



PITTWATER COUNCIL

COPY

ABN61340837871

Telephone 02 9970 1111

Facsimile 02 9970 7150

Postal Address

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

Our ref P-08-105
Council ref CC 0437/07

Environmental Compliance
8am to 5 30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

10 July 2008

Huxley Homes Pty Ltd
Attn Ms Esperanza Moreno
10 Phillip Street
Parramatta NSW 2150

Dear Ms Moreno

**Re Construction Certificate CC0437/07
Property 83 Prince Alfred Parade, NEWPORT**

Please find enclosed your approved Construction Certificate and stamped plans

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA)

If appointed as the PCA, Council would engage the services of Tom Miskovich & Associates Pty Ltd to carry out the various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development Appointment and inspection fees are also detailed in the enclosed form

Council will endorse your completed "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out on behalf of Council

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development

Yours faithfully

Development Compliance Group

Per Tom Miskovich & Associates Pty Ltd

Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street, Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road, Avalon

Support Services
Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

Boondah Depot
1 Boondah Road, Warriewood



PITTWATER COUNCIL

**Approved Construction Certificate
CC0437/07**

ABN61340837871

Telephone 02 9970 1111

Facsimile 02 9970 7150

Postal Address

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

Site Details 83 Prince Alfred Parade, NEWPORT

Legal Description Lot 108

Type of Development *(Building Work)*

Description New Two (2) Storey Residence

Associated Development Consent No N0479/07 Dated 20 November 2007

Building Code of Australia Classification Class 1a

Details of plans, documents or Certificates to which this Construction Certificate relates

- **Architectural Plans prepared by Huxley Homes**
 - Sheet 1/Rev I - Title Page
 - Sheet 3/Rev H - Site Plan
 - Sheet 4/Rev H - Ground Floor Plan
 - Sheet 5/Rev I - First Floor Plan
 - Sheet 6/Rev H - Elevations
 - Sheet 7/Rev I - Elevations
 - Sheet 8/Rev J - Sections
 - Sheet 15/Rev G - Site Management Plan
 - Sheet 16/Rev G - Stormwater Concept Plan
 - Sheet 17/Rev G - Electrical Layout
- **Structural Plans prepared by D'Amici Colombo Pty Ltd**
 - Sheet 1/Rev A - Title Page
 - Sheet 2 - General Notes
 - Sheet 3 - General Notes
 - Sheet 4 - Slab Plan
 - Sheet 5 - Stiffened Raft Details
 - Sheet 6 - Stiffened Raft Details
 - Sheet 7 - Stiffened Raft Details
 - Sheet 8 - Details
 - Sheet 9 - Strip Footing Details
 - Sheet 10 - Details
 - Sheet 11 - Structural Steel Notes
 - Sheet 12 - 2000mm Max. Retaining Wall
 - Sheet 13 - Retaining Wall Details
 - Sheet 14 - Retaining Wall Details
 - Sheet 15 - Sections
 - Sheet 16 - Retaining Wall Details
 - Sheet 17 - 2800mm Max Retaining Wall
 - Sheet 18 - Retaining Wall Details
 - Sheet 19 - Section
- **Stormwater Plan prepared by D'Amici Colombo Pty Ltd**
 - Sheet 1/Rev B - Stormwater Drainage Plan & Details



Approved Construction Certificate CC0437/07

- Landscape Plans prepared by A-Total Concept Landscape Architects Pty Ltd
 - Sheet 1 – Landscape Plan
 - Sheet 2 - General Notes
 - Sheet 3 – Landscape Details
- Tree Management Report prepared by “Growing My Way” Tree services, dated June 2007,
- Traffic plan prepared by B Blakely dated 17 June 2008,
- General Housing Specifications prepared by Huxley Homes,
- Erosion & Sediment Management Certification of Compliance – Design, prepared by D’Amici Colombo Pty Ltd, 4/6/08
- Stormwater drainage system Certification of Compliance – Design, prepared by D’Amici Colombo Pty Ltd, 4/6/08,
- External Colour Selections,
- Geotechnical Risk Management Form No 2 prepared by J Hodgson, 12 May 2008,
- Landscape Design Certificate prepared by A-Total Concept Landscape Architects Pty Ltd, dated 23/6/08,
- Letter from Huxley Homes confirming compliance with various DA conditions, dated 24/6/08,
- Letter from Huxley Homes confirming compliance with various BCA matters, dated 2/7/08,
- Letter from Gay Nichols confirming fencing will be passable by native wildlife, dated 5/6/08,
- Letter from Gay Nichols confirming compliance with DA conditions B8 & C7, dated 25/6/08,
- BASIX certificate 146970S, dated 5/7/07,
- ABSA Certificate 24518394, dated 4/7/08

I hereby certify that the above plans, documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No N0479/07

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979

Issued By Tom Donohoe
Accreditation Number BPB0096
Pittwater Council Consultant
Building Surveyor

Date of Endorsement 10 July 2008

Note You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand

COPY

This form is valid from
1st July 2008 to 30 June 2009



PITTWATER COUNCIL

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979
sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent
Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate ☐

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection
- Issue of Interim/Final Occupation Certificate fee (refer to Part 6e of this form), must be paid prior to release of the certificate to the applicant

Pittwater Council

Tel (612) 9970 1111

Fax (612) 9970 7150

Mona Vale Customer Service
Village Park, 1 Park Street
MONA VALE NSW 2103

Avalon Customer Service
59A Old Barrenjoey Road
AVALON NSW 2108

Mailing Address
PO Box 882
MONA VALE NSW 1660

This form is valid from
1st July 2008 to 30 June 2009

1 DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No N0479/07	Determination Date 20 November 2007
-------------------------------------	-------------------------------------

1b) CONSTRUCTION CERTIFICATE

Construction Certificate No CC0437/07	Date of Issue 10 July 2008
---------------------------------------	----------------------------

1c) DEVELOPMENT DETAILS

Type of Work <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development New Two (2) Storey Residence
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1d) SITE DETAILS

Unit/Suite	Street No 83	Street Prince Alfred Parade	
Suburb NEWPORT		Lot No 108	Deposit /Strata Plan

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works \$388,245 00
--

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works
Date of commencement

2 APPLICANT DETAILS

Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Name (owner) Ms Gay Nicholls	
Postal Address 14 Bray Street, North Sydney	Phone (H/B) 9966 1887 Mobile Email Fax

This form is valid from
1st July 2008 to 30 June 2009

3 PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL	
PO Box 882 Mona Vale NSW 1660	Ph 9970 1111 Fax 9970 7150

4 COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?	
<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<input type="checkbox"/> NO (see Note below)	
Note If NO work must not commence	
Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended) Penalties may include an on-the-spot fine and/or legal action	
If you are uncertain as to these requirements please contact Council's Development Compliance Group	

5 WHO WILL BE DOING THE BUILDING WORKS?

<input type="checkbox"/> Owner Builder Owner Builders Permit No	
Copy of Owner Builders permit attached	<input type="checkbox"/> YES
If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia Tel 61 2 98950111 Fax 61 2 9895 0222	

OR

<input type="checkbox"/> Licensed Builder Builder's License Number 155010C	
Name of Builder Huxley Homes Pty Ltd	Phone 9842 9819
Contact person Esperanza Moreno	Mobile
Address 10 Phillip Street, Parramatta	Fax 9842 9890
Insurance Company	Insurance Certificate attached <input type="checkbox"/> Yes <input type="checkbox"/> No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000
If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with this application	

6 RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service
Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct

6b) Site Signage
Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA

6c) Inspections
Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections

6d) Critical Stage and other inspections
The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box)

Note Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ✓ Footing Inspection (prior to placement of concrete)
- ✓ Slab and other Steel Inspection (prior to placement of concrete)
- ✓ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ✓ Wet Area Waterproofing Inspection (prior to covering)
- ✓ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ✓ Final Inspection (all works completed and prior to occupation of the building)



Note Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable

Eg If two slabs are prepared at separate times, two separate inspection bookings and fees are required

6e) Critical Stage and other inspection fees
An inspection fee is required for each inspection identified in Part 6d of this form
A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required

Each inspection fee must be paid at the time of requesting the inspection

Fee Scale current to 30 June 2009

Critical Stage or other Inspection and re-inspections, including Final	\$245	(Code HINR)
Issue of Interim Occupation Certificate	\$330	(Code FOCC)
Issue of Final Occupation Certificate	\$330	(Code FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate

- 6f) Inspection Results
Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection

7 RESPONSIBILITIES OF THE APPLICANT

- 7a) Inspections
A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement

- 7b) Booking of Inspections
The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement

7c) Site Signage

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display (a) the name, address and telephone number of the person, (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited"

7d) Compliance with the Development Consent and Construction Certificate

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings

7e) Structural Engineering and Other Specialist Details

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards

Note Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☐ Details of compliance with development consent conditions



Office Use Only

7f) Certification of Works

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out

Each certification must

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council

Note Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ☒ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor

☐ Shoring and support for adjoining premises and structures by a structural engineer

☐ Contiguous piers or piling by a structural engineer

☐ Underpinning works by a structural engineer

☒ Structural engineering works by a structural engineer

☒ Retaining walls by a structural engineer

☐ Stormwater drainage works by a hydraulic engineer and surveyor

☒ Landscaping works by the landscaper

☐ Condition of trees by an Arborist

☐ Mechanical ventilation by a mechanical engineer

☒ Termite control and protection by a licensed pest controller

☒ Waterproofing of wet areas by a licensed waterproofer or licensed builder

☒ Installation of glazing by a licensed builder

☒ Installation of smoke alarm systems by a licensed electrician

☐ Completion of construction requirements in a bush fire prone area by a competent person

☒ Completion of requirements listed in the BASIX Certificate by a competent person

☐ Fire resisting construction systems by a competent person

☐ Smoke hazard management systems by a competent person

☐ Essential fire safety and other safety measures by a competent person (Form 15a)

☐ Completion of Bushland Management requirements by a suitably qualified person

☐ Installation of Waste Water Management System by a suitably qualified person

☐ Installation of the inclined lift by a suitably qualified person

☐ Installation of sound attenuation measures by an acoustic engineer

☒ Other matters required by DA conditions
- Office Use Only

7g) Occupation Certificate

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8 **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature

Date

9 **COUNCIL'S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed, Home Owners Warranty Insurance Certificate or Owner/Builders Permit or Statement has been provided where necessary and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name

on behalf of Pittwater Council

Officer's signature

Date

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to act as the Principal Certifying Authority for the development
Intended recipients	Pittwater Council staff
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted, not processed or rejected for lack of information
Storage	Pittwater Council will store details of this form in a register that can be viewed by the public
Retention period	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

Unit 1, Second Floor
42 Birnie Avenue
Lidcombe NSW 2141
POBox 194 Sydney Markets NSW 2129



Tel (02) 96465811
Fax (02) 96462311

D'Amici Colombo Pty Ltd
Consulting Structural Engineers
A C N. 055 912 733

CERTIFICATE OF COMPLIANCE-DESIGN

Issued under the
Environmental Planning & Assessment Act 1979
Section 109C(1)(a)

Our Job ref 19022

To relevant building Surveyor

Project

Lot 108 No 83 Prince Alfred Parade, Newport Beach NSW

Project Description

Single Dwelling Development

Description of Component/s
Certified

Erosion and Sediment Management

I did and/or supervise the preparation of the design and I certify that the components described above under the heading "Description of component/s certified" complies with "Australian Rainfall and Runoff" Volumes I and II and Councils stormwater drainage policy

Design Documents

Drawing Number 19022

Sheet Numbers 1

Prepared by D'Amici Colombo Pty Ltd

3 Jun 08

Additional Compliance Requirements Compliance with req'ts of NSW Dept of Land and Water Conservation's Urban Erosion and Sediment Control Manual

Building Practitioner - Robert John Colombo

Category Class - C15- Accredited Certifier-Stormwater Compliance

Postal Address - D'Amici Colombo Pty Ltd
Unit 1 Second Floor
42 Birnie Ave
Lidcombe NSW 2141

Registration Number - BPB0525

Signature

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0A3107
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	US TMA
Date	10 JUL 2008

Unit 1, Second Floor
42 Birnie Avenue
Lidcombe NSW 2141
POBox 194 Sydney Markets NSW 2129



Tel (02) 96465811
Fax (02) 96462311

D'Amici Colombo Pty Ltd
Consulting Structural Engineers
A.C.N 055 912 733

CERTIFICATE OF COMPLIANCE-DESIGN

Issued under the
Environmental Planning & Assessment Act 1979
Section 109C(1)(a)

Our Job ref 19022

To relevant building Surveyor

Project

Lot 108 No 83 Prince Alfred Parade, Newport Beach NSW

Project Description

Single Dwelling Development

Description of Component/s
Certified

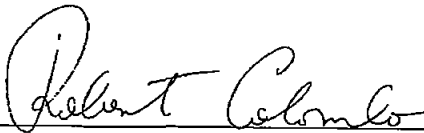
Stormwater drainage system

I did and/or supervise the preparation of the design and I certify that the components described above under the heading "Description of component/s certified" complies with "Australian Rainfall and Runoff" Volumes I and II and Councils stormwater drainage policy

Design Documents

Drawing Number 19022 Sheet Numbers 1
Prepared by D'Amici Colombo Pty Ltd 3 Jun 08
Additional Compliance Requirements Compliance with section B5 3 of Pittwater DCP 21

Building Practitioner - Robert John Colombo
Category Class - C15- Accredited Certifier-Stormwater Compliance
Postal Address - D'Amici Colombo Pty Ltd
Unit 1 Second Floor
42 Birnie Ave
Lidcombe NSW 2141
Registration Number - BPB0525


Signature

Date 4 Jun 08



HOME WARRANTY INSURANCE

Huxley Homes Pty Ltd
Locked Bag 5270
PARRAMATTA NSW 2123

Home Building Regulation 2004
Clause 56(1)

Schedule 1 - Forms
FORM 1

HOME BUILDING ACT 1989
Section 92

CERTIFICATE IN RESPECT OF INSURANCE RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with Section 92 of the *Home Building Act 1989* has
been issued by CGU Insurance Limited ABN 27 004 478 371

In Respect Of	Single Dwelling		
At	Lot No 108	Unit No	House No 83
	Prince Alfred Parade NEWPORT NSW 2106		
Carried Out By	Huxley Homes Pty Ltd		
Licence No	155010C		
ABN	41 106 443 216		

Subject to the Act and the *Home Building Regulation 2004* and the conditions of
the insurance contract, cover will be provided to a beneficiary described in the
contract and successors in title to the beneficiary

Signed for and on behalf of the insurer

Homeowners please note that this Certificate and the Policy Wording are **VERY IMPORTANT DOCUMENTS** which should be read carefully and retained by you (and successive owners if applicable) for the duration of the statutory period of insurance

CGU Policy Certificate

Certificate No. 1020747
Local Authority Copy
Issue Date 19/02/2008

This Certificate must be read in
conjunction with the
CGU HOME WARRANTY
INSURANCE
POLICY WORDING

Aon Risk Services Australia Ltd
ABN 12 000 434 720 act as Broker
for the Builder. A Tax Invoice has
been issued by
RIA Insurance Services Pty Ltd
ABN 84 076 460 967
an authorised representative of
Aon Risk Services

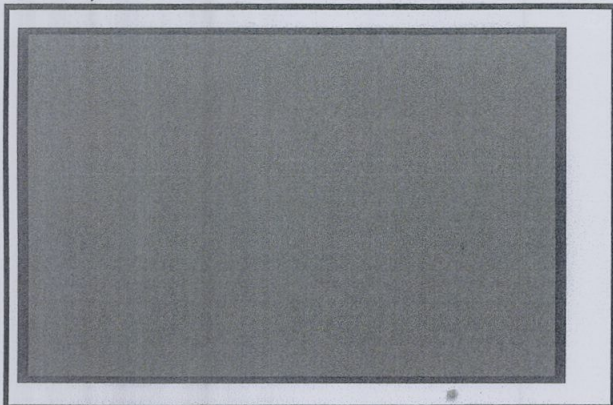
Insurer

CGU Insurance Limited
ABN 27 004 478 371
An IAG Company

EXTERNAL COLOUR SELECTIONS

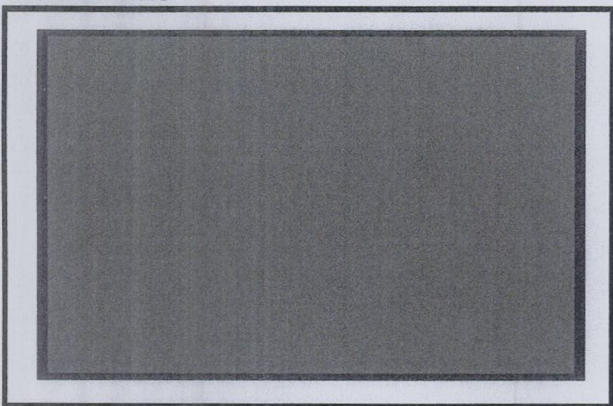
Gay Nicholls
Lot 108 (No 83) Prince Alfred Parade
Newport Beach
Job No 23225

ROOF, GUTTER & FASCIA COLOUR



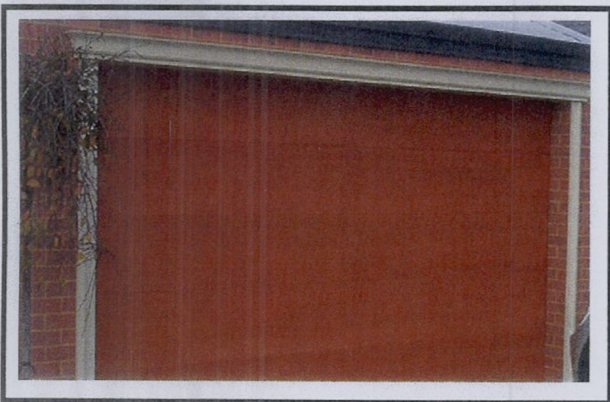
COLORBOND - BUSHLAND

DOWNPIPES



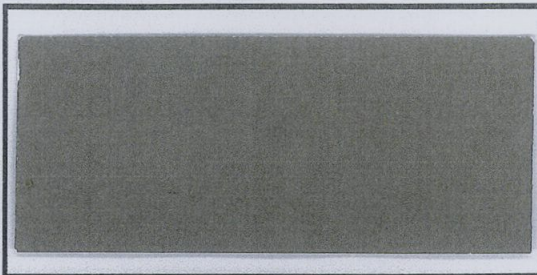
COLORBOND - BUSHLAND

GARAGE DOOR



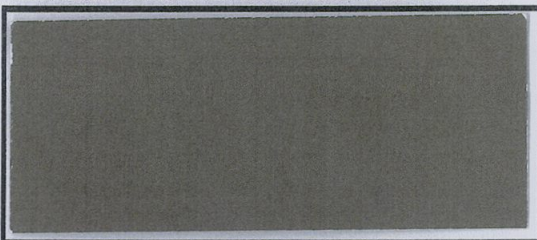
GLIDEROL CEDAR COLOR-GRAIN

MAIN BODY COLOUR



WATTYL URBAN GREY

LINEA BOARD & GABLE PANELS



WATTYL URBAN GREY

WINDOW COLOUR



TREND ULTRA BLACK

FRONT DOOR COLOUR



WESTERN CEDAR

RECEIVED
27 JUN 2008

BY:.....

atc

a total concept

landscape architects & swimming pool designers

65 west street north sydney NSW 2060
abn 73 278 166 292
phone (02) 9957 5122
fax (02) 9957 5922
mobile 0407 245 201
website www.atotalconcept.com.au
email design@atotalconcept.com.au

LANDSCAPE DESIGN CERTIFICATION

Certification no 51

Date 23/06/08

**RE: RESIDENTIAL DEVELOPMENT
83 PRINCE ALFRED PARADE, NEWPORT
LANDSCAPE DESIGN CERTIFICATION**

I am a qualified Landscape Architect

I hold a Bachelor of Landscape Architecture and I am a registered Landscape Architect

I am appropriately qualified to certify this component of the project

I hereby state that in my opinion the landscape design prepared by us for the above address generally complies with the pertinent conditions of Pittwater Councils Development Approval (Consent Conditions No B17)



John Storch

NAME

SIGNATURE

DESIGNED BY
17 JUN 2008
BY



“GROWING MY WAY” TREE SERVICES

Established 1977
Graduate Horticulture & Tree Surgery Certificates

ALL ASPECTS OF TREE WORK INCLUDING
CONSULTATIONS, FELLING, TRIMMING AND SURGERY
FULL INSURANCE PROTECTION CREDIT CARDS ACCEPTED
PO Box 35, Newport Beach, 2106, NSW
Phone (02) 9997 4101 Mobile: 0412 221 962 Fax (02) 9940 0217
ABN 97 965 355 200

February 14, 2008

Gayl Nicholls
14 Bray Street
North Sydney NSW 2060
Ph 0412 335 052, Fax 02 9923 8564

Re: Tree Protection Zone Certification,
DA #N0361/07 & N0479/07
Lot 108 in DP 13457
83 Prince Alfred Parade
Newport NSW

I am the retained Practicing & Consulting Arborist with respect to DA's lodged & subsequently approved for redevelopment of 83 Prince Alfred Parade Newport. Gay Nicholls contacted me on May 10, 2008 to request certification related to my specified Tree Protection Zone (TPZ) as outlined in my previous report

The specified TPZ has been installed satisfactorily. The four (4) subject tree specimens have been isolated from the construction areas as best as is practicable. The tree specimen closest to the driveway has also had a "Tree Guard" installed as additional protection in the event of a vehicle control loss whilst accessing the site from the old driveway Photograph on page 2 illustrate TPZ installation



Figure 1: Illustrates TPZ installation, note “Tree Guard” installed around trunk of Tree #2

It was noted at the time of my latest inspection (May 20, 2008) that Tree #2 previously described as being in Fair Health & Vigour has significantly declined prior to the commencement of any demolition or building activity. It is estimated that >80% of foliage present is now epicormic, (previously >60%). This is usually an indicator of advanced decline when mature to overmature trees produce a large volume of epicormic foliage in such a short period of time. See photograph on page 3 to view present condition of Tree #2



Figure 2: Illustrates significant increase in epicormic foliage present since 2006 assessment

Should you have any questions or require further explanation of my document & its recommendations please do not hesitate to contact me during business hours Monday to Friday on 0412 221 962

Yours faithfully,

A handwritten signature in black ink, appearing to read 'K. Hill'.

Kyle A. Hill
(Practicing & Consulting Horticulture & Arboriculture Advocate)

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 - To be submitted with detailed design for construction certificate

Development Application for GAY NICHOLLS

Name of Applicant

Address of site 83 PRINCE ALFRED PDE NEWPORT 2106.

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, ROBERT COLOMBO on behalf of DANIEL COLOMBO PTY LTD.
(insert name) (trading or company name)

on this the 12/5/08
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details:

Report Title RISK ANALYSIS & MANAGEMENT FOR PROPOSED DEPENDENCY HOUSE AT 83
Report Date 26/6/07 PRINCE ALFRED PDE NEWPORT
Author BAI WHITE

Structural Documents list:

STRUCTURAL DRAWINGS JOB NO. 19022 DATED 21/02/08

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

ROBERT COLOMBO
(name)

Robert Colombo
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 29/6/07 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature J. Hodgson

Name J. HODGSON

Chartered Professional Status MEMBER FIE Aust

Membership No 149 788

Company JACK HODGSON CONSULTANTS



24 June 2008

Mr Tom Donohoe
Tom Miskovich & Associates Pty Ltd
PO Box 189
Pennant Hills NSW 1715

Dear Tom,

**RE: PROPOSED NEW DWELLING AT
LOT 108 NO. 83 Prince Alfred Parade Newport Beach
OUR REFERENCE: 23225**

This is to confirm that the proposed abovementioned development complies with the following Council development conditions

DA No.	
B6	Confirm an in-sink waste disposal unit will not be provided
B9	Verify all plumbing and drainage fixtures will be concealed
B10	Verify that external glazing will have a maximum reflectivity index of 25%
B11	Verify new electrical connections will be via underground cabling
B8	Please see owner's confirmation letter (Verify noise from plant not to exceed 5dB(a) above background)
C7	Please see owner's confirmation letter (Confirm demolition works will comply with AS2601)

Should you require further information or for any queries, please do not hesitate to contact the undersigned on 9842 9819

Yours faithfully,
for and on behalf of
HUXLEY HOMES PTY LIMITED


Esperanza Moreno
CONTRACTS CO-ORDINATOR

23 JUN 2008
BY _____



2 July 2008

Mr. Tom Donohoe
Tom Miskovich & Associates Pty Ltd.
PO Box 189
Pennant Hills NSW 1715

Dear Tom,

**RE: PROPOSED NEW DWELLING AT
LOT 108 NO. 83 Prince Alfred Parade Newport Beach
OUR REFERENCE: 23225**

This is to confirm that the proposed abovementioned development complies with the following BCA clause & issue

BCA Clause & Issue	
3.5.1 Roof Cladding	Confirm that the roof covering will comply with AS1562.1 – Metal roofing
3.5.2 Gutters and downpipes	Confirm that all gutter and downpipes will be installed in accordance with AS/NZS 3500.3.2 Stormwater drainage
3.5.3 Wall cladding	Confirm that the external wall sheeting will be installed in a manner that will prevent the entry of moisture and comply with clause 3.5.3 of the BCA
3.6 Glazing	Confirm that any glazing will comply with AS 1288 – Glass in buildings – Selection and installation, or, AS 2047 – Windows in buildings – Selection and Installation
3.8.1 Wet areas	Confirm that wet areas will be installed in accordance with AS 3740 Waterproofing of wet areas in residential buildings
3.9.1 Stair construction	Confirm the stairway will comply with 3.9.1
3.9.2 Balustrades	Confirm that balustrades will be provided and comply with clause 3.9.2 of the BCA
NSW 3.12.1 Building fabric thermal insulation	Confirm that the following will be complied with, (a) Where required, insulation will comply with AS/NZS 4859.1 (b) Where required, reflective insulation will be installed with the necessary airspace to achieve the required R-value between the reflective side and a building lining or cladding (c) Where required, bulk insulation will be installed
NSW 3.12.3.1 Building sealing – Compliance with national BCA	Confirm that the following will be complied with, (a) Windows will be sealed (b) Any roof light will be capable of being sealed to minimise air leakage

3.12.3.5	<ul style="list-style-type: none"> • In climate zone 4, 6 (ie including western Sydney), 7 & 8 when serving a habitable room (nat BCA 3.12.3.4) <p>(c) A seal to restrict air infiltration will be fitted to each edge of an external door, openable window and other openings</p> <ul style="list-style-type: none"> • An air-conditioned space; or • In climate zone 4, 6 (ie including western Sydney), 7 & 8 when serving a habitable room (nat BCA 3.12.3.4) <p>(d) An exhaust fan will be fitted with a self closing damper, filter or the like</p> <ul style="list-style-type: none"> • An air-conditioned space; or • In climate zone 4, 6 (ie including western Sydney), 7 & 8 when serving a habitable room (nat BCA 3.12.3.4) <p>(e) Roofs, external walls, external floors and any opening such as a window, door or the like will be constructed to minimise air leakage when forming part of the external fabric of:</p> <ul style="list-style-type: none"> • An air-conditioned space; or • In climate zone 4, 6 (ie including western Sydney), 7 & 8 when serving a habitable room (nat.BCA 3.12.3.4)
NSW 3.12.5.1 – Building Services – Compliance with national BCA provisions 3.12.5.0 – 3.12.5.3	<p>Confirm that the following will be complied with</p> <p>(a) The hot water supply system will comply with section 8 of AS/NZS 3500.4 or cl 3.38 of AS/NZS 3500.5 (Nat BCA 3.12.5.0)</p>

Should you require further information or for any queries, please do not hesitate to contact the undersigned on 8889 7504

Yours faithfully,
for and on behalf of
HUXLEY HOMES PTY LIMITED


Esperanza Moreno
CONTRACTS CO-ORDINATOR

83 Prince Alfred Parade
Newport NSW 2106

Thursday 5th June, 2008

Esperanza Moreno
Contracts Administrator
Huxley Homes Pty Ltd
10 Phillip Street
Parramatta NSW 2150

Dear Esperanza,

Re: DA N0479/07 83 Prince Alfred Pde Newport

I wish to confirm that as per the Council development Condition B22 of the above DA N0479/07, any future fencing will be passable by native wildlife at the above address at 83 Prince Alfred Pde, Newport

Yours sincerely



Gay Nicholls
Owner/Resident
83 Prince Alfred Pde Newport

83 Prince Alfred Parade
Newport NSW 2106

Wednesday 25th June, 2008

Esperanza Moreno
Administrator
Huxley Homes Pty Ltd
10 Philip Street
Parramatta NSW 2150

Re: DA N0479./07 83 Prince Alfred Parade Newport

This is to formally advise of my compliance in relation to above DA and Construction Certificate.

- **Condition B8 – Noise**

I hereby confirm that I will comply with the condition regarding noise from the operation of any plant or equipment at the premises not exceeding 5dB(A) above the background noise level.

- **Condition C7**

The demolition works shall be carried out in accordance with the requirements of AS2601-1991 the Demolition Structures (please see condition C7)

Yours sincerely,



Gay Nicholls
Owner/resident
83 Prince Alfred Parade Newport

25 JUN 2008

BY

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Certificate number 146970S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2006, published by the Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue, Thursday 05 July 2007



NSW GOVERNMENT
Department of Planning

Score

- ✓ Water 46 (Target 40)
- ✓ Thermal comfort pass (Target pass)
- ✓ Energy 43 (Target 40)

Description of project

Project address	
Project name	10chish
Street address	83 Prince Alfred Parade Newport Beach 2106
Local Government Area	Pittwater Council
Plan type and plan number	Deposited Plan 13457
Lot no	108
Section no	0 0
Project type	
Project type	separate dwelling house
No. of bedrooms	3
Site details	
Site area (m²)	522
Roof area (m²)	193
Conditioned floor area (m2)	160
Unconditioned floor area (m2)	22
Total area of garden and lawn (m2)	348
Assessor details and thermal loads	
Assessor number	20014
Certificate number	21843584
Cooling load (MJ/m² year)	52
Heating load (MJ/m² year)	94
Other	
none	n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Water			
The applicant must install showerheads with a minimum rating of 3 star in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Energy			
Water tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 193 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam)		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">• all toilets in the development• the cold water tap that supplies each clothes washer in the development• at least one outdoor tap in the development (Note: NSWHealth does not recommend that rainwater be used for human consumption in areas with potable water supply)		✓ ✓ ✓	✓ ✓ ✓

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Signatures and Details						
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.						
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.						
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.						
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.						
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.						
Cooling Ventilation						
The commitment below applies to the following rooms or areas of a dwelling which comprise a breeze path for the dwelling.						
• Breeze path 1 within main living area						
• Breeze path 2 Bedroom1 to other living area						
The applicant must construct the dwelling so that at least 1 ventilation opening is provided in each such room or area (if only 1 room or area of a dwelling is mentioned for a breeze path, then that room or area must have at least 2 ventilation openings).						
The 2 ventilation openings must be located as follows						
• Breeze path 1: opposite external walls						
• Breeze path 2 opposite external walls						
The 2 ventilation openings must meet the following specifications						
(a) not be more than 15 metres apart,						
(b) be at least 1 square metre in size, and						
(c) have only 1 doorway, or opening less than 2 square metres in size, located in the direct path between them.						

