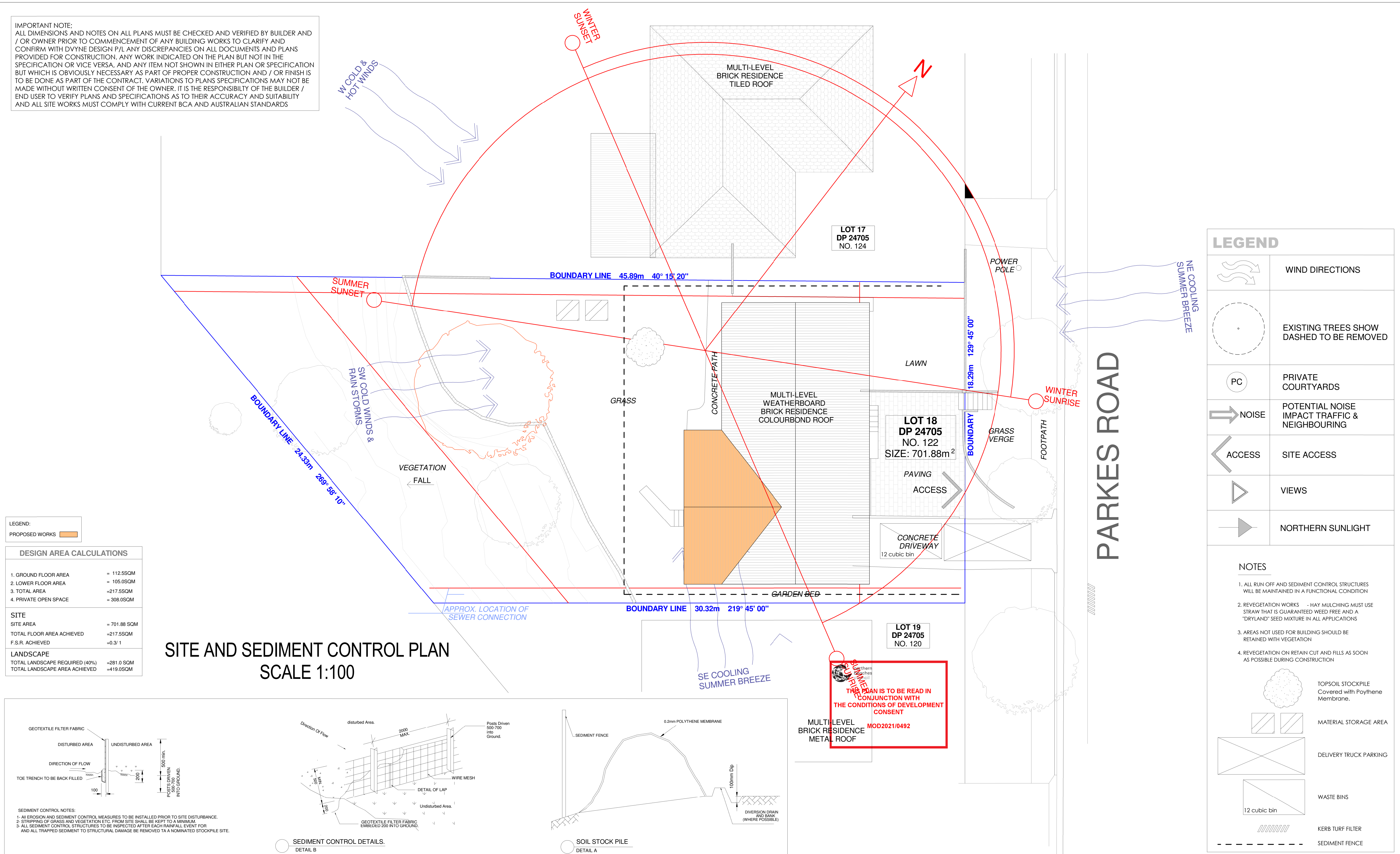
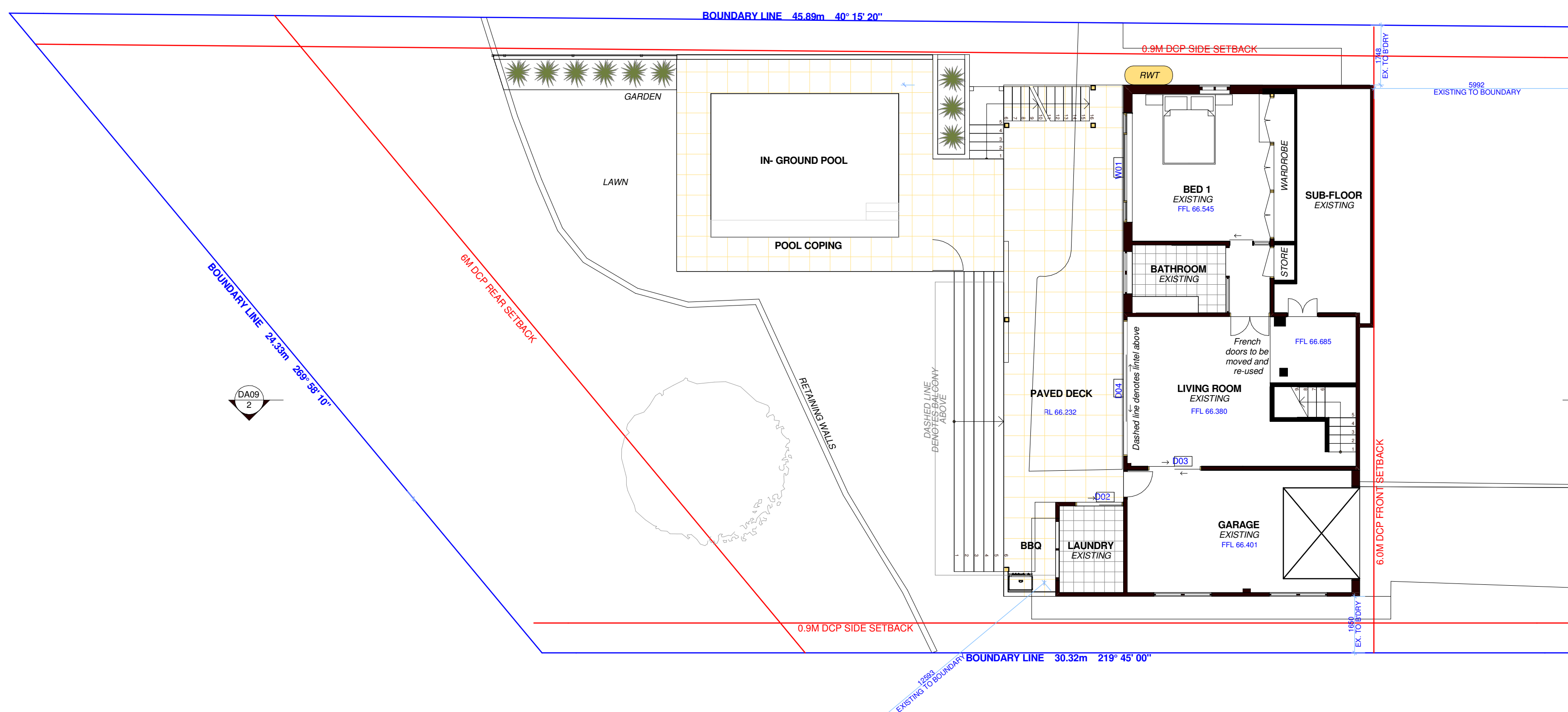
