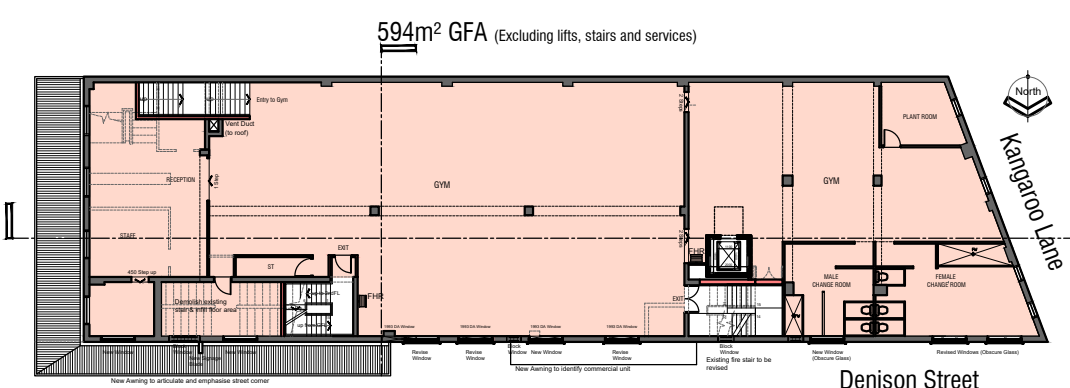


New / Revised Works

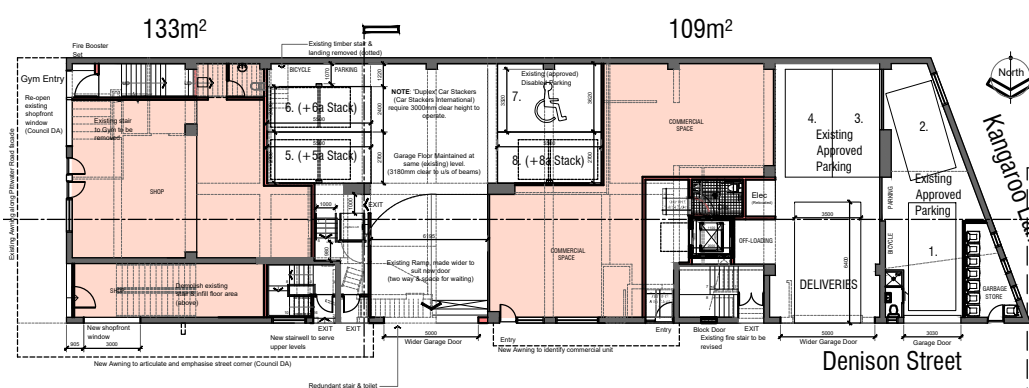
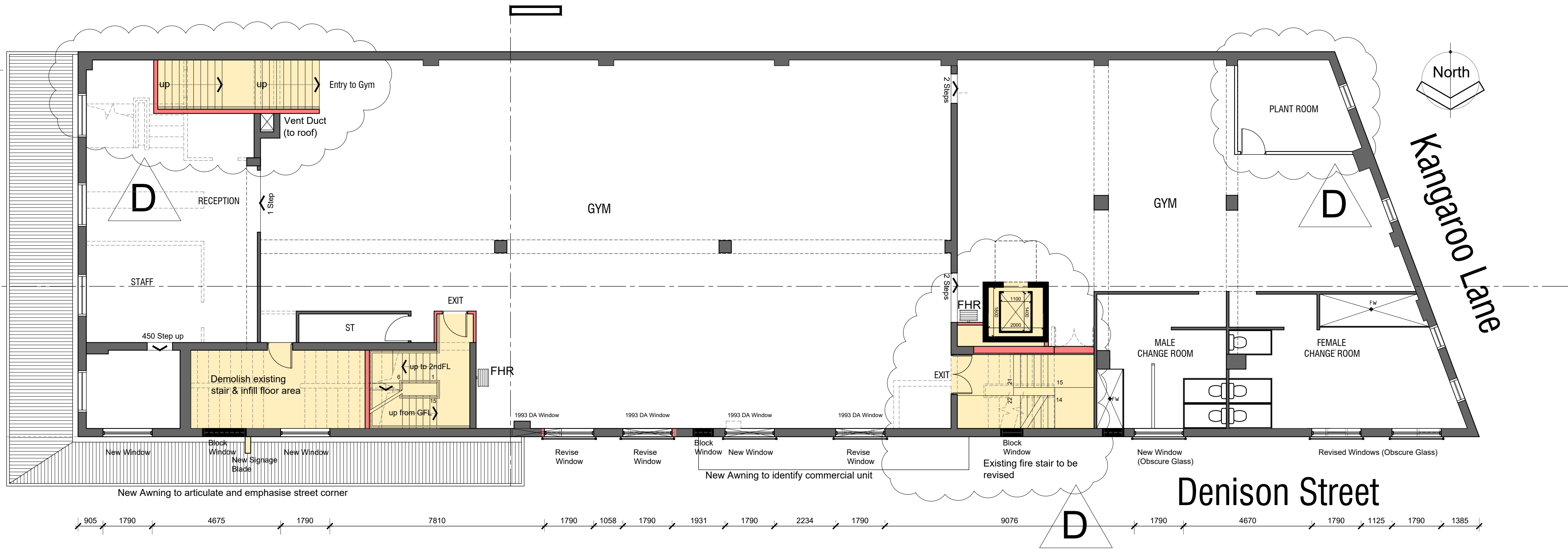
GFA (Shaded)



Proposed Works:

- Existing stair in NE corner removed - store room created.
- New stairs on north side to provide Gym exits.
- Existing stair in SE corner re-modelled.
- New passenger lift added.
- Existing lift on north side removed.
- Windows along North Elevation revised.

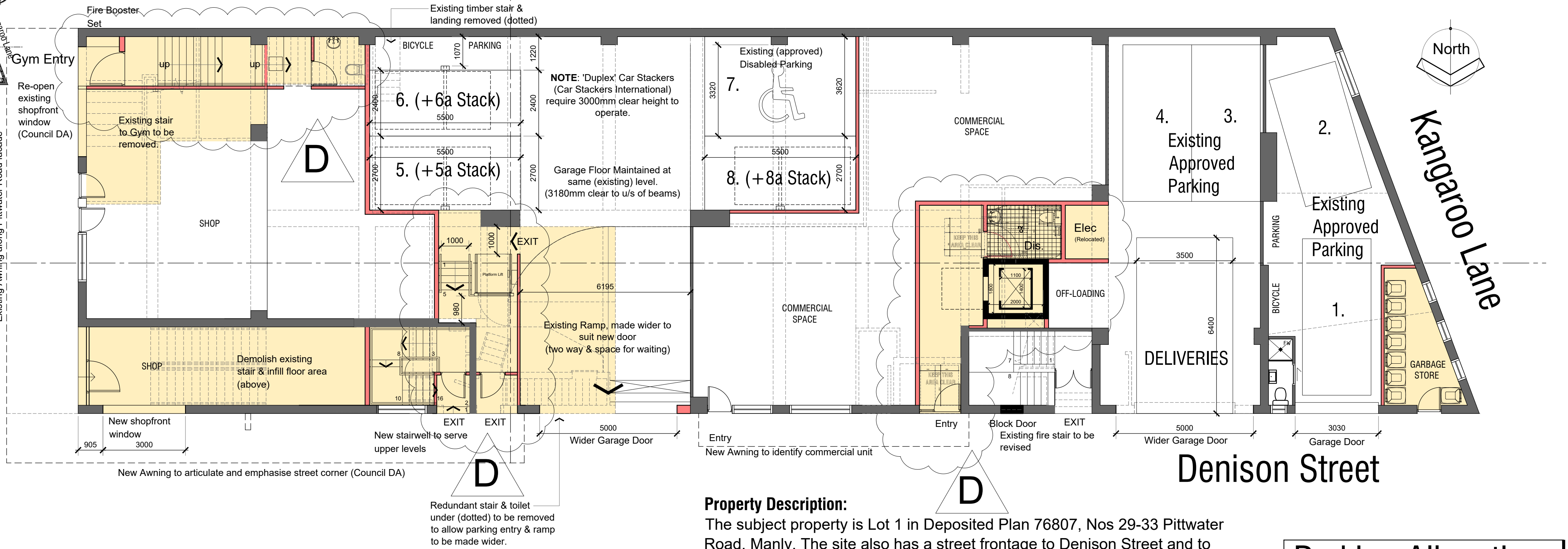
FIRST FLOOR



Proposed Works:

- Existing stair in NE corner removed - new shop created.
- New stair added on north side and Elec. room relocated.
- Existing stair in SE corner remodelled.
- Shopfront opening to Pittwater Road, re-opened.
- New passenger lift & uni-sex disabled toilet added.
- Revised parking and delivery arrangement - wider doors.
- Existing lift on north side removed.
- Commercial space re-planned.
- Garbage room formed.

GROUND FLOOR



Property Description:

The subject property is Lot 1 in Deposited Plan 76807, Nos 29-33 Pittwater Road, Manly. The site also has a street frontage to Denison Street and to Kangaroo Lane. The site is generally rectangular shaped except for the rear splayed boundary fronting onto Kangaroo Lane. The site has a total area of 665.3m². The existing improvements at the site consist of a 3 storey rendered brick building comprising:

- a shop (pilates studio), commercial and parking at ground floor;
- commercial (gym premises) at first floor; and
- serviced accommodation (18 rooms) on the second floor.