Energy Commitments		Show on DA plans	Show on CC/SDC plans & specs	Certifier check
Hot Water				
The applicant must install the following hot water system in the development, or a system with a higher energy rating, or a system with a higher energy rating, gas instantaneous - 5 Star		✓	✓ ✓	✓
Cooling System				
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system			✓ ✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system			✓ ✓	✓
Heating System				
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system			✓ ✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.			✓ ✓	✓
Ventilation				
The applicant must install the following exhaust systems in the development:				
At least 1 Bathroom: Individual fan, not ducted, Operation control, manual switch on/off			✓ ✓	✓
Kitchen: Individual fan, not ducted, Operation control, manual switch on/off			✓ ✓	✓
Laundry: natural ventilation only, or no laundry, Operation control n/a			✓ ✓	✓
Natural Lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting		✓	✓ ✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓ ✓	✓
Ovens				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling			✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions			✓ ✓	
The applicant must install a fixed outdoor clothes drying line as part of the development			✓ ✓	

Legend

- In these commitments, "applicant" means the person carrying out the development.
- Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Assessor Certificate

Single Dwelling

Certificate Version 6 1 Prior versions not valid after 1 March 2006

Issued in accordance with the requirements of
BASIX THERMAL COMFORT - Simulation Method



Assessor				
Name	Rebecca Douglass		Company	Efficiency Assessments
Address	PO Box 363 BOWRAL NSW 2576			
Phone	(02) 4861 3197	Fax	(02) 4861 3197	Email rebecca@efficiencyassessments.com.au
Declaration of Interest The Assessor has provided design advice to the Applicant				
Client				
Name	Kristie Jones/Yasmin Yilmaz		Company	Huxley Homes
Address	10 Philip St PARRAMATTA NSW 2150			
Phone	98429888	Fax		Email
Project				
Address	83 Prince Alfred Parade NEWPORT BEACH NSW 2106			
Lot / DP	108 / 13457		LGA	Pittwater Council
Applicant Nicholls				
Assessment				
Date	5/07/2007	Job ID	2742	Filename 108huxn
Software	NatHERS	Version	2.32b	Climate Zone 17
Referenced documents				
All details, upon which this Assessment has been based, are included in the project documentation which has been stamped and signed by the Assessor issuing this Certificate, as detailed below				
Thermal Performance Specification / Commitments attached and affixed to drawings, page 7				
Drawings	Job No 23225, Issue J, Dated 24/6/08, Sheets 1 & 3 - 10 & 15-17			
Specifications	Only specifications, detailed on Drawings identified above, have been referenced			

ABSA Assessor Certificate	Assessor # 20014	Certificate # 24518394	Issued: 04-Jul-08
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THERMAL COMFORT - Simulation Method

The details must be entered into your BASIX Assessment

Area calculations (M2)	
Net Conditioned Floor Area	160
Net Unconditioned Floor Area	22
Concessions / Ventilation Bonus	
Eligible Concessions	None
The dwelling has the required shading to qualify for BASIX cross ventilation bonus Yes	

Predicted annual energy loads	
Heating:	97
Cooling:	56
(sensible + latent)	
Total:	153

ABSA Assessor stamp

ABSA

Assr # 20014 Cert # 24518394

Sign *Rebecca Douglass*

Date 4/7/08

ABSA Assessor Certificate	Assessor # 20014	Certificate # 24518394	Issued: 04-Jul-08
---------------------------	------------------	------------------------	-------------------

Thermal Performance Specifications - BASIX THERMAL COMFORT - Simulation Method

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value	SHGC	Area M2	Detail
Generic		Single clear	Aluminium	7.727	0.778	47.8	As per detail on plans

Skylights	Product ID	Glass	Frame	U value	SHGC	Area M2	Detail
Generic		Single Glazed Clear	Aluminium	7.727	0.778	0.68	As per detail on plans

Window and skylight U and SHGC values, if specified, are according to NFRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

External walls	Construction	Insulation	Colour	Solar absorptancy	Detail
Brick Veneer	R1.5		Medium	SA 0.475 - 0.7	As per detail on plans
Weatherboard	R1.5		Medium	SA 0.475 - 0.7	As per detail on plans

Internal walls	Construction	Insulation	Detail
Plasterboard on Studs	None		
Plasterboard on Studs	R1.5		Between House and subfloor

Floors	Construction	Insulation	Covering	Detail
Concrete	Waffle Pod		Carpet/Tiles	As per detail on plans
Timber	None		Carpet/Tiles/None	As per detail on plans
Timber	R1.0		Carpet/Tiles/None	Where above subfloor

Ceilings	Construction	Insulation	Detail
Plasterboard	R3.0		


Roof	Construction	Insulation	Colour	Solar absorptancy	Detail
Metal Deck	Foil + R1.0 Batts		Medium	SA 0.475 - 0.7	

Window cover	Internal (curtains)	External (awnings, shutters, etc)
Default		None

Fixed shading	Eaves (width inc gutters, height above windows)	Verandahs, Pergolas (type, description)
450	0	As per detail on plans


Overshadowing	Overshadowing structures	Overshadowing trees
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Orientation, Exposure, Ventilation and Infiltration	
Orientation of nominal north elevation	350
Terrain category	Suburban
Roof ventilation	Ventilated
Cross ventilation	Standard
Subfloor ventilation	on ground/enclosed
Living area open to entry	No
Living areas separated by doors	No
Stair open to heated areas	Yes
Weather seals to windows and doors	Yes
Exhaust fans without dampers	No
Ventilated skylights	No
Open fireplace or unflued gas heater	No
Vented downlights	No
Wall and ceiling vents	No

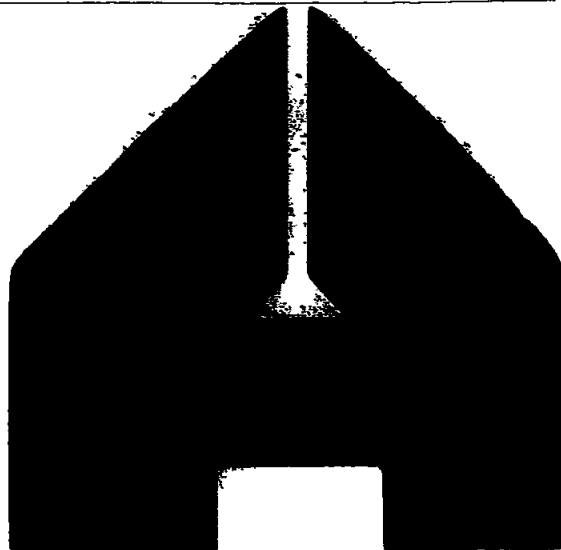


ABSA Assessor stamp

Assr # 20014 Cert # 24518394

Sign 

Date 4/7/08



HUXLEY HOMES

LICENCED BUILDER 92052C

GENERAL HOUSING SPECIFICATIONS

for the erection of a
brick veneer residence

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number **CC 0437/01**

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate

Endorsed by **NS** **TMA**

Date **10 JUL 2008**

PLACE STICKER HERE

This is Annexure B referred to in the Building Agreement

dated _____ day of _____ 20__

Signed by the Owner

In the presence of

Signature

Name: _____

Name

Address: _____

Signature

Name

Description: _____

Huxley Homes
ABN: 41 106 443 216
Licence No: 155010c

In the presence of

Name: _____

Address: _____

Authorised Officer

Description: _____



HOUSING INDUSTRY
ASSOCIATION

INDEX

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1. GENERALLY

1.01 Extent of the Works: Shall be governed by the Contract Tender Letter and Working Drawings.

1.02 Provide: Means the supply and complete building in of specified materials, fittings, etc.

1.03 Regulations and Notices: The Contractor is to comply with the Building Code of Australia, the relevant State appendix thereto; and/or any amendments thereto; the requirements of Legally Constituted Authorities for Local Government and/or for services to the extent as provided for in the Contract Tender Letter. The Contractor is to give all notices, obtain all permits and pay all fees required by such Authorities. Damage/Security deposits are to be paid by the Owner.

1.04 Insurance: Insurance of the works against fire will be effected by the Contractor. The Contractor shall at his own expense adequately insure against Public Risk and arrange indemnification in respect of his liability under the Workers' Compensation Act of New South Wales.

1.05 Labour and Materials: The Contractor is to provide all labour, materials, fittings and plant required to construct and complete the building as specified in the Contract Tender Letter. Materials to be the standard specified. Workmanship in each trade to be performed by tradesman of that particular trade and in conformity with current good building practice.

Notwithstanding that certain materials may herein after be specified, the Contractor reserves the right to substitute and/or alter any materials herein, however, they must comply with the relevant ordinances and/or Lending Authority concerned and be of no less a quality than the material they are substituting.

1.06 Set Out & Dimensions: The Contractor is to set out and maintain the work substantially in accordance with the drawing. Figured dimensions on plans are to be taken in preference to scale measurements. Unless otherwise stated, all dimensions are nominal i.e. dimensions are to structural elements and do not include finished surfaces such as plasterboard, tiling etc.

- 1.07 **Plans and Specification:** If any alterations, amendments or variations to the said plans and specifications are required by any Governmental or semi-Governmental Authority the cost of such alterations, amendments or variations shall be charged to the Owner's account.
- 1.08 **Additional Work:** Should any additional work (as distinct from authorised extras and variations) not allowed for, or included in, or specifically excluded from the Contract Sum or this Specification, be required to be carried out because of site conditions, requirements of the Lending Authority and/or Statutory Authority, the cost of such work shall be to the Owner's account.
- 1.09 **Final Payment:** Final payment shall be by bank cheque on completion and before occupation. The Contractor shall not, under any circumstances, release the keys for the building until all outstanding monies have been paid by the Owner to the Contractor.
- 1.10 **Survey:** The Contractor shall allow the provisional sum as scheduled for the following survey work, (a) block peg out; (b) house set out; (c) identification survey when foundation walls complete; (d) final survey on completion of gutter and eaves. The Contractor shall not be responsible for maintenance of any survey pegs after the final survey is completed.
- 1.11 **Water:** Where water is available within two (2) metres of the property boundary, the Contractor will be responsible for all costs (except for excavation of rock) associated with connecting the water to the site. Where water is not available or the Supply Authority's main is further than two (2) metres from the property boundary, all costs associated with bringing water or the water service to the site shall be to the Owner's account. Unless otherwise specified in the tender, the contract includes up to ten (10) lineal metres of 19 mm water service from the main to the building.
- If water is not available the Owner shall, at the Owner's expense, supply adequate water to the site for construction purposes.
- 1.12 **Council's Footpath:** The Contract Sum does not include repair of damage to Council's kerb and gutter/footpath/roads or any private right-of-way/driveway caused by construction vehicles and/or work and the Contractor accepts no responsibility for damage to same. Should the Contractor be required to repair such damage, the cost shall be to the Owner's account.
- 1.13 **Existing Structures:** The Contractor (unless specified in the Contract Tender Letter) shall not be required to protect, repair or otherwise maintain any existing fences, structures, driveways or the like and the Contractor accepts no responsibility for any damage caused to same during the construction period.
- 1.14 **Access:** All weather access and storage must be available for delivery of materials by heavy vehicles onto the site and to within two (2) metres of the works. In particular, access must be available around the entire perimeter of the works for concrete delivery trucks to pour the floor slab. Any additional cost incurred by the Contractor through inadequate access or storage shall be to the Owner's account. Should indement weather and/or inadequate site conditions cause, in the Contractor's estimation at the time, the pouring of the foundation floor slab to be impracticable without the use of a concrete pump, then the Contractor reserves the right to use such concrete pump and the cost of thereof is to be charged to the Owner's account.
- 1.15 **Provisional Allowances:** Works for which Provisional Allowances are listed at the end of this Specification will be charged at the scheduled rate or where no rate is provided at the Contractor's cost plus 10% for overheads, supervision and 10% for profit, and adjusted against the Provisional Allowance.
- 1.16 **Prime Cost Items:** Unless stated otherwise in the Tender, the Contractor shall supply and fix all P.C. items shown on the working drawings and/or detailed in the Tender.
- 1.17 **Items to be Supplied by Owner:** For all items, stated in the Tender, to be supplied by the Owner or where, during the construction of the dwelling it is agreed between the Owner and the Contractor that the Owner shall supply any particular item, it is the responsibility of the Owner to arrange payment for, delivery of and protection (and/or insurance) against damage and theft of all these items. Delivery is to be made when requested by the Contractor, to the site.

- 1.18 Finish as an Exhibition Home: The Contractor shall endeavour at all times to duplicate the finish and fittings in the corresponding exhibition home. However, the Contractor will not be held responsible for changes which occur due to variations in building practice and changes in the models of various fittings or materials.

- 1.19 Selections by Owner: If materials become unavailable during the course of the Building Work, the Contractor must notify the Owner and provide a recommendation for alternative materials. The Owner must provide the Contractor with the instructions within five (5) Working Days failing which the Contractor may make a substitution. Any substituted materials shall be charged as Prime Cost items in accordance with this Clause.

2. EXCAVATOR

- 2.01 Site: Unless allowed for in the contract sum, the owner is to clear the building site and grub all stumps, roots, etc. to a minimum distance of two (2) metres outside the building line or to the boundaries of the allotment, whichever is the less. Unless specifically allowed for in the contract sum the removal from site of roots, stumps, trees, undergrowth, excess fill and rubbish already on site is not the responsibility of the Contractor, but shall be stacked on site for removal by the Owner.
- 2.02 Rock or Shale: The Contractor shall allow for all excavation to be in clay or soil. Should rock, shale or any other material requiring the use of a compressor or other plant, be encountered during construction, the Owner shall pay extra for excavation and removal of such material and shall be charged at the Contractor's invoiced cost of labour and hire of compressor and/or other plant or equipment plus 10% for overheads and supervision and 10% for profit or as provided for in the Contract Tender Letter.
- 2.03 Trenches: Excavate for all footings, beams to raft slab, etc., to secure solid even bearing throughout. Should it be necessary to excavate deeper than 350 mm to secure solid bottoms and even bearing throughout, the additional cost shall be charged to the Owner's account or as provided for in the Contract Tender Letter.
- 2.04 Excess Fill: If piling or excavation is required the removal or spreading of excess filling resulting from such work shall be the responsibility of the Owner; if, however, such work is allowed for in the Provisional Allowances, the cost thereof shall be adjusted in accordance with Clause 1.15 hereof.

3. CONCRETOR

- 3.01 General: All concrete is to be ready mixed from an approved supplier. Compression strength of concrete shall be as noted in the Engineer's drawings.
- 3.02 Footings: Provide concrete footings in accordance with Engineer's details unless provided otherwise in the Contract Tender Letter.

SHOULD ADDITIONAL FOOTINGS OR PIERING BE REQUIRED BY SITE CONDITIONS, COUNCIL, LENDING AUTHORITY OR ENGINEER, THE ADDITIONAL COST SHALL BE TO THE OWNER'S ACCOUNT.

- 3.03 Filled or Unstable Ground: If, upon commencement of the works, the nature of the ground is considered unsuitable for the footing system shown on the drawings, then the Contractor shall engage a Structural Engineer to advise on the re-design of the footing system and construct same in accordance with the details provided by the Engineer. The cost of engaging the Engineer along with any additional work shall be charged to the owner's account. Refer Building Agreement.
- 3.04 Concrete Floor Slabs: Construct a concrete floor on the ground in accordance with the Engineer's detailed drawings; surface to be suitable to lay carpet. Where required, provide concrete floors to bathroom, laundry, external patios, terraces, garage and carport.

3.05 Concrete Slabs - Wet Area: Screed the concrete with a fall to outlets, or level as required and trowel the surface to floors of external patios, terraces and laundry where applicable to smooth and even finish

3.06 Paths: Provide concrete paths if provided for in the Contract Tender Letter and indicated on plan. Lay paths to even grades, true lines and curves. Provide joints in the paths at a maximum spacing of 2000 mm with bitumen impregnated felt jointing strips.

4 PROTECTION FROM SUBTERRANEAN TERMITES

4.01 Barrier: Protect the structural elements to the work with a proprietary system which has current accreditation with the Australian Building Code Board, in accordance with AS.3660.1.

4.02 Certificates: The Contractor is to provide a Certificate in accordance with Australian Standard 3660.1

4.03 It is incumbent upon the Owner to have the house inspected at least annually by a competent pest control operator and to comply with the operators advice.

THE OWNER'S FAILURE TO COMPLY WITH THIS CLAUSE WILL VOID ANY WARRANTY GIVEN IN RELATION TO THE CERTIFICATE

5 BRICKLAYER

5.01 General: All brickwork is to be accurately bonded, carried up true and plumb in level courses to various heights and thickness as shown on plans. Bricks of clay and/or shale origin are to be sound, hard and well burnt.

5.02 Face Bricks: Face bricks to be used for all wall and piers to exposed elevation(s). The Contractor shall endeavour to obtain bricks as selected by the Owner; however, if bricks supplied by the Manufacturer are not to the approval of the Owner, any dispute regarding colour, size, quality, etc. shall be between the Owner and the Manufacturer and the Contractor will be indemnified by the owner for any costs involved as a result of such dispute.

The quantity of bricks the Builder is to allow shall be calculated at the rate of 52 bricks per square metre of brick wall area.

Where special bricks are selected which result in the quantity used being in excess of the quantity so calculated, the additional cost of material and labour shall be charged to the Owner's account.

If bricks selected have to be hand blended on site, the cost to do this work shall be charged to the Owner's account.

Common Bricks may be used for all other work.

03 Mortar and Joining: Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

Coloured Mortar: Under no condition does the Contractor guarantee, nor does the Contractor accept responsibility for, the shade or the uniformity of colour where used in mortar.

04 Engaged Piers: To be as shown on the drawings.

- 5.05 Dampcourse: In concrete slab-on-ground construction a continuous cavity flashing shall be provided to the perimeter of the building, built in and securely fixed to the external wall, carried downward and across under the external leaf of brickwork. Weep holes to be provided at a maximum 1000 mm centres. Where an external cavity wall extends above an internal portion of the building, either a through flashing or a cavity gutter shall be provided immediately above the surface of the lower abutting section to prevent water penetration to lower walls or areas.
- 5.06 Veneer Wall: To be 110 mm brickwork providing a clear cavity of 25 mm from timber frame. Build in 3 mm galvanised veneer ties placed no further apart than 600 mm horizontally and 600 mm vertically. The brick veneer is to be kept 10 mm clear below roof framing and/or eaves lining and 10mm clear of window sills. All mortar joints on inside faces of walls are to be flush with brickwork. All mortar droppings are to be removed from wall ties and cavity before internal linings are fixed.
- 5.07 Arch Bars and Angle Irons: Brickwork over openings is to be supported on primed or galvanised mild steel bars or angles.
- 5.08 Flashing: Build in all flashing under window frames and above openings and meter box where required. Provide all necessary weep holes.
- 5.09 Cleaning: Clean all exposed brickwork with diluted spirits of salt and/or specified approved cleaner, wash down with clean water and leave free from cement and mortar stains.

6. STRUCTURAL FRAMING

- 6.01 Timber: Timber framing and flooring sizes shall conform to the Light Timber Framing Code AS1684 or AS7120 1.
- 6.02 Steel: Steel framing shall conform to the Manufacturers recommendations and AS3623.
- 6.03 Roof Framing: Slope of roof is to be as shown on plan. All roof members are to be seated on plates with roof loads transferred to the footings. Provide all rafters, hips, valleys, etc. as appropriate with all sizes and stress grades in accordance with AS1684 for timber and AS3623 for steel.
- 6.04 Flooring: Where shown on working drawings, cover floor joists with platform flooring in accordance with manufacturer's directions.
- 6.05 Floor Sander: Timber sheet flooring, where required is to be machine sanded to an even surface.

7 TIMBER FRAMED GROUND FLOORS

- 7.01 Generally: Where timber floors are shown on the drawings, the following clauses shall apply.
- 7.02 Concrete Footings: Provide concrete strip footings in accordance with the requirements of the Building Code of Australia/or the Engineer's details.
- 7.03 Foundation Walls: On concrete footings, build brick foundation walls to thicknesses shown on plans, up to the level of underside of the floor bearers. Build 230 x 110 mm engaged piers to support floor bearers and elsewhere as indicated on plans.
- 7.04 Sleeper Piers: Provide 230 x 230 mm brick sleeper piers built up off 350 x 350 x 150mm concrete pad footing or two courses 350 x 350mm brickwork. If any pier exceeds 1500 mm in height, the additional lower portion of that pier is to be 350 x 350 mm on 470 x 470 x 150 mm concrete pad or two courses 470 x 470 mm brickwork.
- 7.05 Floor Level: To comply with the drawings so as to provide not less than 200 mm from ground surface at any part to the underside of the floor bearers.
- 7.06 Access Provide access under floors as shown on plan

7.07 Ventilation: To foundation walls at a height immediately under bearers, build in 230 x 150 mm vents at 1500 mm centres. Similarly, ventilation is to be provided under verandahs and/or suspended concrete floor slabs and no section of the underfloor area shall be constructed in such a manner that it will hold still pockets of air.

7.08 Dampcourse: On all brick work and piers, at the level of the underside of floor bearers, provide an approved dampcourse. The dampcourse material is to be in long lengths, lapped 150 mm at joints and full width at intersections.

7.09 Vermin Proofing: In brick veneer, provide 10 mm mesh galvanised bird-wire built into brickwork taken across cavity and secured to bottom plate.

8 JOINER

8.01 Generally: Joinery material is to be MDF or timber of durable species, seasoned and free of those defects which might affect its appearance and durability. All to be accurately cut and fitted and securely fixed.

8.02 Jamb Linings and Doors: To all internal door openings provide door jamb linings. Jamb linings with planted on stops may be used. Provide doors as specified. Accurately fit to door jamb linings; have front, rear and other doors, unless specified elsewhere with two 85 mm steel butt hinges. External doors to be as selected. Furnish with selected lock and furniture. Internal doors to be as selected of suitable width. Furnish with selected latch and furniture. External double doors are to be rebated together and suitably weathered. Provide where shown on plan, sliding door frame(s) complete with fittings and doors of selected width and furnish with selected furniture. Provide aluminium doors and frames, if shown on plan.

8.03 Windows: Provide windows from approved supplier and install these frames strictly in accordance with the manufacturer's recommendations.

8.04 Architraves: Provide architraves to all door, window and other openings internally.

8.05 Skirting: Provide skirting to all rooms except tiled areas.

8.06 Kitchen Cupboards and Vanities: Provide properly constructed floor and wall cupboards in position and to dimensions indicated on plan. Floor cupboards to have raised floors with tow space under front face. Cover top of floor cupboards with materials as selected. Provide doors as selected. Doors to be accurately fitted and hung and furnished with selected catches and handles.

8.07 Built-In Cupboards: Frame up and fix cupboard(s) in position and to dimensions shown on plan, provide particle board shelves 10 mm minimum thickness. Provide doors as selected and furnish with selected catches and handles.

9 ROOFER

9.01 Tiles: Cover the roof of the dwelling with first quality roofing tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all necessary starters and apex caps. Cappings and verge tiles are to be well bedded on lime mortar and neatly pointed with coloured cement mortar.

9.02 Steel Roof Decking: Where shown on plan, provide and install a steel deck roof together with accessories all in accordance with the manufacturer's instructions.

10 PLUMBER

- 10.01 Eaves Gutter: Provide 110 x 0.6 mm guttering to all eaves. Set in position with sufficient fall to downpipes and secure with brackets, if required, spaced at a maximum 1200 mm.
- 10.02 Downpipes: Provide downpipes as required. Connect each pipe to gutter and roof water drains and secure to walls at a maximum spacing of 2700 mm, minimum of two (2) each downpipe.
- 10.03 Valley Gutters: Selected valley gutters are to be fixed to valley boards with edges beaded, well lapped at joints. (Approved ribbed valleys may be fixed without valley boards.)
- 10.04 Flashing: Flash around chimney stacks, exhaust flues and wherever required with approved material dressed well down onto roof slopes and taken up vertical faces at least 75 mm. Wedge stepped flashing into brickwork with approved material and point with cement mortar.
- 10.05 Sanitary Plumber: Sewered and unsewered areas. Fit bath, basin, kitchen sink, wash tub, pan and floor grate to shower recess, in positions shown on plan. Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Authority for water and sewerage.
- 10.06 Floor Wastes: Provide overflow outlet in bathroom and separate W.C. floors. Fit grating and wastes.
- 10.07 Water Service: Allow to connect a 19 mm mains cock to the supply main and two (2) metres of 19 mm pipe to the metering position within the property. Provide a stop cock and garden tap. Allow the length scheduled of 19 mm pipe to the house. Branch off with 19 mm pipe to hot water unit and with 12 mm pipe to bath, breaching piece to shower, basins, laundry tub, washing machine and kitchen sink. Properly secure all piping and provide flange at internal wall faces. Terminate over fittings with approved high pressure taps and with high pressure hose cocks to garden points. Provide for fixing cistern and hot water unit. Provide one garden tap on rear wall of house and one at meter position.

If there is no town water and a tank is required, provide one garden tap only attached to external wall of house.

Extend from hot water unit with pipe to points over bath, basins, showers, kitchen sink, laundry tub and washing machine. Terminate at these points with taps or cocks as required. Provide inlet stop cock to hot water unit.

11. DRAINER

- 11.01 Sewered Areas: Provide a drainage system from W.C. pan and from wastes of all fittings and connect to the sewer main, all to be in accordance with the rules and requirements of the relevant Authority. Provide at least one gully outside the building.
- 11.02 Septic System: Where applicable, provide and install a septic system to the requirements of the Local Authority and in accordance with the manufacturer's instructions.
- 11.03 Storm Water Drains: Provide 90 mm P.V.C. stormwater drains laid to an even and regular fall so as to have a minimum cover of 150 mm. Drains to discharge into street gutter where possible. Where outlets are shown within the site they are to discharge at least 3000 mm clear of the building into rubble packed sumps. Should on-site storage be required, work to be done in accordance with approved hydraulics detail; such work to be to the Owners Account unless provided for in the Contract Sum.

- 11.04 **Additional Requirements:** Should site conditions make it necessary to supply, in order to satisfy the appropriate Authorities, additional backvents, concrete encasing of drainage lines, sewer boundary tests, cast iron drainage wastes and any other requirements, such items shall be additional to the contract sum. The tender sum does not include excavation in rock or shale or the removal of excess filling resulting in the drainage installation and should such work be required, it shall be additional to the contract sum.

Where a Provisional Allowance is included in the tender for external drainage then the work executed shall be adjusted against the Provisional Allowance included in the contract sum and calculated at the rates scheduled or where no rate is provided, at the Contractor's invoiced cost plus 10% for overheads and supervision and 10% for profit.

12. ELECTRICIAN

- 12.01 **General:** Provide all labour and materials necessary for the proper installation of electricity service in accordance with the appropriate S.A.A. rules and the requirements of the Local Supply Authority. Arrange with the Supply Authority for the connection from supply mains to meter board. Should connection of the mains be underground or special brackets or additional poles be required, the extra cost shall be charged to the Owner's account. Provide for the proper installation and connect scheduled number of light and power points in positions to be indicated. Connect all appliances indicated on plan to local Authority's requirements.
- 12.02 **Meter Box:** Provide box to enclose meters in accordance with the requirements of the Authority concerned.
- 12.03 **Smoke Detectors:** Provide smoke detectors to AS3786 and connect to mains power supply.

13. WALL AND FLOOR TILER

- 13.01 **Walls:** Supply and fix ceramic wall tiles to the extent shown on the detail drawings or mentioned in the tender documents.

Tiles are to be fixed with approved adhesive to AS2358, to a backing of approved materials.

- 13.02 **Floors:** Cover the floor surfaces indicated on the plan with selected ceramic floor tiles:-
- a) Wet Areas - on a bed of mortar consisting of three (3) parts of sand and one (1) part of cement.
 - b) Living Areas - fix with an approved adhesive to AS2358.

General: SHADE VARIATION IS AN INHERENT FACTOR IN THE MANUFACTURE OF CERAMICS, PARTICULARLY IN DECORATIVE EFFECTS.

All ceramic tiles are subject to crazing. The degree of craze resistance varies from tile to tile, depending on the type of product and the method of fixing. No tiles are guaranteed against crazing. Fully glazed floor tiles with a high gloss finish are very susceptible to scratching during normal building operations; the Contractor does not guarantee that such scratching will not occur nor will the Contractor be responsible for any rectification thereof.

- 13.04 **Waterproofing Wet Areas:** Use a proprietary system which is approved for use in wet areas, shower recess bases, associated floors and wall/floor junctions which are to be tiled

14.01 INTERNAL WALL LININGS

General: Line all walls, except to wet areas, with Gypsum plaster board. To wet areas approved water repellent sheets shall be used. Fit approved water proofing angle to internal corners of shower recesses.

14.02 Gypsum Plaster Board: Fix horizontally with full length sheets, end joints to be staggered, to ceiling heights. Sheets are to have recessed edges and be minimum 10 mm thick when fixed to studs spaced at up to 600 mm centres. Fixing is to be with galvanised clouts and/or approved adhesive and to be strictly in accordance with the Manufacturer's recommendations and AS2589. Internal and external angles from floor to ceiling to be set.

14.03 Ceiling Fixer: Provide Gypsum plaster board to all ceilings. Sheets to have recessed edges and to be a minimum of 10 mm thick in accordance with AS2588-1983. Fixing is to be with galvanised clouts and/or approved adhesive and be strictly in accordance with the Manufacturer's recommendations and AS2589.

14.04 Cornice: Set corners or provide 90 mm cove cornices to ceilings as required, properly fixed and set at all angles. Cornices to be in full wall lengths where practicable.

15. GLAZIER

15.01 General: All glass to be in accordance with AS1288 and installed in a tradesmanlike manner. Clean all glass on completion of work.

16. PAINTER

16.01 Generally all paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

17. COMPLETION

17.01 The building is to be completed in every trade. Sashes and doors to be eased, locks oiled and all plant, surplus building materials and rubbish removed from the site. Gutter and drains to be cleared and the building generally to be left clean and fit for occupation.

18. PRIME COST AND PROVISIONAL ITEMS

18.01 PC items: Unless stated otherwise in the Tender, the Builder shall supply and fix all PC. Items shown on working drawings and/or detailed in Tender at no adjustment to the Owner.

18.02 Provisional Allowances

(i) Included in the Contract Tender Sum there may be PROVISIONAL ALLOWANCES for works detailed in the Tender letter.

(ii) In addition, and unless otherwise stated in the Contract Tender letter, the following PROVISIONAL ALLOWANCES are also included in the Contract Tender Sum:

1. Wall and floor tile allowance: (per square metre)	Lifestyle Specification	\$27.50
	Headstart Specification	\$19.50
2. Face brick allowance: (per 1,000 face bricks delivered to site)		\$330.00
3. Engineer's supervision and provision of Certificates		\$300.00
4. Surveyor's cost for set out, check and Final Survey and Certificates		\$475.00

18.03 Schedule of Rates: Unless specified otherwise in the Contract Tender letter, the following schedule of rates shall apply to items of work which are not specifically included in the Contract Tender letter -

(i) Water Service - If the following work is required and such work is not specifically included in the tender letter, then such work shall be charged at the following rates:

- | | |
|---|----------|
| 1. Extend water service across road | \$319.00 |
| 2. Road boring (only chargeable if developers conduit is not available) | \$297.00 |
| 3. Minimum charge for compressor if rock is encountered in 1. or 2. | \$550.00 |
| 4. Additional 19mm water service (per metre) | \$22.00 |

(ii) Road Excavation - Excavation of rock or shale, if encountered, shall be charged at invoiced cost of labour and hire of compressor and/or other plant or equipment plus 10% for overheads and supervision and 10% profit. The minimum charge for rock excavation shall be: \$550.00

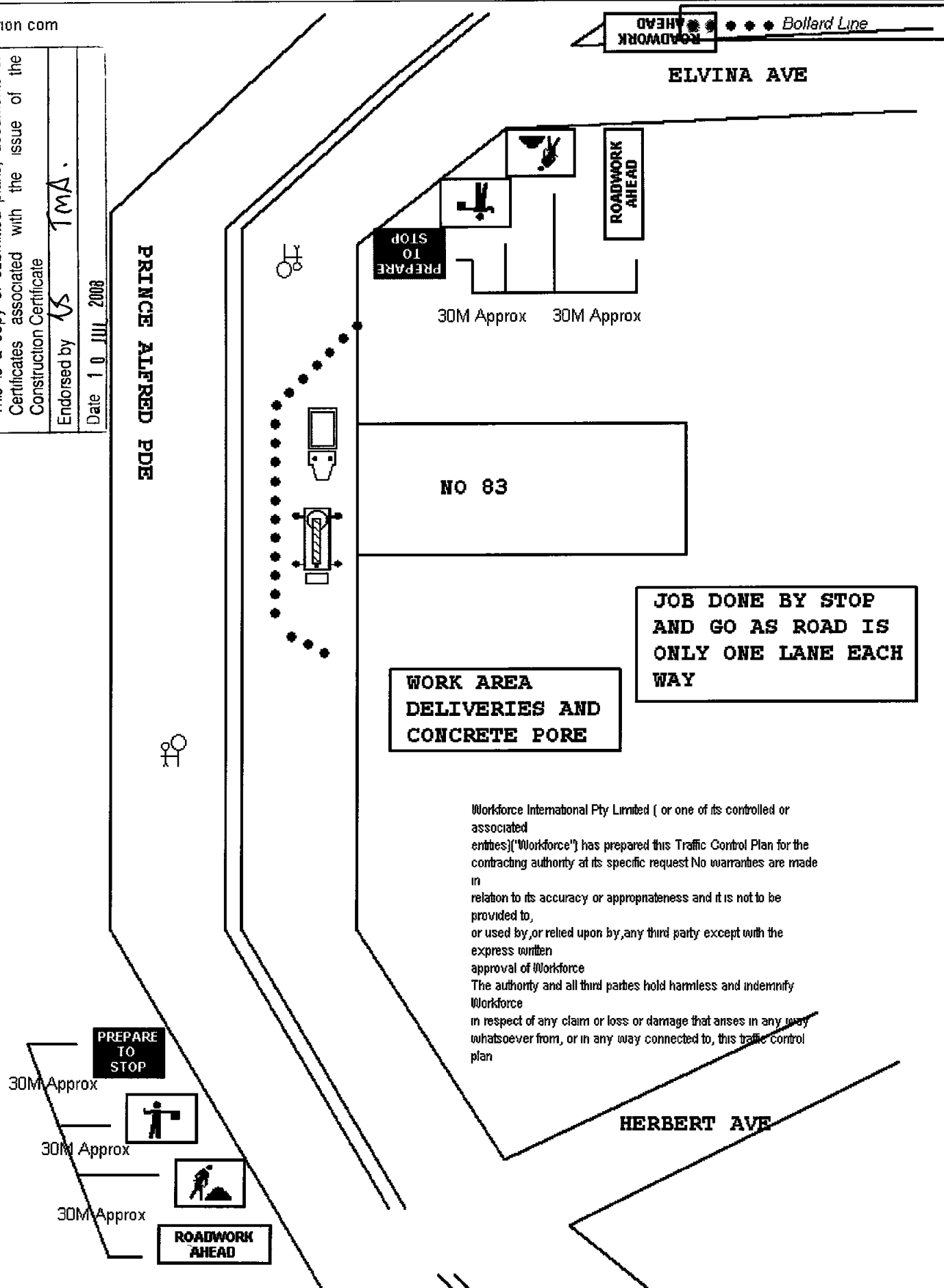
(iii) Piering - If not included in Contract Tender Letter as a Fixed Price Item, if required by Structural Engineer, Principal Certifying Authority or Lending Authority, shall be additional to the Contract Sum, and charged at invoiced cost of labour, material, hire of boring machine, and/or other plant or equipment, plus 10% for overhead and supervision and 10% for profit and the cost of this work to be adjusted against the Provisional Allowance, if any, included in the Tender Sum.

