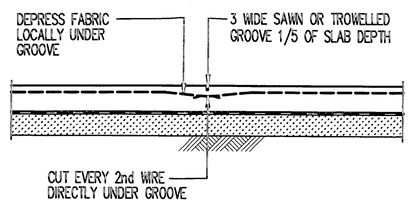


SECTION 4

TYPICAL WASH BAY & SOIL STORE DETAIL



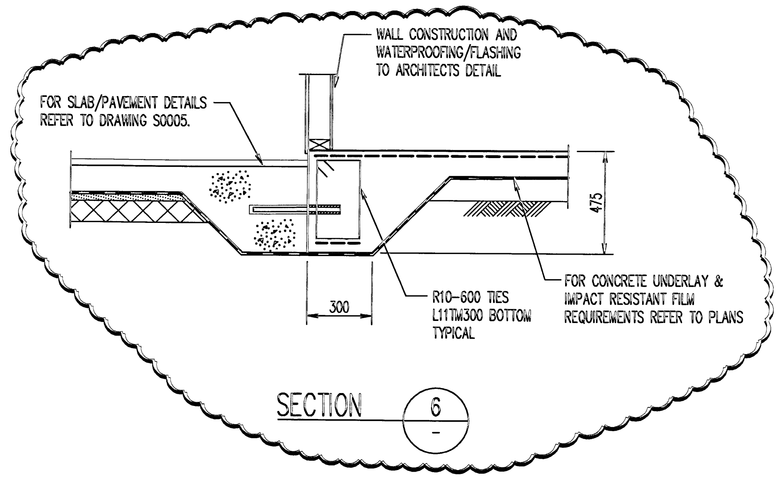
SECTION 5



S.J. – SAWN CONTROL JOINT

SCALE 1:20

NOTE: SAWCUT TO BE MADE WITHIN 16 HOURS OF CASTING SLAB



SECTION 6

REINFORCEMENT NOTES

1. Fix reinforcement as shown on drawings. The type and grade is indicated by a symbol as shown below. On the drawings this is followed by a numeral which indicates the size in millimetres of the reinforcement.

N.	Hot rolled ribbed bar	grade D500N
R.	Plain round bar	grade R250N
SL.	Square mesh	grade 500L
RL.	Rectangular mesh	grade 500L

2. Provide bar supports or spacers to give the following concrete cover to all reinforcement unless otherwise noted on drawings.

   Slabs – 20 top, 20 bottom,
   – 40 when exposed to weather or ground.

3. Cover to reinforcement ends to be 45 mm u.n.o.
4. Provide N12-450 support bars to top reinforcement as required , Lap 450. U.N.O.
5. Maintain cover to all pipes,conduits,reglets,drip grooves etc
6. Laps in reinforcement shall be made only where shown on the drawings unless otherwise approved. Lap lengths shall be 40 bar dia. unless noted otherwise.
7. All cogs to be standard cogs unless noted otherwise.
8. Fabric end and side laps are to be placed strictly in accordance with the manufacturers requirements to achieve a full tensile lap. Fabric shall be laid so that there is a mmximum of 3 layers at any location.

FABRIC LAPS

REINFORCEMENT LEGEND

1. Denotes the extent of area covered by bars.
2. Denotes a change in bar shape and/or length.
3. B3 Indicates to repeat bars tagged thus (B3) etc. LAY BARS IN DIRECTION INDICATED BY ARROW.
4. Bars shown staggered on plan are to be placed alternately.
5. ALT. denotes bars of different length and/or shape to be laid alternately.
6. 13N16 *10-250 +3* Indicates 10 bars at 250 centres plus 3 bars placed one per space centrally over column.