There are currently eight (8) carparking spaces on site (including 1 Disabled parking space) plus 1 loading space. Three parking spaces have also been paid via a S94 Contribution (DA/119/07).

Parking Allocation:

Parking spaces which are stacked (vertically, or horizontally / tandem) shall be allocated to single tenancies so that the use of these spaces can be administered by the tenancy management.

Space 1 + Space 2	Ground Floor main shop
Space 3	3rd Floor Commercial Suite 1
Space 4	3rd Floor Commercial Suite 4
Space 5 + Space 5a	Serviced Accommodation
Space 6 + Space 6a	Serviced Accommodation
Space 7	Disabled Space (not allocated)
Space 8 + Space 8a	First Floor Gym

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.
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Date	Issue	Amendment
August 2018	A	Development Application.
April 2019	A	Parking allocation clarified.
May 2019	B	OSD Deleted - DA Submission Updated.
Nov. 2019	C	New DA Submission - Revised Lift & Stairs.
May 2020	D	Modification to the approved DA2019/0083. Stairs & single lift revised and associated planning amended. Plant room included at first floor level. GFA for each of 2 Stages confirmed.

Parking Notes:

Existing, approved uses for the building comprise commercial & parking at ground floor level, gym at first floor level & serviced accommodation at second floor level. Existing approved parking on site comprises 8 parking spaces, plus one delivery space (all deliveries by car or small van), plus 3 spaces by means of S94 Contribution. Therefore, the existing, approved building, over three levels has the equivalent of 11 parking spaces (8 on site + 3 x S94) plus one delivery space.

The additional commercial space proposed on the new, third floor level (plus the small increase to the commercial space available at ground floor level - due to the removal of the stair), requires 8 additional parking spaces (at 1 space / 40m²). Therefore the total parking required for the development on the site is the 11 existing spaces + 8 new spaces = 19 spaces (plus one delivery space).

On the basis that no more than 50% of the parking is permitted on site, this means that the parking actually provided on site, for the total development, would be 9.5 spaces (rounded up to 10 spaces), plus the delivery space. However, there is a desire by Council to minimise the pressure on the already limited on-street parking and there may be an argument to provide more than the 50%.

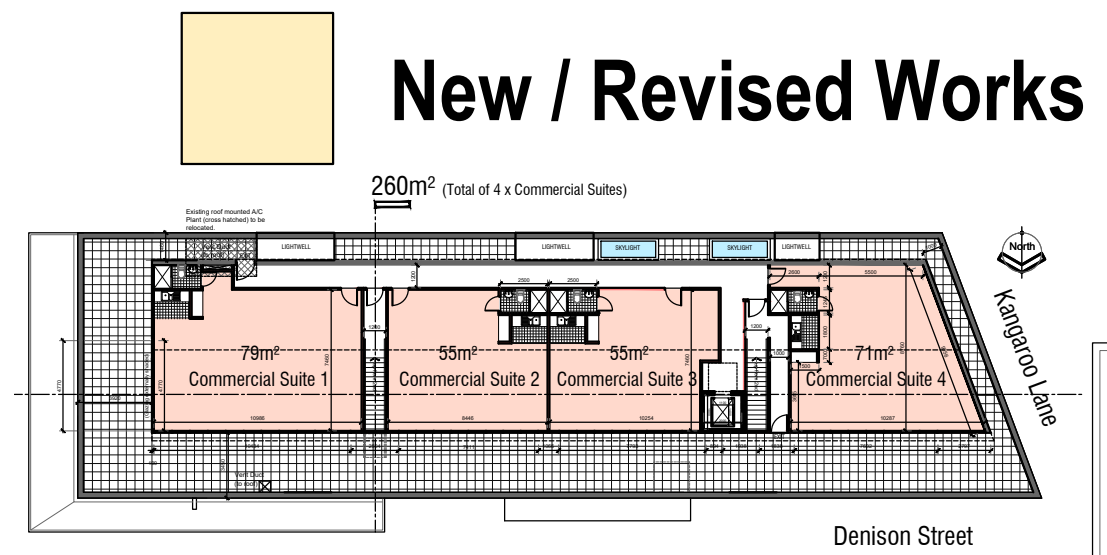
By relocating the existing, approved parking space 5, we can accommodate a larger delivery space in front of (north of) spaces 3 & 4. Deliveries would only be intermittent and short duration, whereas the parking in spaces 3 & 4 would most likely be 'all-day'. By relocating approved parking space 5 we would also create an area for off-loading goods which would further reduce the time a delivery vehicle needs to be on site. The delivery van / truck would reverse into the delivery area (through a widened garage door opening) on the basis that the majority of goods vehicles are accessed from the rear and this would then allow the delivery vehicle to exit the site in a forward direction. With the delivery space removed from the area associated with approved parking spaces 6, 7 & 8, we can actually achieve an additional parking space (relocate space No. 5) which could also accommodate a car stacker.

Therefore, by providing three, stacked parking spaces (over spaces 5, 6 & 8) we can actually achieve 11 parking spaces on site (including the approved disabled space - No. 7), plus one delivery space. The balance of 8 parking spaces would have to be addressed by way of S94 Contributions (3 of which have already been addressed) leaving 5 spaces to be met with S94 Contributions.

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Reg. No: 5309	ABN: 3255 2686 626

Client	JSALT Pty Ltd
Project	Alterations & Additions 29-33 Pittwater Road Manly NSW 2095 (LOT 1, DP.76807)

Drawing	Floor Plans (1)
SECTION 4.55 (2) MODIFICATION	
Scale	1:100
Date	Nov. 2016
Drawn By	ar
Ckd. By	
Plot Date	May 2020
File Name	Pittwater Road Manly MAY 19 2020.dwg

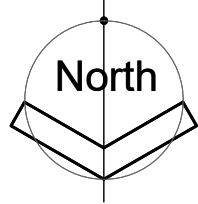
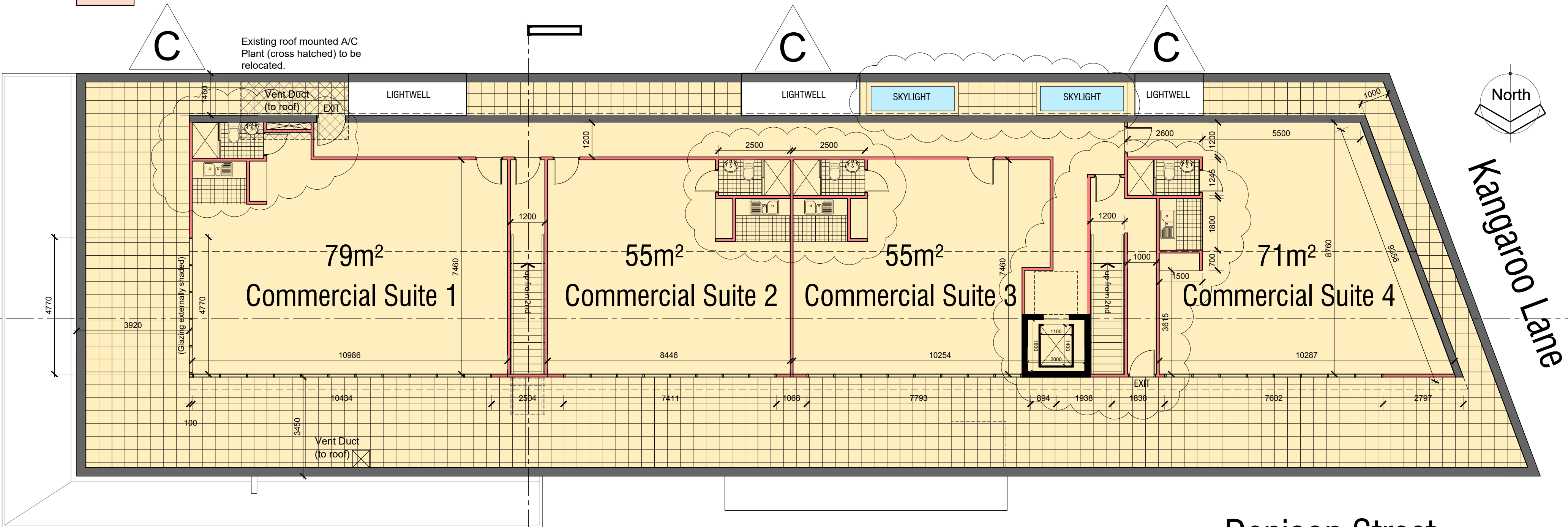


Proposed Works:

- Existing roof removed and new third floor level added.
- Four commercial suites and roof terrace built.
- New passenger lift to access this level.
- Parapet along North Side re-built with extra railing to achieve 1.0m high railing.