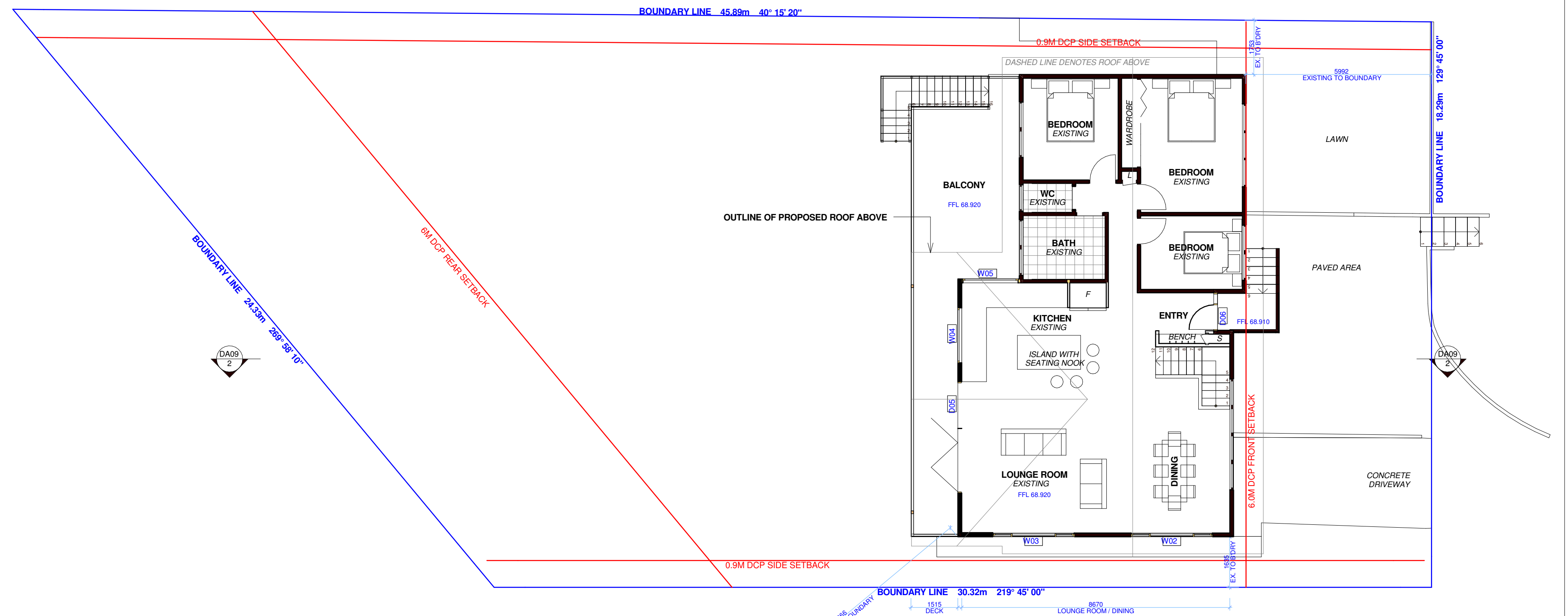



