

LEGEND	
	HOT WATER TANK
	WATER METER
	TELECOM PIT
	MANHOLE (SEWER/STORMWATER)
	VEHICLE CROSSING
	KERB INLET PIT
	LIGHT POLE
	ELECTRICITY POLE
	HYDRANT
	STOP VALVE
	KERB OUTLET
	SERVICE CONDUIT
	TREE (DIA/HEIGHT)
	GARDEN BED
	SHRUB



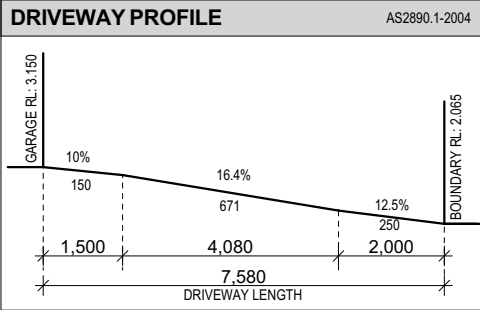
PLANS TO BE READ IN CONJUNCTION WITH
FLOOD REPORT BY ZAIT ENGINEERING
SOLUTIONS PTY LTD
PROJECT NO. 20DZ2274
ISSUE A

PLANS TO BE READ IN CONJUNCTION WITH
ARBORIST REPORT BY NATURALLY TREES
DATED 15/01/2020

FLOOD ZONE AFFECTED LOT

CLASS 4 ACID SULPHATE
SOIL

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING
OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED,
LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS
TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.



LOCATION PLAN

UBD REF: 197, Q3
LAT: -33.782462
LONG: 151.27946

EARTHWORKS LEGEND

- EXISTING
- TO BE REMOVED
- CUT AREA
- BATTER TO NGL
- DROP EDGE BEAM
- RETAINING WALL

SURVEY NOTES

CONTOURS SHOWN HAVE BEEN
INTERPOLATED FROM SPOT LEVELS
TAKEN ON-SITE AND ARE A
REPRESENTATION OF THE TOPOGRAPHY
ONLY

DIMENSIONS SHOWN (BEARINGS AND
DISTANCES) HAVE BEEN DETERMINED BY
LAND AND PROPERTY INFORMATION
PLANS ONLY. BOUNDARIES HAVE NOT
BEEN CCURATLY DETERMINED.

SERVICES SHOWN HAVE BEEN LOCATED
WHERE POSSIBLE BY FIELD SURVEY.
PRIOR TO ANY SITE WORKS, THE
RELEVANT AUTHORITY SHOULD
BE CONTACTED TO DETERMINE EXACT
POSITION OF ANY UNDERGROUND PIPES,
CABLES ETC.

DIMENSIONS OF ANY TREES SHOWN ON
THE PLAN ARE APPROX.

GENERAL NOTES

- STORMWATER DISCHARGE INTO DESIGNATED
DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITY REQUIREMENTS
- ALL GROUND LINES ARE TO BE VERIFIED ON-
SITE BY THE BUILDER
- FINAL LOCATION OF BUILDING TO BE VERIFIED
ON-SITE BY REGISTERED SURVEYOR
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE
OVER SCALING. ANY DISCREPANCIES TO BE
REFERRED BACK TO HALL & HART HOMES BEFORE
PROCEEDING
- SOIL CLASSIFICATION **H**
- CUT AND FILL HOUSE PLATFORM
APPROXIMATELY TO **RL 3.25** AND GARAGE TO **RL
2.825**
- HOUSE FLOOR LEVEL **RL 3.650**, 400 MM ABOVE
PLATFORM LEVEL. GARAGE FLOOR LEVEL **RL 3.150**
325 MM ABOVE PLATFORM LEVEL
- RETAINING WALLS WHERE REQUIRED - TO BE
PROVIDED BY THE OWNER
- TREES TO BE REMOVED WHERE REQUIRED - TO BE
REMOVED BY THE OWNER

DEVELOPMENT CONTROLS - WARRINGAH DCP

CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA		455.3m ²	
MAXIMUM BUILDING HEIGHT Max building height from natural ground	8.5m	9.268m	NO
SIDE BOUNDARY ENVELOPE Boundary envelope sited at	4m high/45°	4m high/45°	NO
SETBACKS FROM SIDE BOUNDARIES			
RHS	0.95m	1.15m	YES
LHS	0.95m	1.88m	YES
SETBACKS FROM FRONT B'DY TO NON-CLASSIFIED ROADS Minimum setback to road frontages	6.50m	6.50m	YES
SETBACKS FROM REAR BOUNDARIES Minimum setback to rear boundaries	6.00m	1.292m	NO
GARAGES, CARPORTS & CAR PARKING SPACES Min. off street parking spaces required-other than lots <8.0m	1	2	YES
CAR PARKING If house setback >=4.5m, garage/carport to be behind house by Max width of garage door for lots 12m or more	1.00m 6.0m	1.08m 4.81m	YES YES
MINIMUM LANDSCAPED OPEN SPACE 40% of lot area	182.12m ²	181.70m ²	NO
PRIVATE OPEN SPACE (as defined by Sepp) Dwelling houses with 3 or more bedrooms	60.0m ²	116.15m ²	YES
MAXIMUM WALL HEIGHT Max wall height from existing ground to underside of ceiling of upper floor	7.20m	7.303m	NO

TREE SCHEDULE			
TREE No.	Ø	HEIGHT	NAME
1	0.50	10H	
2	0.30	2H	
3	0.60	10H	
4	0.20	3H	TBR
5	0.20	5H	
6	0.20	3H	
7	0.60	10H	
8	0.30	7H	TBR
9	0.10	4H	
10	0.20	4H	TBR
11	0.60	8H	TBR
12	0.20	3H	TBR
13	0.30	3H	
14	0.30	4H	
15	0.50	3H	TBR
16	0.30	7H	TBR
17	0.30	7H	TBR
18	0.10	3H	TBR
19	0.60	15H	
20	0.50	15H	
21	0.20	3H	
22	0.50	11H	TBR
23	0.50	11H	
24	0.50	10H	
25	0.10	2H	
26	0.10	3H	TBR
27	0.60	7H	TBR
28	0.20	3H	
29	0.10	1.5H	TBR
30	0.10	2H	TBR
31	0.10	3H	TBR
32	0.20	3H	TBR
33	0.40	4H	TBR
34	0.30	3H	TBR
35	0.40	7H	TBR



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0233

NOTES:

PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE.
HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE
PRECEDENCE OVER PLANS

- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS

HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL
DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST
BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR:

PAUL & LYNDAL ROBSON

ADDRESS:

LOT 7 #353 PITTWATER ROAD
NORTH MANLY

COUNCIL:

NORTHERN BEACHES COUNCIL

DP No:

1448

HOUSE TYPE

MODEL:

ELYSE 38

FACADE:

HAMPTONS

GARAGE SIDE:

LHS

INCLUSIONS:

PREMIUM

DRAWING:

SITE PLAN

DRAWN:

HL

CHECKED:

--

LODGEMENT:

DA/CC

DATE DRAWN:

09/11/20

APPROVED FOR CONSTRUCTION:

JOB NO:

H0314

SCALE:

1:200

PAGE NO:

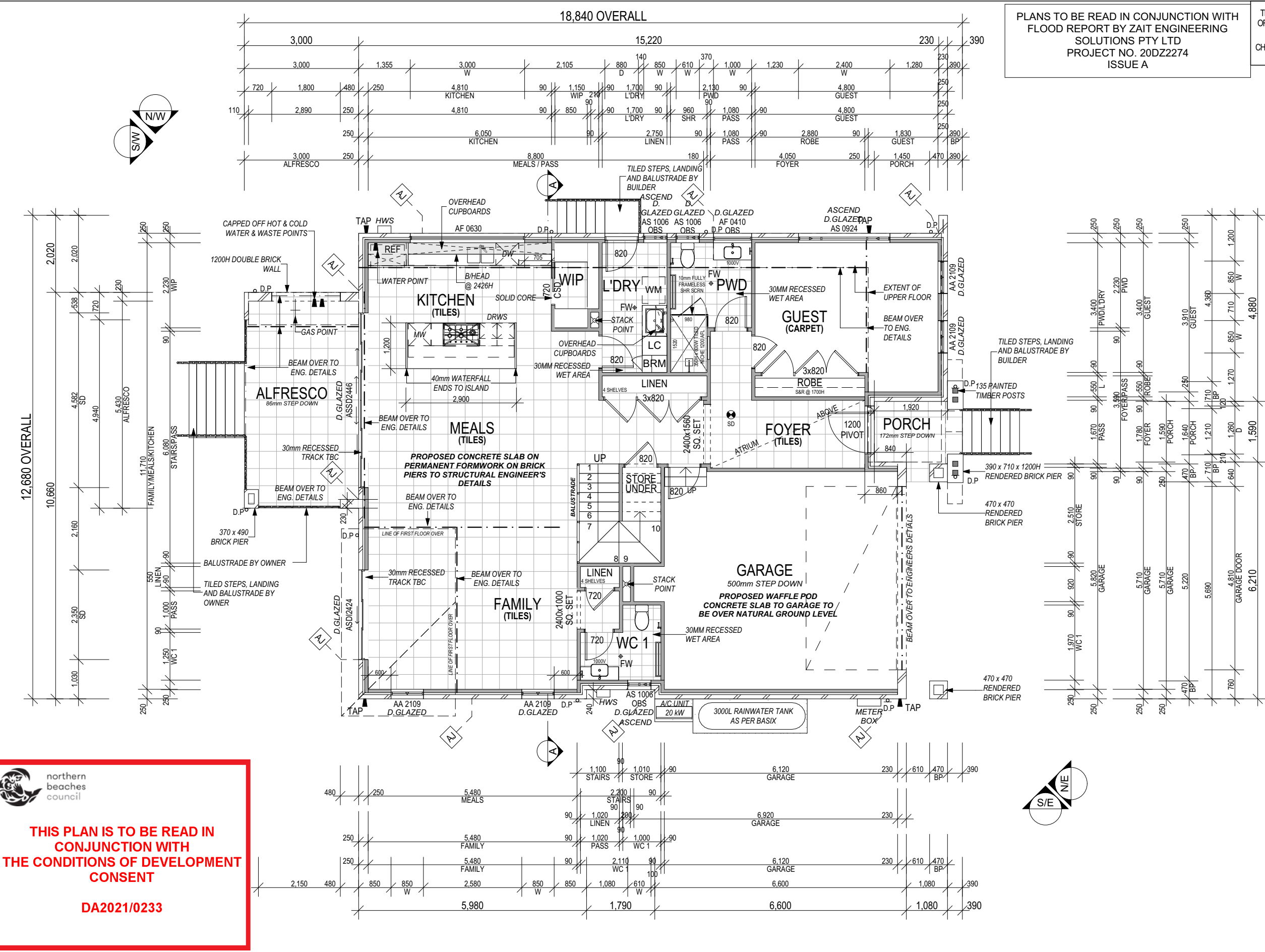
2 of 17

REV:

L

Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C



PLANS TO BE READ IN CONJUNCTION WITH
FLOOD REPORT BY ZAIT ENGINEERING
SOLUTIONS PTY LTD
PROJECT NO. 20DZ2274
ISSUE A

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING
OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED.
LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS
TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

NOTE:
STEEL & H/W TIMBER POSTS TO ENG'S
DETAILS TO SUPPORT STEEL BEAMS OVER
TO BE LOCATED WITHIN TIMBER STUD WALL
FRAMES, REFER TO STRUCTURAL
ENGINEERS PLANS FOR POST TYPE &
LOCATIONS

⊗ DENOTES LOCATION OF SMOKE
DETECTOR

NOTE:
ELECTRICAL & GAS METER POSITIONS ARE
TO BE CONFIRMED BY CONTRACTORS ON
SITE TO CLOSEST POINT OF CONNECTION

ALL WET AREAS ARE TO BE PROVIDED WITH
A SMART TILED FLOOR WASTE

FULL HEIGHT TILES TO ENSUITE1, BATH &
POWDER(EXCLUDING SEPERATE WCs &
ENS2 AND LAUNDRY) INCLUDES SQUARE
SET WALL & CEILING JUNCTIONS

ALL GLAZING TO COMPLY WITH AS 1288 -
2006 GLASS IN BUILDINGS

ALL TOUGHENED GLASS TO COMPLY WITH
CLAUSE 3.6.4.5 OF THE BCA AND AS 1288 -
2006 GLASS IN BUILDINGS

AIR CONDITIONING DUCT AND OUTLET
LOCATIONS ARE INDICATIVE ONLY AND MAY
BE ADJUSTED ONSITE AS REQUIRED

PROVIDE 2340H INTERNAL DOORS & 2400H
SQUARE SET OPENINGS TO GROUND FLOOR
ONLY (* EXCLUDING BEDROOM ROBES)
UNLESS OTHERWISE NOTED

FULL HEIGHT TILES TO POWDER AND WC1

AIR-CONDITIONING ZONES:
ZONE 1 - MASTER BED,BED2
ZONE 2 - BED3 & RUMPUS
ZONE 3 - DOWNSTAIRS

FLOOR AREAS	
ALFRESCO	16.98
BALCONY 1	7.29
PORCH	4.74
BALCONY 2	14.79
FIRST FLOOR	140.40
GARAGE	38.99
GROUND FLOOR	139.58
362.77 m ²	

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0233

Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

NOTES:
PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE.
HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE
PRECEDENCE OVER PLANS
- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS
HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL
DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST
BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR: PAUL & LYNDAL ROBSON
ADDRESS: LOT 7 #353 PITTWATER ROAD
NORTH MANLY
COUNCIL: NORTHERN BEACHES COUNCIL
DP No: 1448

HOUSE TYPE
MODEL: ELYSE 38
FACADE: HAMPTONS
GARAGE SIDE: LHS
INCLUSIONS: PREMIUM
DRAWING: GROUND FLOOR PLAN

DRAWN: HL
CHECKED: --
LODGE: DA/CC
DATE DRAWN: 09/11/20
APPROVED FOR CONSTRUCTION:
JOB NO: H0314
SCALE: 1:100
PAGE NO: 4 of 17
REV: L

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED, LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

NOTE:
STEEL & H/W TIMBER POSTS TO ENG'S DETAILS TO SUPPORT STEEL BEAMS OVER TO BE LOCATED WITHIN TIMBER STUD WALL FRAMES, REFER TO STRUCTURAL ENGINEERS PLANS FOR POST TYPE & LOCATIONS

DENOTES LOCATION OF SMOKE DETECTOR

NOTE:
ELECTRICAL & GAS METER POSITIONS ARE TO BE CONFIRMED BY CONTRACTORS ON SITE TO CLOSEST POINT OF CONNECTION

ALL WET AREAS ARE TO BE PROVIDED WITH A SMART TILED FLOOR WASTE

FULL HEIGHT TILES TO ENSUITE1, BATH & POWDER(EXCLUDING SEPERATE WCs & ENS2 AND LAUNDRY) INCLUDES SQUARE SET WALL & CEILING JUNCTIONS

ALL GLAZING TO COMPLY WITH AS 1288 - 2006 GLASS IN BUILDINGS

ALL TOUGHENED GLASS TO COMPLY WITH CLAUSE 3.6.4.5 OF THE BCA AND AS 1288 - 2006 GLASS IN BUILDINGS

AIR CONDITIONING DUCT AND OUTLET LOCATIONS ARE INDICATIVE ONLY AND MAY BE ADJUSTED ONSITE AS REQUIRED

PROVIDE 2040H INTERNAL DOORS & 2100H SQUARE SET OPENINGS TO FIRST FLOOR ONLY (UNLESS OTHERWISE NOTED)