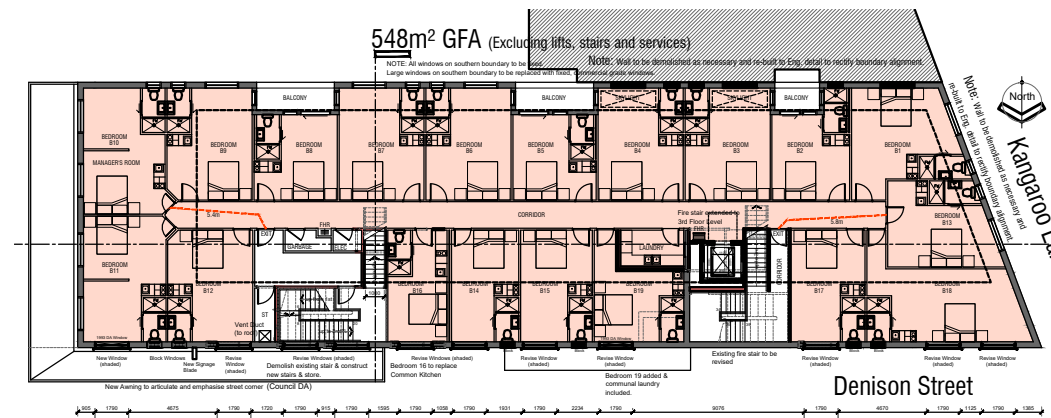
Pittwater Road

GFA (Shaded)



Kangaroo Lane

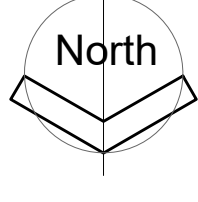
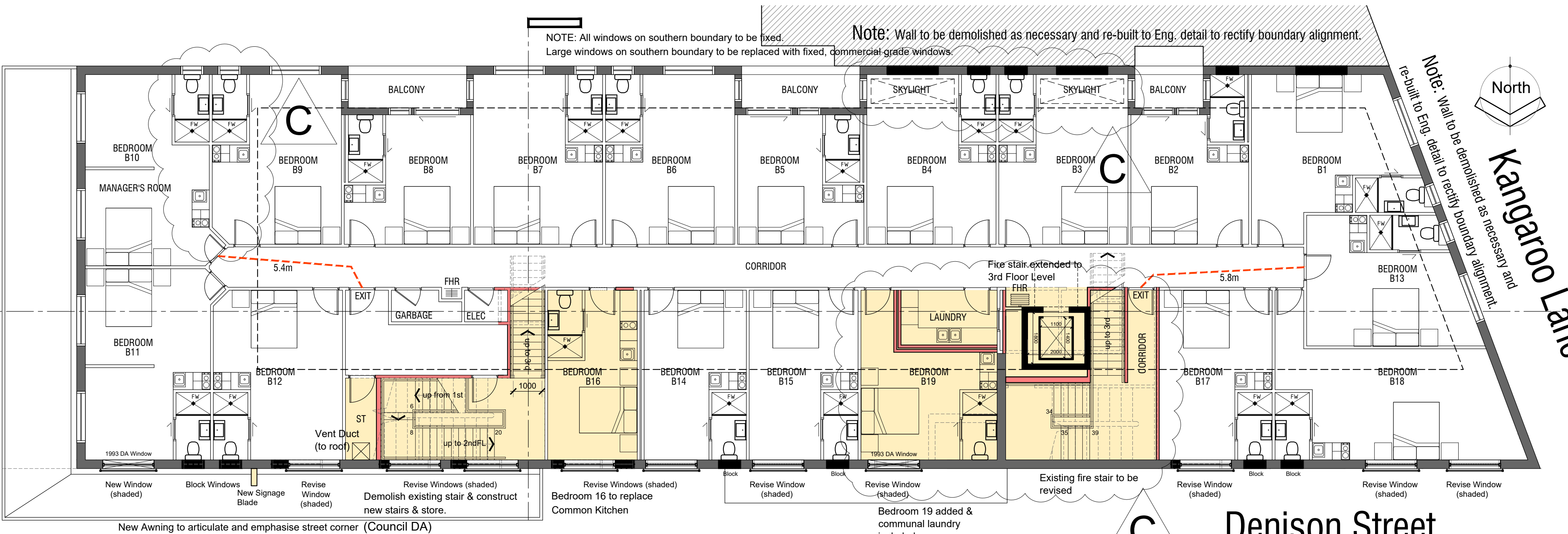
THIRD FLOOR



Proposed Works:

- Existing stair in NE corner removed - new stair built.
- Stairs up to 3rd Floor added / extended.
- Bed B3 & B4 revised with skylights added.
- New lift installed on north side & stair reconfigured.
- Bedroom B16 relocated to accommodate Bedroom 19 & laundry.
- Small cooking appliances added to each bedroom.
- Windows along North Elevation revised.
- All retained windows on south boundary to be fixed & large windows on southern boundary to be replaced with fixed commercial grade windows. Openings blocked where approved development to the south is built to boundary.
- Southern wall & possibly part western wall to be demolished and re-built to Eng. detail to rectify the boundary alignment.

Pittwater Road



Kangaroo Lane

SECOND FLOOR



South East Corner (Google Street View)



South Elevation

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.
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Date	Issue	Amendment
August 2018	A	Development Application.
May 2019	A	OSD Deleted - DA Submission Updated.
Oct. 2019	B	New DA Submission - Revised Lift & Stairs.
May 2020	C	Modification to the approved DA2019/0083. Stairs & single lift revised and associated planning amended. Skylights added over Bedrooms B3 & B4. Cooking appliances added to bedrooms, communal kitchen removed. Bedroom 19 added and communal laundry relocated. Showers added to amenities on new level. Windows deleted on South Elevation.

Parking Notes:

Existing, approved uses for the building comprise commercial & parking at ground floor level, gym at first floor level & serviced accommodation at second floor level. Existing approved parking on site comprises 8 parking spaces, plus one delivery space (all deliveries by car or small van), plus 3 spaces by means of S94 Contribution. Therefore, the existing, approved building, over three levels has the equivalent of 11 parking spaces (8 on site + 3 x S94) plus one delivery space.

The additional commercial space proposed on the new, third floor level (plus the small increase to the commercial space available at ground floor level - due to the removal of the stair), requires 8 additional parking spaces (at 1 space / 40m²). Therefore the total parking required for the development on the site is the 11 existing spaces + 8 new spaces = 19 spaces (plus one delivery space).

On the basis that no more than 50% of the parking is permitted on site, this means that the parking actually provided on site, for the total development, would be 9.5 spaces (rounded up to 10 spaces), plus the delivery space. However, there is a desire by Council to minimise the pressure on the already limited on-street parking and there may be an argument to provide more than the 50%.

By relocating the existing, approved parking space 5, we can accommodate a larger delivery space in front of (north of) spaces 3 & 4. Deliveries would only be intermittent and short duration, whereas the parking in spaces 3 & 4 would most likely be 'all-day'. By relocating approved parking space 5 we would also create an area for off-loading goods which would further reduce the time a delivery vehicle needs to be on site. The delivery van / truck would reverse into the delivery area (through a widened garage door opening) on the basis that the majority of goods vehicles are accessed from the rear and this would then allow the delivery vehicle to exit the site in a forward direction. With the delivery space removed from the area associated with approved parking spaces 6, 7 & 8, we can actually achieve an additional parking space (relocate space No. 5) which could also accommodate a car stacker.

Therefore, by providing three, stacked parking spaces (over spaces 5, 6 & 8) we can actually achieve 11 parking spaces on site (including the approved disabled space - No. 7), plus one delivery space. The balance of 8 parking spaces would have to be addressed by way of S94 Contributions (3 of which have already been addressed) leaving 5 spaces to be met with S94 Contributions.

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architect

Reg. No: 5309

Client

JSALT Pty Ltd

Project
Alterations & Additions
29-33 Pittwater Road
Manly
NSW 2095 (LOT 1, DP.76807)

Drawing
Floor Plans (2) +
South Elevation

SECTION 4.55 (2) MODIFICATION

Scale	1:100	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	Issue
Drawn By	ar	PR-02	C
Ckd. By			
Plot Date	May 2020		
File Name	Pittwater Road Manly MAY 19 2020.dwg		

