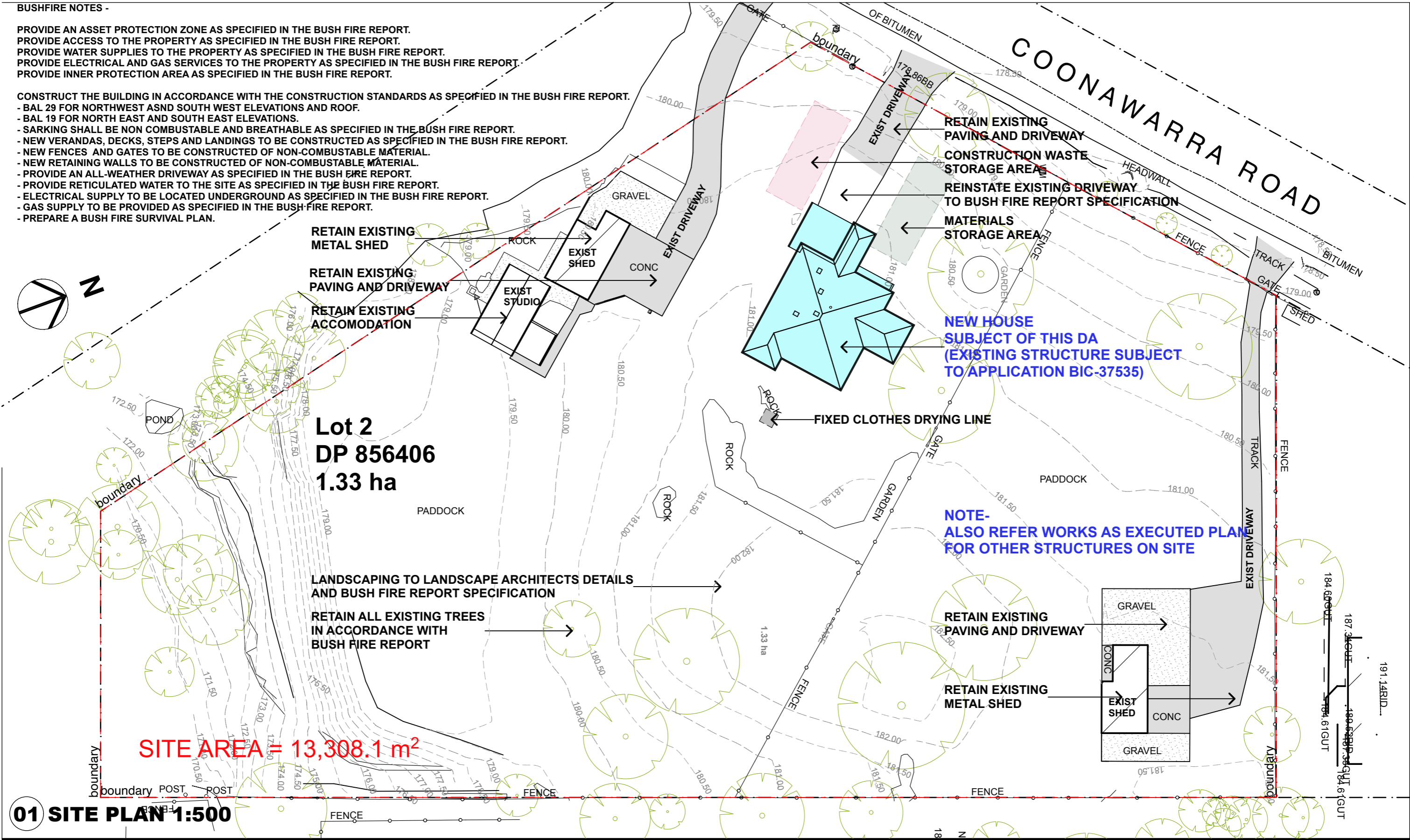


BUSHFIRE NOTES -

PROVIDE AN ASSET PROTECTION ZONE AS SPECIFIED IN THE BUSH FIRE REPORT.  
PROVIDE ACCESS TO THE PROPERTY AS SPECIFIED IN THE BUSH FIRE REPORT.  
PROVIDE WATER SUPPLIES TO THE PROPERTY AS SPECIFIED IN THE BUSH FIRE REPORT.  
PROVIDE ELECTRICAL AND GAS SERVICES TO THE PROPERTY AS SPECIFIED IN THE BUSH FIRE REPORT.  
PROVIDE INNER PROTECTION AREA AS SPECIFIED IN THE BUSH FIRE REPORT.