(iv) Occupation Certificate - Provision of Occupation Certificate issued under the Environmental Planning and Assessment Act 1979 under section 109C (f) and 109H if required by Owner or Lending Authority. \$150.00

18.04 G.S.T.: The above prices include G.S.T.

18.05 Exclusions: Unless specifically mentioned in the Contract Tender Letter, the following items are not included in the Contract Tender Sum.

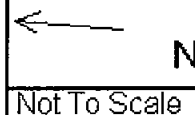
1. Car Tracks; Paths
2. Fences
3. Landscaping; Watering Systems
4. Removal of spoil from the site
5. Floor Coverings; Ceramic Tiles to Living Areas and Front Porch/Verandah
6. Burglar Alarms; C-Bus Minder System
7. Light Fittings; Curtains; Decorator Items
8. Pergolas; Courtyards, Barbeques
9. Dishwasher
10. Air Conditioning
11. Insulation - wall and ceilings



Date 17/06/08
Author B BLAKELY22404
Project HUXLEY HOMES
NEWPORT

ALL SIGN SPACEING & POSTINGS TO COMPLY WITH
A S 1742.3

MAP 118 H-7
PRINCE ALFRED PDE
NEWPORT PLAN NO 1414





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TREE MANAGEMENT REPORT

June 2007

Site: Lot 108 in DP 13457
83 Prince Alfred Parade
Newport NSW

Client: Gay Nicholls
14 Bray Street
North Sydney NSW 2060
Ph: 04712 335 052

Commissioned: Gay Nicholls

Author: Kyle A Hill
Practising & Consulting Arborist
Certificate of Horticulture, TAFE (1983)
Certificate Advanced Tree Care TAFE (1994)
Founder -Growing My Way Tree Services (1977)
Member of International Society of Arboriculture
National Arborists Association (USA)
National Arborists Association of Australia

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0431/07
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	KS TMA
Date	10 JUL 2008

Copyright, 2007 This report remains the sole property of Kyle Hill, Growing My Way, until all relating fees have been settled This report may only be used in its entirety, & must be affixed to any report that references it

1 Summary

Gay Nicholls requested a Tree Management Report relating to seven (7) individual tree specimens all within the subject site. This document has been commissioned as a requirement by Pittwater Council to accompany the submission of all Development Applications. Two (2) DA's are to be submitted for the redevelopment of the subject site. One (1) is for the demolition & of the existing dwelling & construction of a new dwelling. The second DA (2nd) is the construction of a double garage at /near street level.

Kyle Hill, qualified Consulting Arborist, author, has prepared this report based on visual assessment undertaken on May 15 2006 & June 12 2007.

The report discusses the current condition of the seven (7) subject tree specimens identified & located by,

- Site Survey, author unknown,
- Architectural Plans, Elevations & Sections by Huxley Homes, dated 19/04/2007 & 10/05/2007,
- Observations & relevant data gathering on site by Kyle Hill

The aim of this report is to confirm the viability of the trees, relating to present & likely future health, vigour, condition etc taking into consideration the potential impacts of the DA for the proposed alterations/additions.

This report will support the DA proposals in their present form. The removal & replacement of three (3) discussed tree specimens as a consequence of the proposals to be submitted is supported provided all recommendations are implemented.

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2 Introduction

This report contains observations & recommendations intended to assist in the management of the seven (7) tree specimens identified & discussed as being impacted or potentially impacted upon by the DA proposals (x2) within the subject property 83 Prince Alfred Parade. The DA proposals to be submitted do not impact upon any tree specimen within other private properties.

Pittwater Council is the sole consent authority. The planning instruments are Pittwater DCP 22 & the Pittwater LEP.

Kyle Hill, qualified Practicing & Consulting Arborist, author, has prepared this report based on visual assessment on May 15 2006 & June 12 2007.

The report discusses the current condition of all trees/groups of trees identified by,

- Site Survey, author unknown,
- Architectural Plans, Elevations & Sections by Huxley Homes, dated 19/04/2007 & 10/05/2007,
- Observations & relevant data gathering on site by Kyle Hill

No trees other than that identified by the above methods have been discussed.

3 Methodology

Assessment of the tree has been from ground level by eye, using visual tree assessment (VTA) techniques developed by Claus Mattheck, in *The Body Language of Trees* (1994).

Assessment includes:

- Tree's current condition & likely future health
- Species tolerance to root disturbance and/or development
- Likely future hazard potential to persons & property
- Tree's amenity value, such as significance, screening & habitat

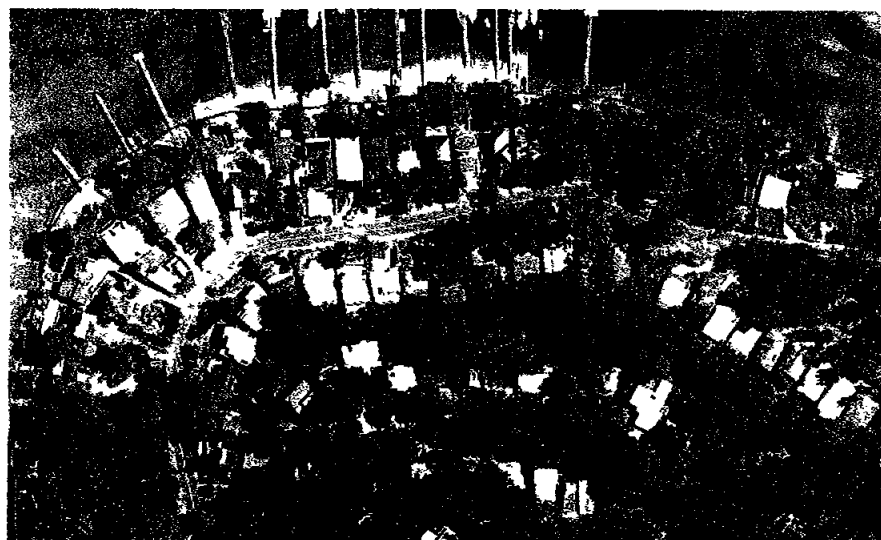
No root analysis, soil testing, 'Resistograph'® drilling or aerial canopy inspection was undertaken. See the following Appendices for further information.

- Appendix A Glossary of common Arboreal terms
- Appendix B Tree Protection & Management
- Appendix C Survey & Site Plans, Elevations & Sections

4 Observations

4.1 The Site

The subject site is approximately 521 60 square metres. The site is zoned 2(a) Residential A. Existing on the site is a single dwelling residence. Single dwelling residences surround the subject site on three (3) sides. Along the southern boundary is a public pathway.



Most existing tree specimens within the subject site are under the protection of the Pittwater Council "Tree Preservation Order" (TPO), the *Corymbia maculata* tree specimens are additionally protected by the "Threatened Species Conservation Act of 1997" as part of the Pittwater Spotted Gum Forest – an Endangered Ecological Community.

The existing & proposed dwelling location is the flattest portion of the subject site. The site slopes very steeply from the 25 00m contour line to the 19 00m contour line at the edge of Prince Alfred Parade. The existing driveway is to be demolished.

4.2 The Proposal

The proposal for re-development will be subject to the submission of two (2) DA's. One (1) DA for the demolition of the existing dwelling with a new dwelling as its replacement & a second (2nd) DA for the construction of a double garage located at/near street level in the northeast corner of the subject site. The existing driveway is to be demolished as it does not comply with gradient requirements & to upgrade it to comply would result in the net loss of most if not all *Corymbia maculata* & the *Eucalyptus punctata* which presently exist as a most significant group of established tree specimens.

Three (3) TPO protected tree specimens are required to be removed as a consequence of the proposed development. Tree 1 is a *Corymbia maculata*.

Pittwater Council policy when approval is granted for the removal of a *Corymbia maculata* is that it must be replaced with three (3) new same species specimens

4.3 The Trees

Tree Summary Table:

#	ID	Height	Crown Spread	Ø (DBH)	CRZ	Age	Hth & Vig
1	<i>Corymbia maculata</i>	15 0-15 5m	6 0-6 5m	0 54m	3 0m	Over mature	Fair-Good Fair-Good

Comments 2 x stems (@ 2 7m) display “wings”, reaction wood likely to indicate an internal fracture/inclusion, CFDP > 70%

2	<i>Corymbia maculata</i>	19 5-20 0m	3 0-3 5m	0 48m	2 5m	Over mature	Fair & Fair
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Comments Crown consists largely of epicormic shoots, Longicorn beetle larval wounding at multiple sites, CFDP <60%

3	<i>Corymbia maculata</i>	15 5-16 0m	5 0-5 5m	0 31m	2 0m	Over mature	Good & Good
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Comments No faults noted, CFDP >90%

4	<i>Eucalyptus punctata</i>	12 0-12 5m	6 0-6 5m	0 35m	2 0m	Over mature	Fair & Fair
---	----------------------------	------------	----------	-------	------	-------------	-------------

Comments Specimen is suppressed by Trees # 3 & #5, CFDP >70%

5	<i>Corymbia maculata</i>	16 5-17 0m	6 5-7 0m	0 50m	2 5m	Over mature	Fair & Fair
---	--------------------------	------------	----------	-------	------	-------------	-------------

Comments Top has failed & been removed, Significant volume of medium Ø deadwood, CFDP <60%

6	<i>Melaleuca quinquenervia</i>	12.5- 13.0m	4.0-4.5m	0.36m	2.0m	Mature	Good & Good
---	------------------------------------	----------------	----------	-------	------	--------	-------------------

Comments Stem inclusions noted (@4.5m), CFDP = 100%

7	<i>Callistemon salignus</i>	5.5-6.0m	4.0-4.5m	0.28m	1.5m	Mature	Fair & Fair
---	---------------------------------	----------	----------	-------	------	--------	----------------

Comments Tree has been previously topped & is suppressed by low light access, CFDP <70%

5 Discussion

Three (3) TPO protected tree specimens require removal & replacement as a consequence of the proposals to be lodged. Two (2) tree specimens not subject to the Pittwater Council “Tree Preservation Order” located on the eastern side of the existing residence are also proposed to be removed as they are undesirable species. The DA for the new residence requires Trees 6 & 7 to be removed & replaced. Both are located adjacent to the common boundary with 81 Prince Alfred Parade. As can be seen from the detail in the “Trees Summary Table” Tree 6 is in good health & vigour but Tree 7 is in an advanced state of decline & has been classed as being in very poor health & vigour. As briefed by my client the owner of 81 Prince Alfred Parade has no objections related to these two tree specimens being removed & replaced. The second (2nd) DA (for the construction of the double garage) requires the removal & replacement of Tree 1. As previously alluded to this tree specimen by virtue of being a *Corymbia maculata* if approved for removal would require three (3) replacement specimens of the same species being planted within the subject site.

As can be seen from individual tree descriptions some of the retained *Corymbia maculata* tree specimens have significant defects or faults. Tree 1 is noted to have twin stems with obvious “wings or ears” at the point of attachment to the trunk base. This is often an indication of an internal fracture having occurred with the tree responding by the creation of the “wings or ears” as compensation for compromised internal structural strength.

Tree 2 described as being only in fair health & vigour is located approximately 2.10m from the required excavation. This is marginally inside the specified minimal CRZ distance (2.50m) that the tree specimen would likely tolerate. The excavation required being slightly downhill of the tree specimen is likely to reduce any potentially adverse impacts. Excavation within the specified 2.50m CRZ minimal distance must be undertaken manually at least for the first metres depth, (1.00m). Any root that may be exposed greater than 0.05m (50mm) diameter is to be deemed as significant & must not be damaged or severed without the specific written authority of a suitably experienced & qualified consulting arborist. Certification (written & including photographs) of damage having been avoided is specified to be completed by a suitably experienced & qualified consulting arborist.

The demolition of the existing concrete driveway must be done with great care & finesse so as not to damage not only trunk tissue (bark) but more importantly significant diameter roots likely to be exposed when the concrete is removed. Again it is specified this operation must be certified (written & including photographs) of damage having been avoided is by a suitably experienced & qualified consulting arborist.

All retained tree specimens require some pruning (primarily removal of dead & dying branches) to reduce their potential to cause physical damage to persons & or property. The specifications required for the pruning to be completed can be prepared immediately upon DA approval. Pruning specifications will be in accordance with the *Australian Standard (AS4373 2007) for the Pruning of Amenity Trees*. Contractors chosen for the specified tree specimen removal & pruning must abide by the *WorkCover NSW Industry "Code of Practice" for Tree Workers*.

No excavated material of any form (top soil, subsoil etc) is to be incorporated within the specified PRZ (10 x DBH) for any retained tree specimen.

All retained tree specimens are long term established & in varying states of decline. As such the planting of an additional three (3) *Corymbia maculata* will act as long term insurance for the preservation of this tree species.

All retained tree specimens will require "Tree Protection", known as a Tree Protection Zone (TPZ). Standard TPZ "Tree Protection" is best implemented preferably as group protection rather than as individual specimen protection. See **Appendix B** specifications for this site. Again Pittwater Council will require certification of TPZ as having been satisfactorily implemented.

New tree specimens are to be sourced from suppliers/growers that have stock produced to the **NATSPEC specifications** contained within the *Clark, Ross publications named in the Section, Recommended References*.

6 Recommendations

- Seek approval for both DA's
- Remove Trees 1, 6 & 7
- Prune retained tree specimens
- Any excavation within the specified CRZ of any retained tree specimen must be undertaken manually
- Excavation must be certified as not having damaged or severed roots of a significant diameter.
- TPZ required is standard as per Appendix B specifications
- TPZ is to be implemented as group isolation rather than individual tree specimen isolation
- Location of TPZ is not to be closer than specified distances CRZ from the tree trunk base centre.
- TPZ must be certified as satisfactory.

General,

- All new tree specimens as part of the Landscape Concept Plan are to be sourced from growers/suppliers whose stock is produced to the standards specified & installed as per recommendations contained within the Ross Clark publications in Section 9 of this document.
- Photographic documentation of all tree specimens retained is recommended before commencement of construction works, at three (3) month intervals during construction, at the completion of construction as well as six (6) monthly intervals for a minimal period of twelve (12) months post construction

If you have any questions relating to this report or implementation of recommendations, please contact Kyle Hill on 0412-221-962

Yours faithfully,



Kyle A Hill (Practicing & Consulting Arborist)

7 Limitations on the use of this report

This report is to be utilised in its entirety only. Any written or verbal submission, report or presentation that includes statements taken from the findings, discussions, conclusions or recommendations made in this report, may only be used where the whole of the original report (or a copy) is referenced in, & directly attached to that submission, report or presentation.

8 Assumptions

Care has been taken to obtain information from reliable resources. All data has been verified insofar as possible, however, Growing My Way Tree Services, can neither guarantee nor be responsible for the accuracy of information provided by others.

Unless stated otherwise

Information contained in this report covers only the trees that were examined & reflects the condition of the trees at the time of inspection, and

The inspection was limited to visual examination of the subject trees without dissection, excavation, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the subject trees may not arise in the future.

9 Recommended References

- Barrell, J 1993 '*Preplanning Tree Surveys Safe Useful Life Expectancy (SULE) is the Natural Progression*', *Arboricultural Journal* 17 1, February 1993,
- Barrell, J 1995, '*Pre-development Tree Assessments*', in *Trees & Building Sites*, Proceedings of n International Conference Held in the Interest of Developing a Scientific Basis for Managing Trees in Proximity to Buildings, International Society of Arboriculture, Illinois,
- Dr G Watson & Dr D Neely, '*Trees & Building Sites*', ISA Illinois USA 1995,
- Dr N Matheny & Dr J R Clark, '*Trees & Development*', ISA Illinois USA 1998 ,
- Phillip J Craul, '*Urban Soil in Landscape Design*', J Wiley & Sons, New York USA 1992,
- Clark, Ross, '*A Guide to Assessment of Tree Quality*' NATSPEC/ Construction Information, Milson's Point NSW, 2003 &
- Clark, Ross '*Purchasing Landscape Trees*', Construction Information Systems Australia Pty Ltd , Milson's Point NSW, 1996

10 Selected Bibliography

- Hitchmagh, J D 1994 '*Urban Landscape Management*', Inkata Press, Sydney
- Mattheck, C & Breloar, H (1994) '*Body Language of Trees*'. The Stationery Office London
- A54373.96 '*Pruning of Amenity Trees*', Standards Australia
- BS5837-1991 '*Guide for Trees in Relation to Construction*', Standards Board, UK

Appendix A Glossary

Glossary of common Arboreal terms

Age:	I	<i>Immature</i> refers to a refers to a well-established but juvenile tree
	SM	<i>Semi-mature</i> refers to a tree at growth stages between immaturity & full size
	M	<i>Mature</i> refers to a full sized tree with some capacity for further growth
	LM	<i>Late Mature</i> refers to a full sized tree with little capacity for growth that is not yet about to enter decline
	OM	<i>Over-mature</i> refers to a tree about to enter decline or already declining
	LS	<i>Lwe Stag</i> refers to a tree in a significant state of decline This is the last life stage of a tree prior to death

Hth & Vig Health & Vigour

Health refers to the tree's form & growth habit, as modified by its environment (aspect, suppression by other tree, soils) & the state of the scaffold (ie trunk & major branches), including structural defects such as cavities, crooked trunks or weak trunk/branch junctions These are not directly connected with health & it is possible for a tree to be healthy but in poor condition/vigour **Classes are:**

Excellent (E), V Good (VG), Good (G), Fair (F), Declining (D), Poor (P), Very Poor (VP)

Vigour refers to the tree's growth rate/condition as exhibited by the crown density, leaf colour, presence of epicormic shoots, ability to withstand disease invasion & the degree of dieback. **Classes are:**

Excellent (E), V Good (VG), Good (G), Fair (F), Declining (D), Poor (P), Very Poor (VP)

Useful Life Expectancy (ULE) refers to any individual tree specimens potential life expectancy (viability) based on VTA assessment, three groups are described,

Short = Less than Five years

Medium = Five–Fifteen years

Long = more than Fifteen years

Diameter at Breast Height (DBH) refers to the tree trunk diameter at breast height (1.4 metres above ground level) DBH

Critical Root Zone (CRZ) refers to a radial offset of five (5) times the trunk DBH measured from the centre of the trunk This zone is often the location of the tree's structural support roots

Primary Root Zone (PRZ) refers to a radial offset of ten (10) times the trunk DBH measured from the centre of the trunk This zone often contains a significant amount of (but by no means all of a tree's) fine, non-woody roots required for uptake of nutrients, oxygen & water

Tree Protection Zone (TPZ) is a "No Go Zone" surrounding a tree to aid in its ability to cope with disturbances associated with construction works. Tree protection involves minimising root damage that is caused by activities such as construction. Tree protection also reduces the chance of a tree's decline in health or death & the possibly damage to structural stability of the tree from root damage.

To limit damage to the tree, protection within a specified distance of the tree's trunk must be maintained throughout the proposed development works. No excavation, stockpiling of building materials or the use of machinery is permitted within the TPZ.

Using the *British Standard for Trees on Construction Sites* (BS5837), a TPZ is based on the age of the tree, young, middle aged or mature, the trunk diameter at D B H & the tree's vigour. A TPZ is required for each tree or group of trees within five metres of building envelopes.

Stem/bark inclusion refers to a genetic fault in the tree's structure. This fault is located at the point where the stems/branches meet. In the case of an inclusion this point of attachment is potentially weak due to bark obstructing healthy tissue from joining together to strengthen the joint.

Decay refers to the break down tissues within the tree. There are numerous types of decay that affect different types of tissues, spread at different rates & have different affect on both the tree's health & structural integrity.

Point of Attachment refers to the point at which a stem/branch etc join.

Dead wood refers to any whole limb that no longer contains living tissues (eg live leaves &/or bark). Some dead wood is common in a number of tree species.

Die back refers to the death of growth tips/shoots & partial limbs. Die back is often an indicator of stress & tree health.

One dimensional crown refers to branching habits & leaves that extend/grow in one direction only. There are many causes for this growth habit such as competition & pruning.

Crown Foliage Density of Potential (CFDP) refers to the density of a tree's crown in relation to the expected density of a healthy specimen of the same species. CFDP is measured as a percentage.

Epicormic growth/shoots refers to growth/shoots that are/have sprouted from axillary buds within the bark. Epicormic growth/shoots are a survival mechanism that often indicates the presence of a current or past stress even such as fire, pruning, drought etc.

Over Head Powerlines (OHP) Over head electricity wiring

LVOHP Low Voltage Over head Powerlines

HVOHP High Voltage Over head Powerlines

ABC Aerial Bundled Cable

Appendix B Tree Protection & Management

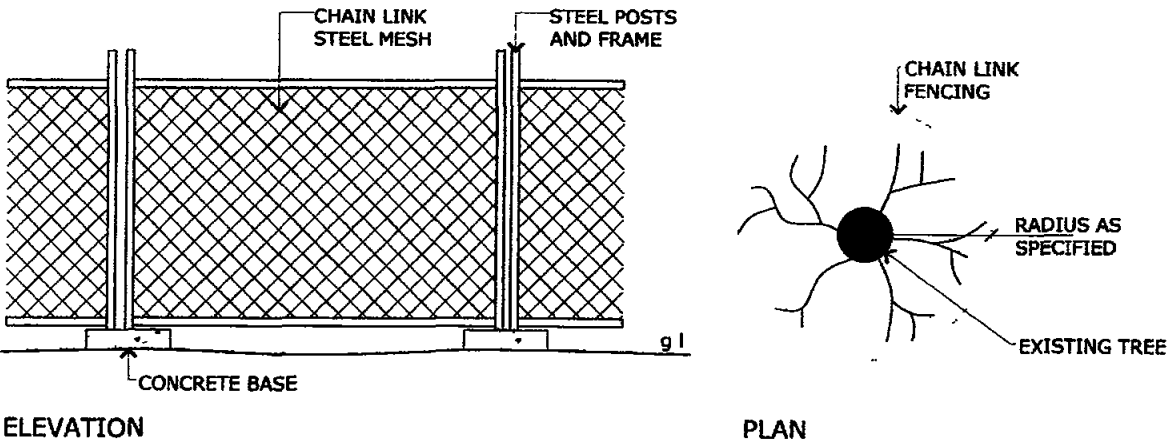
Tree Protection & Management Prior to & During Construction

The installation of Tree Protection Zone (TPZ) fencing is to be carried out prior to commencement of all works. The most suitable fencing material is 1.8m tall chain link mesh with 50mm metal pole supports, see **detail 1: tree protection fencing**

A mulch layer of composted leaf & woodchip to a depth of 75mm is required within the TPZ to aid in retention of soil moisture & to protect soil from contaminants. Water is to be applied by handheld or soaker/leaky hose within TPZ as required & in Accordance with Stage 3 Water Restrictions. Watering is to be carried out by either an Arborist or is to form part of the Builder's/Contractor's contract, with recommended fortnightly checks by an Arborist.

There is to be no stock piling of building material (including waste), machinery or any other item within TPZ of any retained tree. Access to personnel & machinery, & storage of fuel, chemicals, cement or site sheds is prohibited.

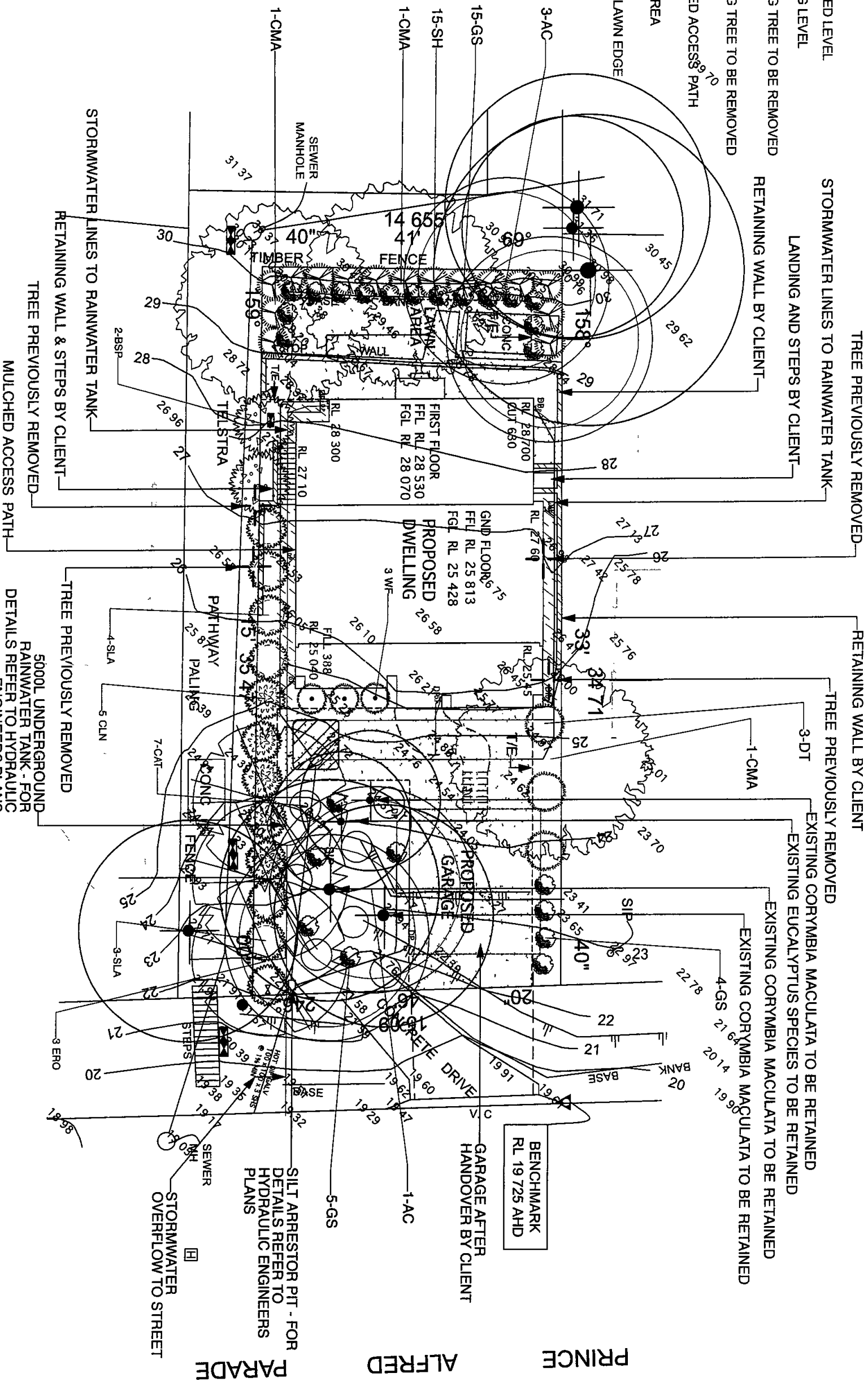
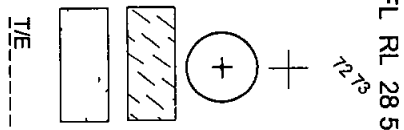
Regular monitoring of protected trees during development works for unforeseen changes or decline, will aid in the success & longevity of the retained trees.



detail 1: tree protection fencing
not to scale

Appendix C Site Survey & Plans, Elevations & Sections

LEGEND



PITVIC COUNCIL CONSTRUCTION CERTIFICATE

Number	CC043161
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	AS TMA
Date	10 JUL 2008

- Notes
- All dimensions and levels shall be verified by Contractor on site prior to commencement of work
 - All detailing of drainage to paved areas shall be by others
 - All levels shall be determined by others and approved on site by client
 - Do not scale from drawings
 - If in doubt contact the Landscape Architect
 - All boundaries shall be surveyed prior to commencement of construction works
 - This plan is for DA purposes only. It has not been detailed for construction
 - All dimensions, levels and boundaries are nominal only
 - This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects

PLANTING SCHEDULE

ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
AC	Angophora costata	Sydney Red Gum	4	45LT	10000	15000
BSP	Banksia spinulosa	Harpin Banksia	2	5LT	3000	3500
CLN	Callistemon linearifolius	Narrow Leaved Bottlebrush	5	5LT	2000	2500
CAT	Cissus antarctica	Kangaroo Vine	7	5lt	1500	1500
CMA	Corymbia maculata	Spotted Gum	3	45lt	10000	30000
DT	Dodonaea triquetra	Hop Bush	3	5LT	2000	2500
ERO	Eucalyptus botryoides	Bangalay Gum	3	5lt	8000	7000
GS	Grevillea sericea	Pink Spider Flower	24	5LT	1000	1200
SLA	Syzgium 'Aussie Compact'	Aussie Compact Lilly Pilly	7	15LT	2000	3000
SH	Syzgium 'Hunchy'	Lillypilly	15	45lt	1500	2500
WF	Westringia fruticosa	Coastal Rosemary	3	5lt	1500	1500



PROPOSED LANDSCAPE PLAN

LOT 108, NO 83 PRINCE ALFRED PDE, NEWPORT

PREPARED FOR
HUXLEY HOMES

DESIGNED BY
A Total Concept Landscape Architects

65 West Street, North Sydney NSW 2060
Design: J Storch Scale: 1:200 JUNE 2008

Outline Landscape Specification

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to approval of Council. Builder shall ensure that a minimum 450mm Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note: it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractor's responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction, stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick for set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Football shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, covering mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto, Buffufo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to return and return councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by Builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to Hills Foldalene.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

- (a) **Recurrent works:** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.
- (b) **Watering:** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.
- (c) **Replacements:** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractor's expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be at paid for by Client at an agreed predetermined rate.
- (d) **Mulched surfaces:** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstaate mulch as necessary to maintain specified depths.
- (e) **Stakes & ties:** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.
- (f) **Lawn areas:** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.
- (g) **Weeding:** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.
- (h) **Pruning:** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.
- (i) **Spraying:** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.
- (j) **Tree Care:** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Notes

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- 2. All detailing of drainage to paved areas shall be by others.
- 3. All levels shall be determined by others and approved on site by client.
- 4. Do not scale from drawings.
- 5. If in doubt contact the Landscape Architect.
- 6. All boundaries shall be surveyed prior to commencement of construction works.
- 7. This plan is for DA purposes only.
- 8. All dimensions, levels and boundaries are nominal only.
- 9. This design shall not be copied, utilised or reproduced in any way without prior written permission of A. Total Concept Landscape Architects.


Amendments

- A.
- B.