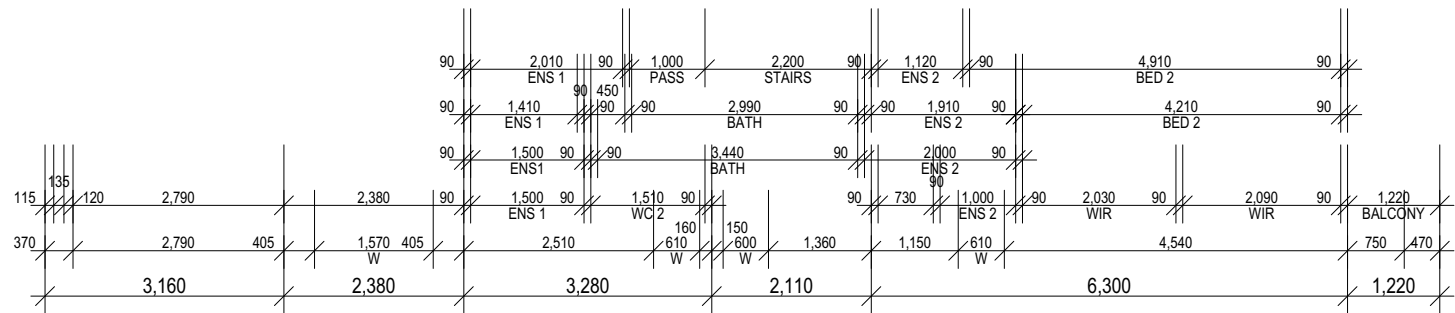
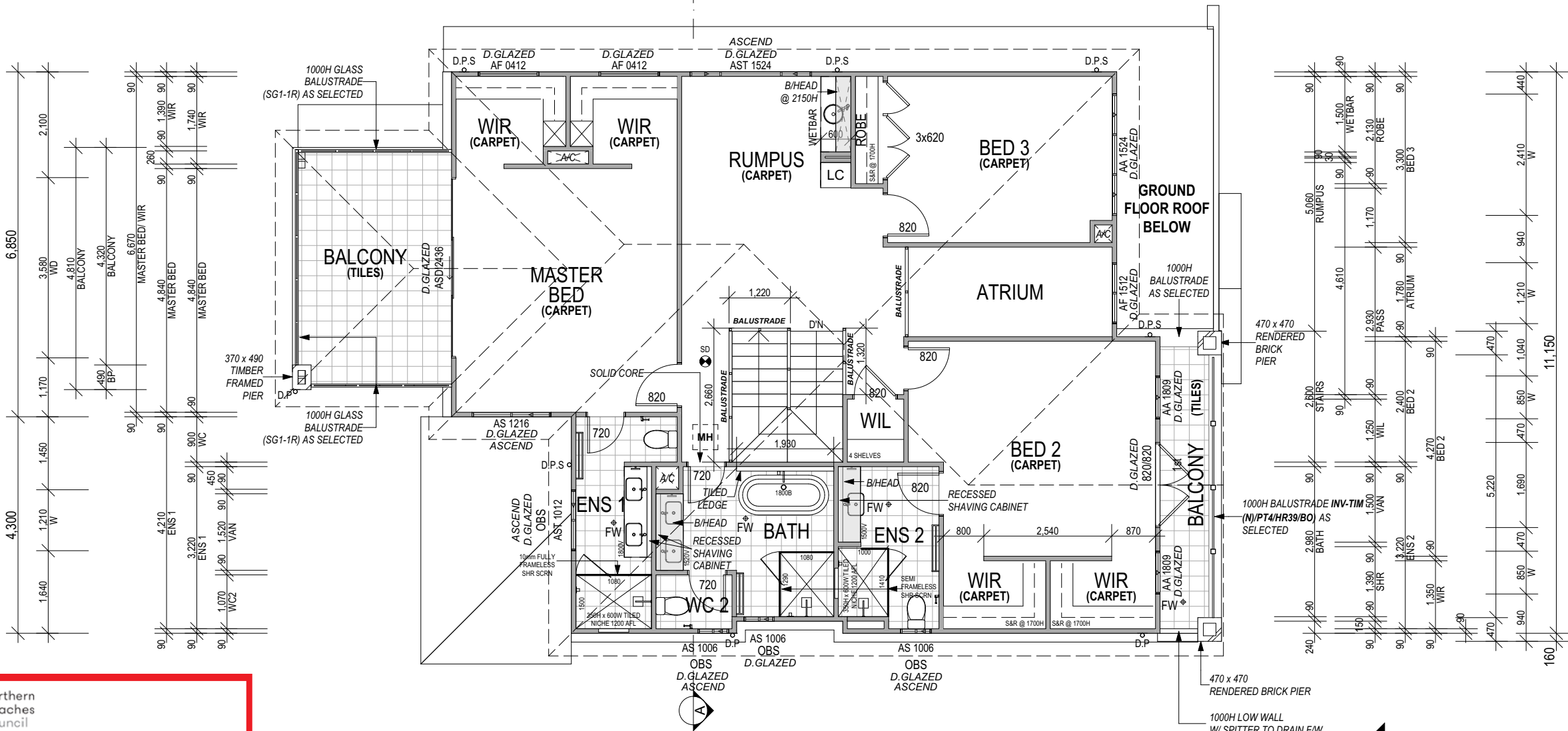
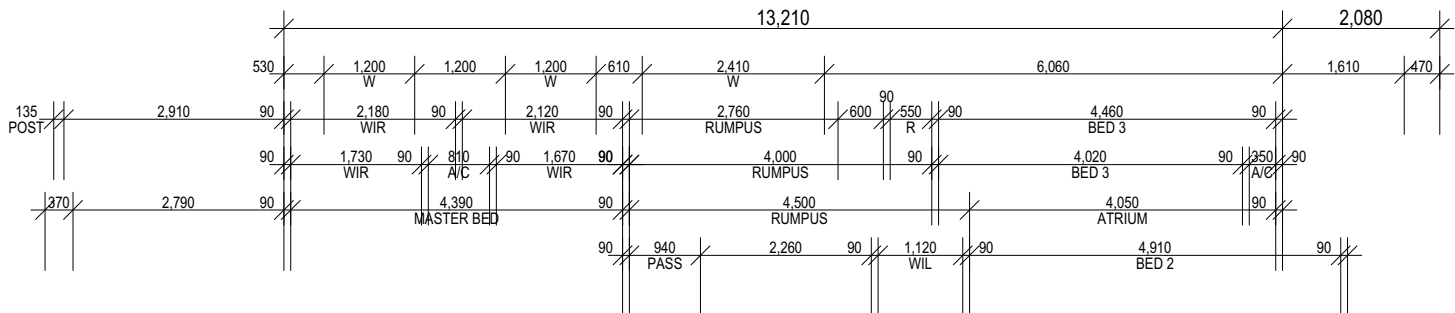
PROVIDE SOLIDCORE DOORS TO ALL BEDROOMS

AIR-CONDITIONING ZONES:
ZONE 1 - MASTER BED,BED2
ZONE 2 - BED3 & RUMPUS
ZONE 3 - DOWNSTAIRS

FLOOR AREAS

ALFRESCO	16.98
BALCONY 1	7.29
PORCH	4.74
BALCONY 2	14.79
FIRST FLOOR	140.40
GARAGE	38.99
GROUND FLOOR	139.58

362.77 m²



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0233



Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

NOTES:
PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS

HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR: PAUL & LYNDA ROBSON

ADDRESS: LOT 7 #353 PITTWATER ROAD
NORTH MANLY

COUNCIL: NORTHERN BEACHES COUNCIL

DP No: 1448

HOUSE TYPE
MODEL: ELYSE 38
FACADE: HAMPTONS
GARAGE SIDE: LHS
INCLUSIONS: PREMIUM

DRAWING: FIRST FLOOR PLAN

DRAWN: HL

DATE DRAWN: 09/11/20

SCALE: 1:100

CHECKED: --

APPROVED FOR CONSTRUCTION:

LODGEMENT: DA/CC

JOB NO: H0314

PAGE NO: 5 of 17

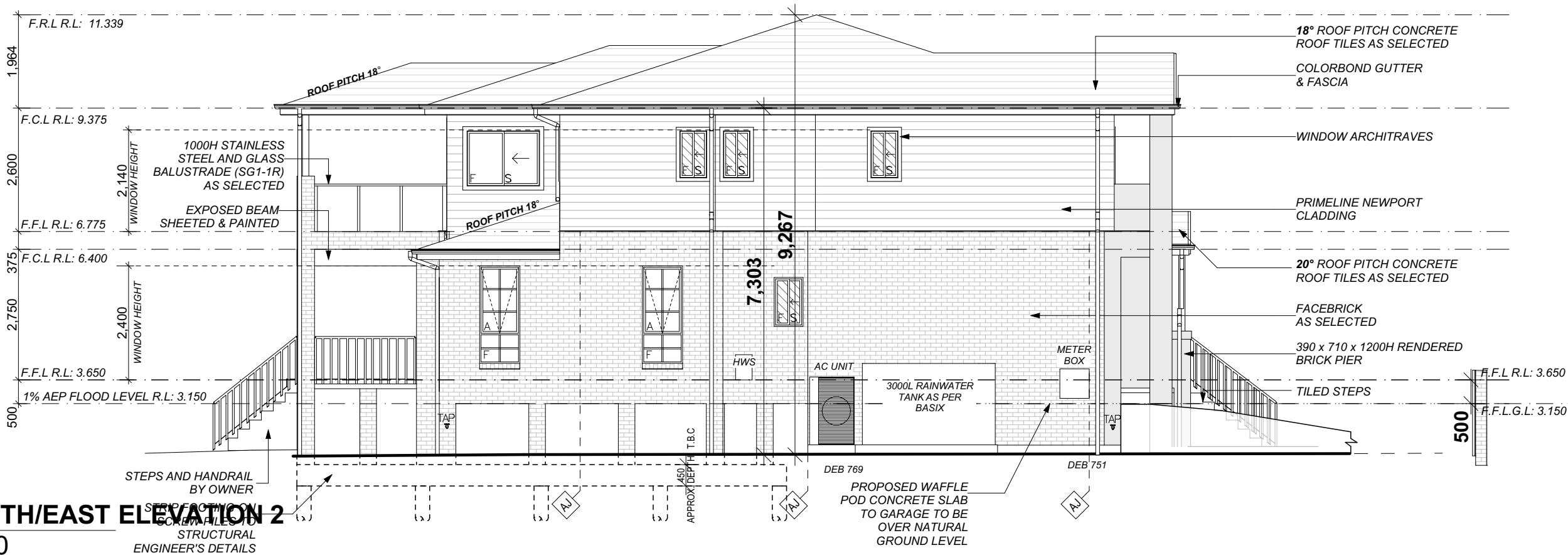
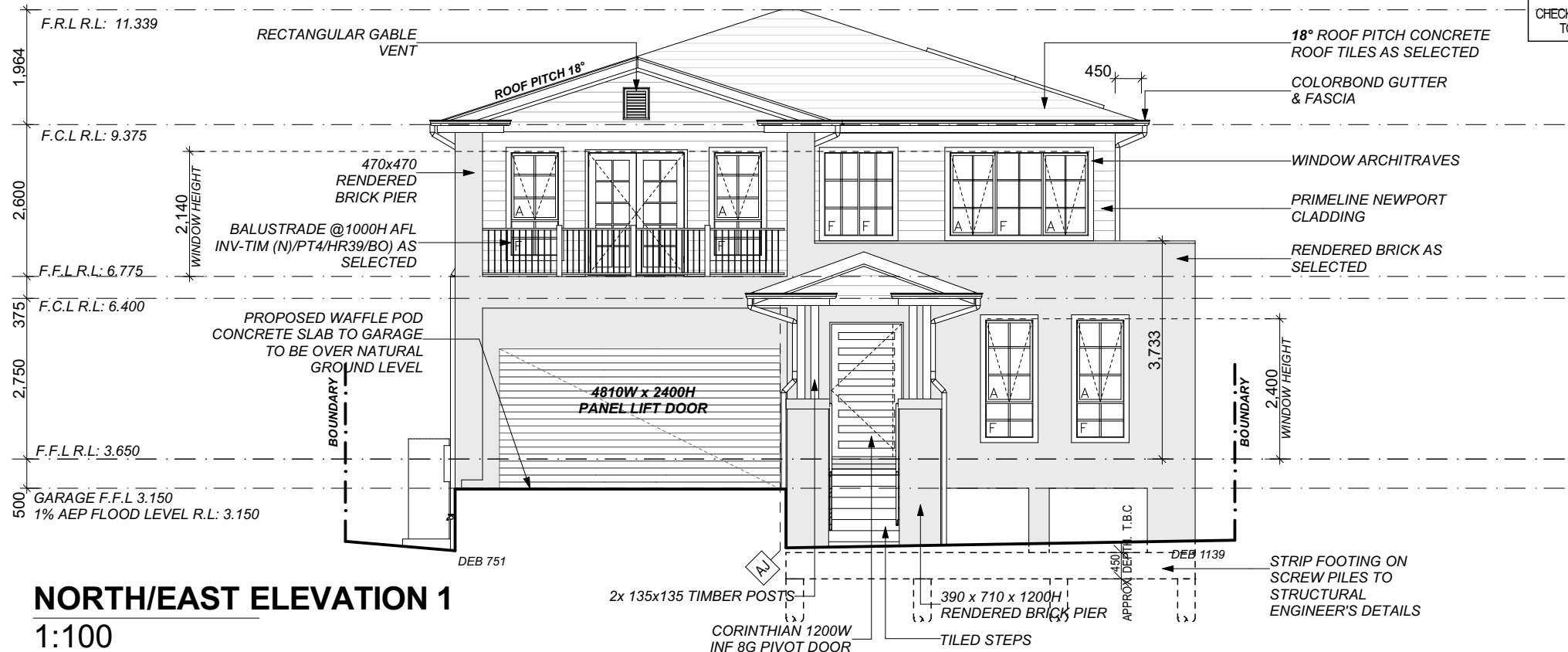
REV: L

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED, LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0233



Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

NOTES:

PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS

HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR:

PAUL & LYNDAL ROBSON

ADDRESS:

LOT 7 #353 PITTWATER ROAD
NORTH MANLY

COUNCIL:

NORTHERN BEACHES COUNCIL

DP No:

1448

HOUSE TYPE

MODEL:

ELYSE 38
HAMPTONS
LHS
PREMIUM

FACADE:

GARAGE SIDE:

INCLUSIONS:

DRAWING:

ELEVATIONS

DRAWN:

HL

CHECKED:

--

LODGE:

DA/CC

DATE DRAWN:

09/11/20

APPROVED FOR CONSTRUCTION:

JOB NO:

H0314

SCALE:

1:100

PAGE NO:

6 of 17

REV:

L

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED, LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.