CONSTRUCT THE BUILDING IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AS SPECIFIED IN THE BUSH FIRE REPORT.  
- BAL 29 FOR NORTHWEST AND SOUTH WEST ELEVATIONS AND ROOF.  
- BAL 19 FOR NORTH EAST AND SOUTH EAST ELEVATIONS.  
- SARKING SHALL BE NON COMBUSTABLE AND BREATHABLE AS SPECIFIED IN THE BUSH FIRE REPORT.  
- NEW VERANDAS, DECKS, STEPS AND LANDINGS TO BE CONSTRUCTED AS SPECIFIED IN THE BUSH FIRE REPORT.  
- NEW FENCES AND GATES TO BE CONSTRUCTED OF NON-COMBUSTABLE MATERIAL.  
- NEW RETAINING WALLS TO BE CONSTRUCTED OF NON-COMBUSTABLE MATERIAL.  
- PROVIDE AN ALL-WEATHER DRIVEWAY AS SPECIFIED IN THE BUSH FIRE REPORT.  
- PROVIDE RETICULATED WATER TO THE SITE AS SPECIFIED IN THE BUSH FIRE REPORT.  
- ELECTRICAL SUPPLY TO BE LOCATED UNDERGROUND AS SPECIFIED IN THE BUSH FIRE REPORT.  
- GAS SUPPLY TO BE PROVIDED AS SPECIFIED IN THE BUSH FIRE REPORT.  
- PREPARE A BUSH FIRE SURVIVAL PLAN.



Amendments

A ISSUED FOR DA 14/05/25

Architect

Nominated Architect James Grant Reg No 6540



**Fortey & Grant Architecture Pty Ltd**  
Suite 3/Level 1, 1141 Botany Lane  
Mascot NSW 2020  
mob: 0401 822 223  
email: james@fgarch.com.au

Project Details

NEW HOUSE AT

**1A COONAWARRA  
ROAD TERREY HILLS  
NSW 2084**

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 14/5/2025
Job Number	2429	
Scale	As shown @ A3	