ABBREVIATIONS USED ON DRAWINGS :

U.N.O. – Unless Noted Otherwise	E.W. – Each Way
N.S.O.P. – Not Shown On Plan	E.F. – Each Face
N.S.O.E. – Not Shown On Elevation	N.F. – Near Face
L.V. – Bar Lengths Vary	F.F. – Far Face

DOMESTIC/RESIDENTIAL CONSTRUCTION NOTES

1. For specifications other than those supplied, the contractor shall obtain and use the latest edition of the NATSPEC DOMESTIC specification.
2. Termite protection is to be in accordance with the latest edition of "Protection of buildings from subterranean termites AS 3660.1".
3. All earthworks shall be in accordance with the latest edition of "Guidelines on Earthworks for Commercial and Residential Developments – AS 3798".
4. All footings and slabs are to comply with the latest edition of the "Residential Slab and Footing Code AS 2870.1" and any special requirements from council. Classification for clay sites shall be obtained from council or geotechnical investigations.
5. Subsoil drains (agricultural drains) shall not be placed adjacent to footings. Excavations for services parallel to the edge of the slab or footing shall not extend below a line drawn at 45 degrees to the horizontal for clay and 30 degrees for sand from the bottom of the edge beam or from the base of bored or bulk piers. All subsoil drains must be installed with consistent falls and to the manufacturers recommendations. All water collected by sub-surface drains must discharge by gravity to stormwater lines or to an approved alternative. Also these drains must have access for flushing silt out for future maintenance and shall comply with local government requirements.
6. All timber framing including bracing shall be constructed in accordance with "AS 1684.4 Residential timber-framed construction. Part 4: Simplified – Non-cyclonic areas" unless noted otherwise in the drawings, specifications or timber notes.
7. The building owner is responsible for the building and site maintenance as detailed in the CSIRO pamphlet 10-19 Guide to Home Owners on Foundation Maintenance and Footing Performance. The builder shall give the owner a copy of this document.

SLAB ON GROUND NOTES

1. Strip all topsoil from the construction area. All stripped topsoil is to be removed from the site unless directed otherwise.
2. Before placing fill, proof roll exposed subgrade with 6 passes of a 10 tonne minimum roller to test subgrade and then remove soft spots (areas with more than 3mm movement under roller). Soft spots to be replaced with select fill as per table:

SIEVE APERTURE (mm) TO AS1152	PERCENTAGE PASSED (BY MASS)
75.0	100
9.5	100 to 50
2.36	100 to 30
0.6	50 to 15
0.075	<25

   Plasticity index to be > or = 2% and < or = 15%
   Non dispersive (a rating of nil as defined by the "dispersion" test AS1289.3.8.1)
3. Compact fill areas and subgrade under buildings and pavements to minimum 98% standard maximum dry density in accordance with AS 1289 5.1.1. Compaction under buildings to extend 2m minimum beyond building footprint.
4. All basecourse material to comply with RTA specification No 3051 and compacted to minimum 98% modified standard dry density in accordance with AS 1289 5.2.1.
5. Place sand blinding prior to placement of Concrete underlay.

GENERAL NOTES

1. These drawings are for structural purposes only and are to be read in conjunction with the specification, architectural drawings, other contract documentation and the requirements of the relevant authorities.
2. Verify all setting out dimensions with the Architect.
3. Do not obtain dimensions by scaling the structural elements.
4. Should any ambiguity, error, omission, discrepancy, inconsistency or other fault exist or seem to exist in the contract documents, immediately notify in writing to the Superintendent.
5. Maintain the structure in a stable condition during construction. Temporary bracing/shoring shall be provided by the contractor to keep the structure and excavations stable at all times, ensuring that no part of the documented structure becomes overstressed. For all temporary batters obtain geotechnical engineers recommendations.
6. All workmanship and materials shall be in accordance with the requirements of current SAA codes and the bylaws, ordinances or other requirements of the relevant building authorities.
7. All work is to be carried out in accordance with all Workcover requirements and occupational health and safety act regulations
8. Construction using these drawings shall not commence until a Construction Certificate is issued by the Principal Certifying Authority.