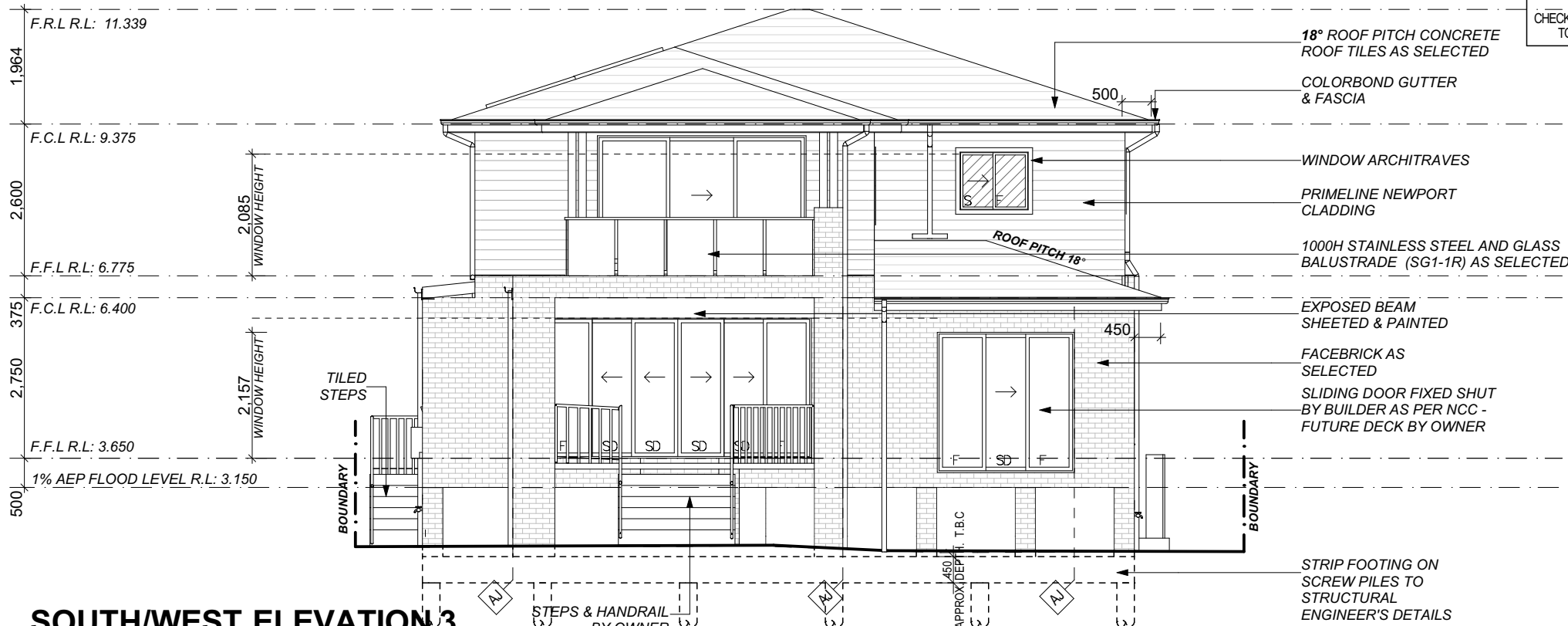
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

AJ
DENOTES ARTICULATION JOINT IN BRICKWORK. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3.3.1.8 OF THE NCC.

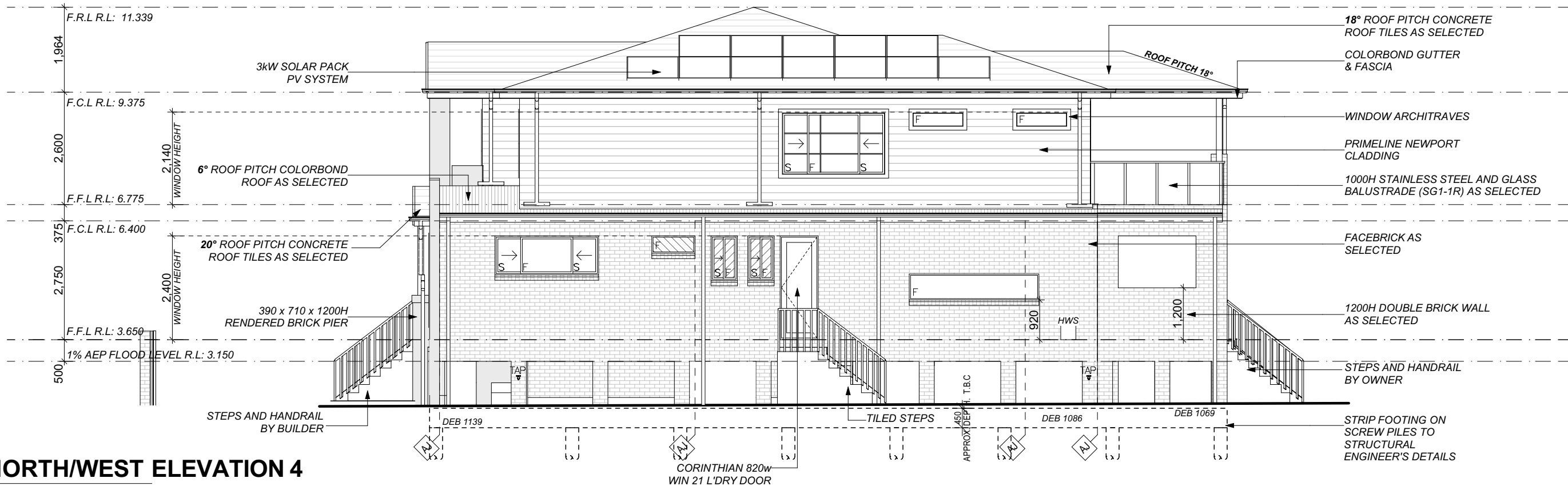


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0233



SOUTH/WEST ELEVATION 3
1:100



NORTH/WEST ELEVATION 4
1:100

Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

NOTES:

PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS

HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR:

PAUL & LYNDAL ROBSON

ADDRESS:

LOT 7 #353 PITTWATER ROAD
NORTH MANLY

COUNCIL:

NORTHERN BEACHES COUNCIL

DP No:

1448

HOUSE TYPE

MODEL: ELYSE 38
FACADE: HAMPTONS
GARAGE SIDE: LHS
INCLUSIONS: PREMIUM

DRAWING:

ELEVATIONS

DRAWN:

HL

DATE DRAWN:

09/11/20

SCALE:

1:100

CHECKED:

--

APPROVED FOR CONSTRUCTION:

LODGE:

DA/CC

JOB NO:

H0314

PAGE NO:

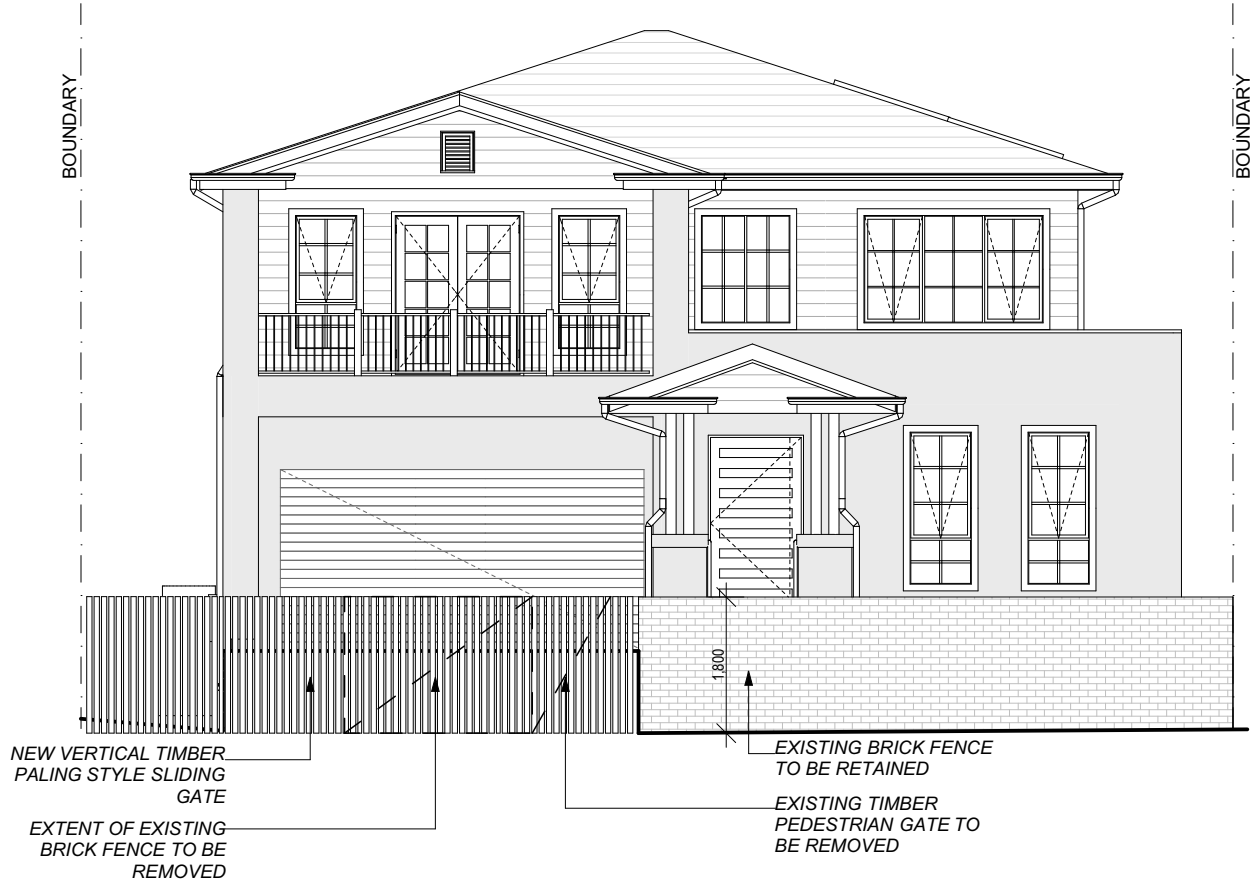
7 of 17

REV:

L

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED, LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

AJ
DENOTES ARTICULATION JOINT IN BRICKWORK. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3.3.1.8 OF THE NCC.



STREET ELEVATION
1:100



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

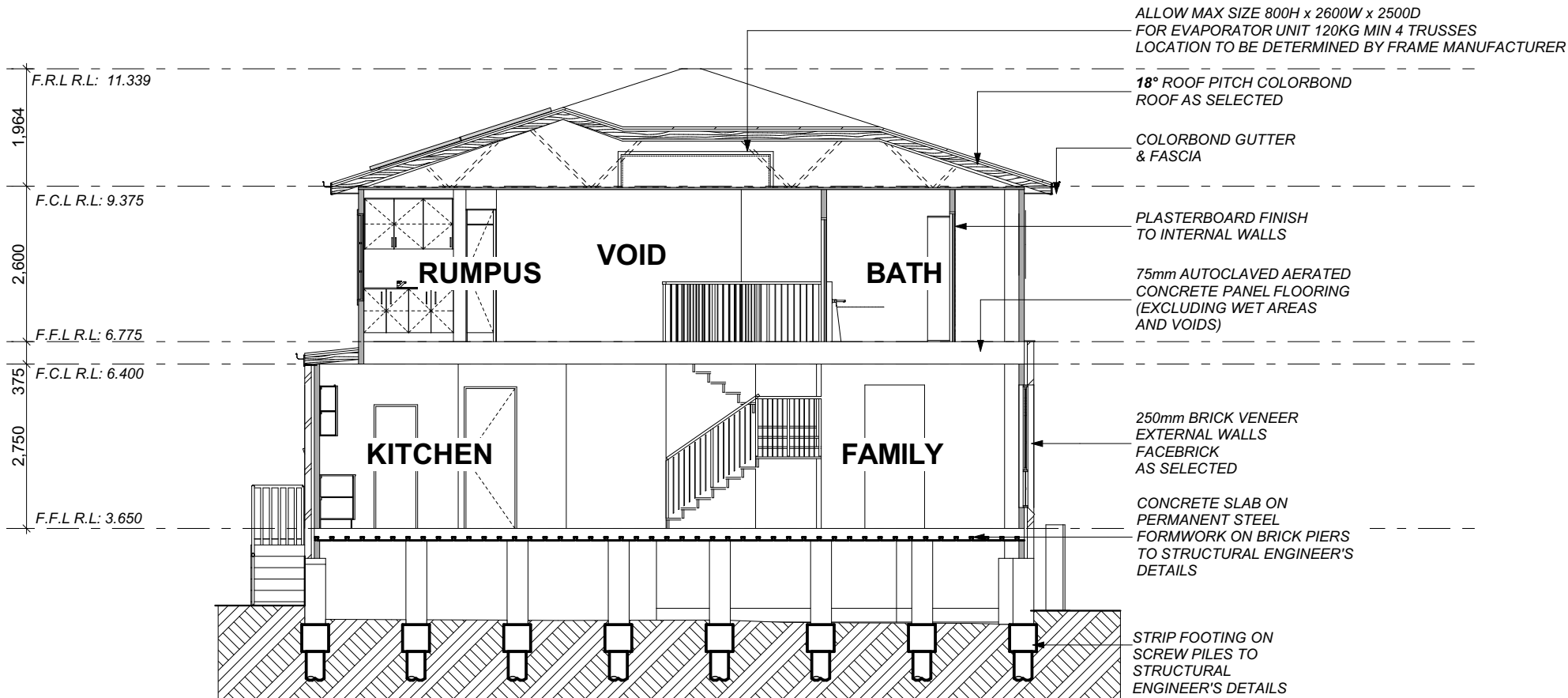
DA2021/0233

<div>Hall&Hart HOMES</div> <div>PO BOX 2005, PARRAMATTA NSW 2750 TELEPHONE: (02) 8662 0037 WEBSITE: WWW.HALL&HARTHOMES.COM.AU BUILDERS LICENCE No: 275897C</div>	<div>NOTES:</div> <div>PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS</div> <div>- ALL DIMENSIONS ARE IN MILLIMETRES</div> <div>- DO NOT SCALE - USE WRITTEN DIMENSIONS</div> <div>HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS</div>	FOR: PAUL & LYNDAL ROBSON		HOUSE TYPE	DRAWN: HL	CHECKED: --	LODGEMENT: DA/CC	
		ADDRESS: LOT 7 #353 PITTWATER ROAD NORTH MANLY		MODEL: ELYSE 38 FACADE: HAMPTONS GARAGE SIDE: LHS INCLUSIONS: PREMIUM	DATE DRAWN: 09/11/20	APPROVED FOR CONSTRUCTION:	JOB NO: H0314	
		COUNCIL: NORTHERN BEACHES COUNCIL	DP No: 1448	DRAWING: STREET ELEVATION	SCALE: 1:100	PAGE NO: 8 of 17	REV: L	

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED, LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS.
CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

INSULATION

R2.5 WALL INSULATION
R4.1 CEILING INSULATION - (EXCLUDING GARAGE, PORCH & ALFRESCO)
ROOF SARKING (TILED)
ANTICON BLANKET (C/BOND)
ENVIROSEAL WALL SARKING TO EXTERNAL WALLS