IMPORTANT NOTE:
ALL DIMENSIONS AND NOTES ON ALL PLANS MUST BE CHECKED AND VERIFIED BY BUILDER AND / OR OWNER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS TO CLARIFY AND CONFIRM WITH DVYNE DESIGN P/L ANY DISCREPANCIES ON ALL DOCUMENTS AND PLANS PROVIDED FOR CONSTRUCTION. ANY WORK INDICATED ON THE PLAN BUT NOT IN THE SPECIFICATION OR VICE VERSA, AND ANY ITEM NOT SHOWN IN EITHER PLAN OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY AS PART OF PROPER CONSTRUCTION AND / OR FINISH IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS TO PLANS SPECIFICATIONS MAY NOT BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER. IT IS THE RESPONSIBILITY OF THE BUILDER / END USER TO VERIFY PLANS AND SPECIFICATIONS AS TO THEIR ACCURACY AND SUITABILITY AND ALL SITE WORKS MUST COMPLY WITH CURRENT BCA AND AUSTRALIAN STANDARDS




<div><div><div><div><div><div></div></div></div><div><div><div>perrasdesign group</div><div>design plans • approve • construct</div><div>Studio: 8005 1000 www.perrasdesigngroup.com.au</div></div></div><div><div><div>dvyne design</div><div>d</div></div></div></div><div>Suite 6, 92 Bathurst Street, Liverpool NSW 2170 M: 0414 507 259 P: (02) 8005 1000 E: peter@dvynedesign.com.au - PETER PERRAS - DIRECTOR -</div></div></div>	JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES	DRAWN	M.N	ISSUE	AMENDMENT	BY	DATE
	SECTION 4.55 FOR THE ROOF	SITE & SEDIMENT CONTROL PLAN	DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE. TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS. - COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF DVYNE DESIGN PP PTY LTD, ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.	DATE	JUN.21				
	AT	CLIENT DETAILS		CHECKED	P.PERRAS				
	122 PARKES ROAD, COLLARAY	EIKE DUPERE		SCALE	1:100				
				JOB NUMBER	21102				
				NUMBER IN SET	1				
				ISSUE	A				