DESIGN LOADS

Floor Loads : Live Load = 3.0kPa
Superimposed Dead Load = 1kPa
Roof = 0.25kPa

Wind Loads : Vr = 41m/s Where R = 1000 years
Region = A2
Terrain Category = 3

GEOTECHNICAL

Assumed Soil Classification : Class M to AS2870

CONCRETE NOTES

EXPOSURE CLASSIFICATION : External : B1
Internal : A1

CONCRETE

1. Place concrete of the following characteristic compressive strength f'c as defined in AS 1379.

Location	AS 1379 f'c MPa at 28 days	Specified Slump	Nominal Agg. Size
Slabs	S(32)	80	20

2. Use Type 'SL' cement, unless otherwise specified.
3. All concrete shall be subject to project assessment and testing to AS 1379.
4. Consolidate by mechanical vibration. Cure all concrete surfaces as directed in the Specification.
5. For all falls in slab, drip grooves, reglets, chamfers etc. refer to Architects drawings and specifications.
6. Unless shown on the drawings, the location of all construction joints shall be submitted to Engineer for review.
7. No holes or chases shall be made in the slab without the approval of the Engineer.
8. Conduits and pipes are to be fixed to the underside of the top reinforcement layer.
9. Slurry used to lubricate concrete pump lines is not to be used in any structural members.
10. All slabs cast on ground require sand blinding with a 0.2mm vapour barrier.
11. 170 Indicates Slab or Band thickness variation.

FORMWORK

1. The design, certification, construction and performance of the formwork, falsework and backpropping shall be the responsibility of the contractor. Proposed method of installation and removal of formwork is to be submitted to the superintendent for comment prior to work being carried out.

Rev	Description	Eng	Draft	Date
C	ISSUED FOR CONSTRUCTION	G.M	G.J.P	11.09.07
	EDGE THICKENING REVISED TO SUIT FUTURE SLAB	G.M	G.J.P	11.09.07
B	SLAB BASECOURSE & UNDERLAY DETAILS REVISED	G.M	G.J.P	22.08.07
A	ISSUED FOR TENDER	G.M	G.J.P	10.08.07

Project
PITTWATER RSL
BOWLS AMENITIES

Sheet Subject
SLAB PLAN & DETAILS

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Scale : A1	Drawn	Authorised
1:100, 20	G.J.P	