SECTION A-A
1:100



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0233

Hall & Hart
HOMES

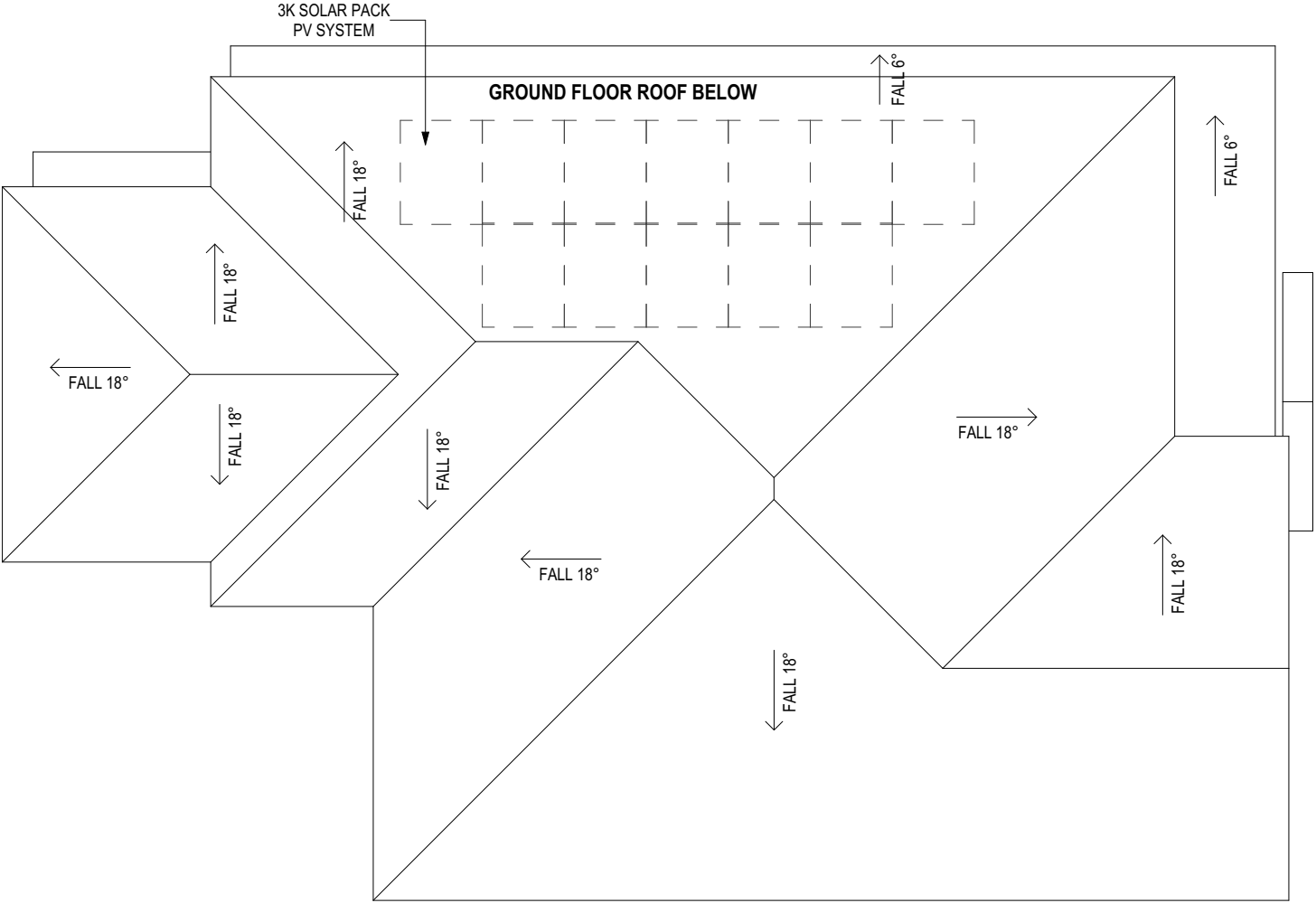
PO BOX 2005, PARRAMATTAN NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

NOTES:
PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS
HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR: PAUL & LYNDAL ROBSON
ADDRESS: LOT 7 #353 PITTWATER ROAD
NORTH MANLY
COUNCIL: NORTHERN BEACHES COUNCIL
DP No: 1448

HOUSE TYPE
MODEL: ELYSE 38
FACADE: HAMPTONS
GARAGE SIDE: LHS
INCLUSIONS: PREMIUM
DRAWING: SECTIONS

DRAWN: HL	CHECKED: --	LODGE: DA/CC
DATE DRAWN: 09/11/20	APPROVED FOR CONSTRUCTION:	JOB NO: H0314
SCALE: 1:100	PAGE NO: 9 of 17	REV: L



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0233

Hall & Hart
HOMES

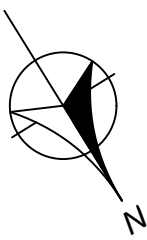
PO BOX 2005, PARRAMATTA NSW 2750
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

NOTES:
PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
- ALL DIMENSIONS ARE IN MILLIMETRES
- DO NOT SCALE - USE WRITTEN DIMENSIONS
HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS

FOR:	PAUL & LYNDAL ROBSON	
ADDRESS:	LOT 7 #353 PITTWATER ROAD NORTH MANLY	
COUNCIL:	NORTHERN BEACHES COUNCIL	DP No: 1448









HOUSE TYPE	ELYSE 38 HAMPTONS LHS PREMIUM
MODEL:	
FACADE:	
GARAGE SIDE:	
INCLUSIONS:	
DRAWING:	ROOF PLAN

DRAWN:	CHECKED:	LODGEMENT:	
HL	--	DA/CC	
DATE DRAWN:	APPROVED FOR CONSTRUCTION:	JOB NO:	
09/11/20		H0314	
SCALE:	PAGE NO:		REV:
1:100	17 of 17		L



Any existing trees are to be protected in accordance with councils Tree Protection Detail

Legend

- | | |
|---|--------------------------------------|
|  | Colour / Stencil Reference |
|  | Mondo Grass |
|  | Planting Areas |
|  | Lawn Areas |
|  | 1800mm High Boundary Fencing |
|  | Existing Trees To Be Removed |
|  | Existing Trees To Be Retained |
|  | 400mm x 400mm Stepping Stones |

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	22/09/20
B	Client: Plants	JS	30/09/20
C	Client: Gate	JS	08/10/20
D	Bldr: DEB	JS	08/10/20

Drafted:

JS

Scale: 1:200

0 0 1 2 3 M

Sheet:	Reference:
1 of 3	LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS

LOT AREA	455.3 sq m	
LANDSCAPED AREA TOTAL	180.4 sq m	39.63%

[Click Here to View Our Plant Profiles!](#)

Client: **Paul & Lyndal Robson**

Client Signatures:

- 1.
- 2.

Job No. **200296**

Drawing: **Landscape Plan**

**Address: Lot 7, No.353 Pittwater Rd
North Manly**

Council/Lodgement:
Northern Beaches/DA

DappleDesigns

Ph: 1300 DAPPLE
(1300 327753)
E: info@dappledesigns.com.au
Ph: 0437 043 112
www.dappledesigns.com.au



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0233

[Click Here to View Our Plant Profiles!](#)

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
TREES							
	GH	GREVILLEA 'HONEY GEM'	HONEY GEM GREVILLEA	5M X 3M	YES	2	25LTR
SHRUBS							
	Air	ALCANATREA IMPERIALIS 'RUBRA'	GIANT BROMELIAD	1M x 1M	NO	3	200MM
	Gf	GARDENIA FLORIDA	GARDENIA FLORIDA	1.5M X 1M	NO	5	200MM
GROUNDCOVERS & PERENNIALS							
	Zo	ZINGIBER OFFICINALE	EATING GINGER	1.2M X 1.2M	NO	6	140MM
GRASSES & STRAP LEAF PLANTS							
	Cm	CLIVIA MINIATA	CLIVIA	0.5M X 0.5M	NO	20	140MM
	Dss	DIANELLA 'SILVER STREAK'	SILVER STREAK	0.5M X 0.4M	YES	16	140MM
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	NO	18	140MM
HEDGES							
	Vo	VIBURNUM ODORATISSUM	SWEET VIBURNUM	TRIMMED UP TO 2M	NO	5	200MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JS	22/09/20
B	Client: Plants	JS	30/09/20
C	Client: Gate	JS	08/10/20
D	Bldr: DEB	JS	08/10/20
Drafted: JS		Scale: 1:200 	
Sheet: 2 of 3		Reference: LP 01	

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	455.3 sq m	
LANDSCAPED AREA TOTAL	180.4 sq m	39.63%

[Click Here to View Our Plant Profiles!](#)

Client: **Paul & Lyndal Robson**

Client Signatures:
1.
2.