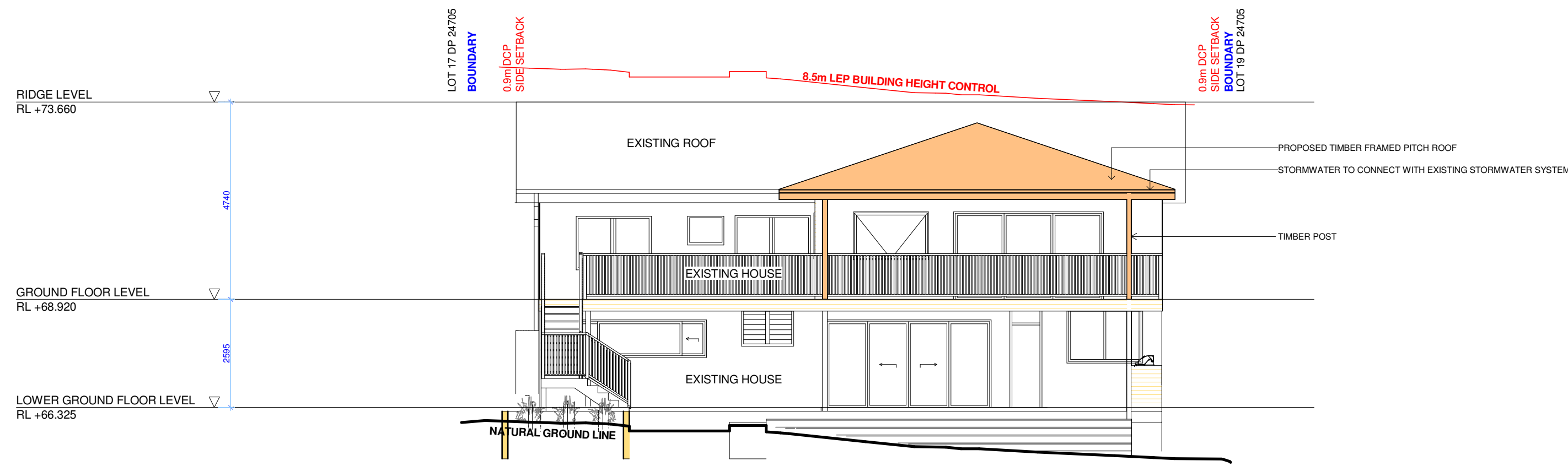


 northern
beaches
council

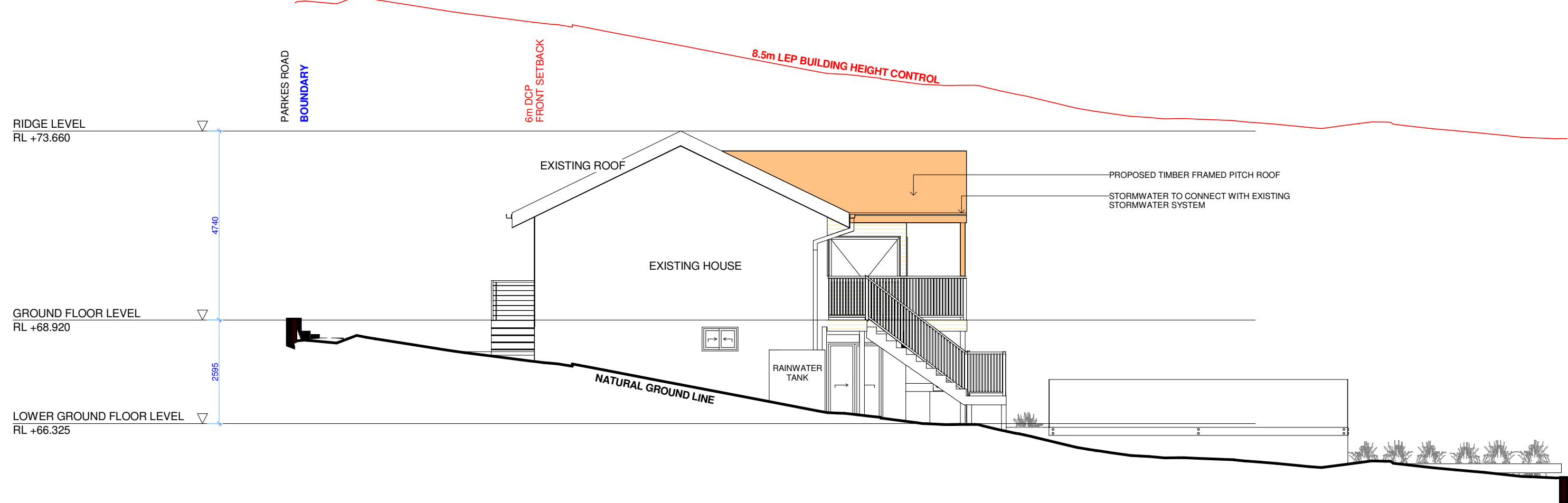
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2021/0492