Job No	Drawing No	Revision
071188	S0001	C

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A1 0 1 2 3 4 5 6 7 8 9 10

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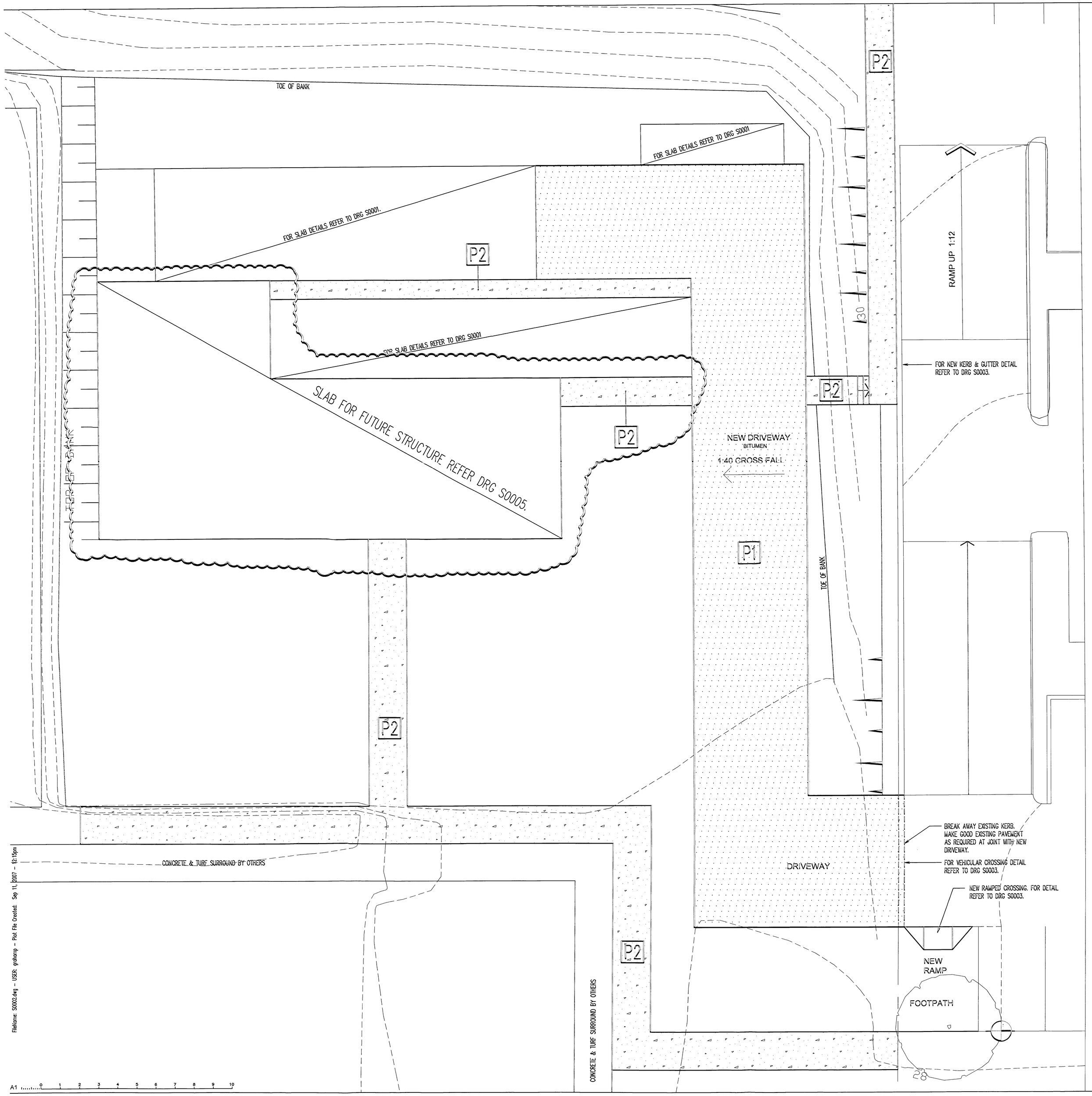


KERBING NOTES

Includes all kerbs, gutters, dish drains, crossings and edges.

1. All kerbs, gutters, dish drains and crossings to be constructed on minimum 75mm granular basecourse compacted to minimum 98% modified maximum dry density in accordance with AS 1289 5.2.1.
2. Expansion joints (EJ) to be formed from 10mm compressible cork filler board for the full depth of the section and cut to profile. Expansion joints to be located at drainage pits, on tangent points of curves and elsewhere at 12m centres except for integral kerbs where the expansion joints are to match the joint locations in slabs.
3. Weakened plane joints to be min 3mm wide and located at 3m centres except for integral kerbs where weakened plane joints are to match the joint locations in slabs.
4. Broomed finished to all ramped and vehicular crossings, all other kerbing or dish drains to be steel float finished.
5. In the replacement of kerbs –
   Existing road pavement is to be sawcut 900mm from lip of gutter. Upon completion of new kerbs, new basecourse and surface is to be laid 900mm wide to match existing materials and thicknesses.
   Existing allotment drainage pipes are to be built into the new kerb with a 100mm dia hole.
   Existing kerbs are to be completely removed where new kerbs are shown.

CONCRETE FINISHING NOTES

1. All exposed concrete pavements are to be broomed finished.
2. All edges of the concrete pavement including keyed and dowelled joints are to be finished with an edging tool.
3. Concrete pavements with grades greater than 10 % shall be heavily broomed finished.
4. Carborundum to be added to all stair treads and ramped crossings U.N.O.