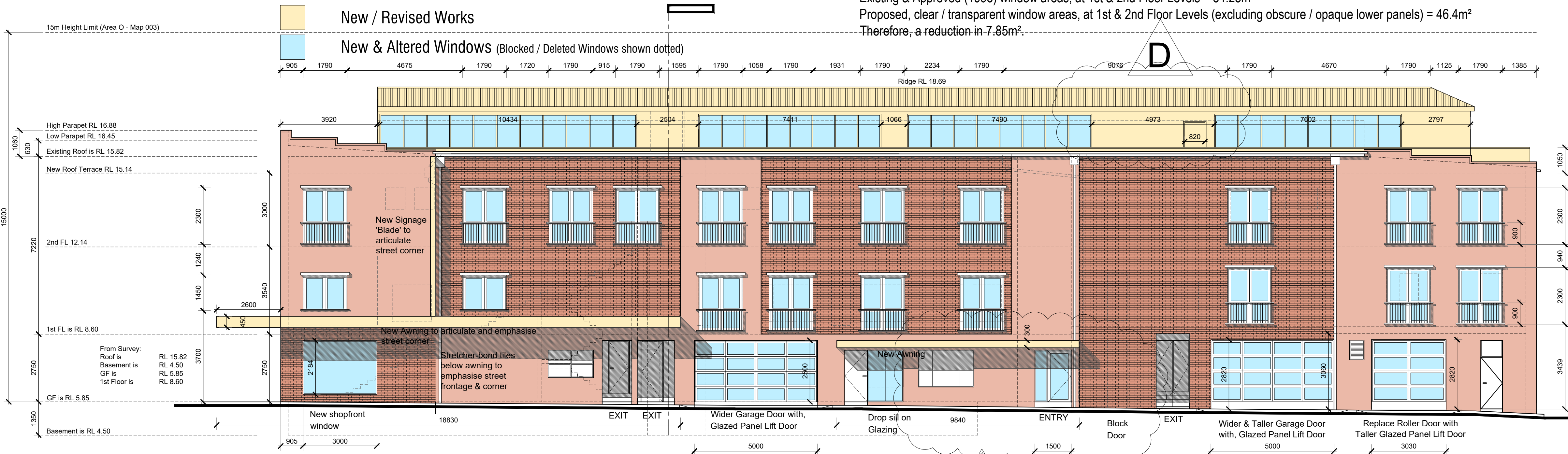
Windows Approved in 1993



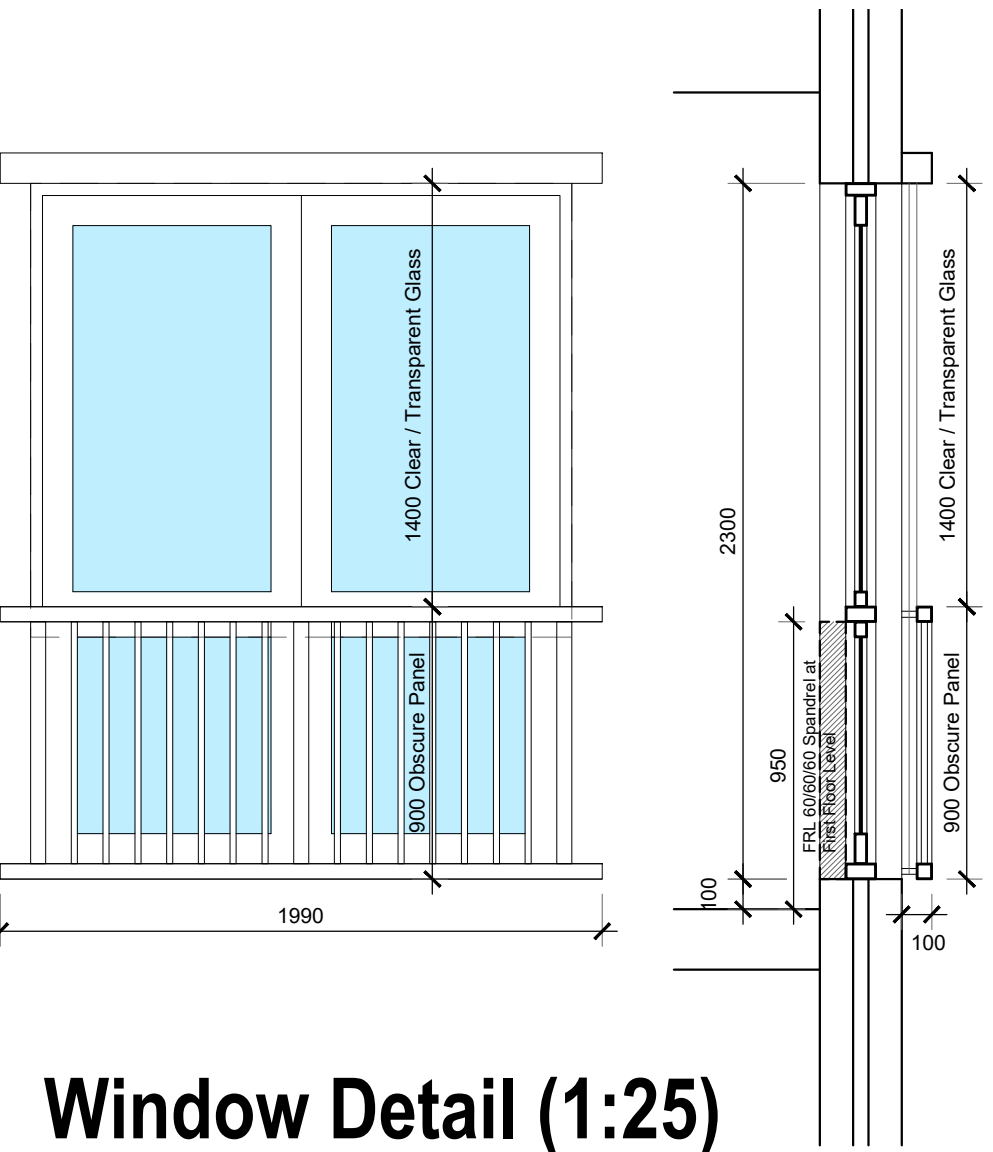
North Elevation (Existing, with previously approved, but not installed, window locations shown)

Fenestration Calculation:

Existing & Approved (1993) window areas, at 1st & 2nd Floor Levels = 54.25m²
Proposed, clear / transparent window areas, at 1st & 2nd Floor Levels (excluding obscure / opaque lower panels) = 46.4m²
Therefore, a reduction in 7.85m².

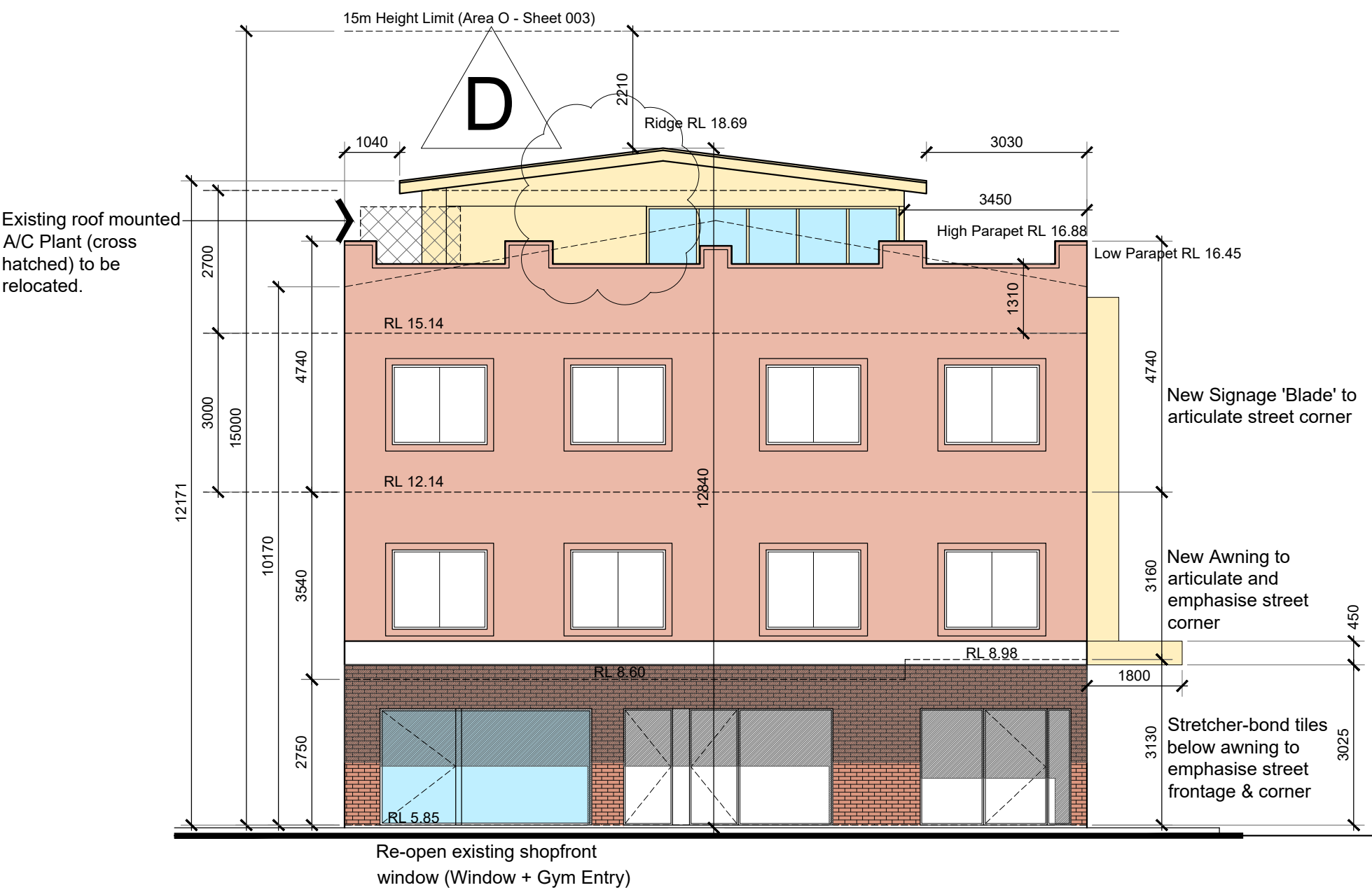


North Elevation (Proposed)



Window Detail (1:25)