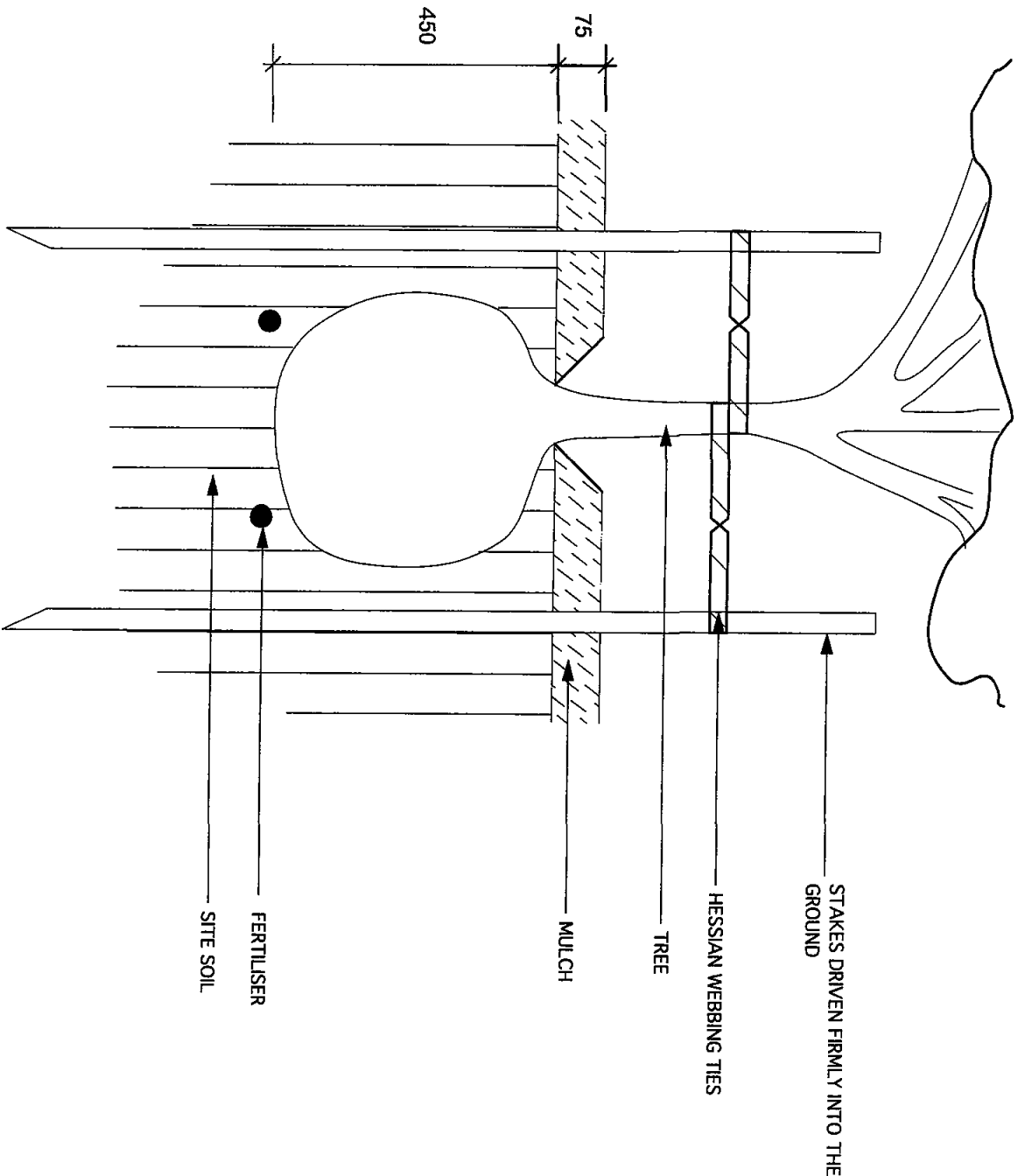
CONSTRUCTION CERTIFICATE

0437/07

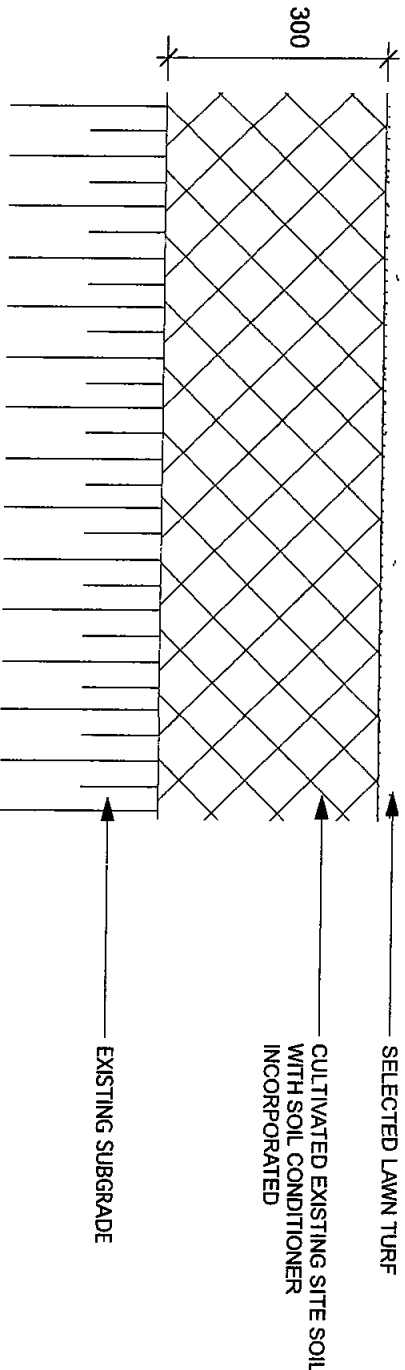
This is a copy of the Construction Certificate issued by the Council of the City of Sydney for the purpose of the Construction Certificate.

Endorsed by  TM A

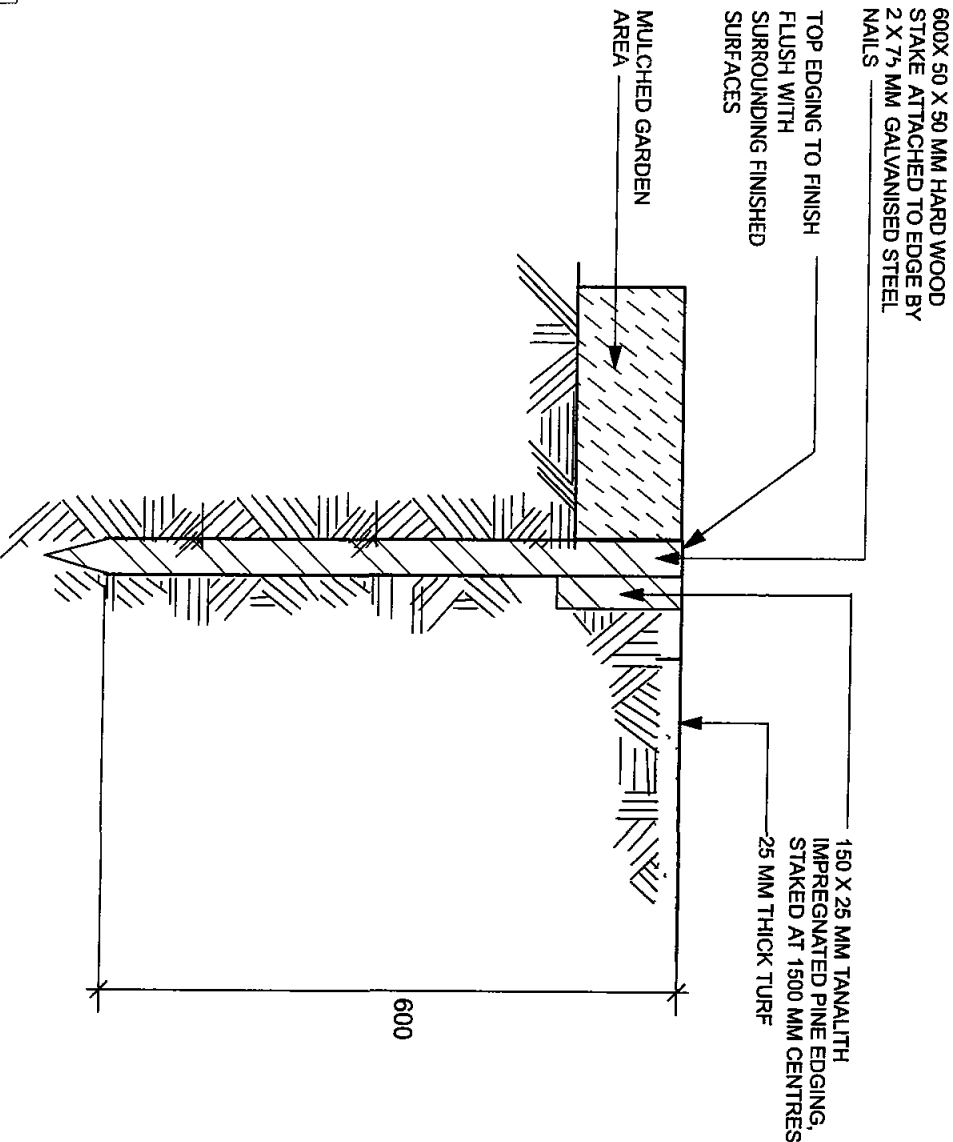
(1) file 10 JUL 2008



TREE STAKING DETAIL
SCALE 1 10



TYPICAL TURF DETAIL
SCALE 1 10



TYPICAL TIMBER EDGE DETAIL
SCALE 1 5
DO NOT SCALE

Notes

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Amendments

A.

A TOTAL CONCEPT LANDSCAPE ARCHITECTS	
Project No.	043101
This is a copy of submitted plans, documents or calculations, associated with the issue of the Concept Development Application etc.	
Approved by	TMA.
Date	10 JUL 2008

LANDSCAPE DETAILS

LOT 108, NO 83 PRINCE ALFRED PDE, NEWPORT

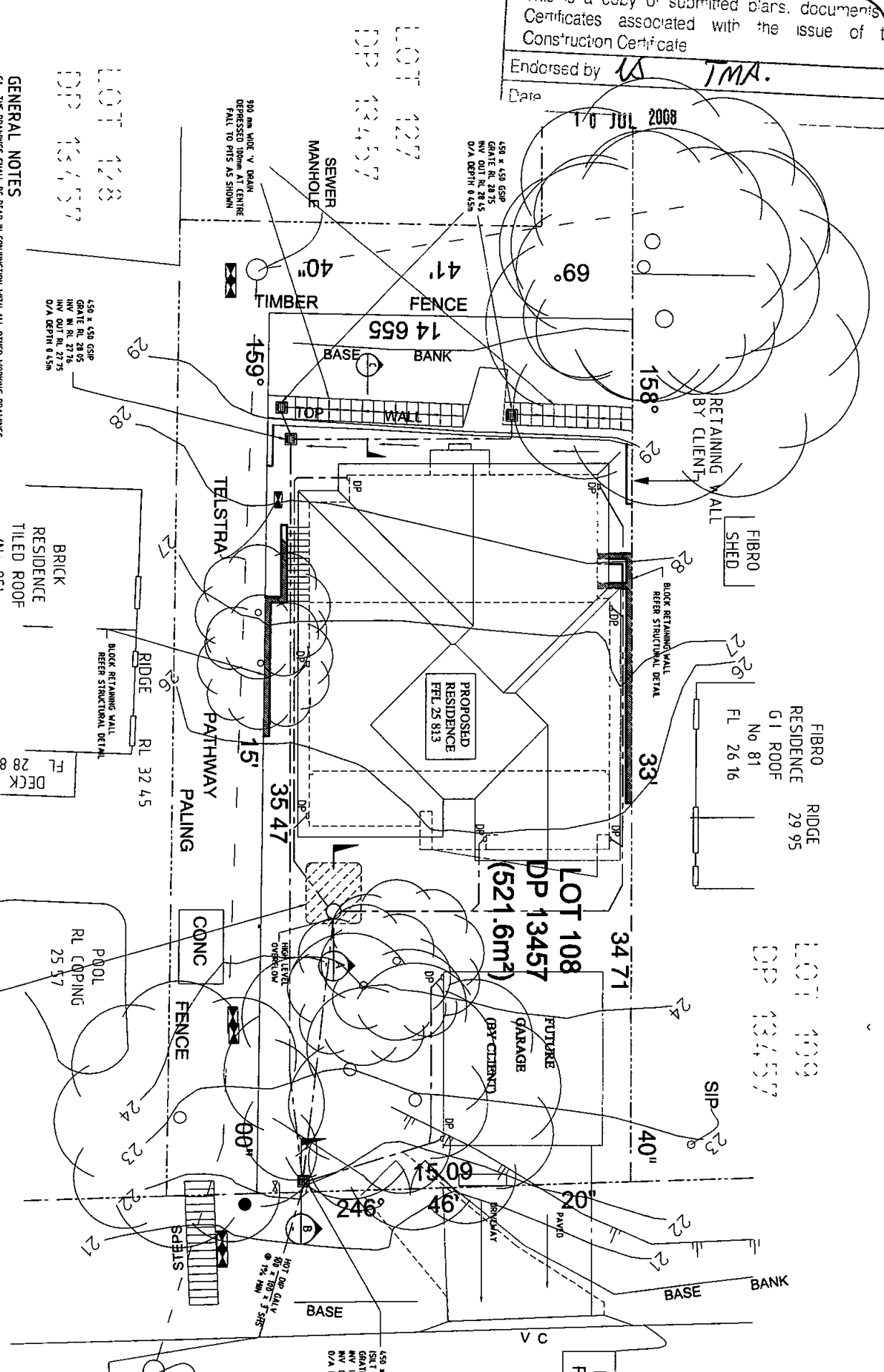
PREPARED FOR
HUXLEY HOMES

DESIGNED BY
**A Total Concept
Landscape Architects**

65 West Street, North Sydney NSW 2060
Design: J Storch Scale: AS SHOWN

JUNE 2008

CITY OF AUCKLAND CONSTRUCTION CERTIFICATE
 Number **CC0437/07**
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate
 Endorsed by **LS TMA**
 Date **10 JUL 2008**

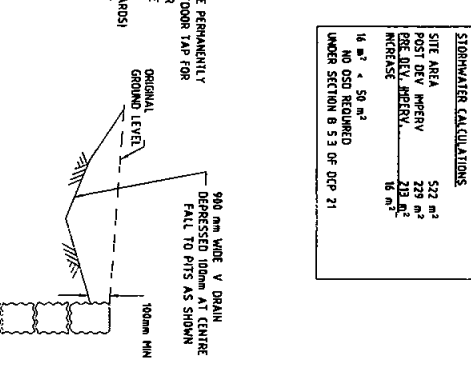
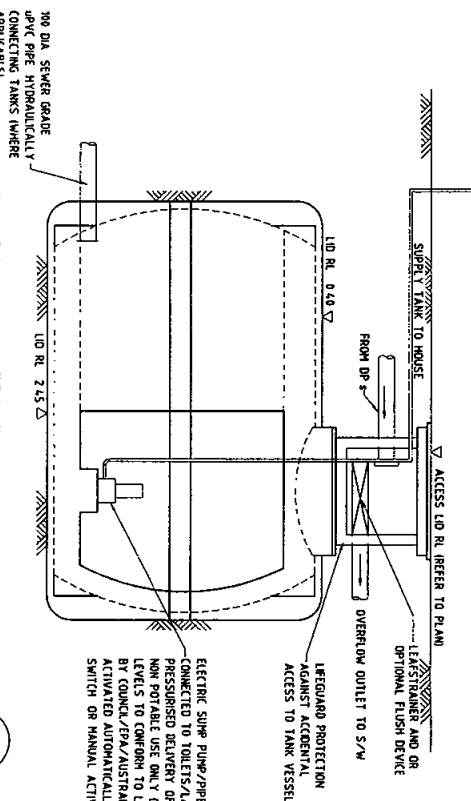


- GENERAL NOTES**
- THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 - ALL STRUCTURAL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF SITE WORK SHALL BE OBTAINED BEFORE CONSTRUCTION AND/OR FABRICATION IS COMMENCED.
 - DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
 - DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
 - ALL PITS ORCE PLANTS FILL VALVES ETC SHALL BE IN ACCORDANCE WITH HYDRAULIC DRAWINGS.

- CONCRETE NOTES**
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 3600 AND OTHER RELEVANT CODES.

- STORMWATER NOTES**
- ALL DRAINAGE PIPES TO BE 100mm SLOPE 1% MIN FALL UNO FOR DRAINAGE OF CONSTRUCTION. REFER DETAIL 1 FOR DRAINAGE OF CONSTRUCTION.
 - ALL DRAINAGE PIPES TO BE PROVIDED ALONG LOWER BOUNDARIES OF LOT 108 DP 13457.
 - STORMWATER DRAINAGE HAS BEEN DESIGNED IN ACCORDANCE WITH METHODS SET OUT IN AUSTRALIAN RAINFALL AND RUNOFF (1987).

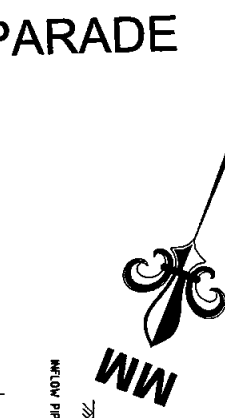
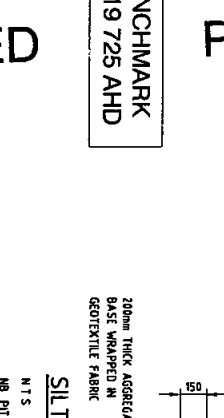
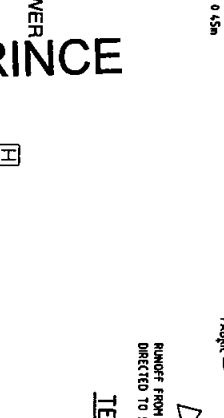
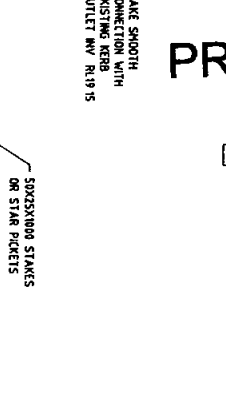
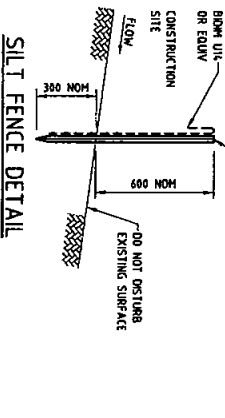
- EROSION CONTROL NOTES**
- EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.
 - REHABILITATION INCLUDES COMPLETION OF ALL CONSTRUCTION WORK AND LANDSCAPING SEEDING OR TURFING OF ALL BATTERS AND FILL AREAS.
 - A PROGRAM OF PROGRESSIVE REHABILITATION SHOULD BE IMPLEMENTED TO MINIMIZE EROSION.
 - THE NEAREST COUNCIL PIT SHALL BE PROTECTED WITH SAND BAG SEGMENT TANKS AND TRAFFIC BARRIERS ACCORDING TO AS 1742.3. THIS ONLY ONE CONSTRUCTION FENCE/STAY SHALL BE USED DURING CONSTRUCTION.
 - DURING WET WEATHER HAND IS TO BE NOSED OFF ON THE RAMP PRIOR TO VEHICLES LEAVING THE SITE.
 - EXTRA DIRT BALES TO BE STORED AT SITE FOR THE USE OF ANY OPEN TRENCHES.
 - STORMWATER TRAPS SHALL BE INSPECTED AFTER EACH STORM CLEAN OR REPAIRS IF NECESSARY.
 - BALE BARRIERS TO BE REMOVED FOLLOWING COMPLETION OF ALL CONSTRUCTION WORKS. PAVEMENT AND LANDSCAPING AREAS WITH COUNCIL APPROVAL.



STORMWATER CALCULATIONS

SITE AREA	522 m²
POST DEV. IMPERV.	212 m²
PER. DEV. IMPERV.	18 m²
100mm SLOPE	100mm SLOPE
UNDER SECTION B 5.3 OF DCP 21	

- LEGEND**
- EXISTING CONDITIONS
 - PROPOSED DOWNPIPE (100mm/90 DIA UNO) REFER DETAILS
 - PROPOSED PIPES
 - DIRECTION OF FALL (1% MIN UNO)
 - PROPERTY BOUNDARY
 - INSPECTION RISER/ CLEANING EYE DIA TO MATCH PIPE
 - WITH SCREENCAP LID
 - EXISTING SPOT LEVEL
 - PROPOSED SPOT LEVEL
 - PROPOSED GRADED SURFACE INLET PIT (650mm)
 - PROPOSED JUNCTION PIT (100mm)



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APPROVED
 Robert Colombo MBE/Architect/ENGINEER
 R.P.E. 03679
 EC 226 Structural Engineer
 DATE: 10 JUL 2008
 DESIGN: AS SHOWN
 DRAWN: 19022
 SHEET NO: 1
 REV: B

D AMICI COLOMBO PTY LTD
 Consulting Structural Engineers
 Unit 11, Second Floor, 42 B. Road, Lorne 3141
 Tel: (07) 9646 5811 Fax: (07) 9646 7231
 Email: damici@damicolombopty.com.au

BASIX NOTES

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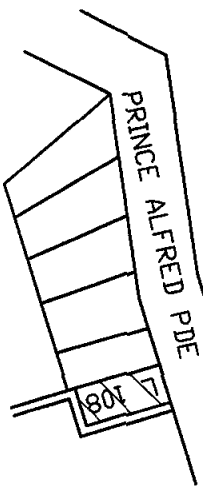
WINDOW SCHEDULE (STUD OPENINGS)			
ID	CODE	HEIGHT (mm)	WIDTH (mm)
W01	DF2	2100	1695
W02	CUSTOM	2100	2715
W03	ASF0909	987	897
W04	ASF1218	1245	1845
W05	CUSTOM	2100	2715
W06	CUSTOM	2100	2715
W07	ABF2261/4L3R	2125	6065
W08	LOUVRE	1854	654
W09	ASF1016	1074	1604
W10	DF1	2100	880
W11	LOUVRE	1854	897
W12	ASD2126/3R	2125	2688
W13	ASF1809T	1854	897
W14	LOUVRE	1854	654
W15	AA0806	987	654
W16	LOUVRE	1854	654

LOCALITY SKETCH

U B D
REFERENCE

LOCALITY SKETCH

U B D
REFERENCE: P 118, H8



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PROPOSED BRICK VENEER RESIDENCE AT LOT 108 No 83 PRINCE ALFRED PDE NEWPORT BEACH FOR MS NICHOLLS D P 13457		DESIGN AR, JH (SRP) FACADE JOB NO 23225	
		REV 1 SCALE --- SHEET NO 1	

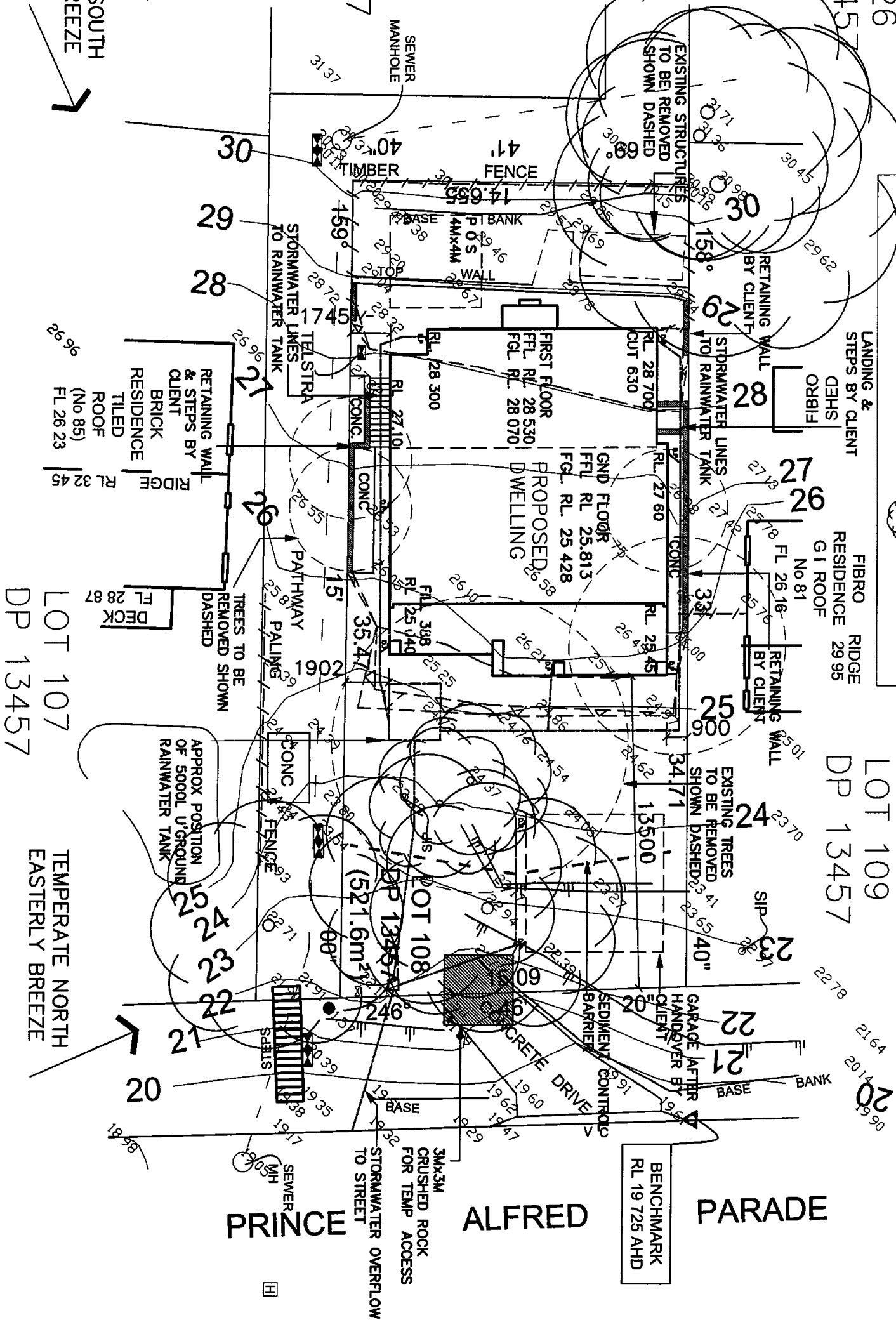
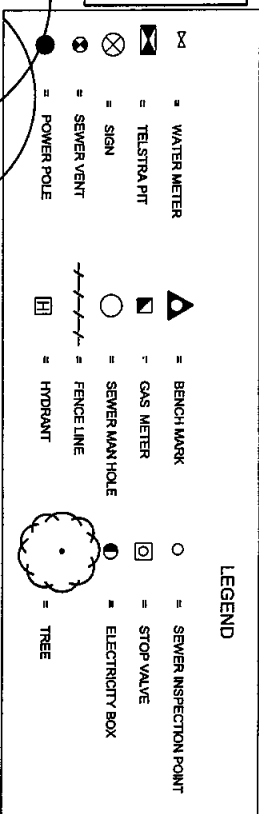
DEMOLITION OF EXISTING HOUSE, GARAGE, SLABS, FOOTINGS, PATHS, TREES, GRUB OUT ROOTS, SHRUBS, GRASS INCLUDING THE DISCONNECTION OF ALL SERVICES AND THE REMOVAL OF ALL DEMOLITION CONTAMINANTS FROM THE SITE BY OWNER

LOT 126
DP 13457
COLD
SOUTHERLY
WINDS

SITE CALCULATIONS
SITE AREA. 521.6m²
BUILT UPON AREA MAX 50%
OR 260.80 m²
PROVIDED: 193.79m² OR 37.2%
L'SCAPE AREA MIN 50%
OR 260.80m²
PROVIDED: 306.10 OR 58.7%
P O S MIN 80m²
(MIN DIM. 3m)
PROVIDED: 131.15m²
(INCLUDES 1ST FLOOR BALCONY)

LOT 128
DP 13457
TEMPERATE SOUTH
EASTERLY BREEZE

LOT 127
DP 13457



SITE PLAN

Member
CC043107
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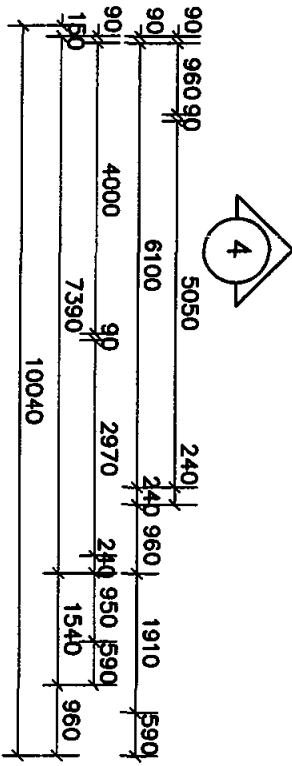
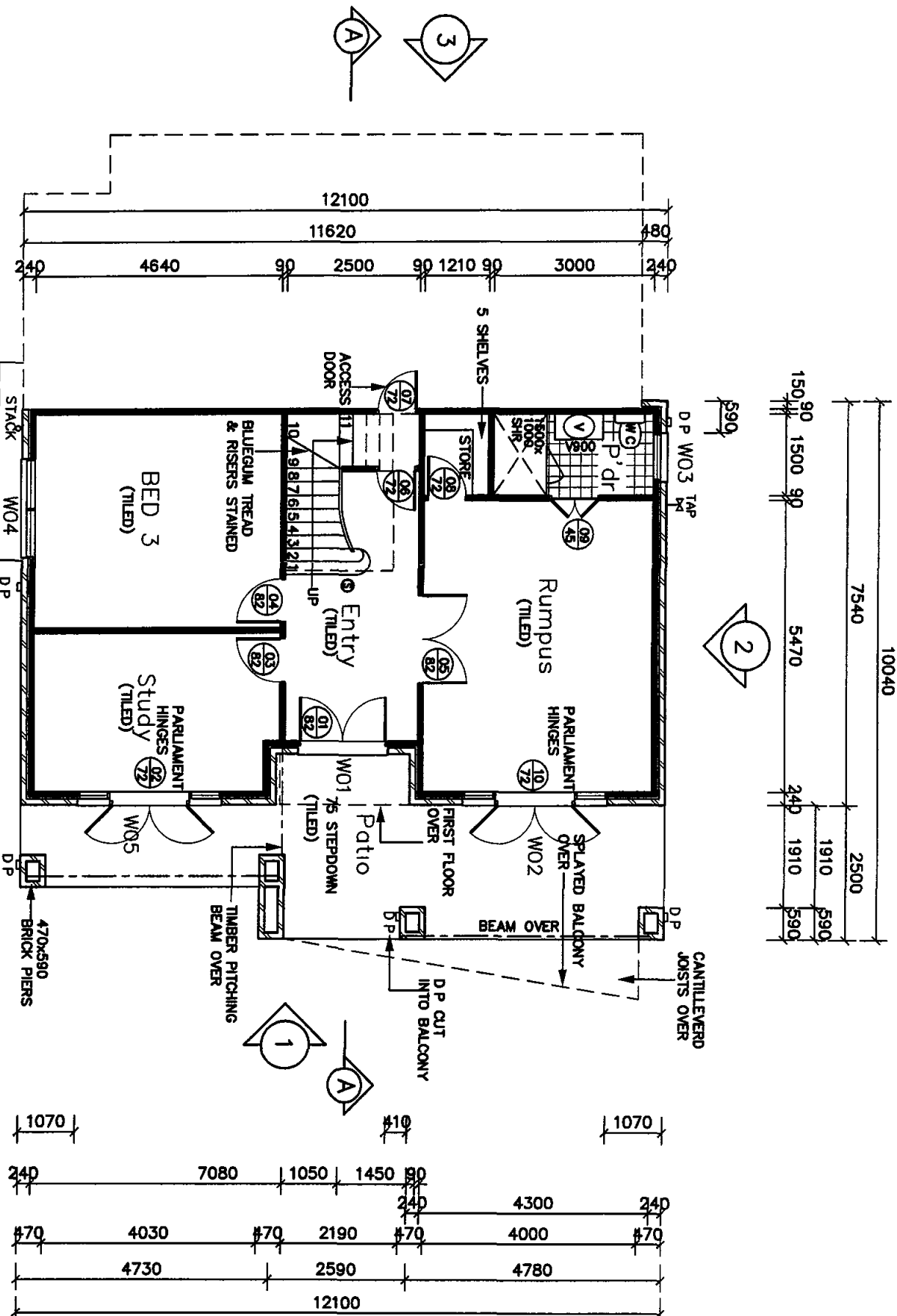
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Parramatta NSW 2150
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SOIL CLASSIFICATION
TERRAIN CATEGORY 3 (M2)
TOPOGRAPHICAL MULTIPLIER (M)
WIND DESIGN VELOCITY (V2)

PROPOSED BRICK VENEER RESIDENCE
AT LOT 108 No 83 PRINCE ALFRED PDE
FOR MS NICHOLLS
D P 13457

DESIGN ARJH (SRP)
REVISION H
SCALE 1:200
JOB NO 23225
SHEET NO 3

Ⓢ = SMOKE DETECTOR

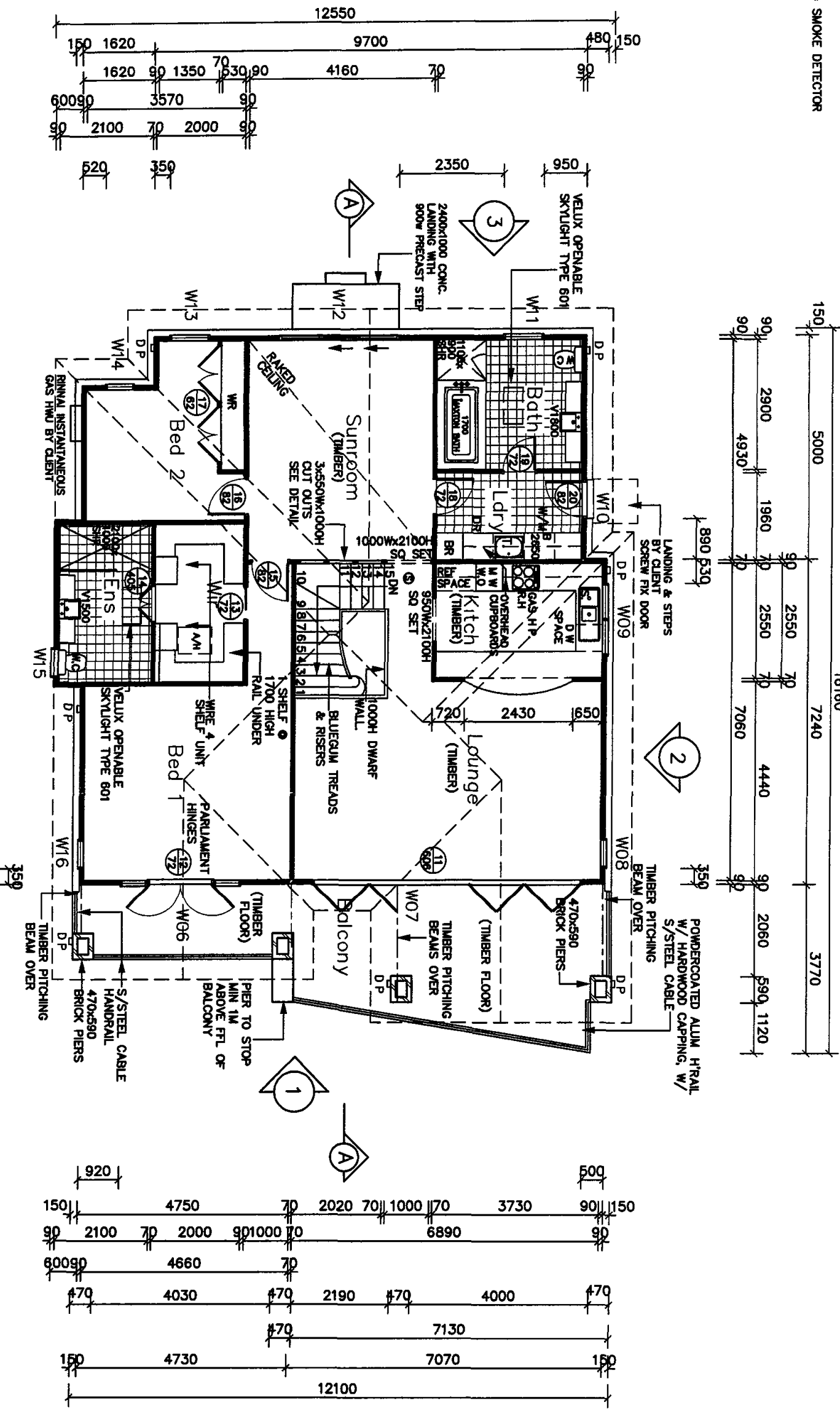


000437/01
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Date **10 JUL 2008**

