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# Statement of Environmental Effects

Development Application  
Primewest Management Pty Ltd.

120 Old Pittwater Road, Brookvale  
(Lot 3, DP 968761)

Prepared by IA Design  
23 June 2020



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## **Statement of Environmental Effects**

120 Old Pittwater Road

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### **Executive Summary**

This Statement of Environmental Effects has been prepared by IA Design on behalf of Primewest Management. It supports the Development Application to Northern Beaches Council for the proposed motorized roller shutter to the existing warehouse facility at 120 Old Pittwater Road, Brookvale.

The subject land on lot 3, DP 868761 is currently zoned IN1 General Industrial under Warringah Local Environmental Plan 2011. The proposal does not change the existing zoning under the Warringah LEP.

The proposed works are to install 2 motorised roller shutters to the Southern facade of the existing 5-storey office and warehouse block at the existing loading dock on level 1.

The proposed works does not present any significant environmental impact and a favourable consideration is requested.



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### The Site

The subject site is Lot 3, DP 868761 known as 120 Old Pittwater Road, Brookvale. The site is an irregular shaped allotment approximately 2.177 hectares with a frontage of approximately 110.5 metres to Old Pittwater Road to the East.

The site comprises of a 5-storey Office and Warehouse building and a 2-storey Distribution Centre. Bitumen paved carparking areas are to the north of these building. Access to the carparking area is at the Northeast corner of the site.

A number of trees are within the site with the majority within the setback along Old Pittwater Road.

A concrete ramp to the level 1 loading dock of the 5-storey Office and Warehouse building is to the Southeast corner of the site.

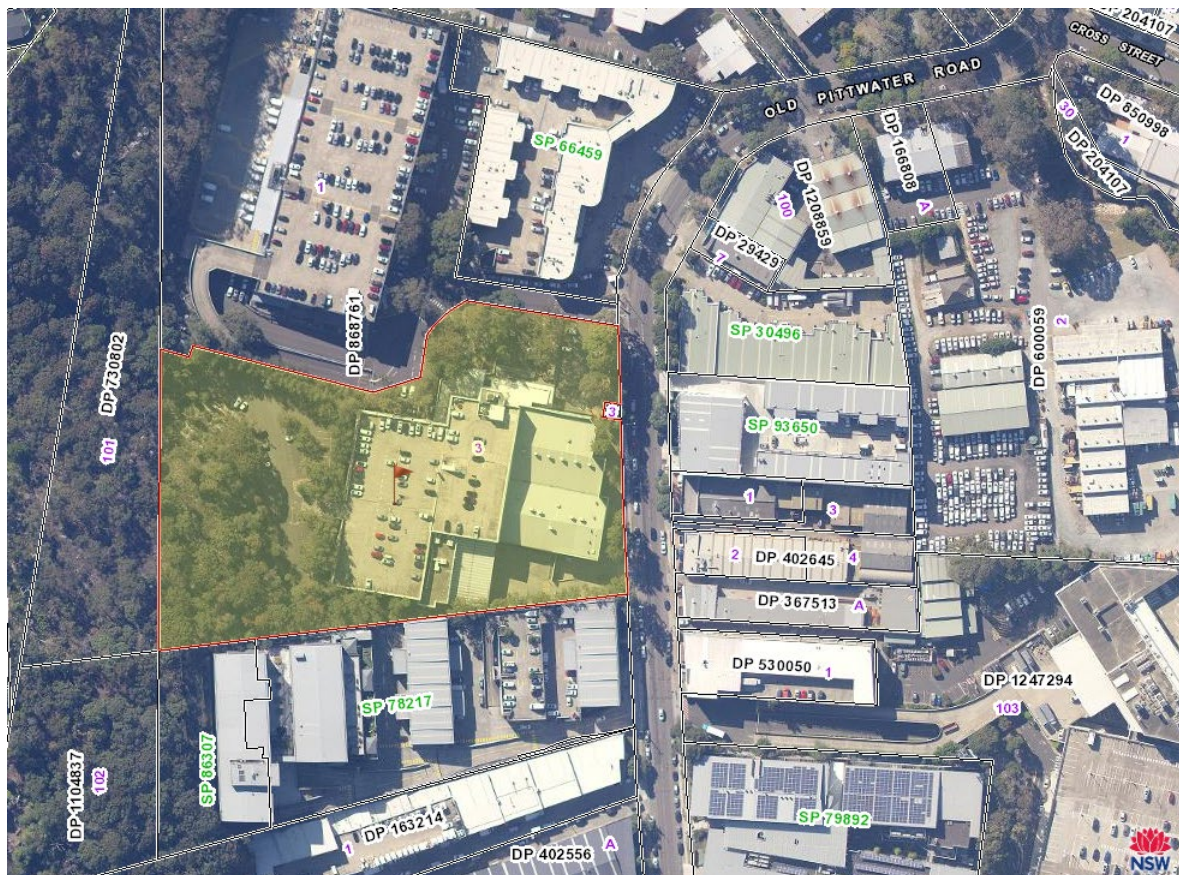


Figure 1. Site Location (Source: Sixmaps)



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*Photo 1: 2-Storey Distribution Centre at Southeast corner of the site*



*Photo 2: Ramp up to level 1 loading dock of 5-storey Office and Warehouse building at Southeast corner of the site*



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Photo 3: Loading dock at level 1 of the existing 5-storey Office and Warehouse building