Drawing name

**SITE PLAN**

Drawing Number

**DA-01**

Amendment

**A**

CALCULATIONS-

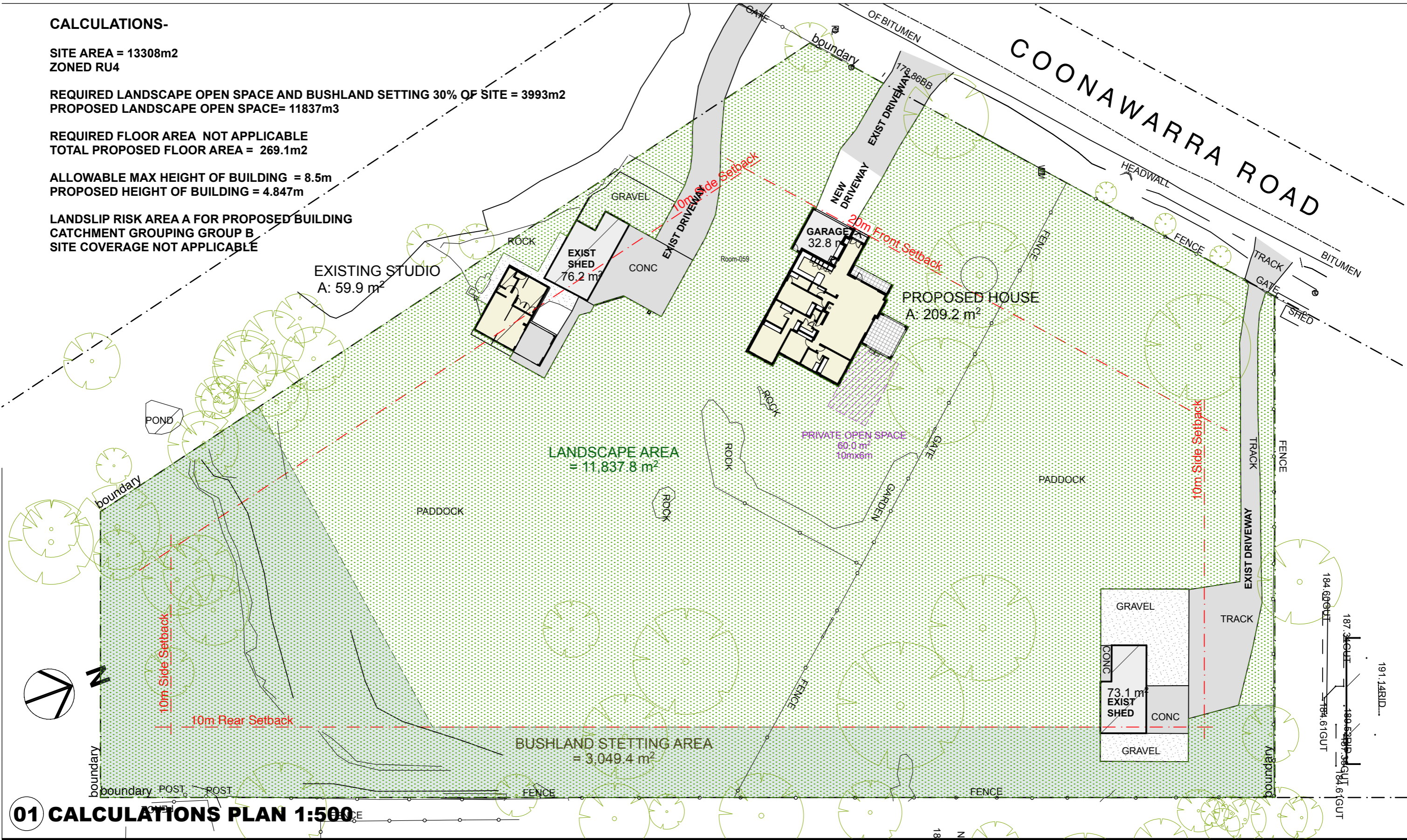
SITE AREA = 13308m2  
ZONED RU4

REQUIRED LANDSCAPE OPEN SPACE AND BUSHLAND SETTING 30% OF SITE = 3993m2  
PROPOSED LANDSCAPE OPEN SPACE= 11837m3

REQUIRED FLOOR AREA NOT APPLICABLE  
TOTAL PROPOSED FLOOR AREA = 269.1m2

ALLOWABLE MAX HEIGHT OF BUILDING = 8.5m  
PROPOSED HEIGHT OF BUILDING = 4.847m

LANDSLIP RISK AREA A FOR PROPOSED BUILDING  
CATCHMENT GROUPING GROUP B  
SITE COVERAGE NOT APPLICABLE



Amendments		
A	ISSUED FOR DA	14/05/25

**Architect** Nominated Architect James Grant Reg No 6540

**Forley & Grant Architecture Pty Ltd**  
Suite 3/Level 1, 1141 Botany Lane  
Mascot NSW 2020  
mob: 0401 822 223  
email: james@fgarch.com.au