GENERAL NOTES

1. Contractor must verify all dimensions and existing levels on site prior to commencement of works. Any discrepancies to be reported to the SUPERINTENDENT .
2. Strip all topsoil from the construction area. All stripped topsoil shall be disposed of off-site unless directed otherwise.
3. Make smooth connection with all existing works.
4. Compact subgrade under buildings and pavements to minimum 98% standard maximum dry density in accordance with AS 1289 5.1.1. Compaction under buildings to extend 2m minimum beyond building footprint.
5. All work on public property, property which is to become public property, or any work which is to come under the control of the Statutory Authority is to be carried out in accordance with the requirements of the relevant Authority. The Contractor shall obtain these requirements from the Authority. Where the requirements of the Authority are different to the drawings and specifications, the requirements of the Authority shall be applicable.
6. For all temporary batters refer to geotechnical recommendations.

PAVEMENT LEGEND

P1
- 40 mm Thickness asphaltic concrete (AC10) on
- 120mm Compacted thickness fine crushed rock (DGB20) on
- 220mm Compacted thickness fine crushed rock (DGS40)

P2
- 80mm Thickness concrete (f'c=25MPa) with expansion joints at max 6.0m centres and weakened plane joints at max 1.5m centres on
- 50mm Sand bedding

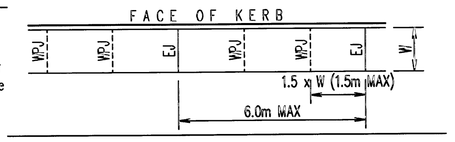
P3
- 65mm Pavers to Architects specification on
- 10mm Thick mortar bedding on
- 100mm Thickness concrete (f'c=25MPa) with SL72 fabric (40 top cover) on
- 100mm Compacted thickness fine crushed rock (DGB20)

NOTE
1. Asphaltic concrete shall conform to AS2150 and the specification
2. Assumed CBR = 3%

JOINTING NOTES

Pedestrian Footpath Jointing

1. Expansion joints are to be located where possible at tangent points of curves and elsewhere at max 6.0m centres.
2. Weakened plane joints are to be located at a max 1.5 x width of the pavement.
3. Where possible joints should be located to match kerbing and / or adjacent pavement joints.
4. All pedestrian footpath jointings as follows (uno).



SITEWORKS NOTES

1. All basecourse material to comply with RTA specification No 3051 and compacted to minimum 98% modified standard dry density in accordance with AS 1289 5.2.1.
2. All trench backfill material shall be compacted to the same density as the adjacent material.
3. All service trenches under vehicular pavements shall be backfilled with an approved select material and compacted to a minimum 98% standard maximum dry density in accordance with AS 1289 5.1.1

Rev	Description	Eng	Draft	Date
B	ISSUED FOR CONSTRUCTION	G.H	G.J.P	11.09.07
A	ISSUED FOR TENDER	G.H	G.J.P	28.08.07

Project
PITTWATER RSL BOWLS AMENITIES

Sheet Subject
PAVEMENT PLAN

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Scale : A1	Drawn	Authorised
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Job No	Drawing No	Revision
071188	S0002	B