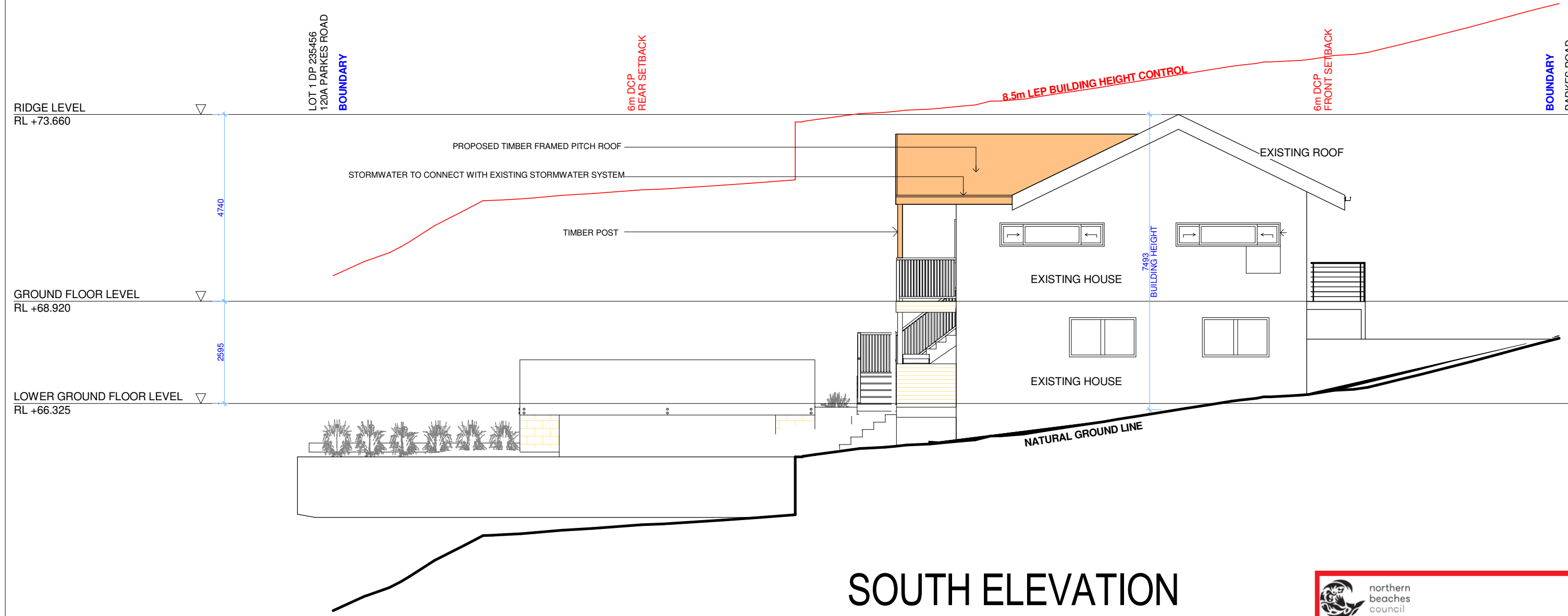
<div><p>perras design group design plans + approve + construct Studio: 8005 1000 www.perrasdesigngroup.com.au</p></div> <div><p>Suite 6, 92 Bathurst Street, Liverpool NSW 2170 M: 0414 507 259 P: (02) 8005 1000 E: peter@dvyndesign.com.au</p><p>- PETER PERRAS - DIRECTOR -</p></div>	JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES	DRAWN	M.N	ISSUE	AMENDMENT	BY	DATE
	SECTION 4.55 FOR THE ROOF	GROUND FLOOR PLAN	<p>DO NOT SCALE THE DRAWINGS, READ ALL DIMENSIONS SHOWN, ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.</p> <p>COPYRIGHT -</p> <p>THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF DVYNE DESIGN PP PTY LTD, ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.</p>	DATE	JUN.21	A	S4.55 COUNCIL SUBMISSION	P.P	JUN.21
				CHECKED	P.PERRAS				
				SCALE	1:100				
				JOB NUMBER	21102				
				NUMBER IN SET	2				
				ISSUE	A				
AT	CLIENT DETAILS								
122 PARKES ROAD, COLLARAY	EIKE DUPERE								