**Project Details**

**NEW HOUSE AT**

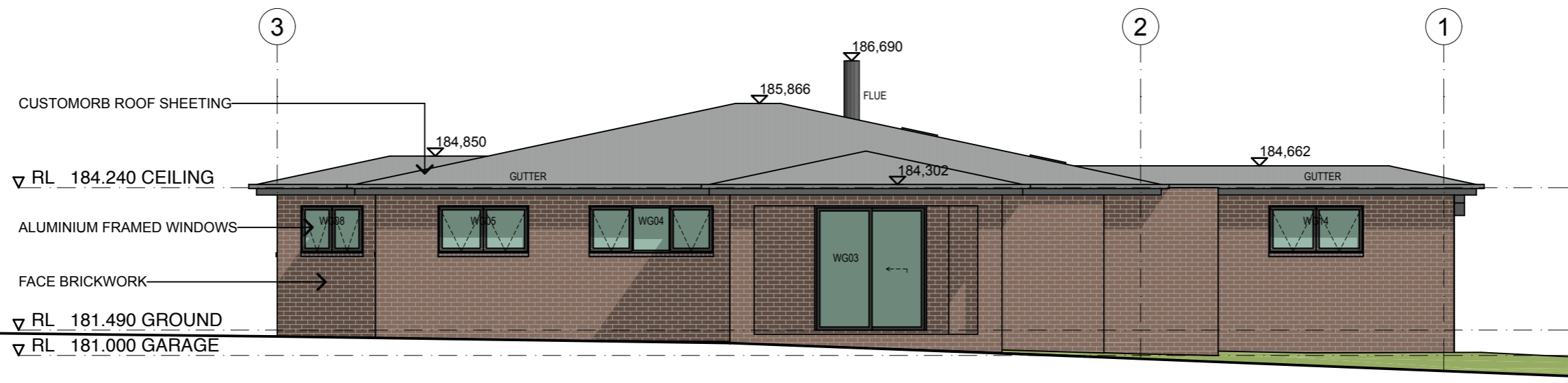
**1A COONAWARRA ROAD TERREY HILLS NSW 2084**

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.		
Drawn JG	Approved JG	Date Printed 14/5/2025
Job Number	2429	
Scale	As shown @ A3	

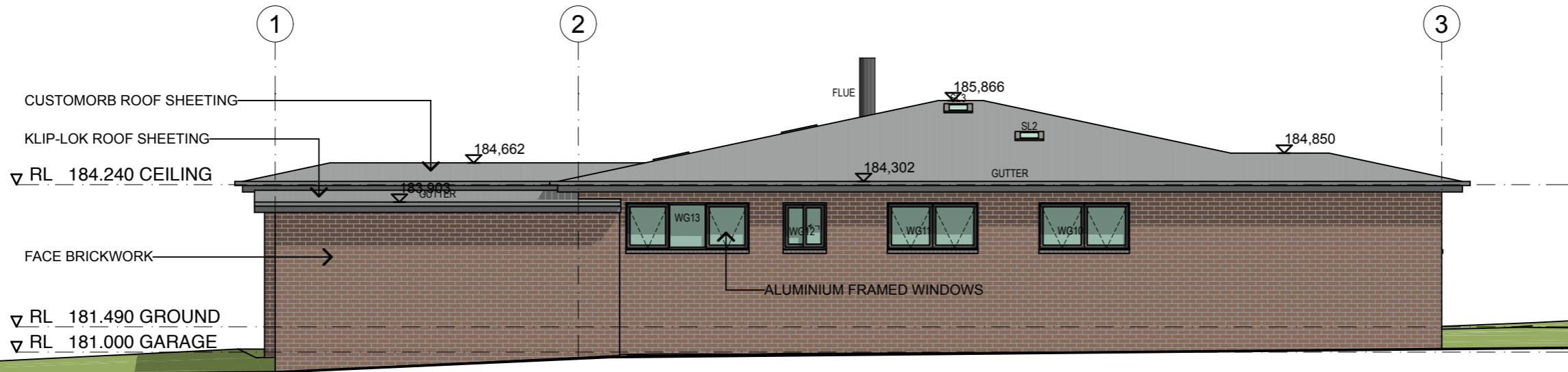
Drawing name	
<b>CALCULATION PLAN</b>	
Drawing Number	Amendment
<b>DA-02</b>	<b>A</b>