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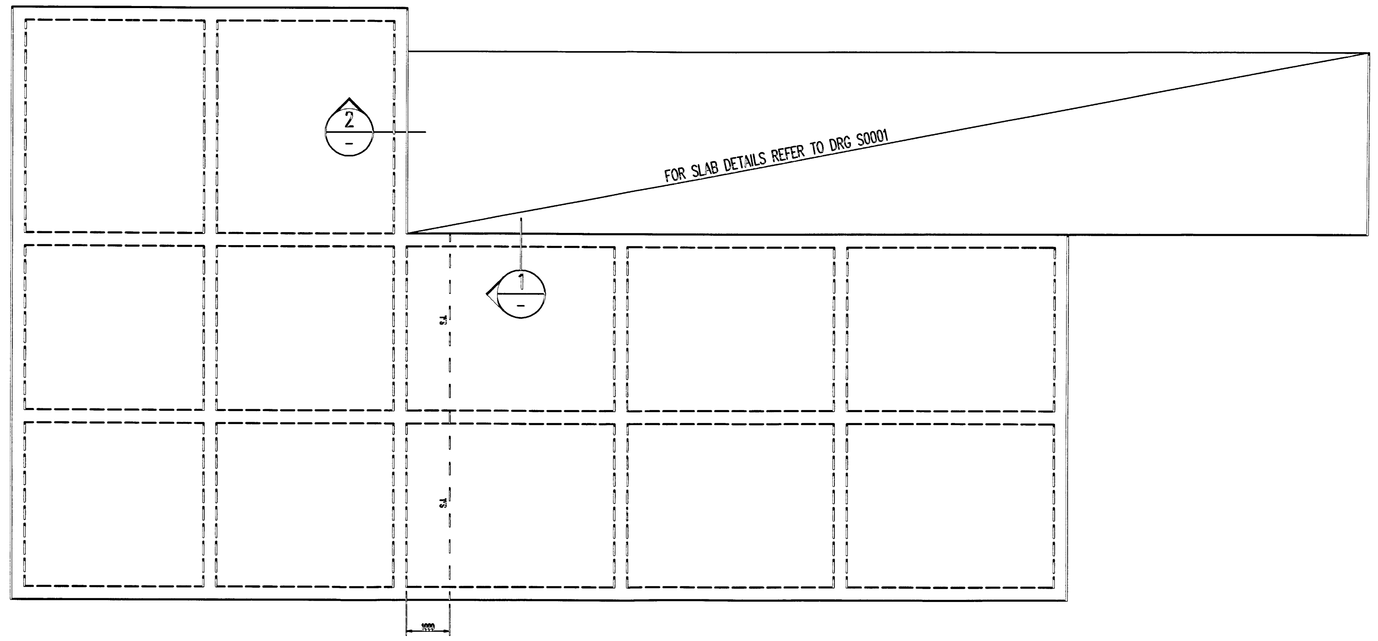
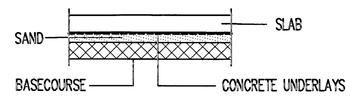
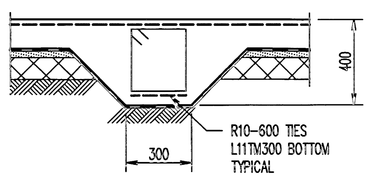


FUTURE CLUB BUILDING – 120 SLAB ON GROUND.

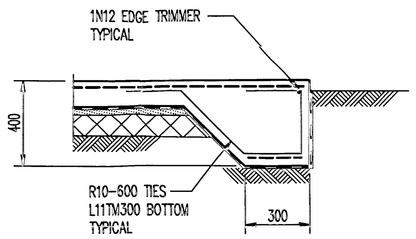
SCALE 1:100

1. SLAB TO BE CAST ON A CONCRETE UNDERLAY OVER A 100mm LAYER OF BASECOURSE AND 30mm SAND. CONCRETE UNDERLAY TO BE 0.2mm THICK MEDIUM IMPACT RESISTANCE FILM TO AS/NZS 4347
2. REINFORCE SLAB WITH SL82 FABRIC TOP THROUGHOUT (40 COVER).
3. FALL SLAB AWAY FROM CURRENT AMENITIES BUILDING.
4. SLAB DESIGNED FOR A MAXIMUM ONE STOREY FRAMED STRUCTURE WITH TRUSSED STEEL CLAD ROOF & A MAXIMUM 75mm TOPPING SLAB TO ALLOW FOR FUTURE SETDOWNS, REBATES AND LEVELLING OF STRUCTURE TO LEVEL OF EXISTING AMENITIES BUILDING.