Job No. **200296**

Drawing: **Plant List/Specification**

Address: **Lot 7, No.353 Pittwater Rd North Manly**

Council/Lodgement: **Northern Beaches/DA**



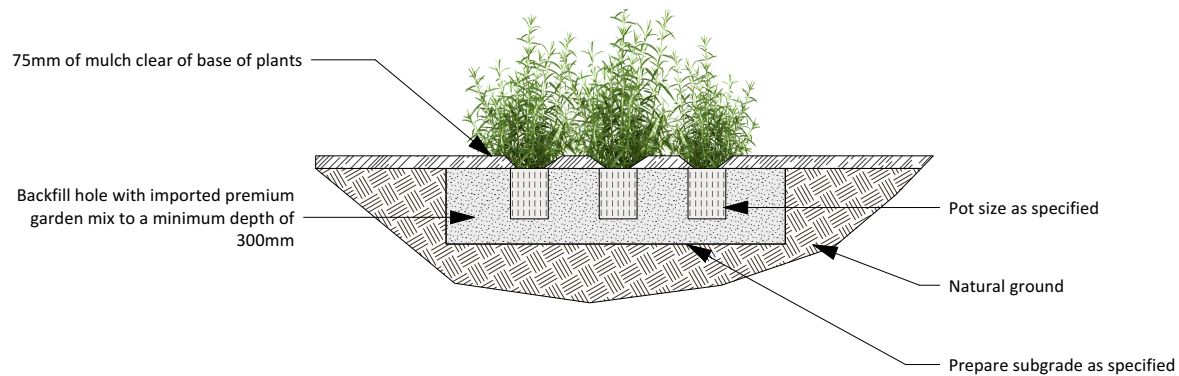
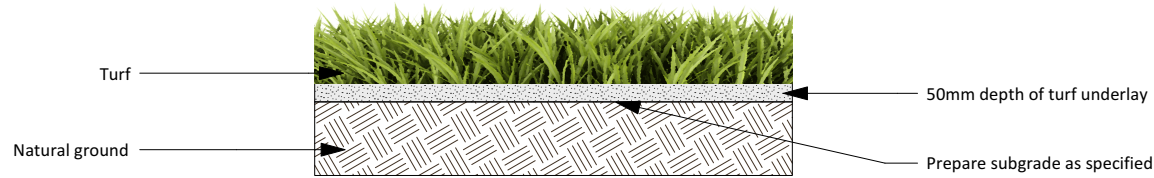
Ph: 1 300 DAPPLE
(1 300 327753)
E: info@dappledesigns.com.au
Ph: 0437 043 112
www.dappledesigns.com.au



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0233

[Click Here to View Our Plant Profiles!](#)



- DETAILS
1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 3. WATER THOROUGHLY AFTER PLANTING
 4. REFER TO PLAN FOR QUANTITIES AND SPACING

TURF LAYING DETAIL

SCALE 1:20

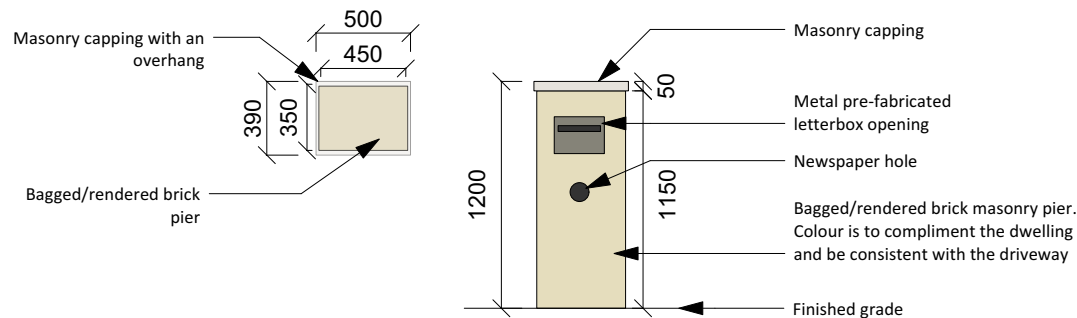
SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30



TOP VIEW

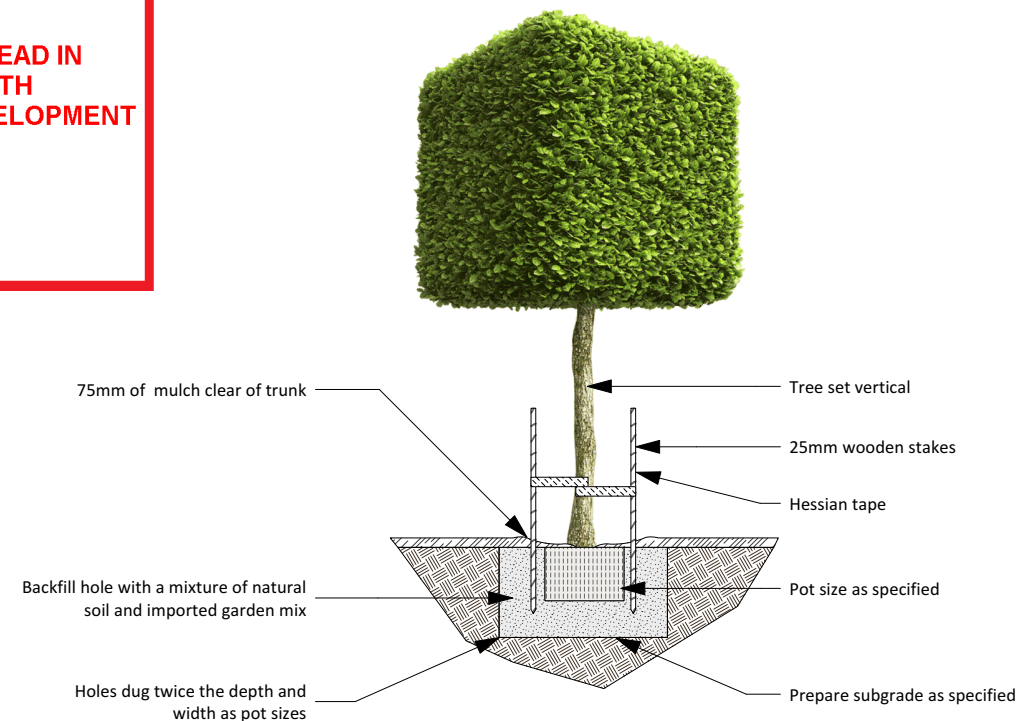
FRONT VIEW



- DETAILS
1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
 2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
 3. BRICK PIER IS TO LEVEL AND STRAIGHT

LETTERBOX DETAIL

SCALE 1:40



- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	22/09/20
B	Client: Plants	JS	30/09/20
C	Client: Gate	JS	08/10/20
D	Bldr: DEB	JS	08/10/20

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 3 of 3	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	455.3 sq m	
LANDSCAPED AREA TOTAL	180.4 sq m	39.63%

[Click Here to View Our Plant Profiles!](#)

Client: **Paul & Lyndal Robson**

Client Signatures:
1.
2.

Job No. **200296**

Drawing: **Construction Details**

Address: **Lot 7, No.353 Pittwater Rd North Manly**

Council/Lodgement: **Northern Beaches/DA**

DappleDesigns

Ph: 1 300 DAPPLE
(1 300 327753)
E: info@dappledesigns.com.au
Ph: 0437 043 112
www.dappledesigns.com.au