**01 NORTH ELEVATION 1:100**



**02 SOUTH ELEVATION 1:100**

**Amendments**

A ISSUED FOR DA 14/05/25

**Architect**

Nominated Architect James Grant Reg No 6540



**Fortey & Grant Architecture Pty Ltd**  
Suite 3/Level 1, 1141 Botany Lane  
Mascot NSW 2020  
mob: 0401 822 223  
email: james@fgarch.com.au

**Project Details**

**NEW HOUSE AT**

**1A COONAWARRA  
ROAD TERREY HILLS  
NSW 2084**

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 14/5/2025
Job Number	2429	
Scale	As shown @ A3	

Drawing name

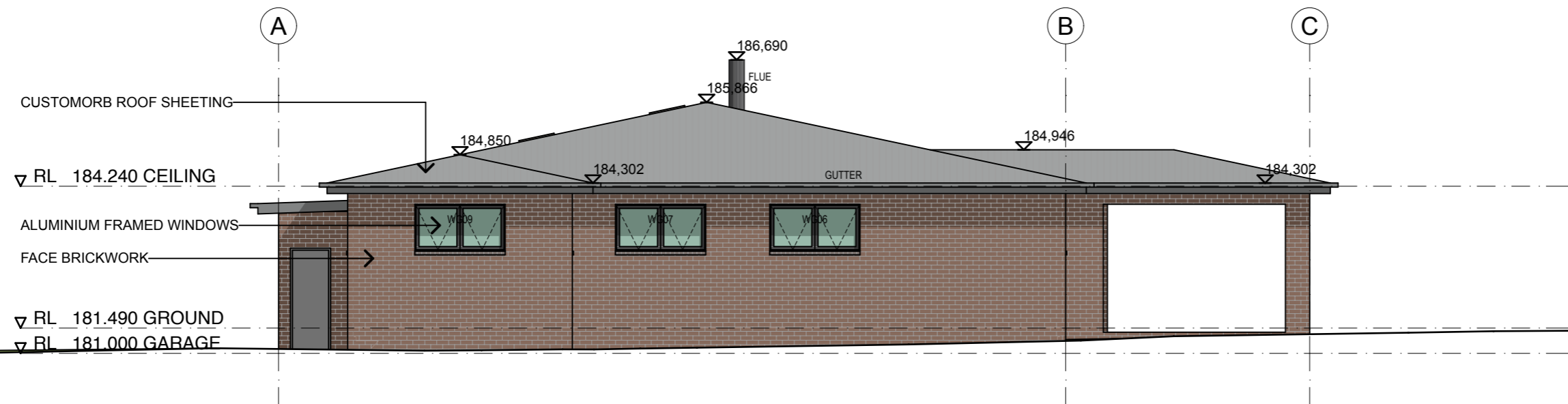
**NORTH AND SOUTH  
ELEVATIONS**

Drawing Number

**DA-05**

Amendment

**A**



**01 EAST ELEVATION 1:100**



**02 WEST ELEVATION 1:100**

#### Amendments

A ISSUED FOR DA 14/05/25

#### Architect

Nominated Architect James Grant Reg No 6540



**Fortey & Grant Architecture Pty Ltd**  
Suite 3/Level 1, 1141 Botany Lane  
Mascot NSW 2020  
mob: 0401 822 223  
email: james@fgarch.com.au

#### Project Details

**NEW HOUSE AT**

**1A COONAWARRA  
ROAD TERREY HILLS  
NSW 2084**

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 14/5/2025
Job Number	2429	
Scale	As shown @ A3	