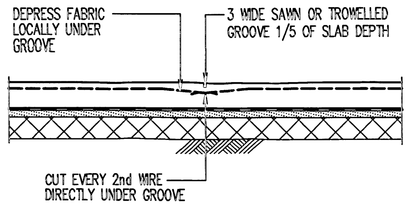




TYPICAL INTERNAL THICKENING



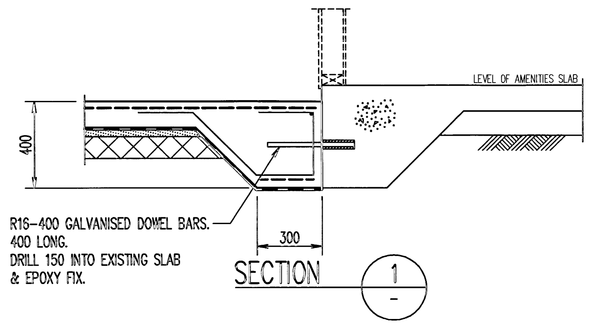
TYPICAL EDGE THICKENING

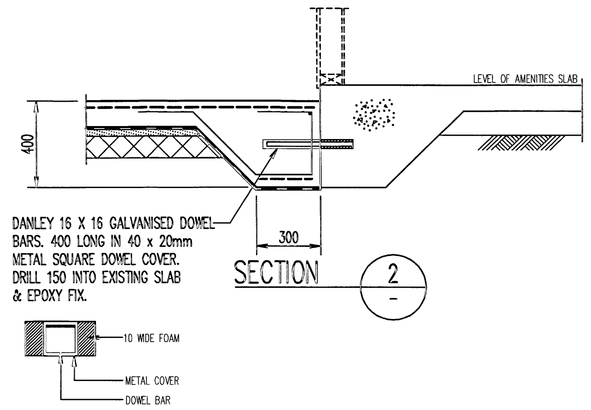


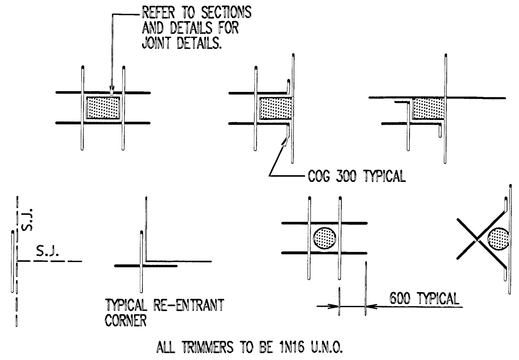
S.J. – SAWN CONTROL JOINT

SCALE 1:20

NOTE: SAWCUT TO BE MADE WITHIN 16 HOURS OF CASTING SLAB







TYPICAL SLAB ON GROUND TRIMMER DETAILS

AT ALL COLUMNS, WALLS, PITS, FLOOR WASTES, ETC THAT CAUSE A PENETRATION THROUGH THE SLAB.

REINFORCEMENT NOTES

1. Fix reinforcement as shown on drawings. The type and grade is indicated by a symbol as shown below. On the drawings this is followed by a numeral which indicates the size in millimetres of the reinforcement.

N.	Hot rolled ribbed bar	grade D500N
R.	Plain round bar	grade R250N
SL.	Square mesh	grade 500L
RL.	Rectangular mesh	grade 500L

2. Provide bar supports or spacers to give the following concrete cover to all reinforcement unless otherwise noted on drawings.

   Slabs – 20 top, 20 bottom,
   – 40 when exposed to weather or ground.

3. Cover to reinforcement ends to be 45 mm u.n.o.
4. Provide N12–450 support bars to top reinforcement as required , Lap 450. U.N.O.
5. Maintain cover to all pipes,conduits,reglets,drip grooves etc
6. Laps in reinforcement shall be made only where shown on the drawings unless otherwise approved. Lap lengths shall be 40 bar dia. unless noted otherwise.
7. All cogs to be standard cogs unless noted otherwise.
8. Fabric end and side laps are to be placed strictly in accordance with the manufacturers requirements to achieve a full tensile lap. Fabric shall be laid so that there is a maximum of 3 layers at any location.

FABRIC LAPS

REINFORCEMENT LEGEND

1. Denotes the extent of area covered by bars.
2. Denotes a change in bar shape and/or length.
3. S3 Indicates to repeat bars tagged thus (S3) etc. LAY BARS IN DIRECTION INDICATED BY ARROW.
4. Bars shown staggered on plan are to be placed alternately.
5. ALT. denotes bars of different length and/or shape to be laid alternately.
6. 13N16 10–250 +3 Indicates 10 bars at 250 centres plus 3 bars placed one per space centrally over column.