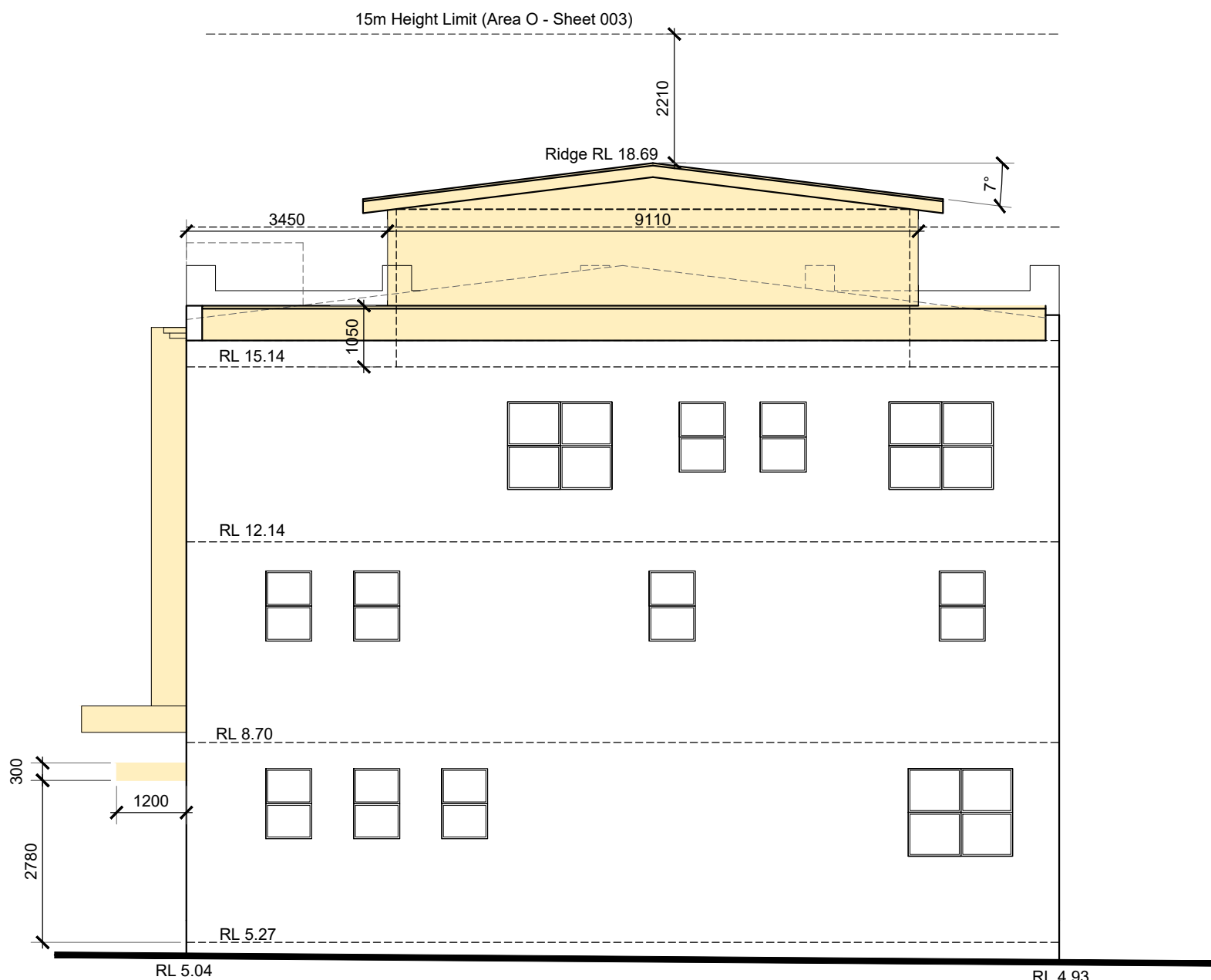
Proposed window treatment to present the appearance of a faux balcony, but the lower portion of the glazing assembly is to be fixed, obscure / opaque with only the upper portion operable and clear / transparent (with a transom set behind the external railing). At first floor level, the lower portion of glazing shall have an internal spandrel to achieve an FRL of 60/60/60, to 950mm high. The window detail at second floor level to include an external shading device to bedroom windows. This element is intended to provide articulation to the facade as well as order and rhythm.



East Elevation (Front / Pittwater Road)



North East Corner (Google Street View)



West Elevation (Kangaroo Lane)

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.
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Date	Issue	Amendment
August 2018		Development Application.
April 2019	A	North elevation (existing and proposed) amended to reflect the true ground levels and opening heights. First floor level at west end of building corrected to reflect the 300mm step up within the building.
May 2019	B	OSD Deleted - DA Submission Updated.
Oct. 2019	C	New DA Submission - Revised Lift & Stairs.
May 2020	D	Modification to the approved DA2019/0083. Stairs & single lift revised and associated planning amended. Doors, windows & awning amended at ground floor level (north).

Materials & Finishes:

Existing building fabric to be retained where possible, restored where required, with elements removed and replaced (to match existing) where appropriate.

The new face brick and rendered treatment to the northern elevation is proposed to improve and 'tidy' the appearance in relation to the heritage properties opposite, while presenting a more sympathetic scale to the building.

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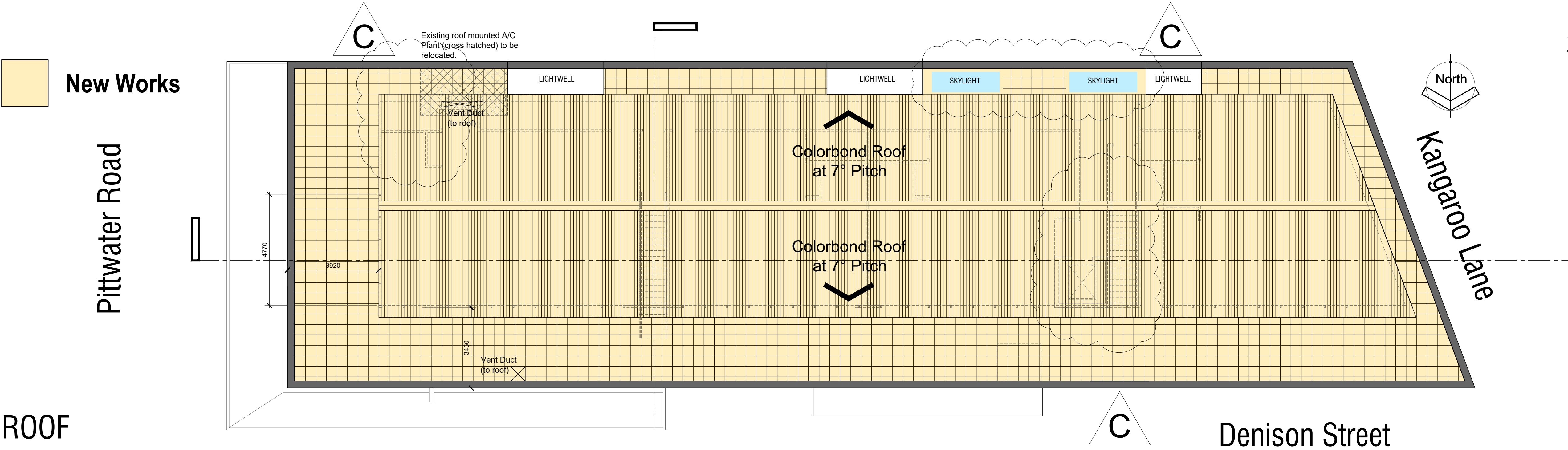
Project
Alterations & Additions
29-33 Pittwater Road
Manly
NSW 2095 (LOT 1, DP.76807)

Drawing

Elevations

SECTION 4.55 (2) MODIFICATION

Scale	1:100	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	Issue
Drawn By	ar	PR-03	D
Ckd. By			
Plot Date	May 2020		
File Name	Pittwater Road Manly MAY 15 2020.dwg		



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Date	Issue	Amendment
August 2018	-	Development Application.
May 2019	A	OSD Deleted - DA Submission Updated.
Oct. 2019	B	New DA Submission - Revised Lift & Stairs.
May 2020	C	Modification to the approved DA2019/0083. Stairs & single lift revised and associated planning amended. Skylights added.