Drawing name

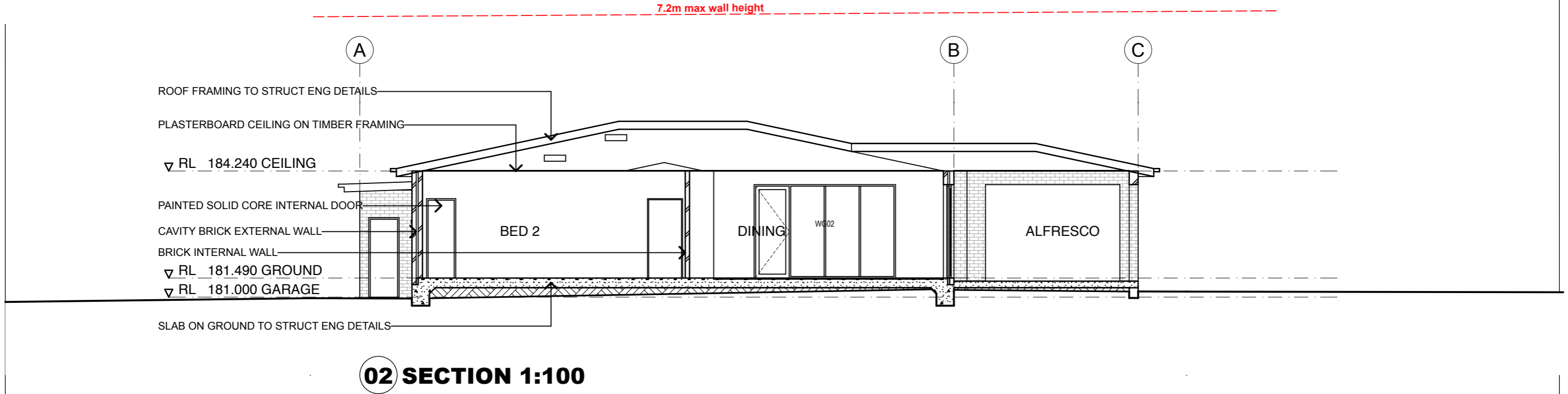
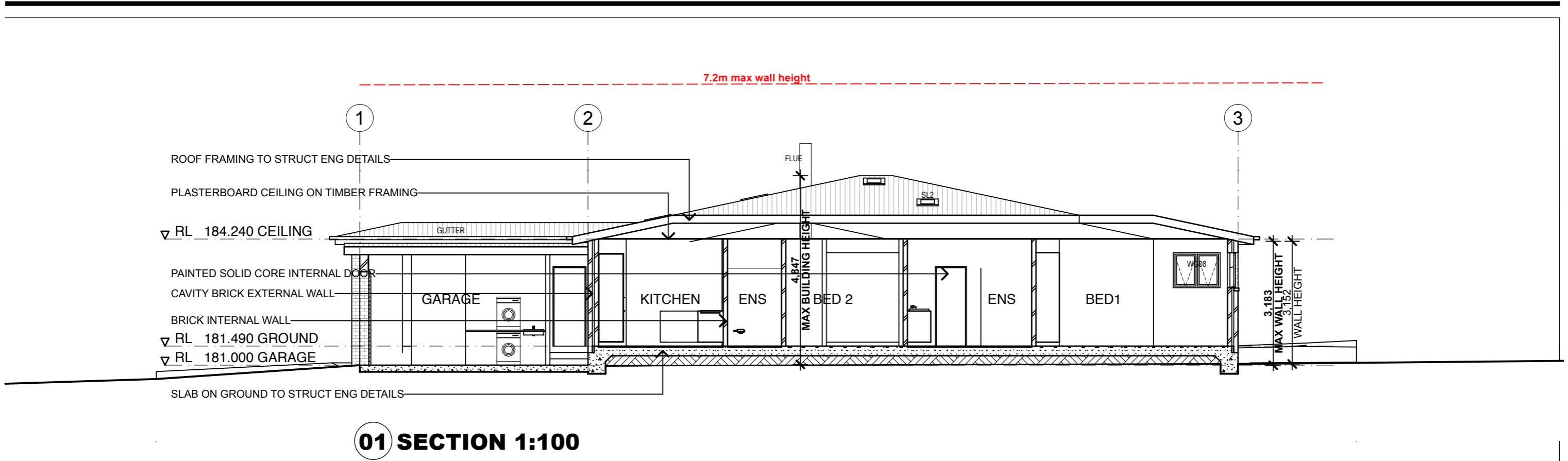
**EAST AND WEST  
ELEVATIONS**