ABBREVIATIONS USED ON DRAWINGS :

U.N.O. – Unless Noted Otherwise	E.W. – Each Way
N.S.O.P. – Not Shown On Plan	E.F. – Each Face
N.S.O.E. – Not Shown On Elevation	N.F. – Near Face
L.V. – Bar Lengths Vary	F.F. – Far Face

DOMESTIC/RESIDENTIAL CONSTRUCTION NOTES

1. For specifications other than those supplied, the contractor shall obtain and use the latest edition of the NATSPEC DOMESTIC specification.
2. Termite protection is to be in accordance with the latest edition of "Protection of buildings from subterranean termites AS 3660.1".
3. All earthworks shall be in accordance with the latest edition of "Guidelines on Earthworks for Commercial and Residential Developments – AS 3798".
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6. All timber framing including bracing shall be constructed in accordance with "AS 1684.4 Residential timber–framed construction. Part 4: Simplified – Non–cyclonic areas" unless noted otherwise in the drawings, specifications or timber notes.
7. The building owner is responsible for the building and site maintenance as detailed in the CSIRO pamphlet 10–19 Guide to Home Owners on Foundation Maintenance and Footing Performance. The builder shall give the owner a copy of this document.

SLAB ON GROUND NOTES

1. Strip all topsoil from the construction area. All stripped topsoil is to be removed from the site unless directed otherwise.
2. Before placing fill, proof roll exposed subgrade with 5 passes of a 10 tonne minimum roller to test subgrade and then remove soft spots (areas with more than 3mm movement under roller). Soft spots to be replaced with select fill as per table:

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0.075	<25

   Plasticity index to be > or = 2% and < or = 15%.
   Non dispersive (a rating of nil as defined by the "dispersion" test AS1289.3.8.1)
3. Compact fill areas and subgrade under buildings and pavements to minimum 98% standard maximum dry density in accordance with AS 1289 5.1.1. Compaction under buildings to extend 2m minimum beyond building footprint.
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3. Do not obtain dimensions by scaling the structural elements.
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DESIGN LOADS

Floor Loads : Live Load = 3.0kPa
Superimposed Dead Load = 1kPa

GEOTECHNICAL

Assumed Soil Classification : Class M to AS2870
(To be confirmed on site by Geotechnical Engineer)

CONCRETE NOTES

EXPOSURE CLASSIFICATION : External : B1

CONCRETE

1. Place concrete of the following characteristic compressive strength f'c as defined in AS 1379.

Location	AS 1379 f'c MPa at 28 days	Specified Slump	Nominal Agg. Size
Slabs	S(32)	80	20

2. Use Type 'SL' cement, unless otherwise specified.
3. All concrete shall be subject to project assessment and testing to AS 1379.
4. Consolidate by mechanical vibration. Cure all concrete surfaces as directed in the Specification.
5. For all falls in slab, drip grooves, reglets, chamfers etc. refer to Architects drawings and specifications.
6. Unless shown on the drawings, the location of all construction joints shall be submitted to Engineer for review.
7. No holes or chases shall be made in the slab without the approval of the Engineer.
8. Conduits and pipes are to be fixed to the underside of the top reinforcement layer.
9. Slurry used to fabricate concrete pump lines is not to be used in any structural members.
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FORMWORK

1. The design, certification, construction and performance of the formwork, falsework and backcropping shall be the responsibility of the contractor. Proposed method of installation and removal of formwork is to be submitted to the superintendent for comment prior to work being carried out.

Rev	Description	Eng	Draft	Date
A	ISSUED FOR CONSTRUCTION	G.H.	G.J.P	11.09.07

Project

PITTWATER RSL
BOWLS AMENITIES

Sheet Subject

FUTURE AMENITIES
BUILDING
SLAB PLAN & DETAILS

Client

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Scale : A1	Drawn	Authorised
1:100, 20	G.J.P	

Job No	Drawing No	Revision
071188	S0005	A

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