ROOF

Schedule of Finishes & Colours:

Element	Material / Finish	Colour
Roof	Colorbond	Basalt Colour
Shopfront Walls (GF) Pittwater Road & Around Corner into Denison Street	Subway Tiles, Stretcher Bond	Black Gloss Tile & White Grout
Face Brick (North Elevation)	Heritage, Face Brick	Dark with light pointing
Rendered Walls & Third Floor Walls (New Commercial level)	Painted	Dulux Beige Royal (50% strength)
Front Elevation Window Banding & Stepped Parapet Capping	Painted	Dulux Beige Royal (100% strength)
Doors, windows, balustrades & awning fronts	Powder-coat	Dulux Duralloy Dark Grey
Underside of Awnings	Painted	Off-White
Gutters & Downpipes	Zinc	Natural finish
Vertical 'Signage Blade' on North elevation	Alucobond	Anthracite Grey 105



Photomontage of Proposed Building with New Finishes Applied

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architect

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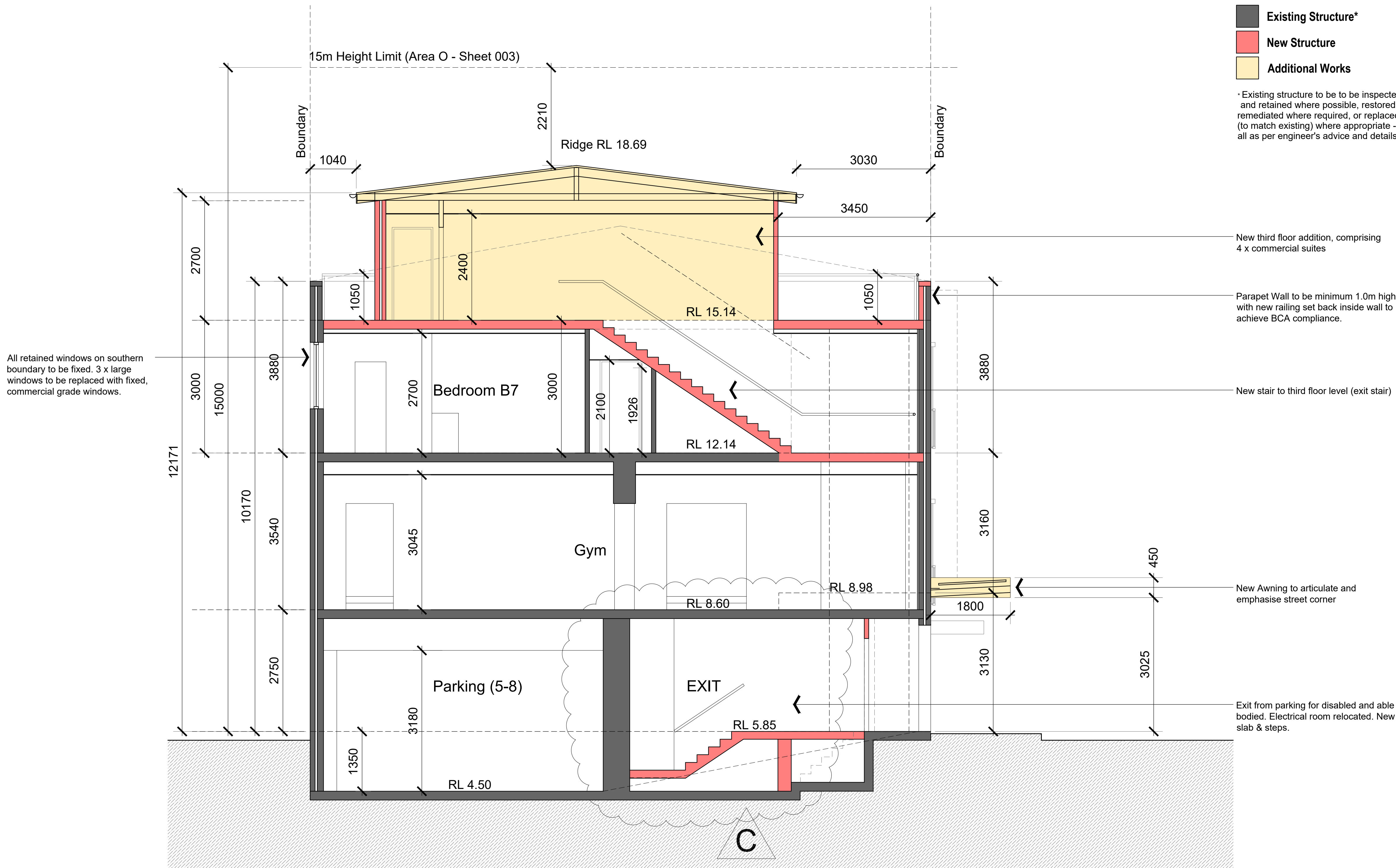
JSALT Pty Ltd

Project

Alterations & Additions
29-33 Pittwater Road
Manly
NSW 2095 (LOT 1, DP.76807)

Drawing

Roof Plan & Finishes			
SECTION 4.55 (2) MODIFICATION			
Scale	1:100	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	PR-04 C
Drawn By	ar		
Ckd. By			
Plot Date	May 2020		
File Name	Pittwater Road Manly MAY 15 2020.dwg		



- Existing Structure***
- New Structure**
- Additional Works**

* Existing structure to be to be inspected and retained where possible, restored / remediated where required, or replaced (to match existing) where appropriate - all as per engineer's advice and details.

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Date	Issue	Amendment
August 2018	-	Development Application.
May 2019	A	OSD Deleted - DA Submission Updated.
Oct. 2019	B	New DA Submission - Revised Lift & Stairs.
May 2020	C	Modification to the approved DA2019/0083. Stairs & single lift revised and associated planning amended. Parking exit revised.

New third floor addition, comprising 4 x commercial suites

Parapet Wall to be minimum 1.0m high with new railing set back inside wall to achieve BCA compliance.

New stair to third floor level (exit stair)

New Awning to articulate and emphasise street corner

Exit from parking for disabled and able bodied. Electrical room relocated. New slab & steps.

Cross Section

Schedule of Finishes & Colours:

Element

Roof
Shopfront Walls (GF) Pittwater Road & Around Corner into Denison Street
Face Brick (North Elevation)
Rendered Walls & Third Floor Walls (New Commercial level)
Front Elevation Window Banding & Stepped Parapet Capping
Doors, windows, balustrades & awning fronts
Underside of Awnings
Gutters & Downpipes
Vertical 'Signage Blade' on North elevation

Material / Finish

Colorbond
Subway Tiles, Stretcher Bond
Heritage, Face Brick
Painted
Painted
Powder-coat
Painted
Zinc
Alucobond

Colour

Basalt Colour
Black Gloss Tile & White Grout
Dark with light pointing
Dulux Beige Royal (50% strength)
Dulux Beige Royal (100% strength)
Dulux Duralloy Dark Grey
Off-White
Natural finish
Anthracite Grey 105



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Alterations & Additions
29-33 Pittwater Road
Manly
NSW 2095 (LOT 1, DP.76807)

Drawing

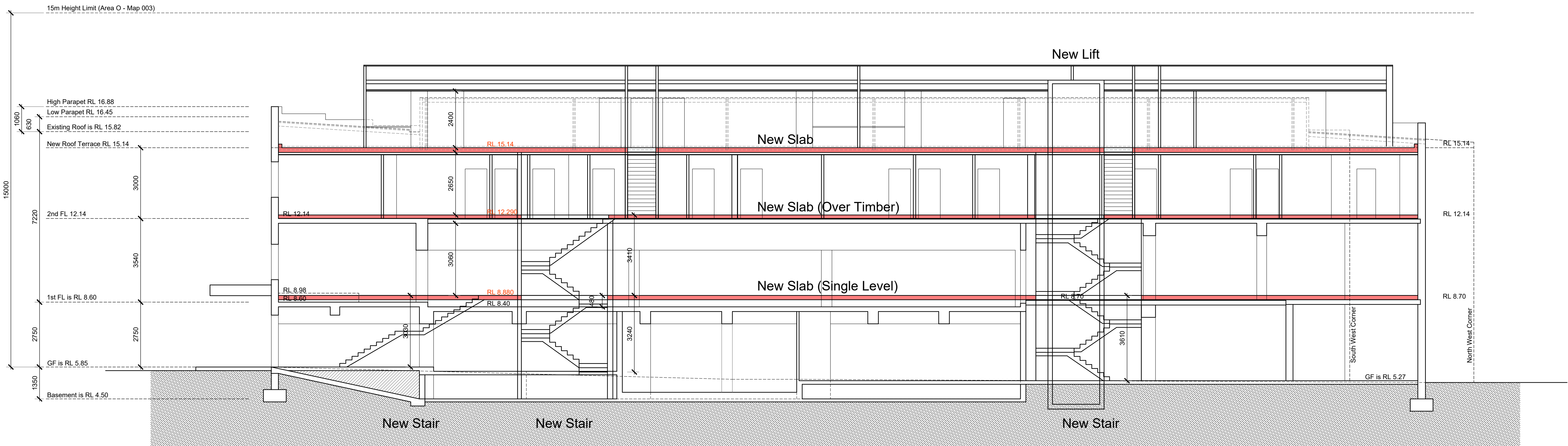
Cross Section

SECTION 4.55 (2) MODIFICATION

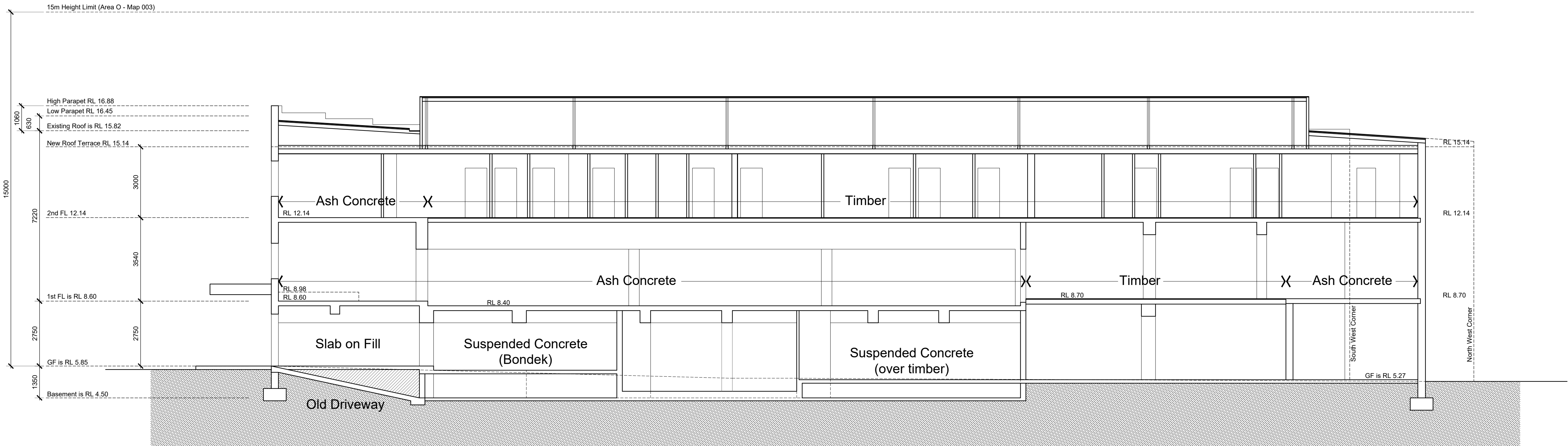
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Date	Nov. 2016	Drawing Number	PR-05
Drawn By	ar	Issue	C
Ckd. By			
Plot Date	May 2020		
File Name	Pittwater Road Manly MAY 15 2020.dwg		