GROUND FLOOR PLAN

AREAS		WARNING		PROPOSED BRICK VENEER RESIDENCE		DESIGN		REV	
GND FLOOR	87 Obsqnm	© copyright Huxley Homes Pty Ltd Reproducing or copying of these plans wholly or in part without prior permission will result in court proceedings		AT		AR,JH (SRP)		H	
FIRST FLOOR	142.50 sqm			LOT 108 No 83 PRINCE ALFRED PDE					
PATIO	28.34 sqm			NEWPORT BEACH					
BALCONY	31.48sqm			FOR MS NICHOLLS					
TOTAL	289.40 sqm	HUXLEY HOMES PTY LTD		D P		JOB NO		SHEET NO	
<div>HUXLEY HOMES</div> <div>Building Lasting Relationships</div>		ABN 41106443216		SOIL CLASSIFICATION		23225			
		Licenced Builder No 155010C		TERRAIN CATEGORY 3 (M2)					
		10 Phillip Street		TOPOGRAPHICAL MULTIPLIER (M)					
		Paranahia NSW 2150		WIND DESIGN VELOCITY (Vz)					
		Ph (02)98429888 Fax (02)98429890							

⊗ = SMOKE DETECTOR



NOTE
* PROVIDE SELECT GRADE 80mm TONGUE AND GROOVE TIMBER FLOORING TO KITCH, FAMILY AND SUNROOM

* PROVIDE PLUMBING, GAS AND ELEC CONNECTION POINTS FOR OWNER TO SUPPLY AND INSTALL A RINNAI HWS AFTER HANDOVER

FIRST FLOOR PLAN

10 JUN 2008 CONSTRUCTION CERTIFICATE
Number CC 0431/01

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Date 10 JUL 2008

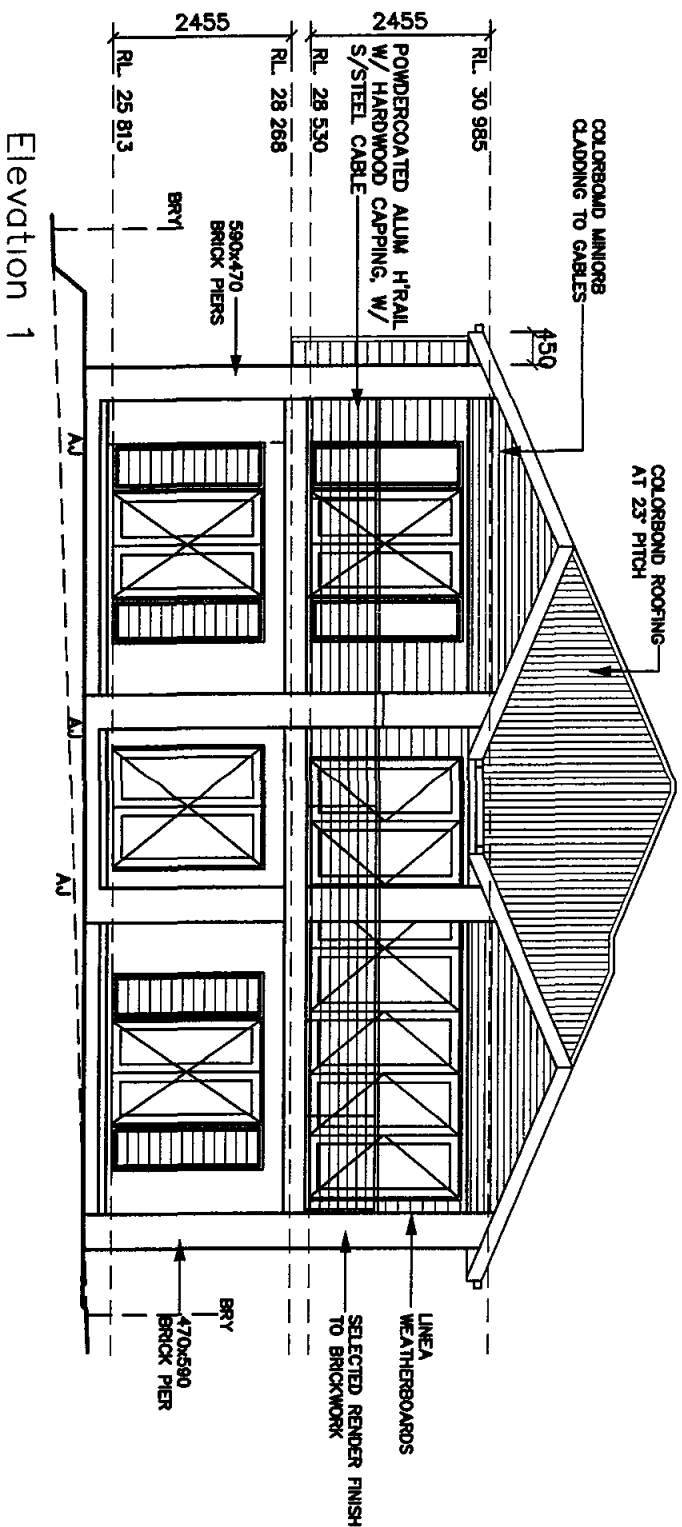
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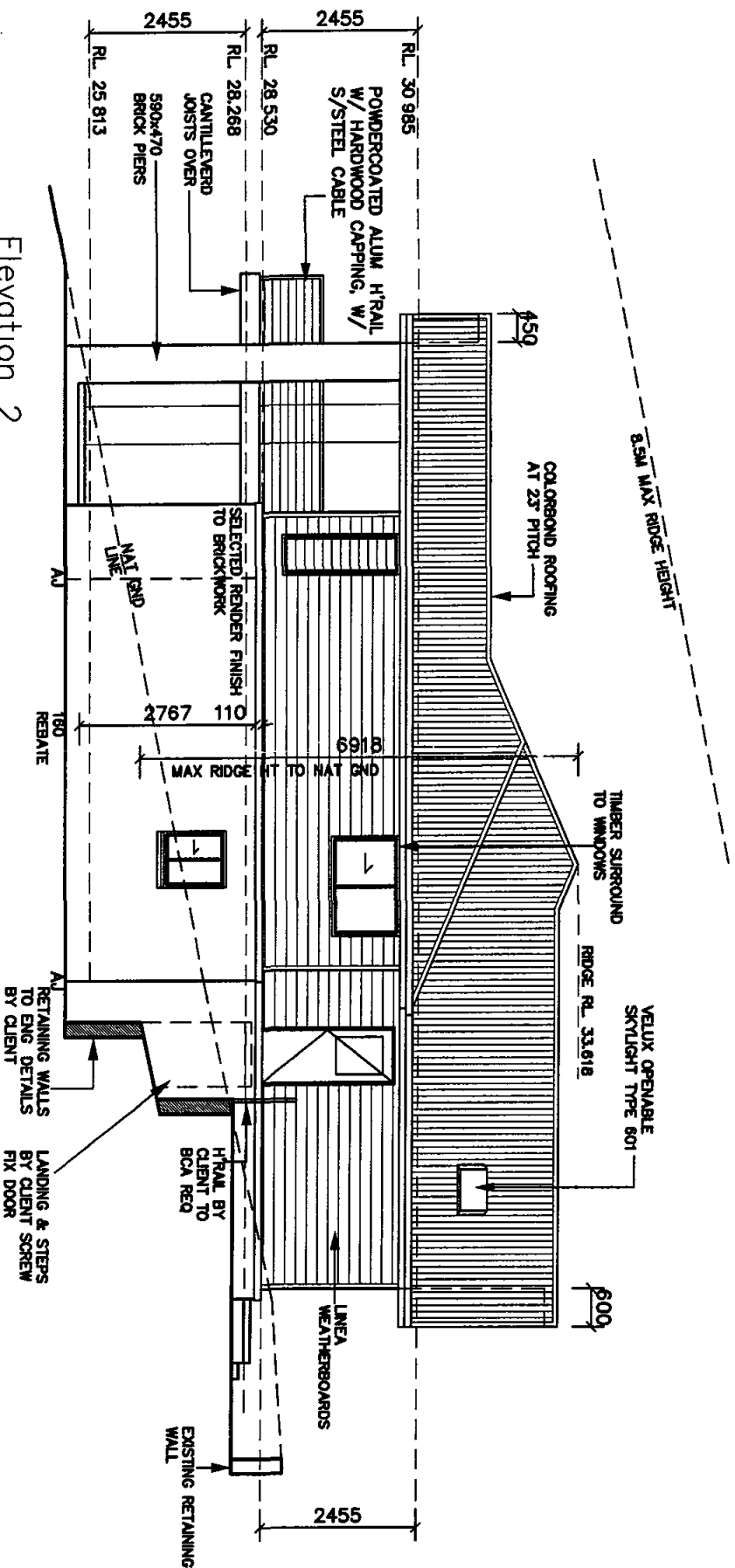
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10 Phillip Street
Parramatta NSW 2150
Ph: (02)99429888, Fax: (02)99429890

SOIL CLASSIFICATION
TERRAIN CATEGORY 3 (M2)
TOPOGRAPHICAL MULTIPLIER (M1)
WIND DESIGN VELOCITY (V2)

DESIGN	REV
PROPOSED BRICK VENEER RESIDENCE AT LOT 108 NO 83 PRINCE ALFRED PDE NEWPORT BEACH FOR MS NICHOLLS	1
ARJH (SRP)	SCALE
100	SHEET NO
23225	5



Elevation 1



Elevation 2

ELEVATIONS

CC 0437107

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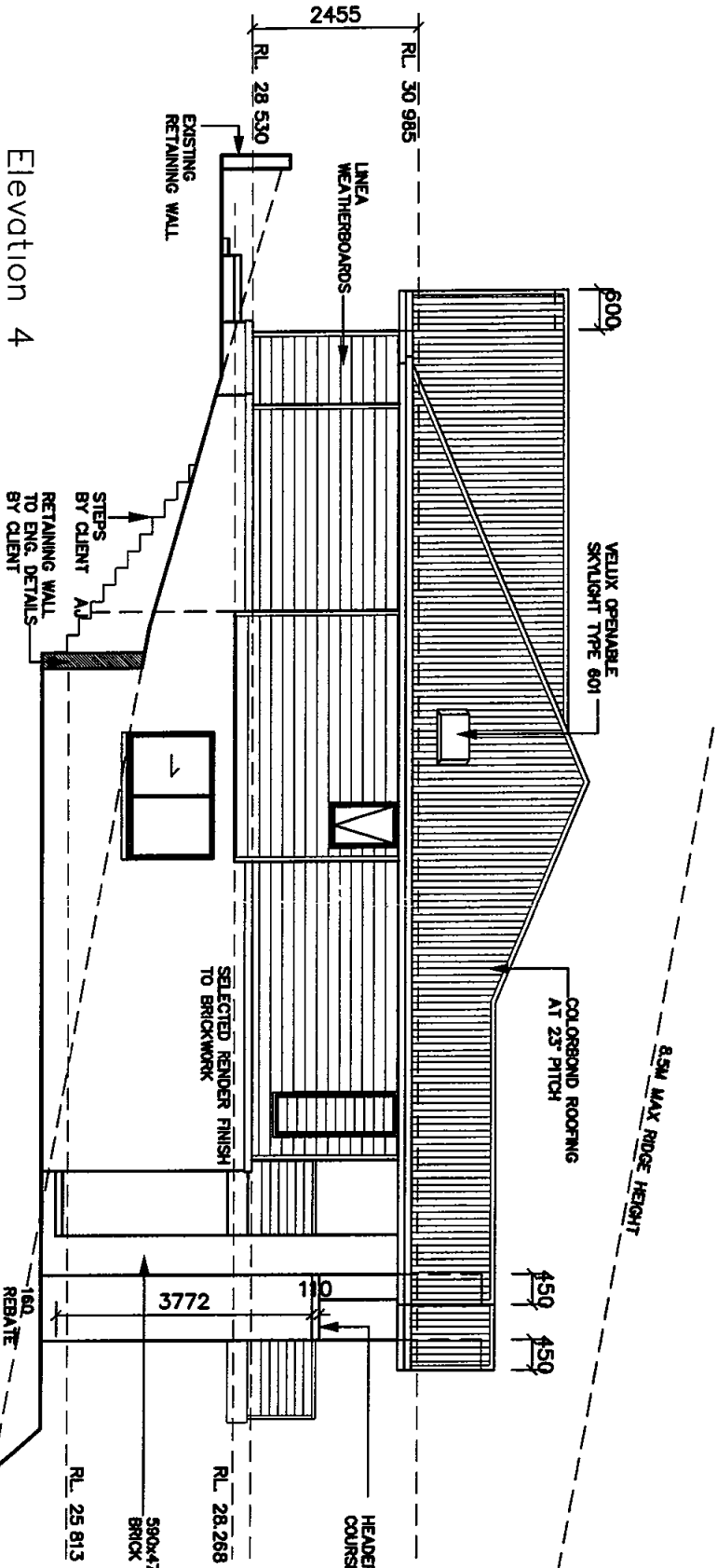
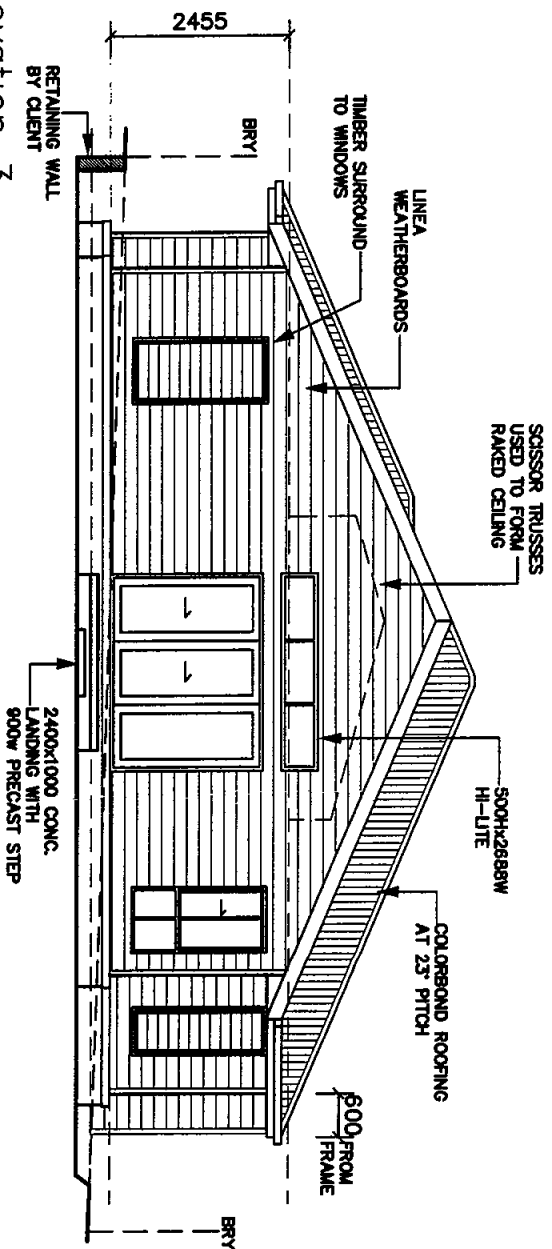
HUXLEY HOMES PTY LTD
ABN 41106443216
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10 Phillip Street
Paramatta NSW 2150
Ph (02)98429888 Fax (02)98429890

PROPOSED BRICK VENEER RESIDENCE

AT LOT 108 No 83 PRINCE ALFRED PDE
NEWPORT BEACH
FOR MS NICHOLLS
D P 13457

DESIGN	REV
AR,JH (SRP)	H
FAÇADE	SCALE
JOB NO	SHEET NO
23225	6

Elevation 3



ELEVATIONS

Elevation 4

CONSTRUCTION CERTIFICATE

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HUXLEY HOMES

Building Lasting Relationships

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SOL CLASSIFICATION TERRAIN CATEGORY 3 (M2) TOPOGRAPHICAL MULTIPLIER (M1) WIND DESIGN VELOCITY (V2)				JOB NO 23225		SHEET NO 7	

BASIX NOTES

WATER COMMITMENTS

FIXTURES

- * PROVIDE '3 STAR RATING' TAPS TO THE BASINS, VANITIES OR SHOWER HEADS AS PER THE DETAILED SPECIFICATION
- * PROVIDE TOILETS WITH '4 STAR RATING' CAROMA COSMO PAN AND COSMO CISTERN
- * PROVIDE KITCHEN SINK MIXER WITH '3 STAR RATING'

ALTERNATIVE WATER

- * PROVIDE 500L UNDERGROUND RAINWATER TANK INCLUDING, DIGGING HOLE, BACK FILLING OF TANK, TANK, FLOAT SWITCH, AUTOMATIC MAINS WATER BACKUP CONTROL UNIT, UNDERGROUND FIRST FLUSH SYSTEM, IN LINE WATER FILTER AND SUBMERSIBLE PRESSURE PUMP AND THERE CONNECTION TO TANK UNIT
- * RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 19.3 Sqm OF THE ROOF AREA OF THE DEVELOPMENT (EXCLUDING THE AREA OF THE ROOF WHICH DRAINS TO ANY STORMWATER TANK OR PRIVATE DAM)
- * PROVIDE CONNECTION FOR THE RETICULATION OF RECYCLED WATER, INCLUDING THE CONNECTION POINT FOR A BACK UP POTABLE WATER CONNECTION TO THE WASHING MACHINE STOP TAPS, TOILET FLUSHING AND FRONT AND REAR EXTERNAL TAPS COMPLETE WITH ONE WEATHERPROOF SINGLE POWER POINT FOR WATER TANK CONTROL UNIT ON A DEDICATED SINGLE PHASE CIRCUIT

Thermal Comfort Commitments

- * THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE, & IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR A COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS

CROSS VENTILATION

- * THE COMMITMENT BELOW APPLIES TO THE FOLLOWING ROOMS OR AREAS OF A DWELLING WHICH COMPRISE A BREEZE PATH FOR THE DWELLING
 - BREEZE PATH 1 WITHIN MAIN LIVING AREA
 - BREEZE PATH 2 BEDROOM 1 TO OTHER LIVING AREA
- * THE APPLICANT MUST CONSTRUCT THE DWELLING SO THAT AT LEAST 1 VENTILATION OPENING IS PROVIDED IN EACH SUCH ROOM OR AREA (IF ONLY 1 ROOM OR AREA OF A DWELLING IS MENTIONED FOR A BREEZE PATH, THEN THAT ROOM OR AREA MUST HAVE AT LEAST 2 VENTILATION OPENINGS)
- * THE 2 VENTILATION OPENINGS MUST BE LOCATED AS FOLLOWS
 - BREEZE PATH 1 OPPOSITE EXTERNAL WALLS
 - BREEZE PATH 2 OPPOSITE EXTERNAL WALLS
- * THE 2 VENTILATION OPENINGS MUST MEET THE FOLLOWING SPECIFICATIONS
 - (a) NOT BE MORE THAN 15 METRES APART,
 - (b) BE AT LEAST 1sqm IN SIZE, AND
 - (c) HAVE ONLY 1 DOORWAY, OR OPENING LESS THAN 2sqm IN SIZE, LOCATED IN THE DIRECT PATH BETWEEN THEM

ENERGY COMMITMENTS

HOT WAIVER

- * RINNAI INSTANTANEOUS GAS HWU BY CLIENT AFTER HANDOVER (5 STAR,

COOLING/HEATING SYSTEM

- * THE LIVING/BEDROOMS MUST NOT INCORPORATE ANY COOLING OR HEATING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE SUCH A SYSTEM

VENTILATION

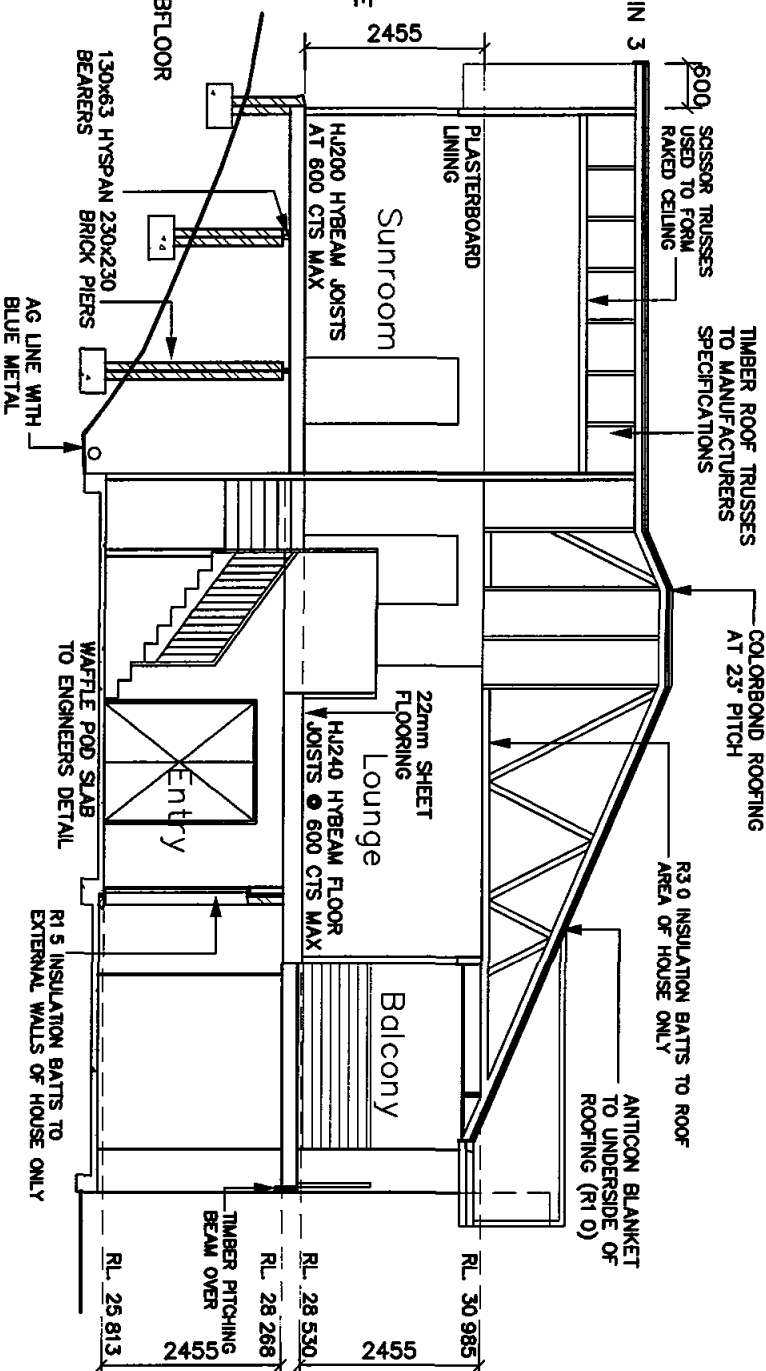
- * THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT
 - AT LEAST 1 BATHROOM INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH ON/OFF
 - KITCHEN RANGEHOOD TO BE RECIRCULATING WITH MANUAL
 - LAUNDRY NATURAL VENTILATION ONLY
- * PROVIDE 2 NO. WHIRLY BIRD ROOF VENTILLATORS IN POWDERCOATED FINISH IN COLOUR TO MATCH ROOF CLADDING WITH 4 NO. TORCO 250x250 SNAP IN EAVE VENTS, ALL TO BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS.

NATURAL LIGHTING

- THE APPLICANT MUST INSTALL A WINDOW &/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING
- THE APPLICANT MUST INSTALL A WINDOW &/OR SKYLIGHT IN THE DEVELOPMENT

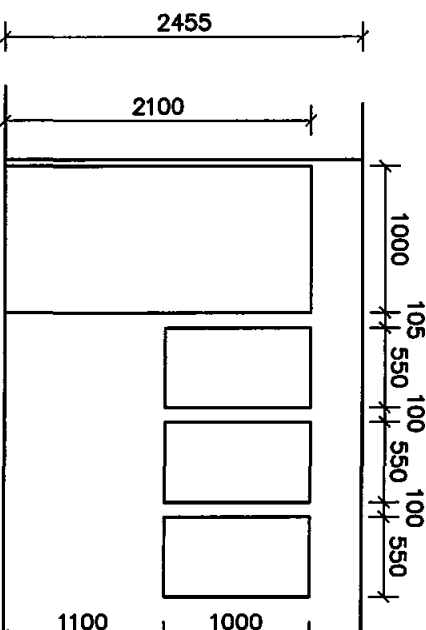
OTHER

- * GAS COOKTOP AND ELEC OVEN
- * THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS WELL VENTILATED, AS DEFINED IN THE BASIX
- * THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT
- * MEDIUM WALL AND DARK ROOF COLOURS
- * PROVIDE ANTI-CONDENSATION BLANKET (R1 0) TO UNDERSIDE OF ROOFING (INCLUDING ANTI-FLAP BOARDS) IN LIEU OF STANDARD & ABOVE THE BCA
- * PROVIDE RP3-AUTOMATIC WEATHER SEAL/DRAUGHT EXCLUDER TO ALL SINGLE EXTERNAL HINGED DOORS & INTERVAL ACCESS FROM THE GARAGE EXTERNAL HINGED DOORS WITH RP61-DRAUGHT EXCLUDER PILE WEATHER STRIP (GRAY SELF ADHESIVE) TO THE STILES & HEAD
- * R1 0 INSULATION BATTS TO FLOOR BETWEEN HOUSE AND SUBFLOOR
- * R1 5 INSULATION TO WALL BETWEEN HOUSE AND SUBFLOOR
- * R3 0 INSULATION TO CEILINGS OF LIVING AREAS



Section A-A

R1 0 INSULATION BATTS TO FLOOR OVER
SUBFLOOR AREA UNDER BED 2, SUNROOM
BATHROOM, W C AND LAUNDRY

















Sunroom openings
SCALE 1/50

1 JUN 2008

SECTIONS











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DESIGN AR, JH (SRP)		REV J		SCALE 1:100	
FAÇADE -----		JOB NO 23225		SHEET NO 8	





	=	WATER METER		=	BENCH MARK
	=	TELESTRIP		=	GAS METER
	=	SIGN		=	SEWER MAN HOLE
	=	SEWER VENT		=	FENCE LINE
	=	POWER POLE		=	HYDRANT
				=	SEWER INSPECTION POINT
				=	STOP VALVE
				=	ELECTRICITY BOX
				=	TREE




10 JUL 2008

SHEET NO
15

	=	WATER METER
	=	TELSTRA PIT
	=	SIGN
	=	SEWER VENT
	=	POWER POLE
	=	BENCH MARK
	=	GAS METER
	=	SEWER MAN HOLE
	=	FENCE LINE
	=	HYDRANT

LEGEND		
	=	SEWER INSPECTION POINT
	=	STOP VALVE
	=	ELECTRICITY BOX
	=	TREE

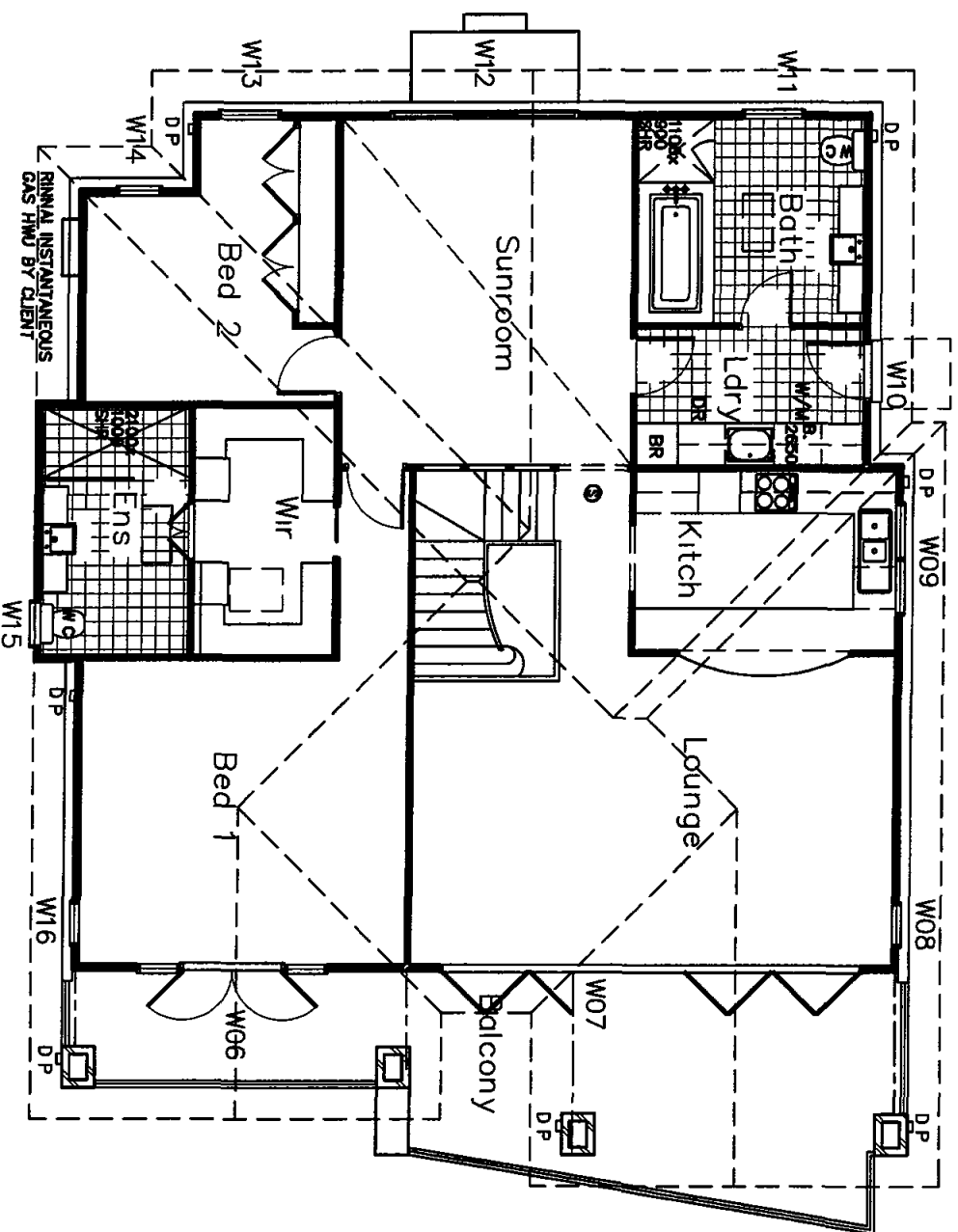
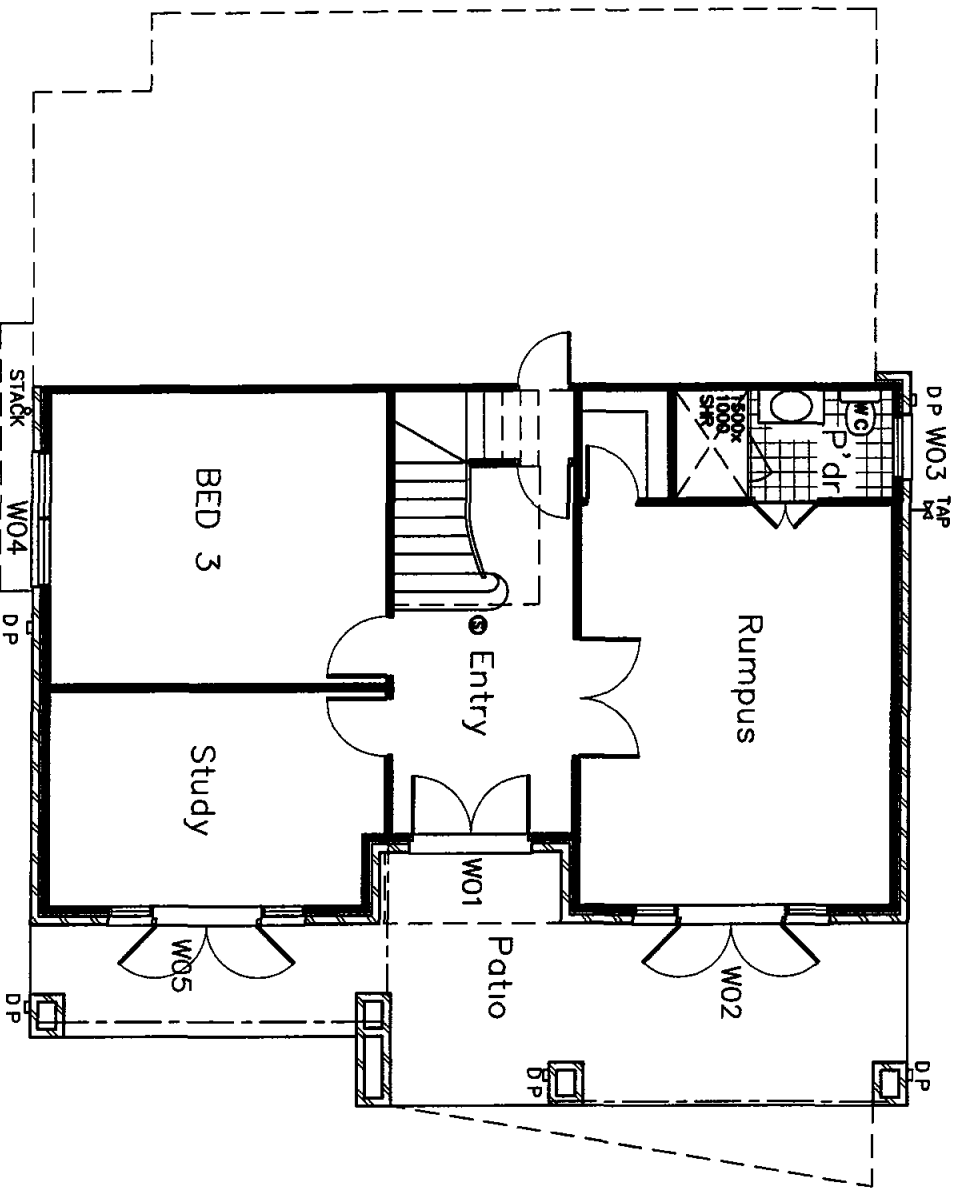