Drawing Number

**DA-06**

Amendment

**A**



<div>Amendments</div>		<div>Architect</div> <div>Nominated Architect James Grant Reg No 6540</div>	<div>Project Details</div>	<div>This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.</div>		<div>Drawing name</div>	
<div>A</div> <div>ISSUED FOR DA</div> <div>14/05/25</div>		<div><div><div></div></div><div>Fortey &amp; Grant Architecture Pty Ltd</div><div>Suite 3/Level 1, 1141 Botany Lane</div><div>Mascot NSW 2020</div><div>mob: 0401 822 223</div><div>email: james@fgarch.com.au</div></div>	<div>NEW HOUSE AT</div> <div>1A COONAWARRA</div> <div>ROAD TERREY HILLS</div> <div>NSW 2084</div>	<div>Drawn</div> <div>JG</div> <div>Job Number</div> <div>2429</div> <div>Scale</div> <div>As shown @ A3</div>	<div>Approved</div> <div>JG</div> <div>Date Printed</div> <div>14/5/2025</div>	<div>SECTIONS</div> <div>Drawing Number</div> <div>DA-07</div> <div>Amendment</div> <div>A</div>	



01 MATERIALS VIEW

BASIX REQUIREMENTS-

INSTALL MIN 4 STAR RATED SHOWERS AS SPEC IN BASIX  
INSTALL MIN 4 STAR RATED WCs  
INSTALL MIN 4 STAR RATED KITCHEN TAPS  
INSTALL MIN 4 STAR RATED BASIN TAPS  
INSTALL RAINWATER TANK MIN 3000l AS PSEC IN BASIX  
AIR CONDITIONED FLOOR AREA NOT TO EXCEED 300m2  
PROVIDE INSULATION IN EXTERNAL WALLS AS SPEC IN BASIX  
PROVIDE MIN R5 INSULATION TO CEILING AS SPEC IN BASIX  
PROVIDE FOIL/SARKING TO ROOF AS SPEC IN BASIX  
ROOF TO BE MEDIUM SOLAR ABSORPTANCE  
PROVIDE CEILING FANS TO LIVING ROOM  
CEILING FANS TO COMPLY WITH ABCB HOUSING PROVISIONS (Part 13.5.2) OF THE NCC  
PROVIDE WINDOWS AND GLAZED DOORS AS SPECIFIED IN BASIX  
PROVIDE GLAZING AND FRAMES AS SPECIFIED IN BASIX  
PROVIDE ROOF OVERHANGS AS SPECIFIED IN BASIX  
PROVIDE GAS INSTANTANEOUS HOT WATER AS SPEC IN BASIX  
PROVIDE A GAS COOKTOP AND ELECTRIC OVEN AS SPEC IN BASIX  
PROVIDE A FIXED OUTDOOR CLOTHES DRYING LINE AS SPEC IN BASIC



2-  
ROOF SHHETING  
COLOURBOND WINDSPRAY



3-  
ALUMINIUM WINDOW FRAMES  
COLOURBOND MONUMENT



1-  
FACE BRICKWORK  
AUSTRAL PARK LANE MAYFAIR

Amendments		
A	ISSUED FOR DA	14/05/25

Architect

Nominated Architect James Grant Reg No 6540

Forley & Grant Architecture Pty Ltd

Suite 3/Level 1, 1141 Botany Lane

Mascot NSW 2020

mob: 0401 822 223

email: james@fgarch.com.au

Project Details

NEW HOUSE AT

1A COONAWARRA  
ROAD TERREY HILLS  
NSW 2084

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings . All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.		
Drawn JG	Approved JG	Date Printed 14/5/2025
Job Number	2429	
Scale	As shown @ A3	

Drawing name

MATERIALS AND  
FINISHES, BASIX

Drawing Number

DA-08

Amendment

A