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Date	Issue	Amendment
Oct. 2019	-	New DA Submission - Revised Lift & Stairs.
May 2020	A	Section 4.55(2) Submission.



LONG SECTION (LOOKING SOUTH) PROPOSED (Subject to Engineering Input)



LONG SECTION (LOOKING SOUTH) EXISTING

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architect

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Client

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Project

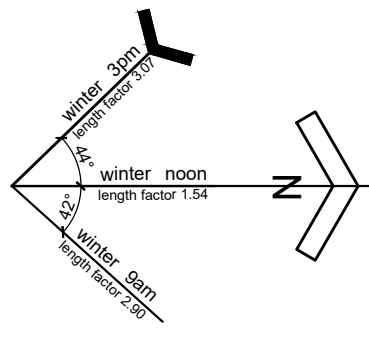
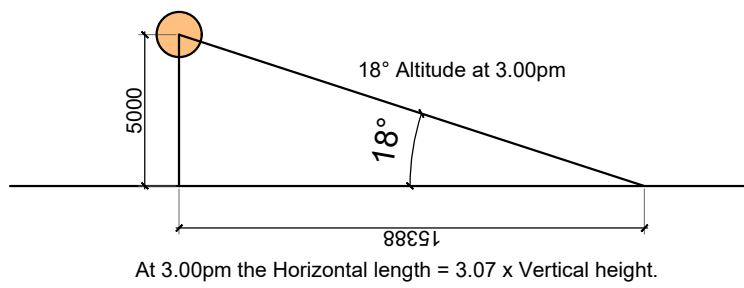
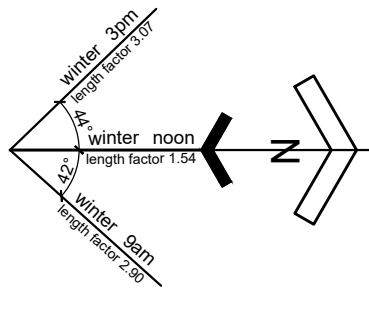
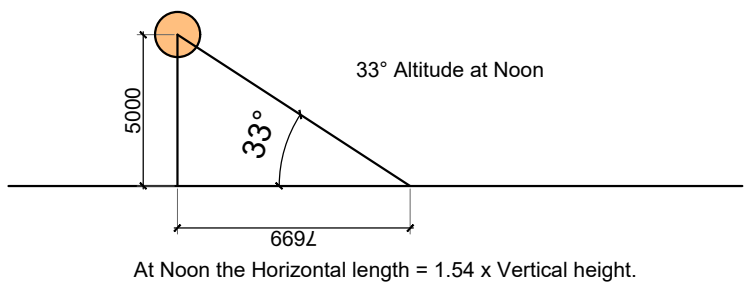
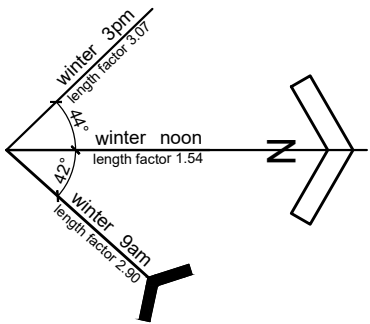
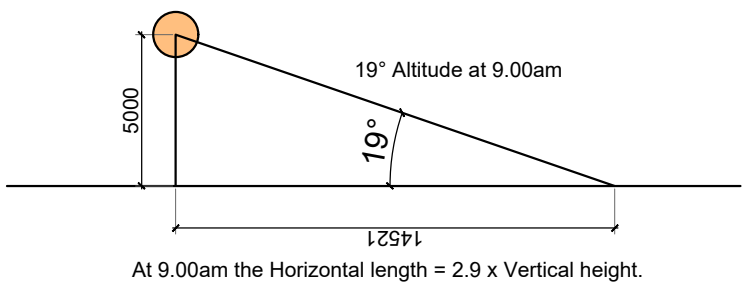
Alterations & Additions
29-33 Pittwater Road
Manly
NSW 2095 (LOT 1, DP.76807)

Drawing

Long Section

SECTION 4.55 (2) MODIFICATION

Scale	1:100	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	Issue
Drawn By	ar	PR-06	A
Ckd. By			
Plot Date	May 2020		
File Name	Pittwater Road Manly MAY 15 2020.dwg		



Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

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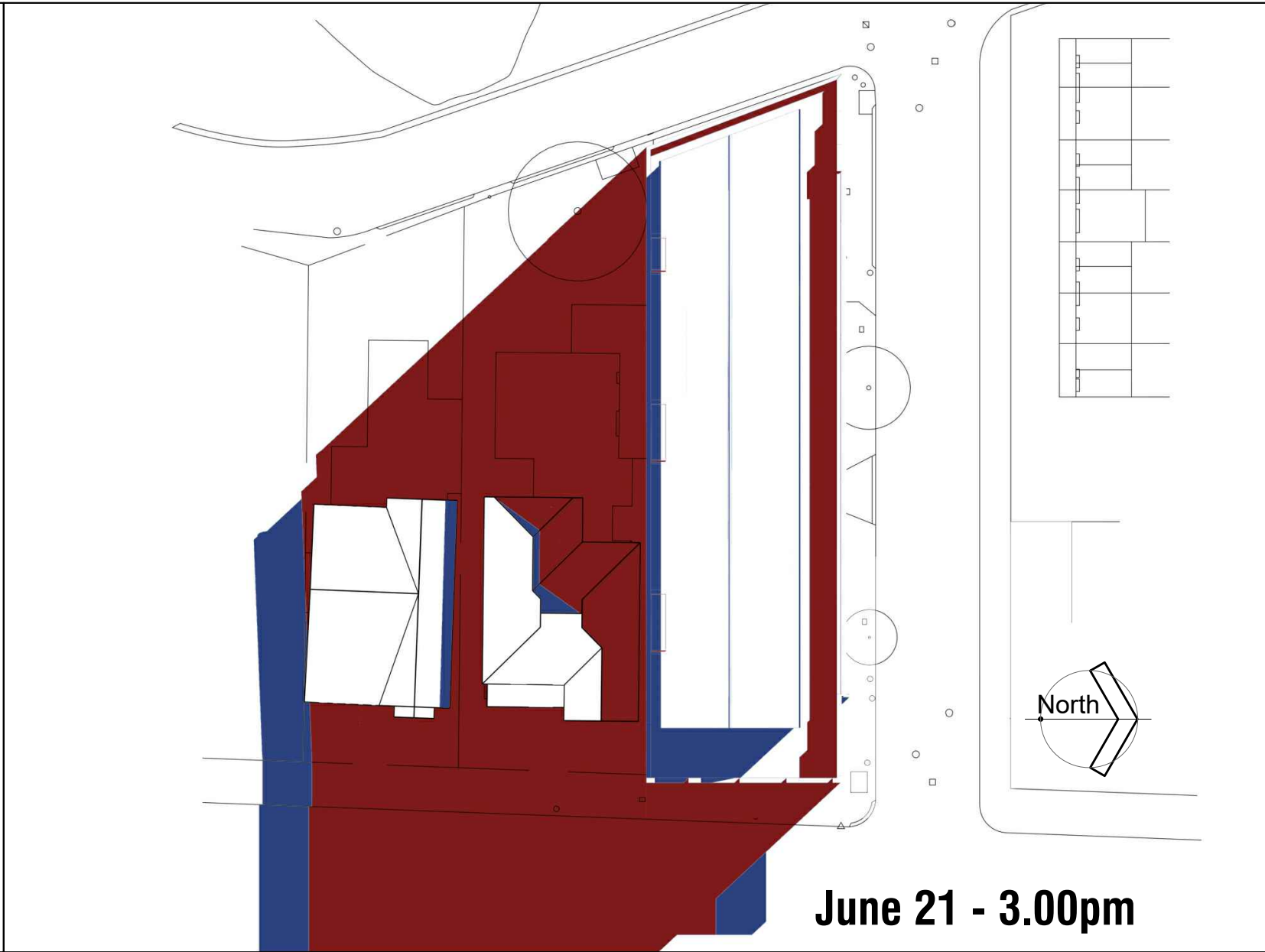
Date	Issue	Amendment
August 2018	-	Development Application.
October 2019	A	New DA Submission - Revised Lift & Stairs.
May 2020	B	Modification to the approved DA2019/0083. Stairs & single lift revised and associated planning amended. Parking exit revised.