LOT 109
DP 13457

LOT 107
DP 13457

PROPOSED BRICK VENEER RESIDENCE	DESIGN	REV
AT LOT 108 No 83 PRINCE ALFRED PDE NEWPORT BEACH	AR,JH (SRP)	G
FOR MS NICHOLLS	FACADE -----	SCALE 1/200
D P 13457	JOB NO	SHEET NO
	23225	16

- * RINNAI INSTANTANEOUS GAS HWU BY CLIENT AFTER HANDOVER
- * RECIRCULATING RANGEHOOD TO KITCHEN WITH MANUAL ON/OFF SWITCH
- * GAS COOKTOP AND ELEC OVEN



(STAIRS)

ELECTRICAL LAYOUT

NTWA, THE COUNCIL CONSTRUCTION CERTIFICATE

Number CC 0437/08

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Date 10 JUL 2008

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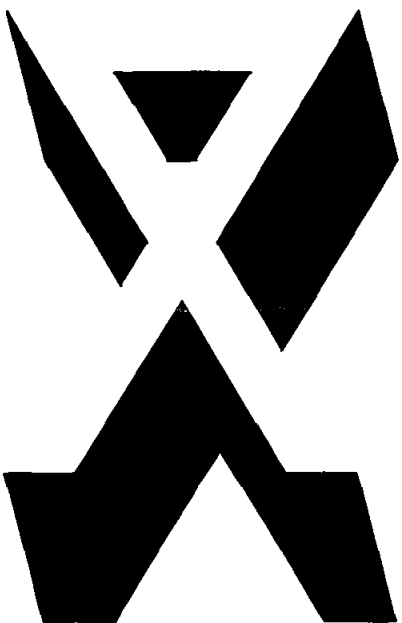
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SOL CLASSIFICATION
TERRAIN CATEGORY 3 (Nz)
TOPOGRAPHICAL MULTIPLIER (M)
WIND DESIGN VELOCITY (Vz)

PROPOSED BRICK VENEER RESIDENCE
AT LOT 108 No 83 PRINCE ALFRED PDE
NEWPORT BEACH
FOR MS NICHOLLS
D P 13457

DESIGN	REV
AR,JH (SRP)	G
FACADE	SCALE
JOB NO	1 100
23225	SHEET NO
	17



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CONSULTING STRUCTURAL ENGINEERS

A.C.N. 055 912 733


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Tel: (02) 9646 5811 • Fax: (02) 9646 2311

email:damcol@damcol.com.au

www.damcol.com.au

STRUCTURAL FOUNDATION CERTIFICATE	
Number	CC 0437/08
This is a copy of submitted plans documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	JS TMA
Date	10 JUL 2008

					TITLE: RESIDENTIAL ADDRESS Lot 108 No.83 Prince Alfred Pde, Newport Beach. NSW CLIENT: HUXLEY HOMES	APPROVED BY: <div>Robert Colombo MIE Australia CP Eng NPER R P E Q 5879</div> <div> EC-2226 Structural Engineer</div>			JOB No: 19022 TOTAL No OF SHEETS: 19	
A	SLAB AMENDED PG 4	21 02 08								
	ISSUED FOR CONSTRUCTION	04 10 07								
REV.	DESCRIPTION	DATE	APP.				CLIENT REF: 23225	DRAWN: M P	DATE: 04 10 07	SHEET No: 1
AMENDMENTS										

* OWNER The owner is responsible for maintenance of building and site (follow link on our website "www.damcol.com.au" for the CSIRO "Guide to Home Owners on Foundation Maintenance and Performance")

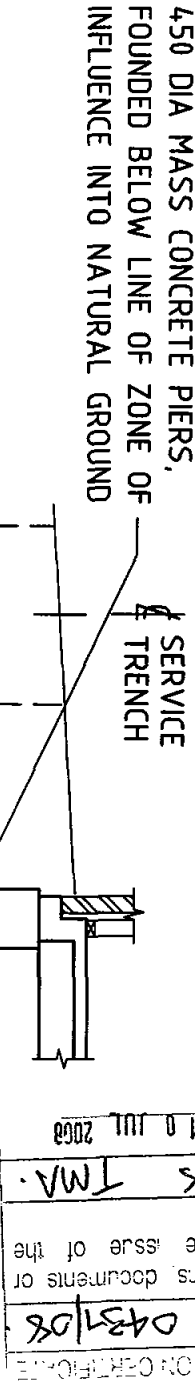
GENERAL NOTES

- G.1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G.2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G.3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- G.4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G.5 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE SA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G.6 THE STRUCTURAL ELEMENTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES CONCRETE - AS 3600
FOOTING - AS 2870

FOUNDATIONS AND FOOTINGS

- F.1 FOOTINGS HAVE BEEN DESIGNED FOR A UNIFORM BEARING PRESSURE OF 100 kPa FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE FOOTINGS.
- F.2 THE SITE IS CLASSIFIED AS 'P' IN ACCORDANCE WITH GEOTECH. REPORT No. E71200 WE DISCLOSE THAT WE HAVE NOT VERIFIED THIS REPORT AND THAT WE RELY ON ITS FINDINGS.
- F.3 FOOTINGS SHALL BE PLACED CENTRALLY UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED.
- F.4 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS 2870
- F.5 THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED. WHILST EVERY CARE HAS BEEN TAKEN TO VERIFY THAT THE INFORMATION SHOWN IS CORRECT, D'AMICI COLOMBO PTY. LTD. TAKE NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS
- F.6 FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF A CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH AS 2870
A) ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. ROLLED FILL SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm FOR SAND MATERIAL OR 400mm COMPACTED IN LAYERS NOT MORE THAN 150mm FOR OTHER MATERIAL.

- B) CONTROLLED FILL CONSISTS OF WELL GRADED SAND FILL UP TO 800mm DEEP, WELL COMPACTED IN NOT MORE THAN 300mm LAYERS BY VIBRATING PLATE OR VIBRATING ROLLER. NO SAND FILL UP TO 400mm DEEP, WELL COMPACTED IN NOT MORE THAN 150 LAYERS BY A MECHANICAL ROLLER, CLAY FILL SHOULD BE MOST DURING COMPACTION. THE DEPTHS OF FILL GIVEN ABOVE ARE DEPTHS MEASURED AFTER COMPACTION. FOR COMPACTED DEPTHS GREATER THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL AND TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION.
- F 7 TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
- F 8 IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES (FOR CLAY AND 30 DEGREES FOR SAND) FROM ITS BASE INTERSECTS A SERVICE TRENCH THEN PIERS ARE REQUIRED. REFER TO DETAIL BELOW.



SERVICE TRENCH DETAIL

N.T.S.

CONCRETE WORK

- C.1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 & AS 2870
- C 2 CONCRETE QUALITY SHALL BE AS TABULATED AND SHALL BE VERIFIED BY TESTS.

ELEMENT	SLUMP	MAX. SIZE AGG.	CEMENT TYPE	EXPOSURE CLASSIF.	CONCRETE GRADE	COVER
SLABS ON GROUND	80mm	20mm	A	A1	20N	20 TOP 30 BOT & SIDES 40 EXTERNAL U.N.O
FOOTINGS	"	"	A	A1	20N	40 U.N.O.
SUSPENDED SLAB	"	"	A	A1	32N	30 TOP & SIDES U.N.O. 20 BOT U.N.O

(CONT PAGE 3)

NOTE

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Consulting Structural Engineers
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Unit 1, Second Floor, 42 Birnie Ave, Lidcombe 2141
Tel (02) 9646 5811 • Fax (02) 9646 2311

APPROVED BY:

[Signature]

JOB No

190222

SCALE

N.T.S.

SHEET No.

2

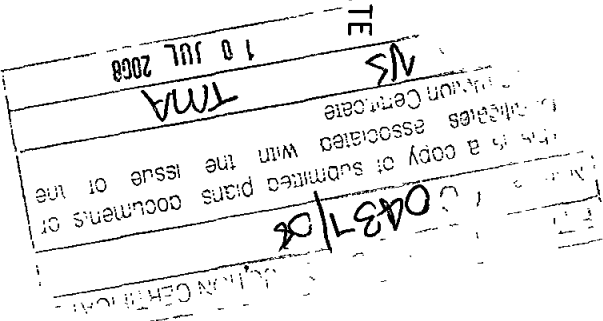
- C.3 ALL CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH AS3600. WHERE CURING COMPOUNDS ARE USED IT MUST BE APPLIED AS FOLLOWS.
A) ONTO SLAB WITHIN 2HRS OF FINISHING OPERATION
B) ONTO WALLS AND COLUMNS IMMEDIATELY AFTER REMOVAL OF FORMWORK.
- C.4 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C.5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER.
- C.6 BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
- C.7 HORIZONTAL FORMWORK SHALL BE STRIPPED WHEN APPROVED BY THE ENGINEER.
- C.8 UNLESS NOTED OTHERWISE NO ALLOWANCE HAS BEEN MADE FOR STACKED MATERIALS OR MACHINERY ON THE CONCRETE STRUCTURE.
- C.9 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- C.10 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C.11 SPLICES IN REINFORCEMENT MADE IN POSITIONS OTHER THAN SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER. WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- C.12 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C.13 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER
- C.14 ALL REINFORCING BARS SHALL COMPLY WITH AS 4671. ALL FABRIC SHALL COMPLY WITH AS 4671 AND SHALL BE SUPPLIED IN FLAT SHEETS.
- C.15 REINFORCING SYMBOLS
- N - DENOTES GRADE D500 HIGH STRENGTH DEFORMED BARS TO AS4671.
R - DENOTES GRADE R250 HOT ROLLED PLAIN BARS TO AS4671.
SL - DENOTES HARD-DRAWN WIRE SQUARE REINFORCING FABRIC TO AS4671.
RL - DENOTES HARD-DRAWN WIRE RECTANGULAR REINFORCING FABRIC TO AS4671.
L - DENOTES HARD-DRAWN WIRE TRENCH MESH TO AS4671.
- THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETRES.



- C.16 FABRIC REINFORCEMENT TO BE LAPPED ONE MESH PLUS 30mm. LAPS IN POSITIONS OF MAXIMUM MOMENT ARE NOT PERMITTED.
- C.17 ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON INSULATED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 800 CENTRES BOTH WAYS. RODS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- C.18 ALL TENSILE REINFORCEMENT TO BE LAPPED AS SHOWN -

REINF BAR	N12	N16	N20	N24
LAP LENGTH	500	600	700	800

DRAINAGE NOTES

- D.1 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH AS 2870
- D.2 DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT-AND-FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1m. SURFACE OR SUBSURFACE DRAINS SHALL BE USED TO CHANNEL WATER AWAY AND CONNECTED TO STORMWATER SYSTEM. ANY PAVING SHALL ALSO BE SUITABLY SLOPED.
- D.3 PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- D.4 EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT TO THE FOOTING WITH MOIST CLAY COMPACTED BY HAND-RODDING OR -TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
- D.5 WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
- D.6 PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
- D.7 CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTIONS



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SCALE	SHEET No:								
N.T.S.	3								

SLAB DETAILS

BOX HEIGHT	300 & 220 PODS U N O
SLAB THICKNESS	85
OVERALL DEPTH	385 U N O
BOX SIZE	1100x1100
SLAB REINFORCEMENT	SL82
100 INTERNAL RIB REINFORCEMENT	1N12 BOTTOM OR EQUIVALENT
270 INTERNAL BEAM REINFORCEMENT	3N12 BOTTOM OR EQUIVALENT
100 EXTERNAL EDGE BEAM REINFORCEMENT	1N12 BOTTOM & 1N12 TOP OR EQUIVALENT
270 EXTERNAL EDGE BEAM REINFORCEMENT	3N12 BOTTOM & 1N12 TOP OR EQUIVALENT

REINFORCEMENT FOR BEAMS WHERE WIDTH EXCEEDS 270mm		
WIDTH	TOP STEEL	BOTTOM STEEL
271-370	1N12 OR EQUIV	3N12 OR EQUIV
371-480	2N12 OR EQUIV	4N12 OR EQUIV
481-600	3N12 OR EQUIV	5N12 OR EQUIV

PIERING NOTES

ELEMENT	PIER SPACING
EDGE BEAMS	2400 U N O
INTERNAL & STEP BEAMS	2400x2400 GRID U N O
INTERNAL RIB	2400x2400 GRID U N O

PIER DIAMETER - CLAY = 450mm SOCKET MIN 300mm INTO STIFF CLAY
SHALE= 400mm SOCKET MIN 200 INTO SHALE
ROCK = 300mm SOCKET MIN 100 INTO ROCK

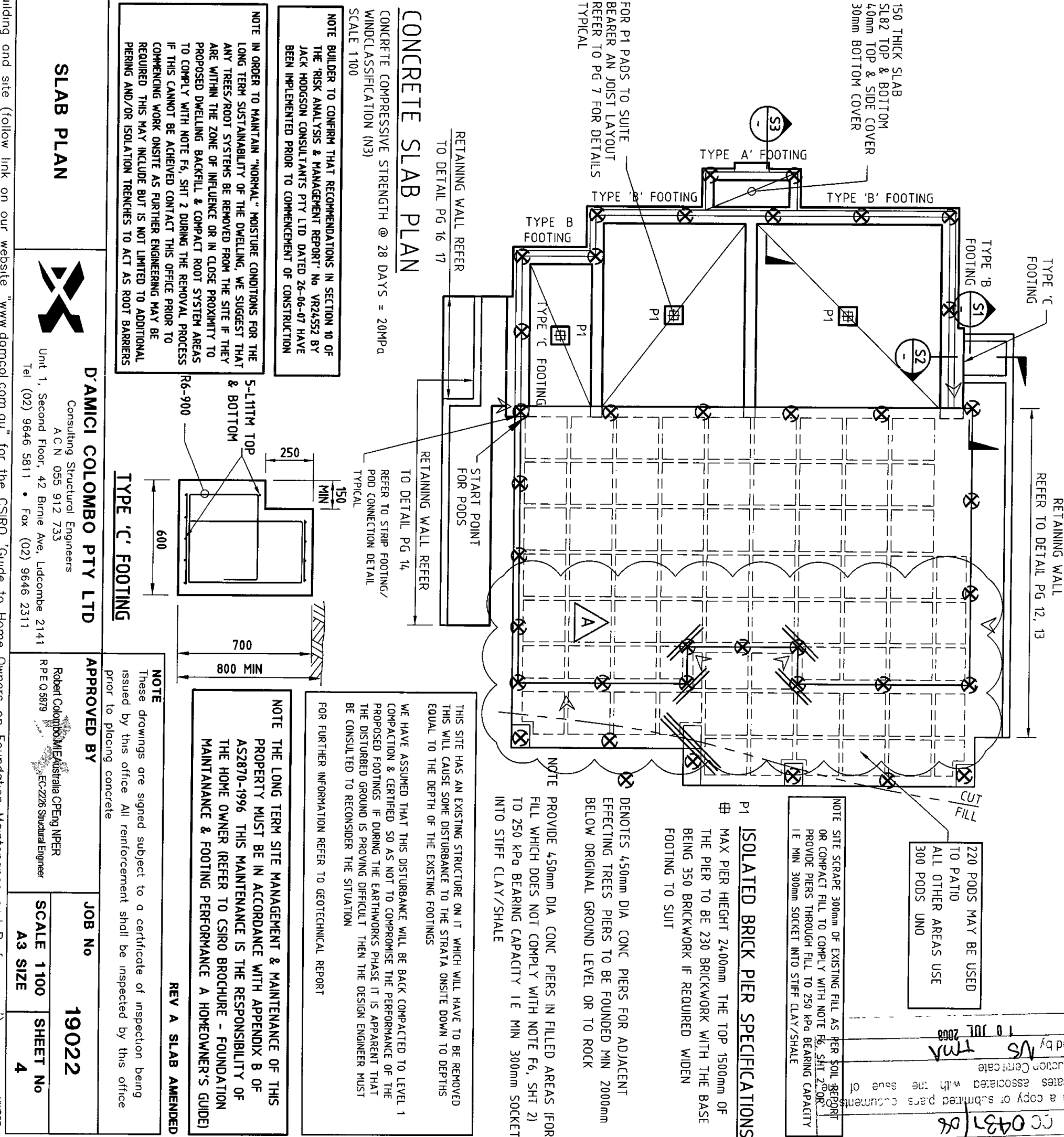
LEGEND

- /// DENOTES 3N12 OR EQUIV (OR 3-L11TM) CRACK CONTROL BARS 2000mm LONG TIED TO UNDERSIDE OF SLAB TOP MESH
- /// DENOTES 2N12 OR EQUIV (OR 2-L11TM) CRACK CONTROL BARS 1200mm LONG TIED TO UNDERSIDE OF SLAB TOP MESH
- ∇ DENOTES APPROX LOCATION OF ARTICULATION JOINTS IN THE MASONRY WALLS (DO NOT SCALE) EXACT LOCATION OF ARTICULATION JOINTS SHOULD BE READ OFF ARCHITECTURAL DRAWINGS. ALL ARTICULATION JOINTS SHALL BE CONSTRUCTED FOR THE FULL HEIGHT OF THE WALL. REFER TO DETAILS
- ☒ DENOTES WET AREA SETDOWN
- ▨ SHADED AREA DENOTES PODS SET DOWN

NOTE

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220 PODS MAY BE USED TO PATIO
ALL OTHER AREAS USE 300 PODS U N O

NOTE SITE SCRAPE 300mm OF EXISTING FILL AS PER SOIL REPORT OR COMPACT FILL TO COMPLY WITH NOTE F6, SHT 2 OR PROVIDE PIERS THROUGH FILL TO 250 kPa BEARING CAPACITY IE MIN 300mm SOCKET INTO STIFF CLAY/SHALE

ISOLATED BRICK PIER SPECIFICATIONS

P1 MAX PIER HEIGHT 2400mm THE TOP 1500mm OF THE PIER TO BE 230 BRICKWORK WITH THE BASE BEING 350 BRICKWORK IF REQUIRED WIDEN FOOTING TO SUIT

∇ DENOTES 450mm DIA CONC PIERS FOR ADJACENT EFFECTING TREES PIERS TO BE FOUNDED MIN 2000mm BELOW ORIGINAL GROUND LEVEL OR TO ROCK

NOTE PROVIDE 450mm DIA CONC PIERS IN FILLED AREAS (FOR FILL WHICH DOES NOT COMPLY WITH NOTE F6, SHT 2) TO 250 kPa BEARING CAPACITY IE MIN 300mm SOCKET INTO STIFF CLAY/SHALE

THIS SITE HAS AN EXISTING STRUCTURE ON IT WHICH WILL HAVE TO BE REMOVED THIS WILL CAUSE SOME DISTURBANCE TO THE STRATA ONSITE DOWN TO DEPTHS EQUAL TO THE DEPTH OF THE EXISTING FOOTINGS

WE HAVE ASSUMED THAT THIS DISTURBANCE WILL BE BACK COMPACTED TO LEVEL 1 COMPACTATION & CERTIFIED SO AS NOT TO COMPROMISE THE PERFORMANCE OF THE PROPOSED FOOTINGS IF DURING THE EARTHWORKS PHASE IT IS APPARENT THAT THE DISTURBED GROUND IS PROVING DIFFICULT THEN THE DESIGN ENGINEER MUST BE CONSULTED TO RECONSIDER THE SITUATION

FOR FURTHER INFORMATION REFER TO GEOTECHNICAL REPORT

NOTE THE LONG TERM SITE MANAGEMENT & MAINTENANCE OF THIS PROPERTY MUST BE IN ACCORDANCE WITH APPENDIX B OF AS2870-1996 THIS MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER (REFER TO CSIRO BROCHURE - FOUNDATION MAINTENANCE & FOOTING PERFORMANCE A HOMEOWNER'S GUIDE)

REV A SLAB AMENDED

NOTE These drawings are signed subject to a certificate of inspection being issued by this office All reinforcement shall be inspected by this office prior to placing concrete

APPROVED BY

Robert Colombo
RPE Q 5879
EC-226 Structural Engineer

JOB No

19022

SCALE 1100

A3 SIZE

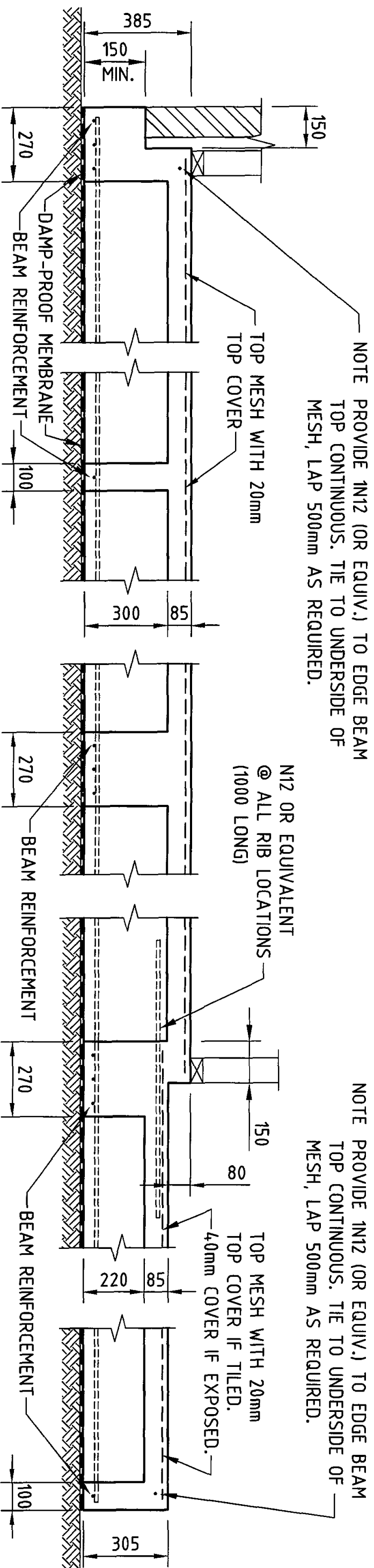
SHEET No

4

SLAB PLAN



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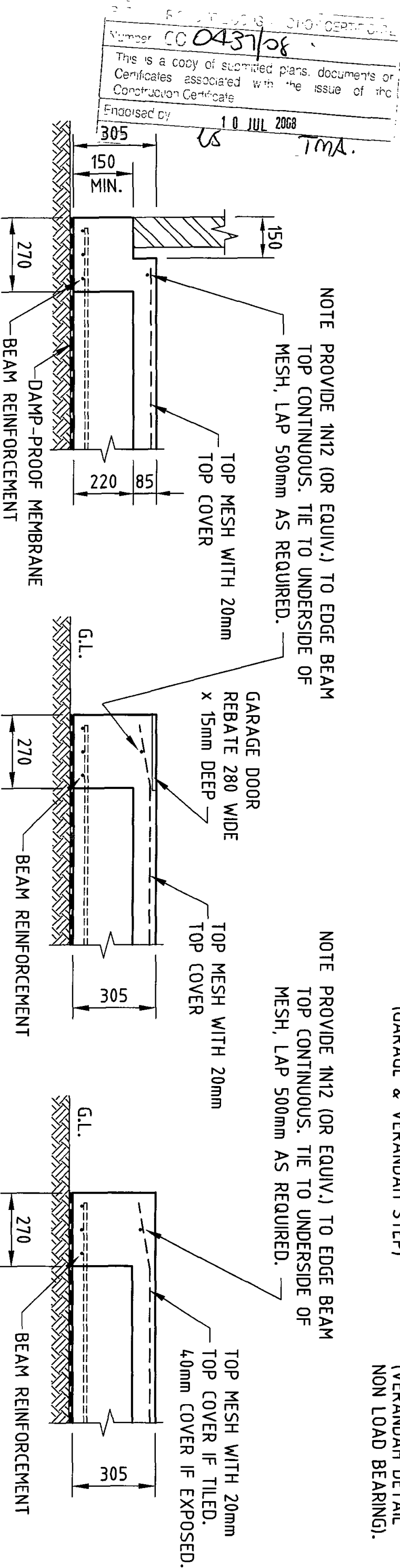
TYPICAL EDGE BEAM DETAIL

INTERNAL RIB

INTERNAL BEAM

STEP BEAM 80mm (GARAGE & VERANDAH STEP)

EDGE BEAM (VERANDAH DETAIL NON LOAD BEARING).



GARAGE EDGE BEAM 220 POD

GARAGE EDGE BEAM 220 POD

VERANDAH EDGE BEAM 220 POD (LOAD BEARING)

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STIFFENED RAFT DETAILS



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JOB No

190222

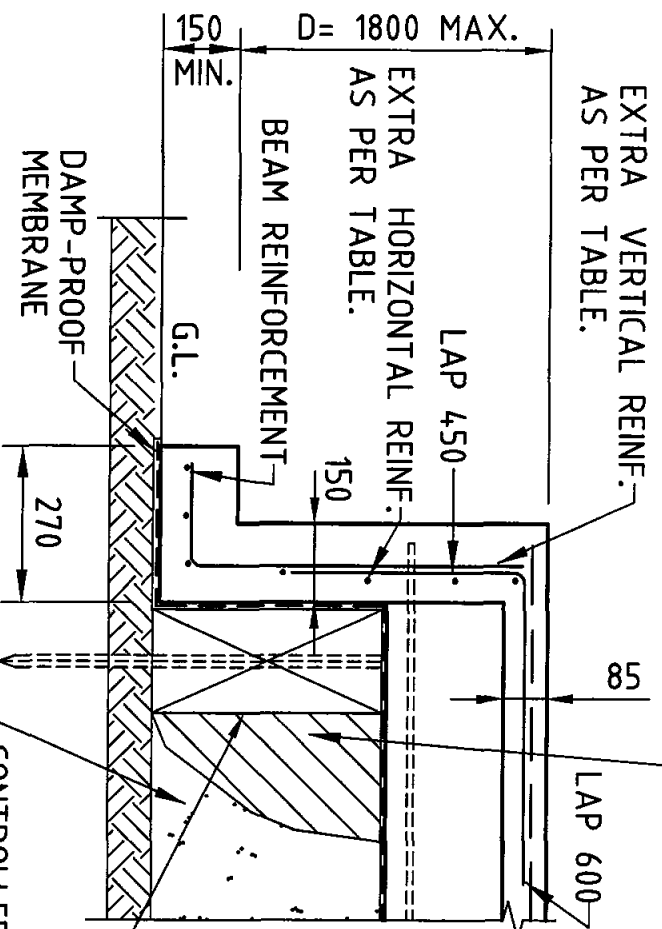
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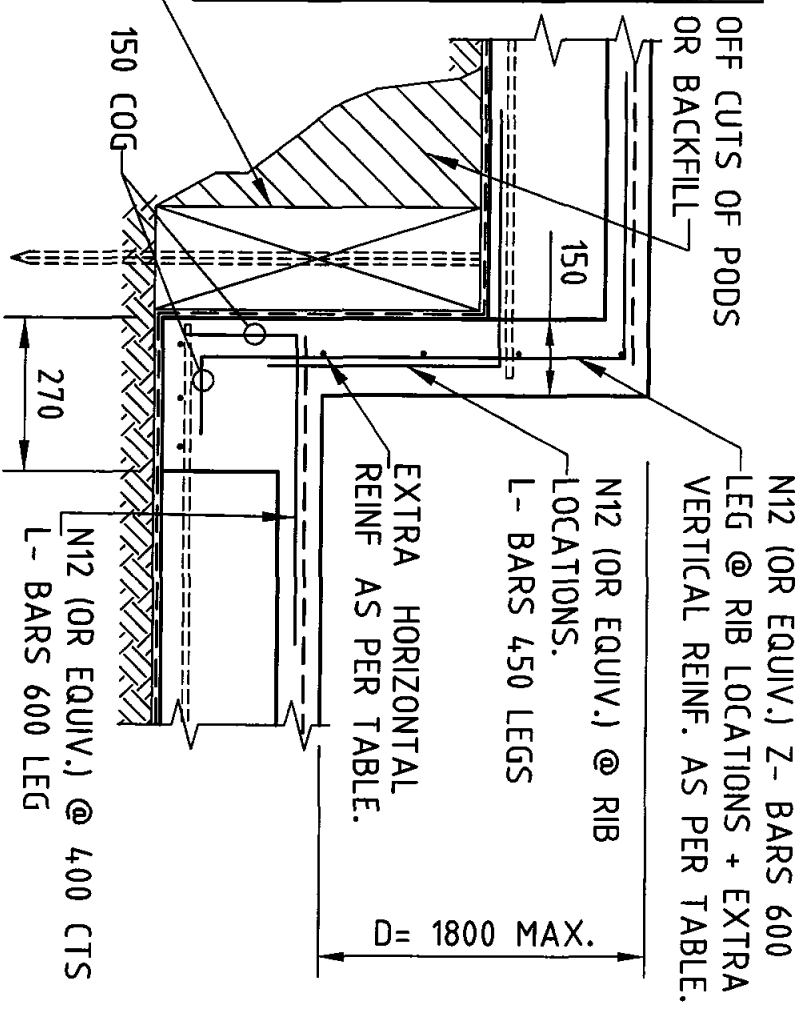
OFF CUTS OF PODS
OR BACKFILL



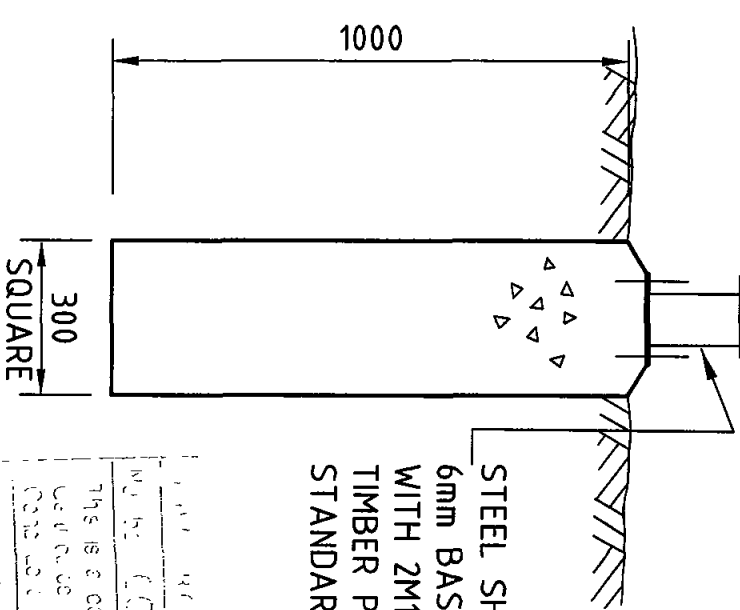
DEEP EDGE BEAM (1800 MAX.)