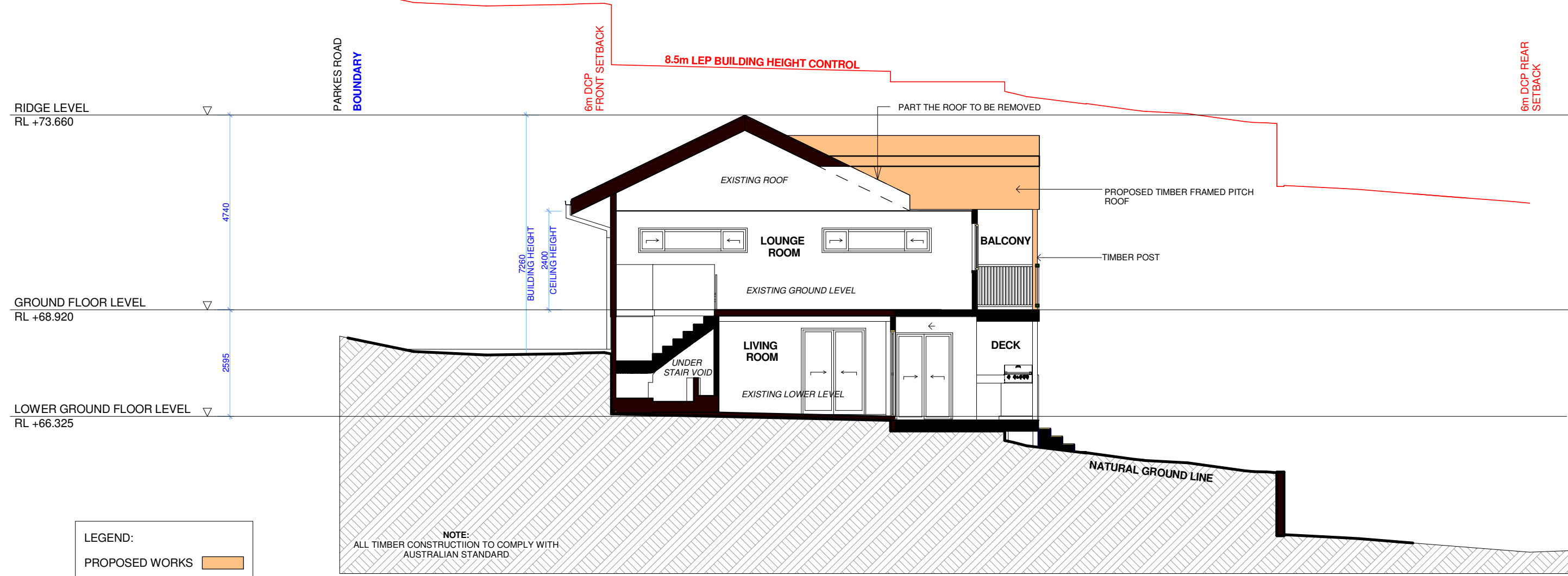
WEST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



SECTION 2 - 2
SCALE 1:100


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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
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LEGEND:
PROPOSED WORKS



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- PETER PERRAS - DIRECTOR -

JOB DESCRIPTION
SECTION 4.55 FOR THE ROOF
AT
122 PARKES ROAD, COLLARAY

DRAWING TITLE
ELEVATIONS AND SECTION
CLIENT DETAILS
EIKE DUPERE

GENERAL NOTES
DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.
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DRAWN	M.N
DATE	JUN.21
CHECKED	P.PERRAS
SCALE	1:100
JOB NUMBER	21102
NUMBER IN SET	4
ISSUE	A

ISSUE	AMENDMENT	BY	DATE
A	S4.55 COUNCIL SUBMISSION	P.P	JUN.21