June 21 - 9.00am



June 21 - 12.00 noon

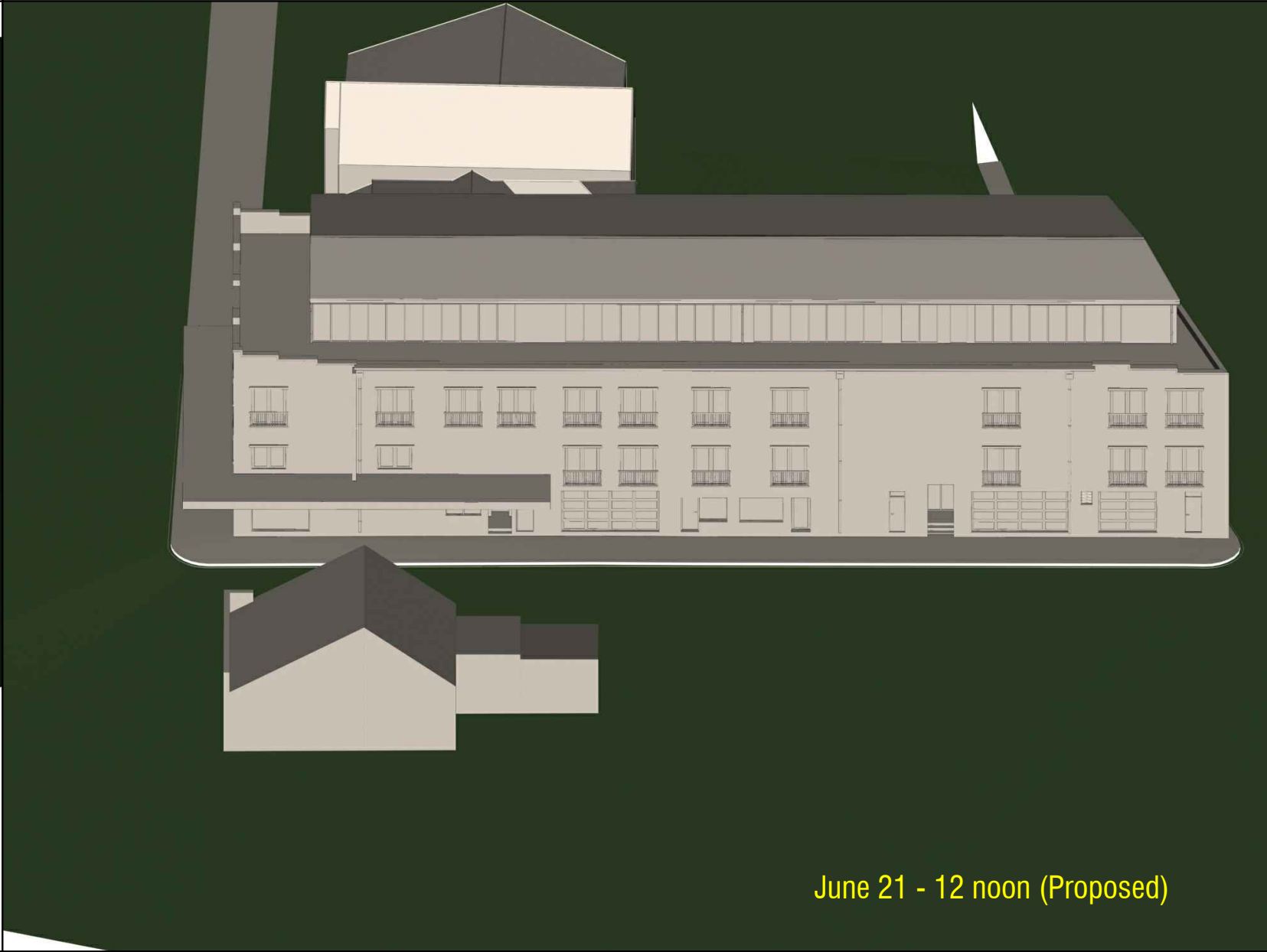


June 21 - 3.00pm

- Existing Shadow
- Additional Shadow



June 21 - 9.00am (Proposed)



June 21 - 12 noon (Proposed)



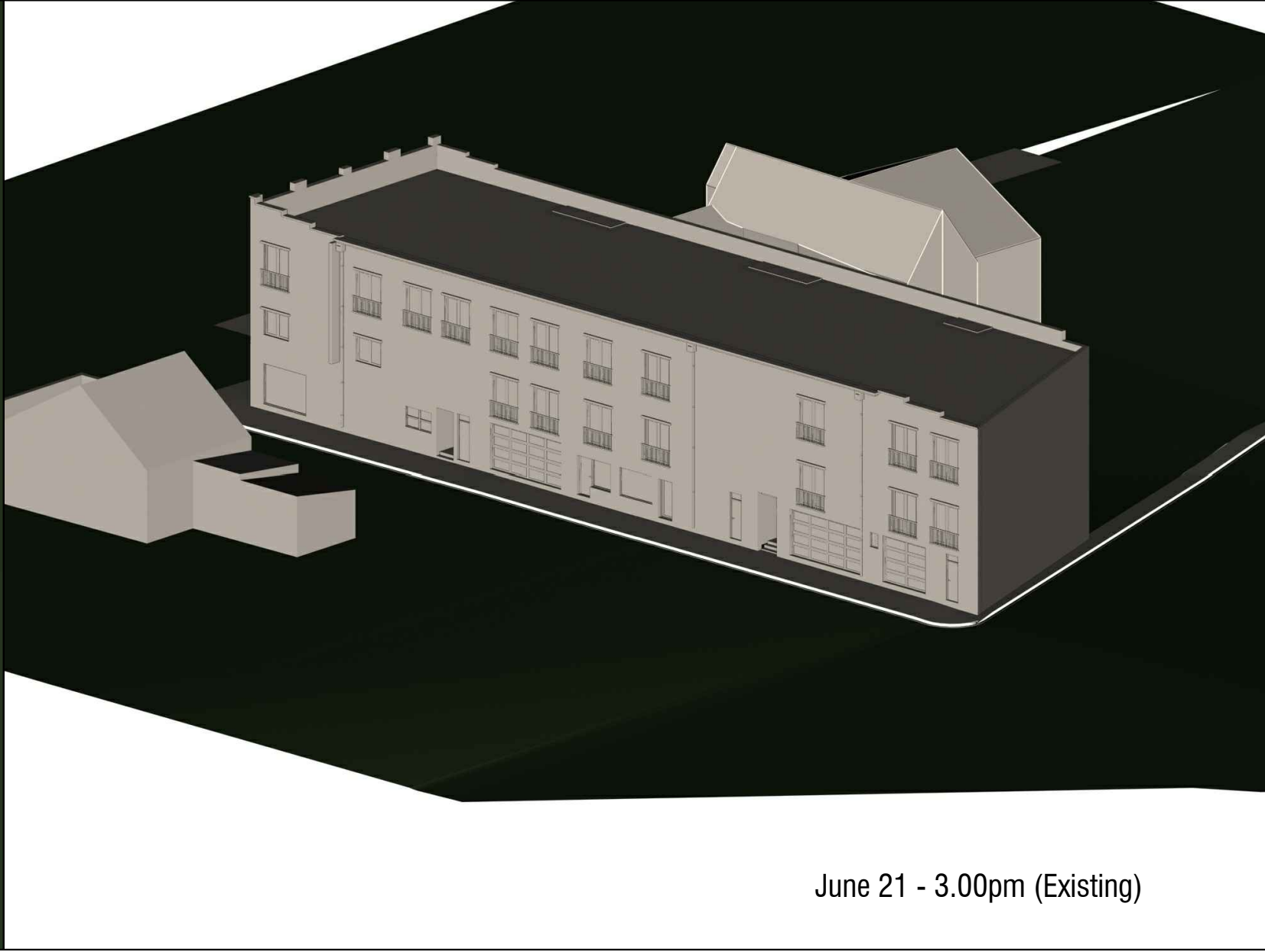
June 21 - 3.00pm (Proposed)



June 21 - 9.00am (Existing)



June 21 - 12 noon (Existing)



June 21 - 3.00pm (Existing)

With regard to the 3D views, these represent the images taken from the perspective of the sun's position at the time nominated (i.e. you are looking from the sun towards the subject building). What is hidden / not visible beyond the subject building is where the shadows will be cast. There is evidently very little difference as a result of the proposed works, with the walls of the existing buildings to the south of the site already being shaded by the existing three storey development. The additional level proposed adds shadow to the roof of the buildings to the south and does not therefore impact any windows which currently have solar access at these times.

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Drawing	

Shadow Diagrams

SECTION 4.55 (2) MODIFICATION			
Scale	NTS	Original Sheet Size	A1
Date	Nov. 2016	Drawing Number	Issue
Drawn By	ar	PR-S1	B
Ckd. By			
Plot Date	May 2020		
File Name	Pittwater Road Manly MAY 15 2020.dwg		