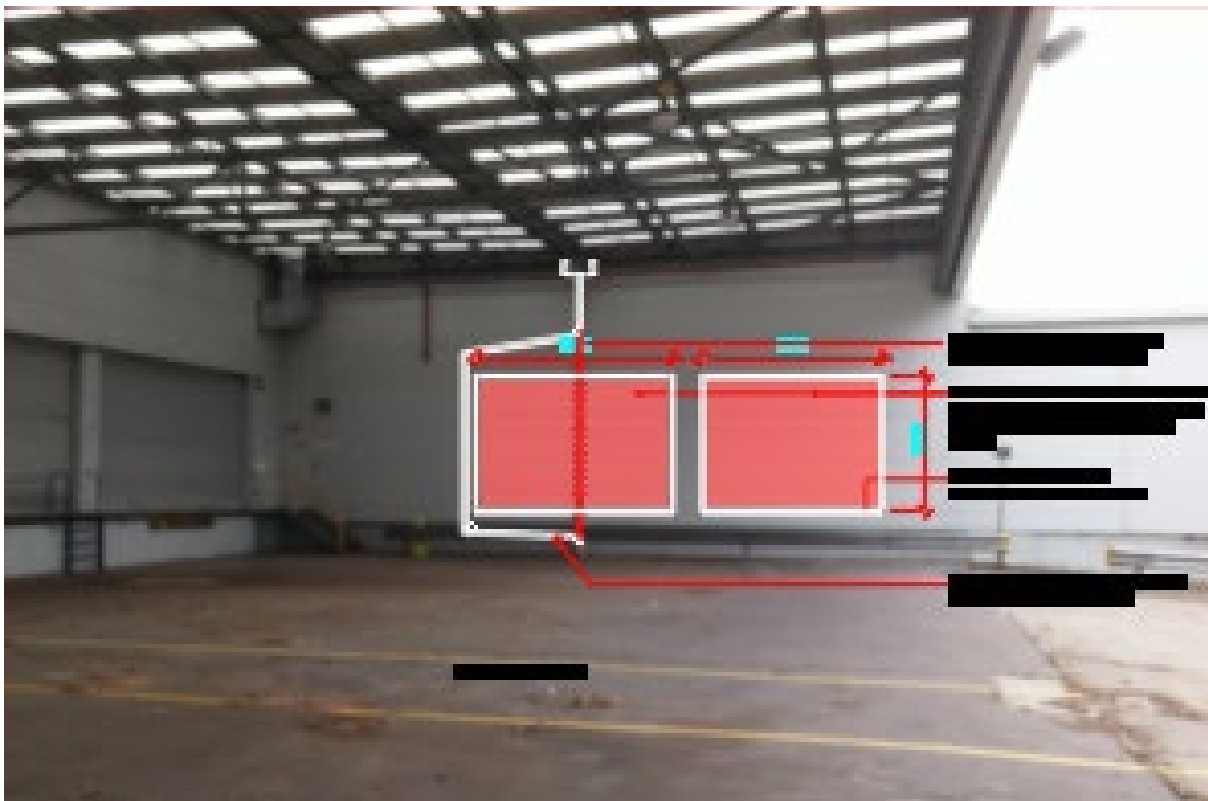


Photo 4: Photomontage of the proposed motorised roller shutters at level 1 of the existing 5-storey Office and Warehouse building



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### Proposed Development

The proposal is to install 2 off motorized roller shutters to the South facade of the existing 5-storey Office and Warehouse building at the loading dock at level 1.

The vehicle barrier in front of these roller shutters are to be removed for access to the roller shutters.

The roller shutters are to match the existing roller shutters at the level 1 loading dock.

It is proposed that the loading dock operate at the following hours:

- Monday to Friday: 7am to 6pm
- Saturday: 7am to 1pm
- Sunday: Nil

### Environmental Assessment

#### Zoning

The proposal to install the roller shutters do not change the existing approved zoning use of the building.

#### Traffic and Site Access

The roller shutters are located at the existing level 1 loading dock area. There is no impact to the existing ramp up to the loading dock from Old Pittwater Road.

It is envisaged that there will be no increase to the traffic to the site.

#### Construction Impact

The proposed development is within the General Industrial zone with industrial buildings to the North, South and East of the development. Heavy wooded area is to the West of the development. There will be no noise impact due to the construction to the neighbouring buildings.

The construction will be carried out in accordance with the Environmental Planning and Assessment Act 1979 to the allowable working hours and noise levels for construction sites in NSW.

#### Waste Management

The waste generated will be minimal with only the demolished blockwall for the roller shutters to be removed.

These will be recycled where possible.



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### **Views and Vistas**

The proposed roller shutters are at level 1 and is approximately 61 metres from Old Pittwater Road. The proposal dose not impact on any views or vistas.

### **Landscape**

The proposal does not impact on any existing landscape on site.

### **Floor Space Ratio and Site Coverage**

There is no change to the existing Floor Space Ration or Site Coverage.

### **Façade Design and Materials**

High quality and low maintenance materials have been selected to have a minimal impact on the environment.

The colours and materials are to match the existing materials on site to maintain the architectural interest and visual aesthetics of the building.

### **Heritage Conservation**

The site does not contain any items of heritage significance. No archaeological potential exists for the site

### **Bush Fire Hazard**

The site is not identified as being within a bushfire hazard area.

### **Acid Sulfate Soils**

The site is not identified as having potential for Acid Sulfate Soils under draft WLEP 2011.

### **Social Impact**

No adverse social impact is expected to result from the proposal.



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### **Conclusion**

The proposed development for the installation of 2 off motorized roller shutters at 120 Old Pittwater Road is in accordance with the Environmental and Assessment Act 1979 and with Warringah Local Environmental Plan 2011.

The proposal has no adverse environmental impact.