EXTRA REINFORCEMENT TO DEEP EDGE BEAM			
DEPTH 'D'	EXTRA VERTICAL REINFORCEMENT	EXTRA HORIZONTAL REINFORCEMENT	
'D' IS LESS THAN 400	NONE	NONE	
'D' IS BETWEEN 401 & 900	N12 @400CTS	N12 @400CTS	
'D' IS BETWEEN 901 & 1200	N12 @300CTS	N12 @400CTS	
'D' IS BETWEEN 1201 & 1800	N12 @200CTS	N12 @300CTS	

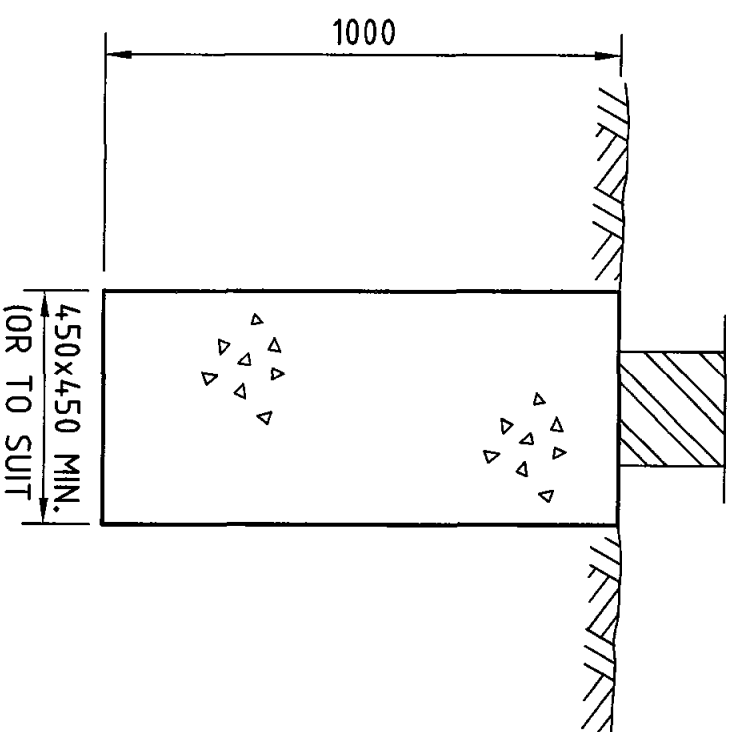
200 THICK POD
FIXED WITH STAR
PICKETS @ 2.4m CTS
DRIVEN MIN. 300mm
INTO FIRM GROUND.



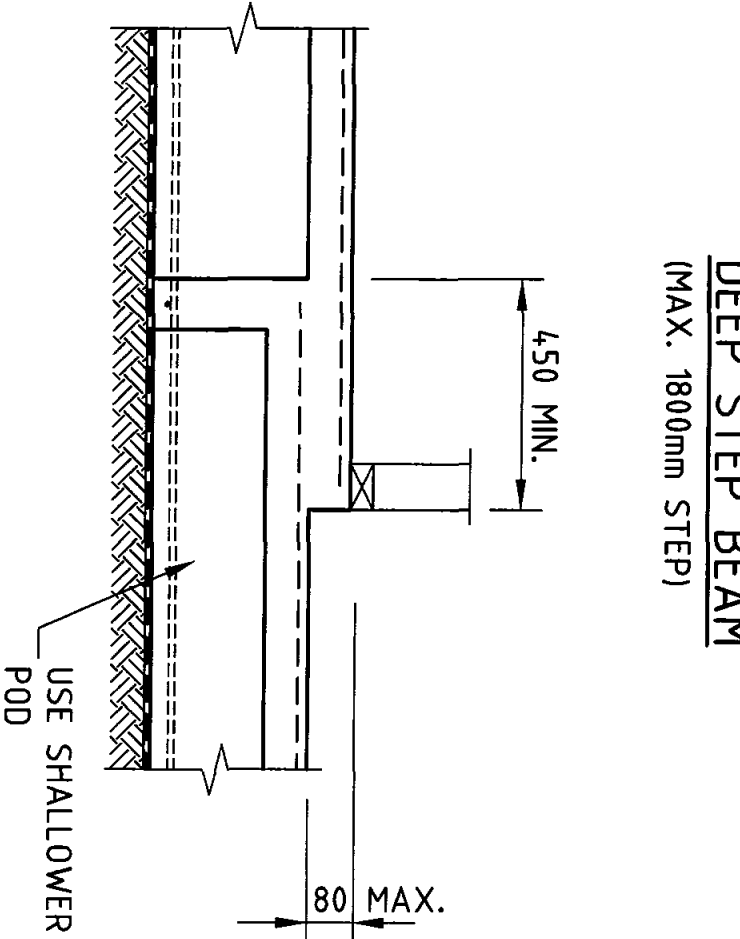
DEEP STEP BEAM
(MAX. 1800mm STEP)



VERANDAH PAD DETAIL [VP]



ISOLATED PAD DETAIL [P1]



WET AREA SET DOWN

THIS IS A COPY OF SUBMITTED PERS. DETAILS OF
CONTROLLED FILL REFER TO NOTES
043168
TMA.
1.0 JUL 2008

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STIFFENED RAFT
DETAILS



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APPROVED BY

JOB No

19022

SCALE

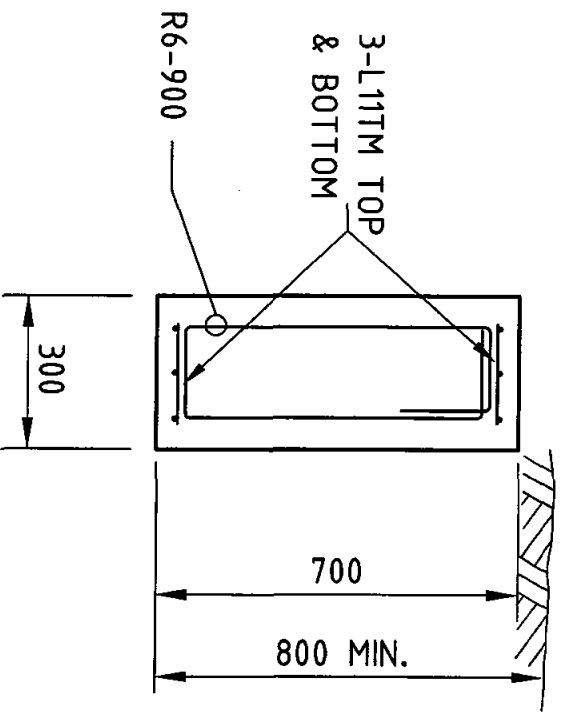
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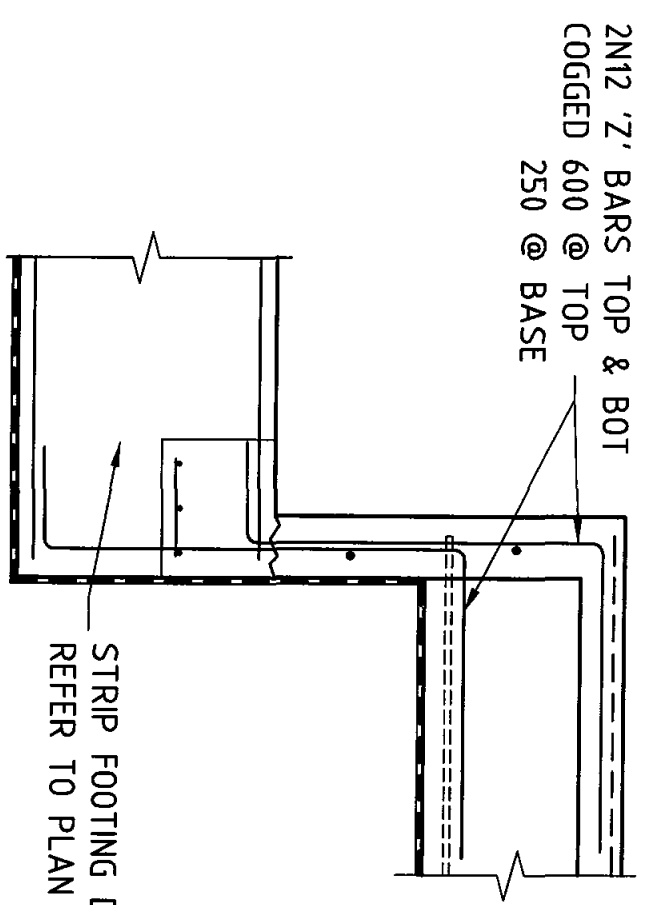
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* OWNER The owner is responsible for maintenance of building and site (follow link on our website "www.damici.com.au" for the CSIRO 'Guide to Home Owners on Foundation Maintenance and Performance') HWB2B

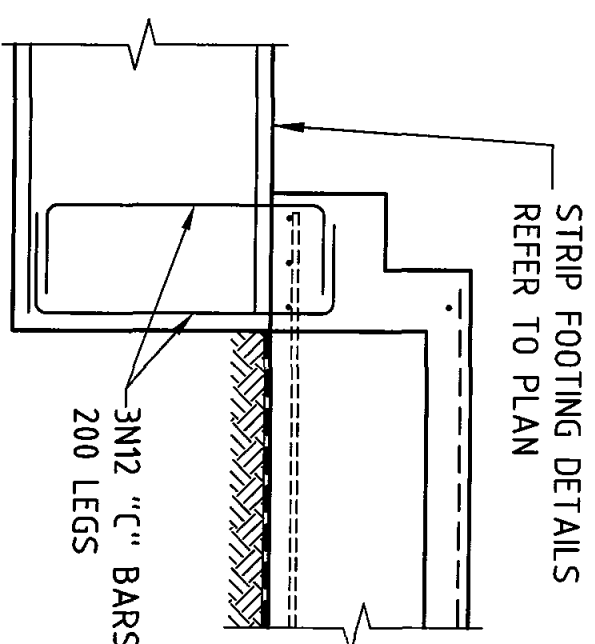
Drawn by **0457/06**
This is a copy of submitted plans documents or
Specifications associated with the issue of the
Construction Certificate
Approved by **AS TMA**
1.0 JUL 2003



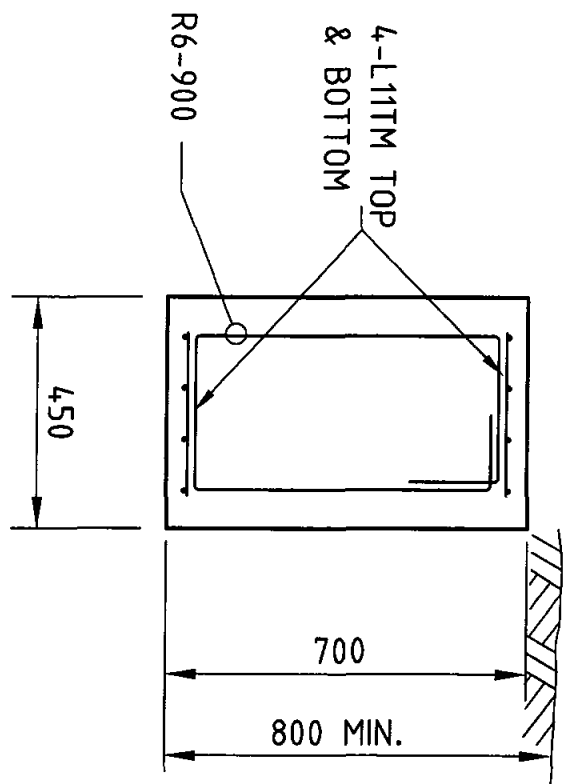
TYPE 'A' FOOTING



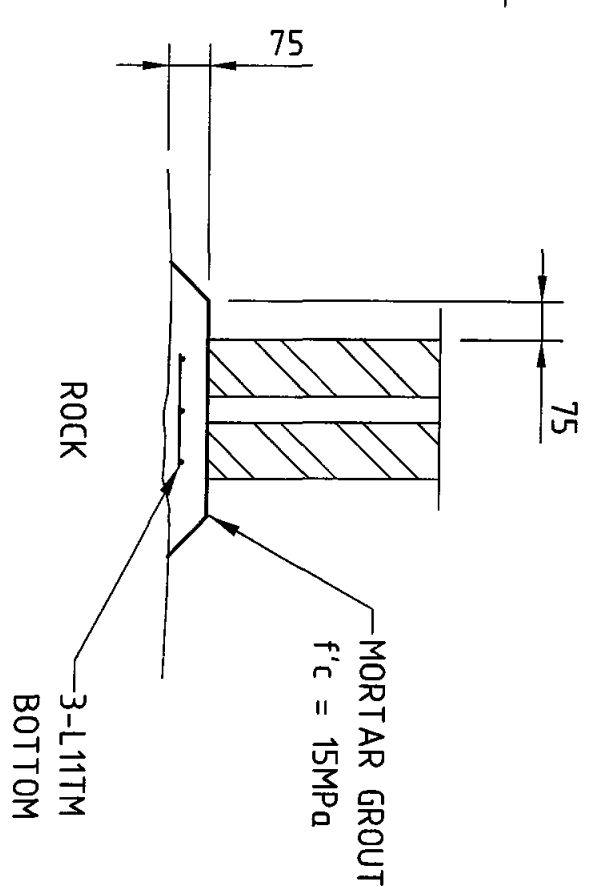
STRIP FOOTING/DEEP EDGE BEAM CONNECTION



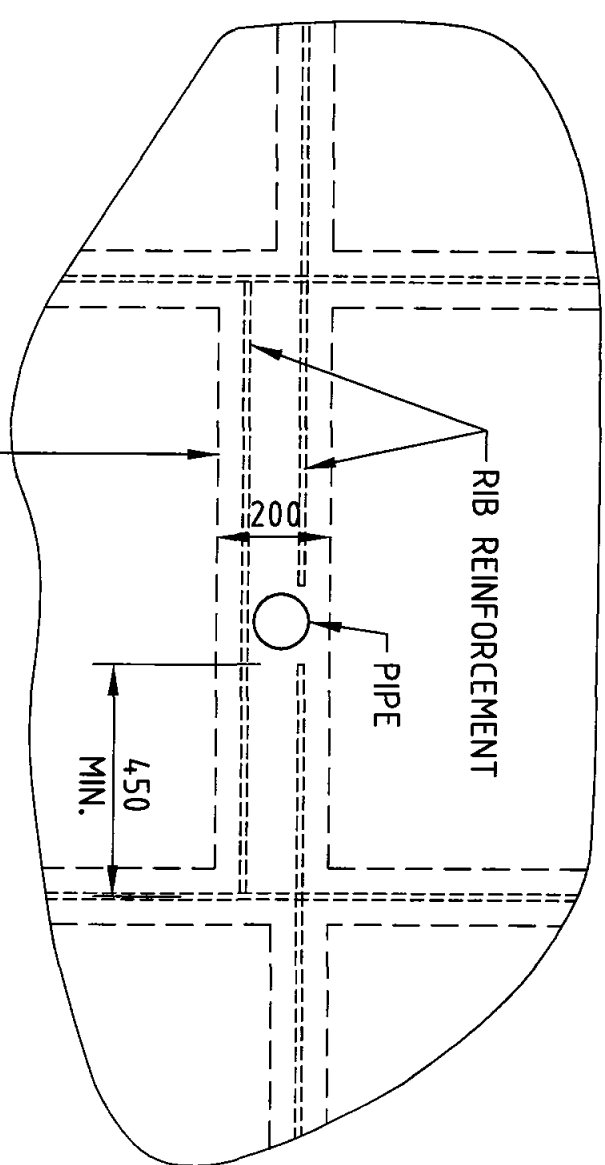
STRIP FOOTING/POD CONNECTION



TYPE 'B' FOOTING



FOOTING ON ROCK DETAIL



PIPE PENETRATION DETAIL (PLAN)
N.T.S.

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DETAILS



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APPROVED BY

[Signature]

JOB No

19022

SCALE

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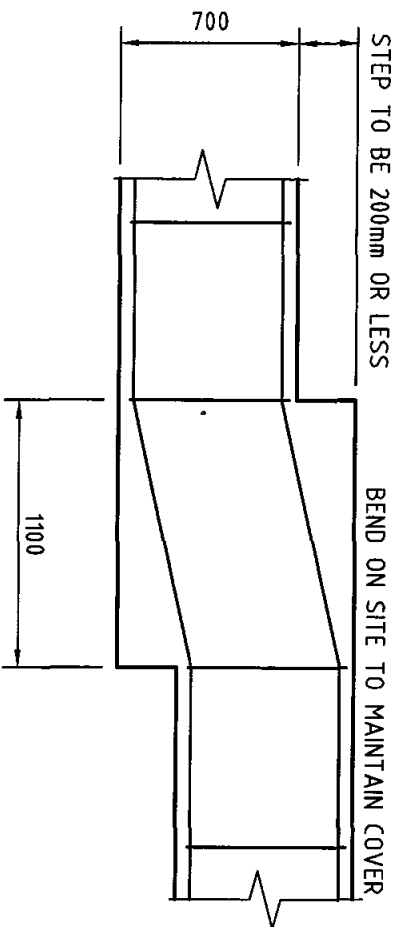
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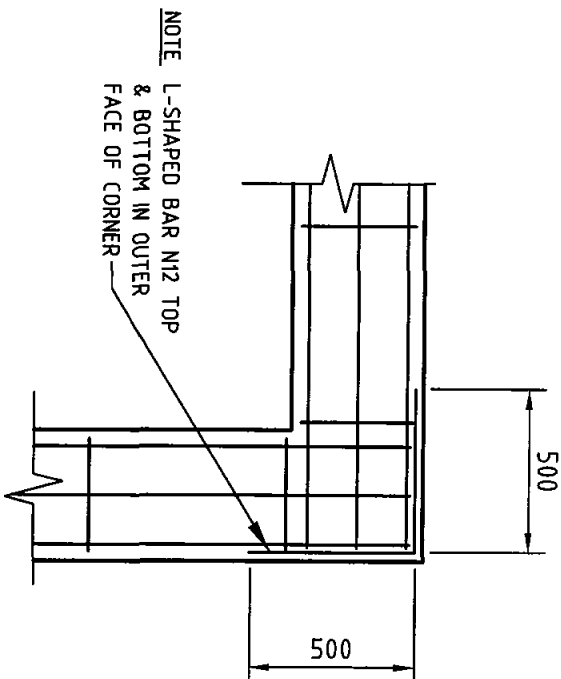
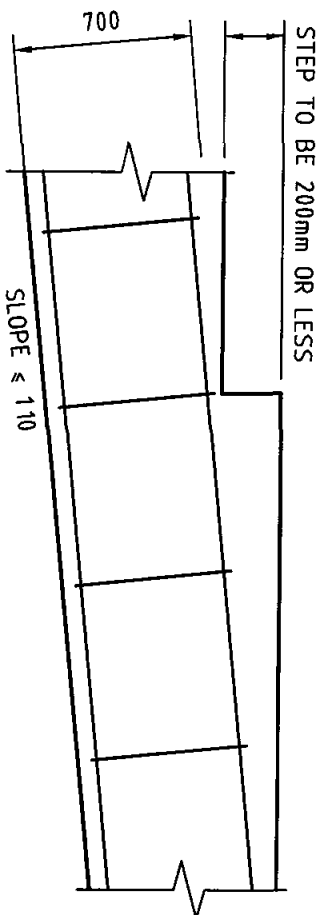
* OWNER The owner is responsible for maintenance of building and site (follow link on our website "www.damcoi.com.au" for the CSIRO 'Guide to Home Owners on Foundation Maintenance and Performance') HWB2B

C 0431 06
This is a copy of submitted plans. Accuracy of
Calculations associated with the issue of the
Foundation Certificate
10 JUL 2008
JS TMA.

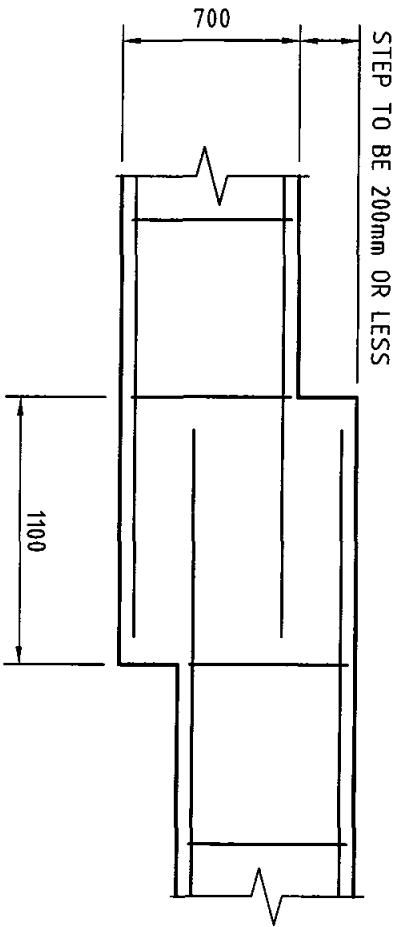
METHOD A



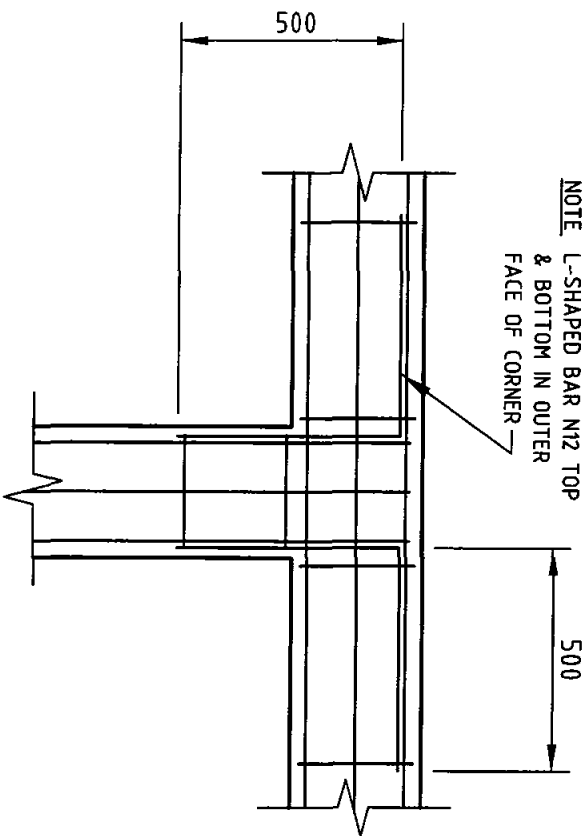
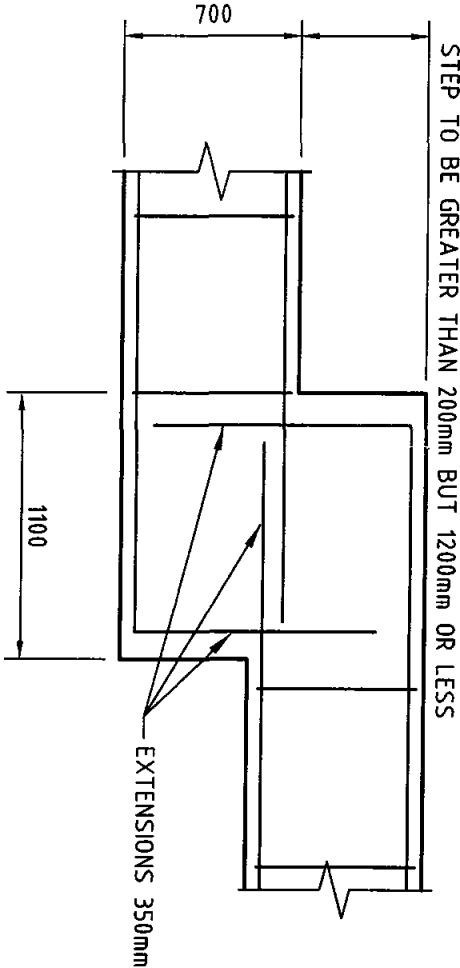
METHOD C



METHOD B



METHOD D



FOOTING STEP & LAP DETAILS
N.T.S.

NOTE

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STRIP FOOTING
DETAILS



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APPROVED BY:

JOB No

19022

SCALE

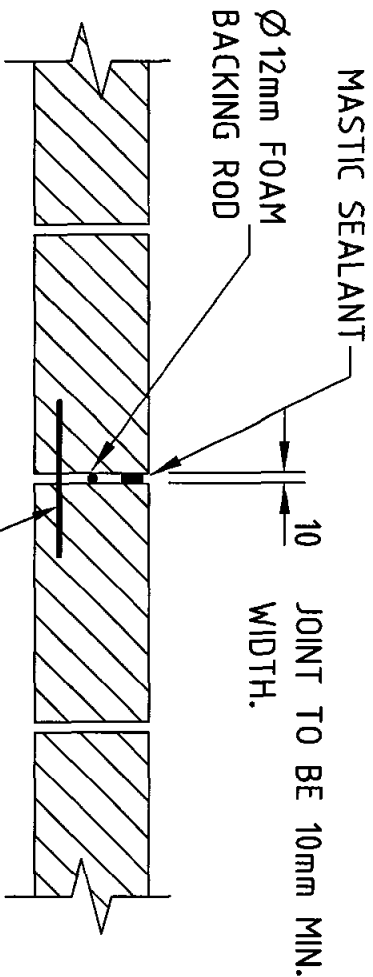
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SHEET No:

9

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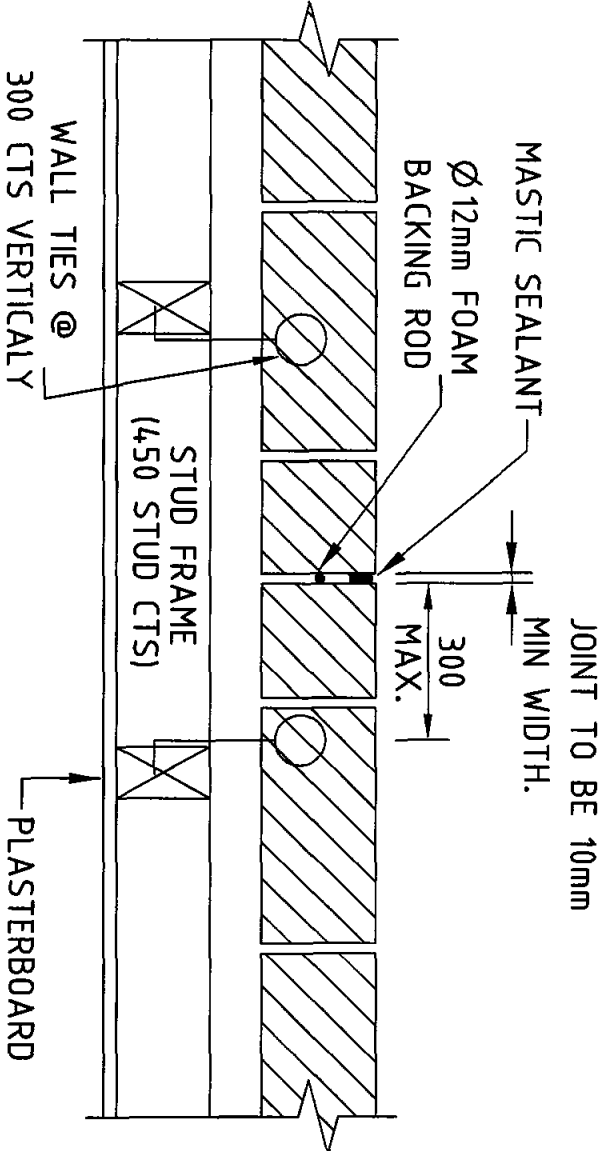
HWB2B



PROVIDE DIA. 2.6mm x150 LG GALVANISED PINS PLACED CENTRALLY ACROSS JOINT EVERY THIRD BRICK COURSE OR USE MFA3 ANCHOR (TJ INDUSTRIES) OR SIMILAR ACROSS EVERY SIXTH COURSE.

SINGLE SKINNED WALL JOINT DETAIL 110

REFER TO PLAN FOR LOCATIONS



BRICK VENEER WALL JOINT DETAIL 110

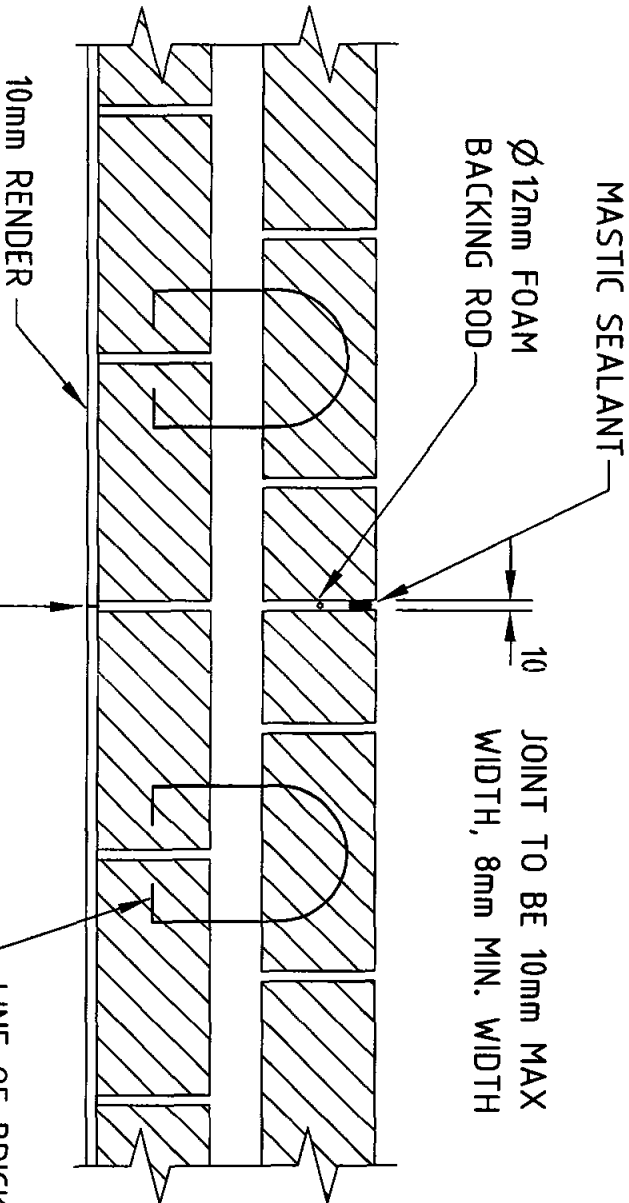
REFER TO PLAN FOR LOCATIONS

0437/08

11 JUL 2008

10 JUL 2008

TMA



CAVITY BRICK WALL JOINT DETAIL 110

REFER TO PLAN FOR LOCATIONS

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1:10

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HWB2W

STRUCTURAL STEEL NOTES

S.1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

S.2 UNLESS OTHERWISE NOTED, ALL STEEL SHALL BE IN ACCORDANCE WITH AS 3679.1 GRADE 300 FOR ROLLED SECTIONS.

AS 1163 GRADE 350 FOR RHS SECTIONS.

AS 1163 GRADE 350 FOR CHS SECTIONS.

AS 3378 GRADE 350 FOR ALL PLATE.

AS 3679.1 GRADE 350 FOR ALL FLAT

AS 1397 GRADE 450 FOR 1.5, 1.9, 2.4 AND 3.0 BMT OF COLD-FORMED STEEL SECTIONS.



S.3 UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS AND ALL GUSSET PLATES SHALL BE 10mm THICK.

S.4 BUTT WELDS WHERE INDICATED IN THE DRAWINGS ARE TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN AS 1554.

S.5 UNLESS OTHERWISE SHOWN ALL BOLTS SHALL BE 16 DIA. HIGH STRENGTH (H.S.) BOLTS SHALL CONFORM TO AS 1252 AND SHALL BE INSTALLED IN ACCORDANCE WITH AS 4100 AS DIRECTED BY THE ENGINEER.

S.6 UNLESS NOTED OTHERWISE ALL BEAMS TO BE SUPPORTED ON BRICKWORK/ ENGAGED BRICK PIERS (110mm BRICK BEARING REQUIRED) PLACE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON BRICKWORK.

S.7 UNLESS NOTED OTHERWISE PROTECTIVE COATINGS FOR STEELWORK SHALL BE AS TABULATED BELOW AND IN ACCORDANCE WITH VOL. 2 PART 3.4.4 OF THE BCA.


ENVIRONMENT	LOCATION	MINIMUM PROTECTIVE COATING	
		GENERAL STRUCTURAL STEEL MEMBERS	LINTELS IN MASONRY
 MODERATE	INTERNAL	NO PROTECTION REQUIRED	NO PROTECTION REQUIRED
		EXTERNAL	HOT DIP GALVANISE 600g/m ²
 SEVERE	INTERNAL	2 COATS ALKYD PRIMER	2 COATS ALKYD PRIMER
		EXTERNAL	HOT DIP GALVANISE 600g/m ²

0431/08
Checked by: [Signature]
Date: 10 JUL 2008

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STRUCTURAL STEEL NOTES



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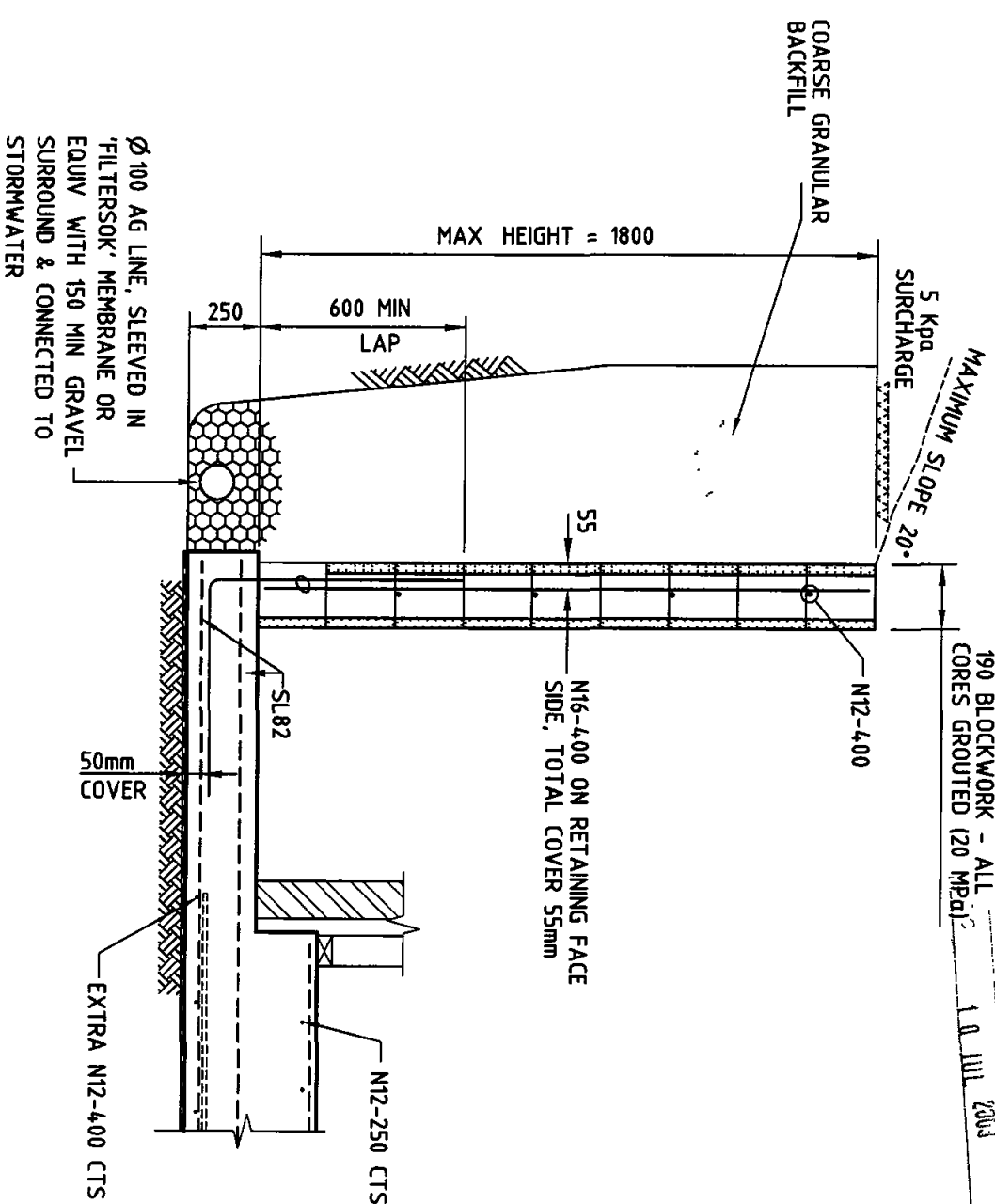
JOB No. 19022

SCALE: 1:10

SHEET No. 11

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CC 0438/08
US TMA.



TYPICAL RETAINING WALL DETAIL

WHERE H=1800 MAX.

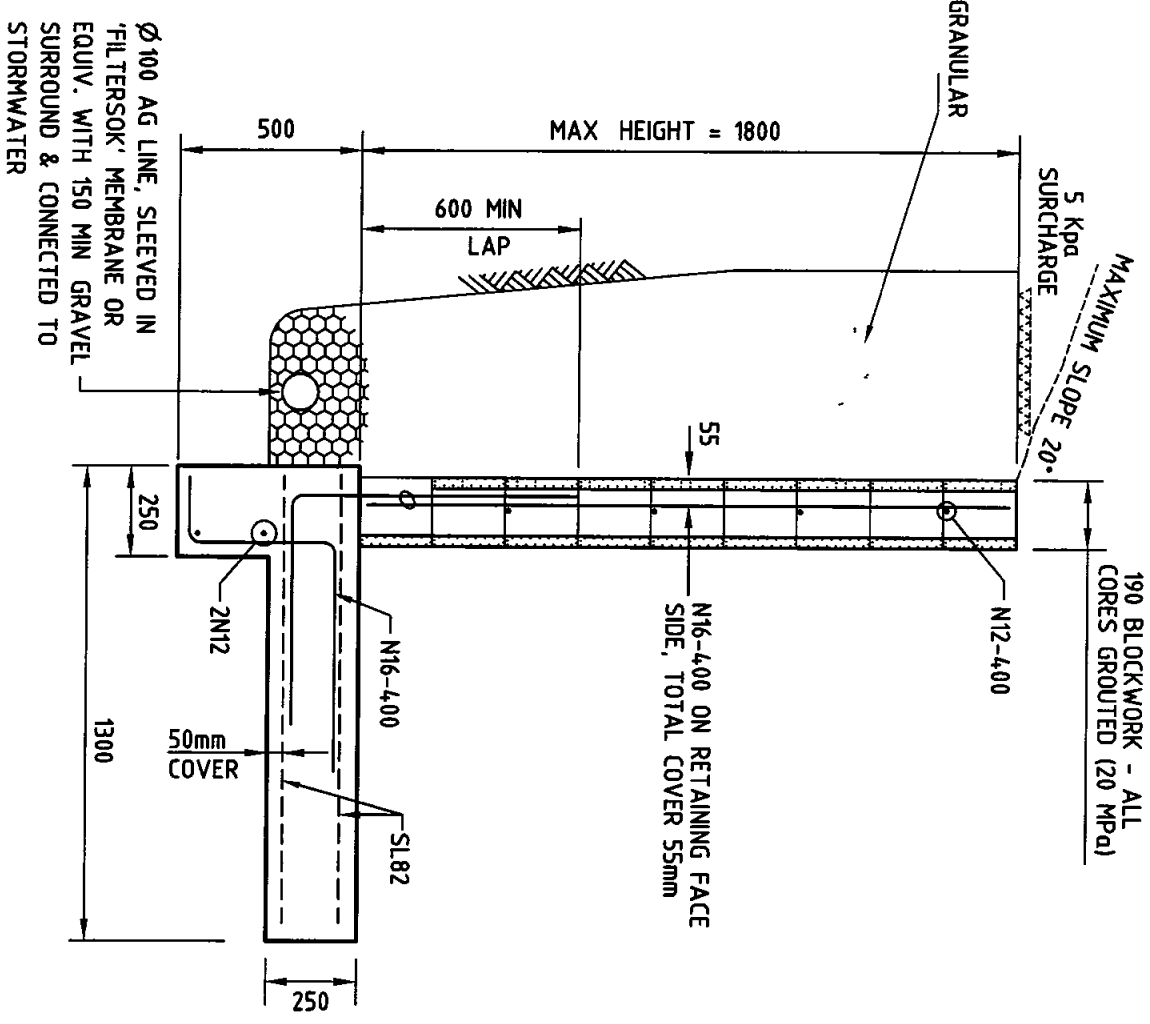
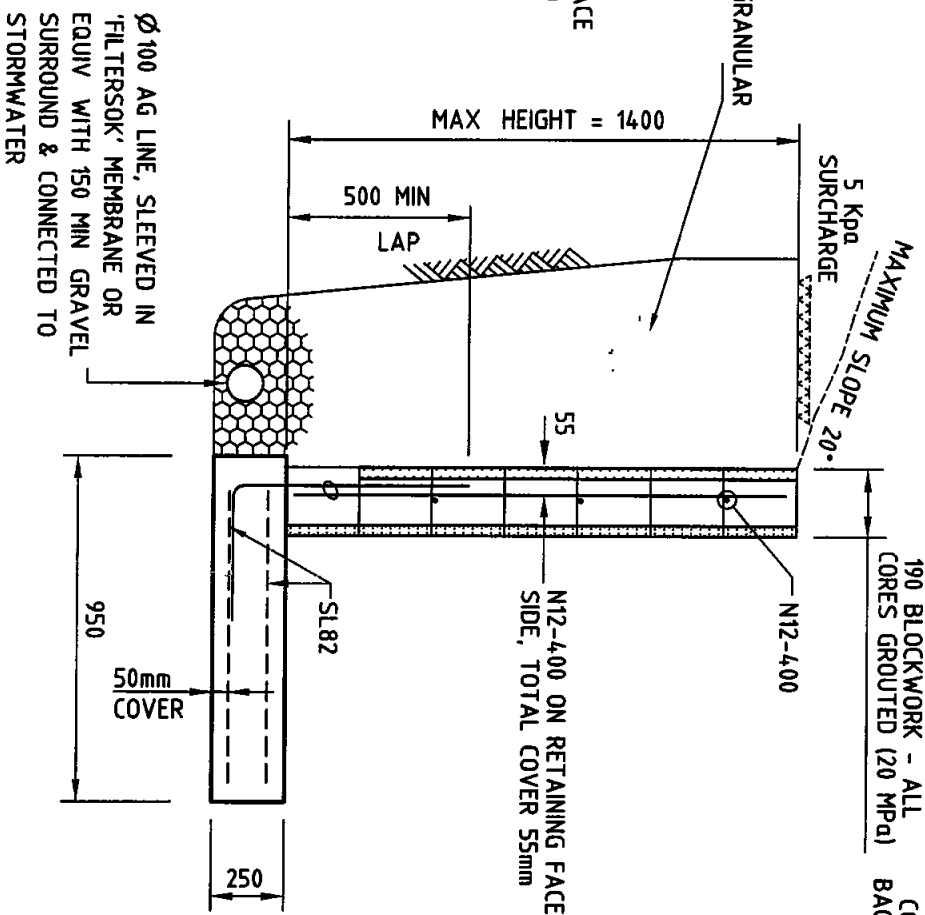
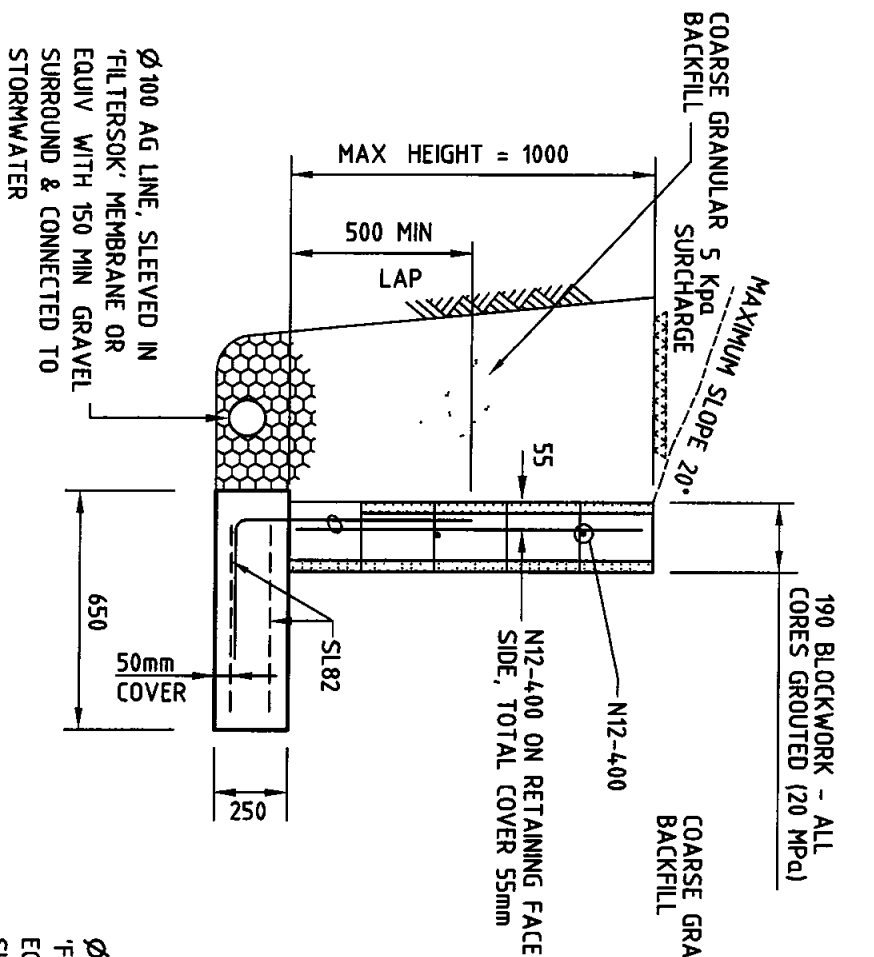
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SCALE 1100	SHEET No
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---------	--

0436/08
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Construction Certificate
Issued by **NS** **TMA**
10 JUL 2009

NOTE RET WALL HAS BEEN DESIGNED
TO ALLOW FOR EITHER A 5 Kpa
SURCHARGE OR A 20° BATTER.



TYPICAL RETAINING WALL DETAIL

WHERE H=1000 MAX.

NTS

TYPICAL RETAINING WALL DETAIL

WHERE H=1400 MAX.

NTS

TYPICAL RETAINING WALL DETAIL

WHERE H=1800 MAX.

NTS

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RETAINING WALL DETAILS



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APPROVED BY.

Robert Colombo
R.P.E. Q.5879
EC-2226 Structural Engineer

JOB No

19022

SCALE

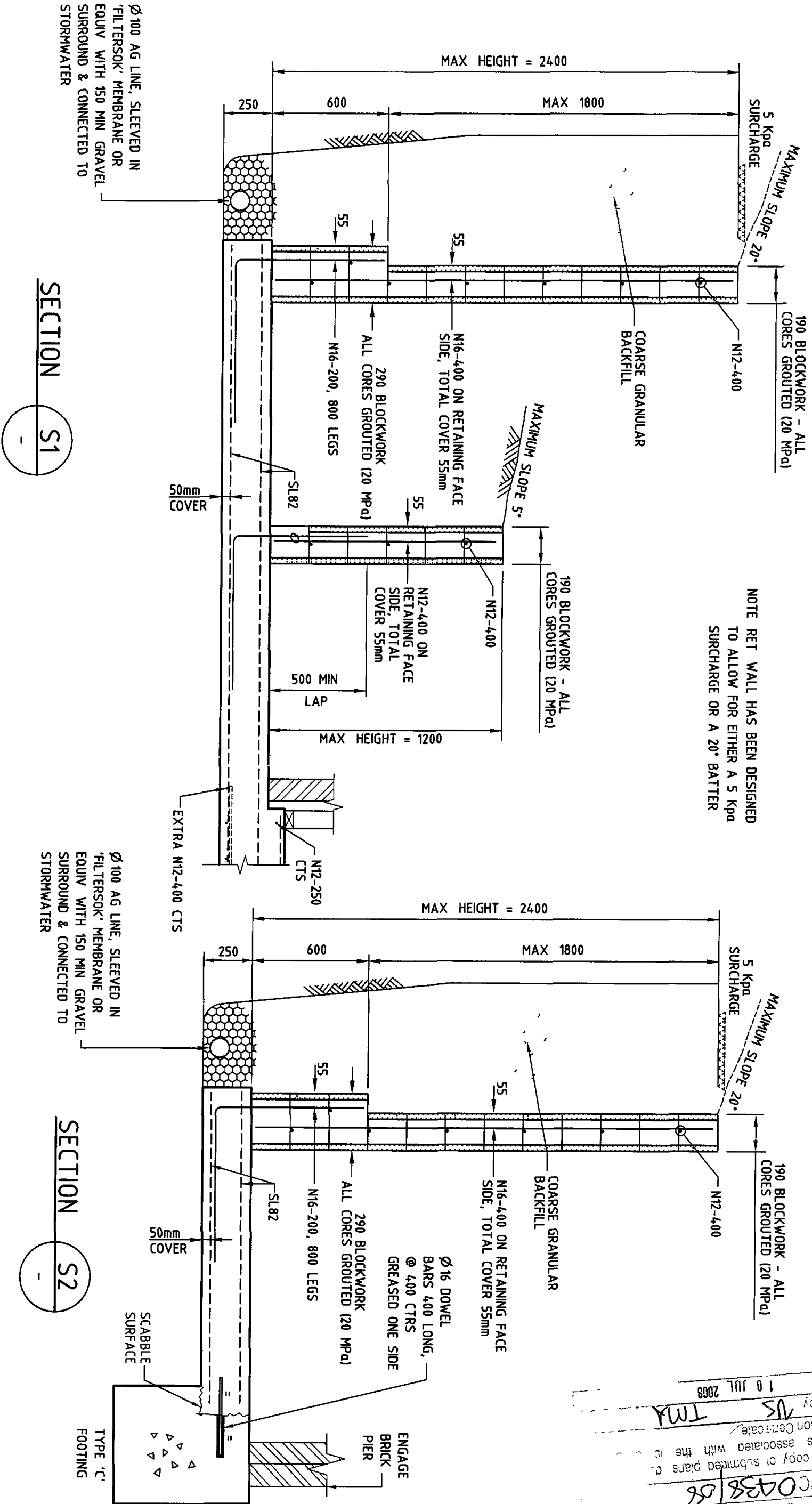
1:100
A3 SIZE

SHEET No

14

NOTE

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10 JUL 2008
TMJ
200438/08
10 JUL 2008

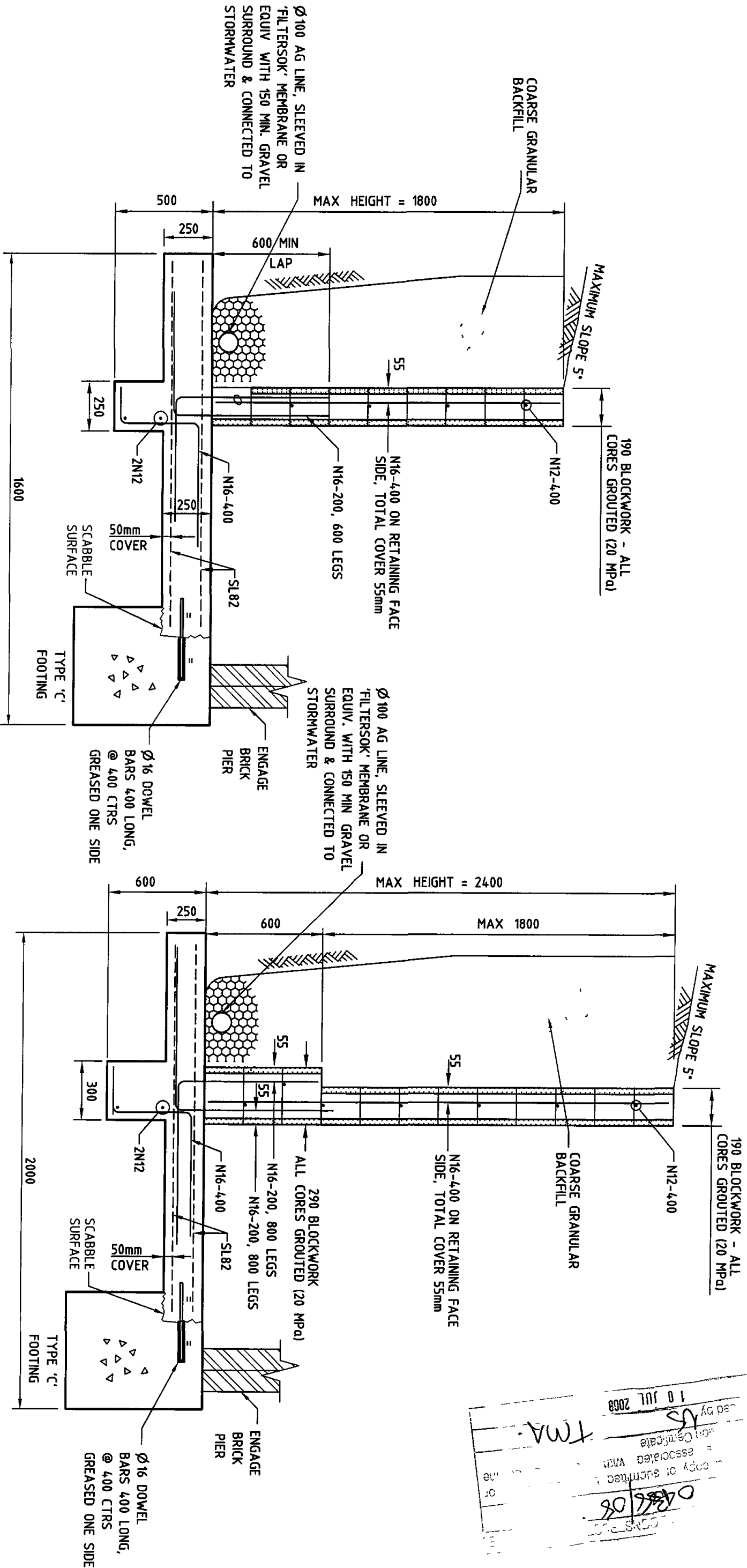
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APPROVED BY
Robert Colombo
RPE Q.5879
EC 2226 Structural Engineer

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SECTIONS

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10 JUL 2008
copy of submitted
associated with
not Certificate
by
TMA.

TYPICAL RETAINING WALL DETAIL
WHERE H=1800 MAX.
N.T.S.

TYPICAL RETAINING WALL DETAIL
WHERE H=2400 MAX.
N.T.S.

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**RETAINING WALL
DETAILS**



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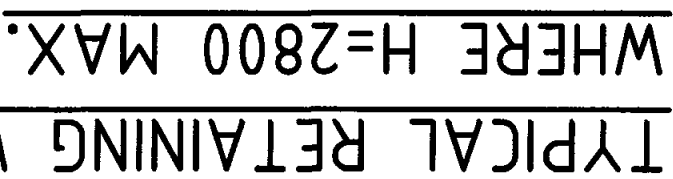
19022

SCALE 1:100 SHEET No

A3 SIZE

16

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SCALE 1:20

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Robert Colombo MIF Australia CPEng NPER
R P E Q 5879 EC-2226 Structural Engineer

SHEET No: 17

JOB No: 19022

2800mm MAX. RETAINING WALL WITHOUT SURCHARGE & MAX. BATTER OF 5°

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BRICKWORK AND BLOCKWORK

B 1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700

B 2 STRENGTH OF BRICKS, CLASS OF BLOCKS AND TYPE OF MORTAR SHALL BE AS TABULATED, AND SHALL BE VERIFIED BY TESTS ACCORDING TO RELEVANT STANDARDS

ELEMENT	MATERIAL	CHARACTERISTIC UNCOMPRRESSED STRENGTH (f _{cu})	MORTAR TYPE
WALL	BURNT CLAY CONC BLOCK	25MPa	116
		25MPa	116

B 3 BRICKWORK OR BLOCKWORK SUPPORTING CONCRETE OR STEEL MEMBERS SHALL BE TROWELED SMOOTH AND SEPARATED AT THE BEARING SURFACE BY APPROVED JOINTING MATERIAL

B 4 BRICKWORK AND BLOCKWORK TO BE TIED TO COLUMNS, FLOOR SLABS AND BEAMS

B 5 CORES SHALL BE FILLED WITH CONCRETE OF STRENGTH F_c = 25MPa 10mm MAX AGGREGATE SIZE AND A MAXIMUM SLUMP OF 225mm

B 6 CLEAN OUT OPENINGS ARE REQUIRED AT THE BASE OF ALL REINFORCED WALLS AND ABOVE HORIZONTAL CONSTRUCTION JOINTS

B 7 PROVIDE SEALED CONTROL JOINTS @ 80m CTRS MAX
ALL BRICKWORK SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE CONCRETE

B 8 ALL BLOCKS SHALL BE DRY WHEN LAID FACE SHELLS AND CROSS WEBS SHALL BE FULLY BEDDED

B 9 REINFORCEMENT PROJECTING FROM FOUNDATIONS OR SLABS INTO CORES SHALL BE SET ACCURATELY IN PLACE USING TEMPLATES TO ALIGN WITH THE CENTRE OF THE LENGTH OF CORES AND WITH COVER AS NOTED

AND SHALL BE SUCH THAT GROUT MAY BE SOLIDLY COMPACTED BETWEEN THE BAR AND THE SHELL WHERE HORIZONTAL BARS ARE INDICATED, THE WEBS OF THE BLOCKS BELOW THE BARS SHALL BE CUT DOWN TO ACCOMMODATE THE BARS

B 10 CORES SHALL BE GROUTED WHERE INDICATED OR NOTED GROUTING SHALL TAKE PLACE AT INTERVALS OF NOT MORE THAN 2400mm GROUT SHALL BE PLACED IN LIFTS OF 1200mm AND COMPACTED BY POKER VIBRATOR A SHORT TIME SHOULD ELAPSE BETWEEN SUCCESSIVE LIFTS TO ALLOW PLASTIC SETTLEMENT TO OCCUR

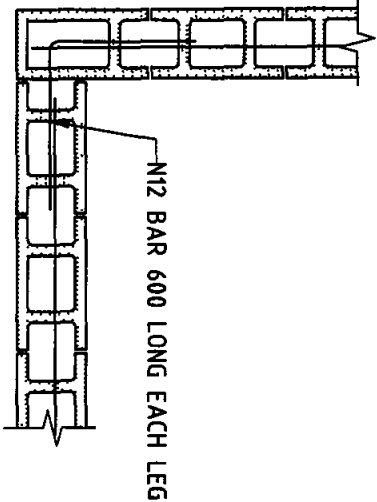
B 11 REINFORCED BLOCKWORK RETAINING WALLS SHALL NOT BE BACKFILLED UNTIL 14 DAYS AFTER THE WALL HAS BEEN GROUTED, OR IF APPLICABLE, UNTIL AFTER THE RETAINING SLAB OVER HAS BEEN POURED AND CURED FOR 7 DAYS BACKFILL TO RETAINING WALLS TO BE FREE DRAINING GRANULAR MATERIAL PROVIDE SUBSOIL DRAIN OR WEEP HOLES

B 12 BRICKWORK SUPPORTING SLABS AND BEAMS SHALL HAVE GALVANISED SLOING JOINT STRIPS COMPRISING 2 GALVANISED STRIPS WITH GRAPHITE GREASE BETWEEN THEM (1 SWAN JOINT STRIPS OR EQUIVALENT)

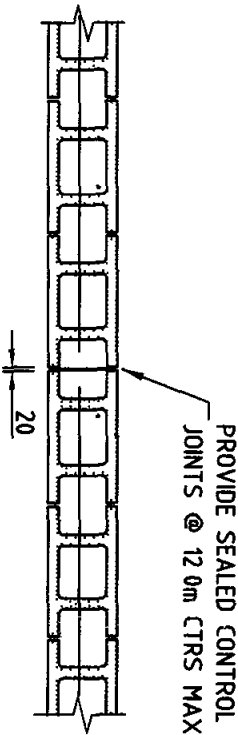
B 13 NO MASONRY WALLS ARE TO BE ERECTED ON SUSPENDED SLABS OR BEAMS UNTIL ALL PROPPING HAS BEEN APPROVED

B 14 BUILDER TO PROVIDE TEMPORARY PROPPING TO ALL WALLS WHERE REQUIRED FOR STABILITY DURING CONSTRUCTION

B 15 NO CHASES OR RECESSES ARE PERMITTED IN LOAD BEARING MASONRY WITHOUT THE APPROVAL OF THE ENGINEER

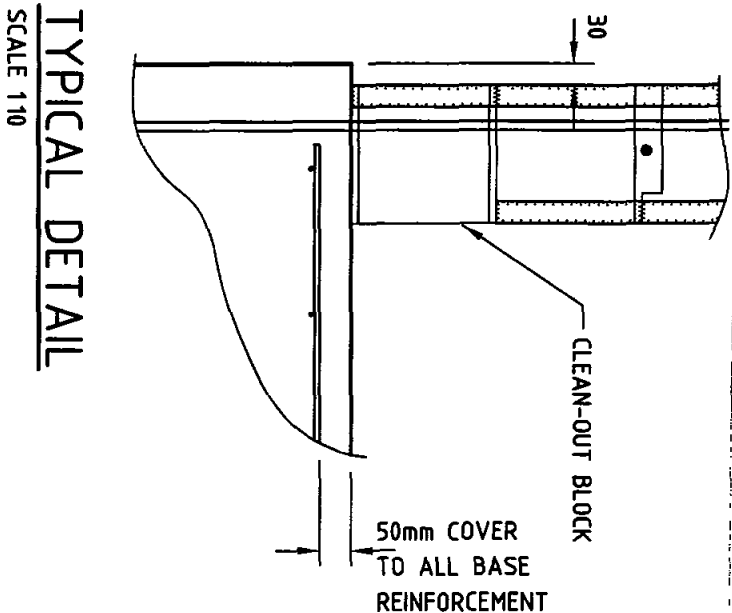


BLOCKWORK CORNER DETAIL
SCALE 120



BLOCKWORK CONTROL JOINT
SCALE 120

NOTES
ALL BLOCKS TO BE ROCLA "DOUBLE U" UNITS OR EQUIVALENT
f_{cu} = 15 MPa (AS 1500)
MORTAR 1 PART PORTLAND CEMENT TO 4 PARTS
CLEAN WASHED BEACH SAND OR RIVER SAND
WITH 0 005 PARTS DYNEX WATER THICKENER.
ALL CORES TO BE GROUTED f_c = 20 MPa (AS 3600), WITH POURABLE
CONSISTENCY & A CEMENT CONTENT NOT LESS THAN 300 kg/m³
FOOTINGS F_c = 20 MPa (AS 3600)



TYPICAL DETAIL
SCALE 110

55mm COVER
TO ALL WALL
REINFORCEMENT
UNO

CLEAN-OUT BLOCK

50mm COVER
TO ALL BASE
REINFORCEMENT

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Enforced by **YS** **TMA**
10 JUL 2008

000438/08

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RETAINING WALL
DETAILS



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JOB No

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SCALE 1100

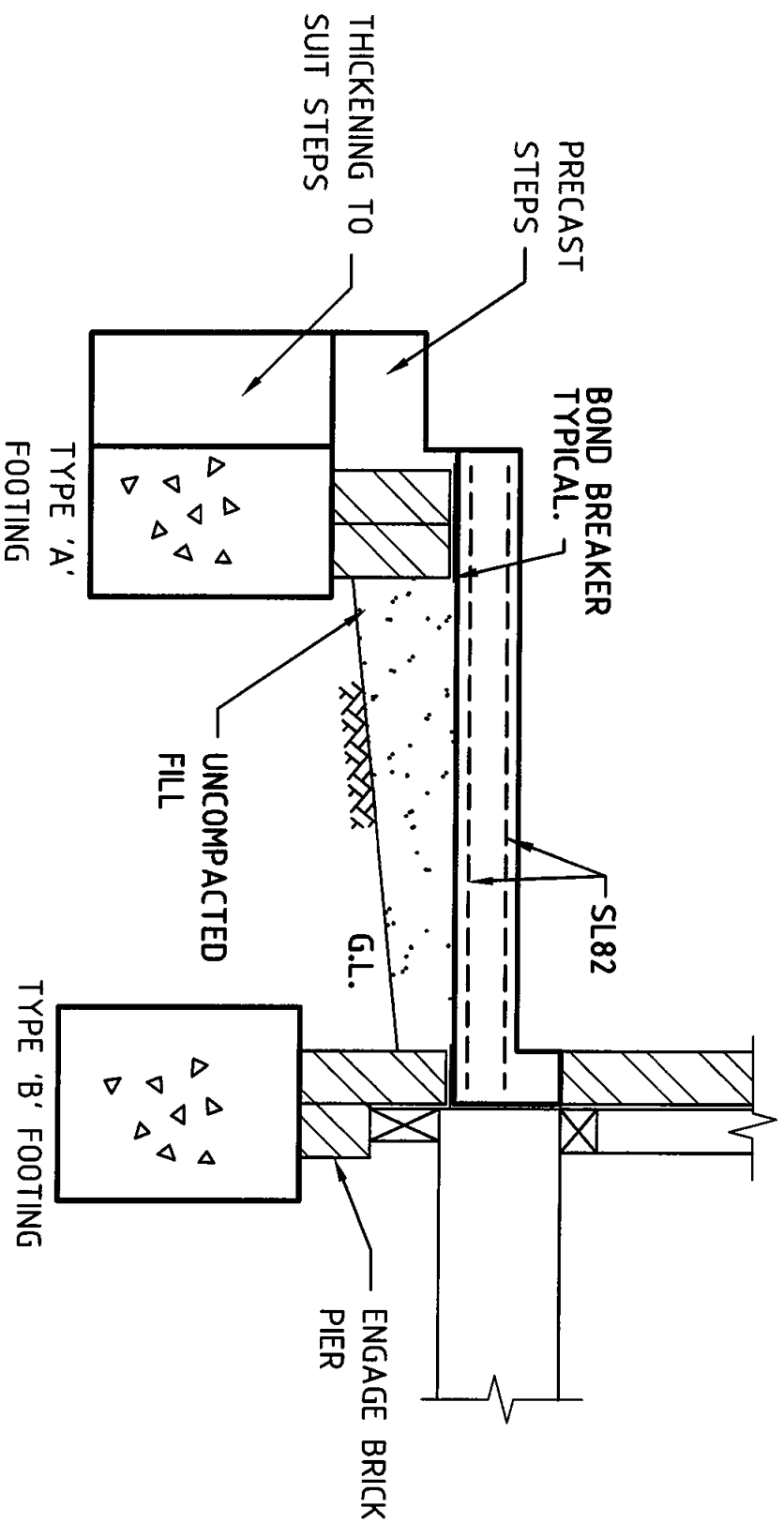
A3 SIZE

SHEET No



18

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18 TMA.
10 JUL 2008



SECTION S3

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				SCALE: N.T.S.		SHEET No: 19			

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