

1.8 m H BOUNDARY FENCING WITHIN POOL ZONE
TO BE IN ACCORDANCE WITH A.S.1926.1-2012 AND
THE SWIMMING POOLS ACT, 1992 (BY OTHERS)

LOT 6
DP 29740

PROPOSED 1.2m H CHILDPROOF SAFETY FENCE
WITH SC/SL GATE TO BE IN ACCORDANCE WITH
A.S.1926.1-2012 AND THE SWIMMING POOLS ACT,
1992 (BY OTHERS)

LOT 7
DP 29740

No.4
SINGLE STOREY
WOOD/ CORRUGATED IRON
DWELLING

LOT 13
DP 29740

No.22
SINGLE STOREY
WOOD/ TILED
DWELLING

EXISTING SINGLE
STOREY RESIDENCE
No. 24
LOT 14
DP29740
SITE AREA=695.6m²

SITE PLAN / SITE ANALYSIS PLAN

POOL VOLUME = 30,900 LITRES

0 20 40 60 80 100 200mm
1:1



**RIGHT ANGLE DESIGN
& DRAFTING PTY LTD**

ROBYN GOOD
HORTICULTURE CERT III
ASSOC. DIPLOMA STRUCTURAL ENGINEERING
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MEMBERS OF: SWIMMING POOL ASSOCIATION OF NSW LIMITED
BUILDING DESIGNERS AUSTRALIA

REVISIONS:



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0295

PROPOSED ALTERATIONS AND ADDITIONS
TIM HAMMOND
LOT 14 DP29740
No.24 EDINBURGH ROAD
FORESTVILLE 2087

DWG NAME

SITE PLAN / SITE ANALYSIS PLAN

DATE

SCALE AT A3

JOB NUMBER

DWG NUMBER

MAY 19

1:200

RADD18075

A1

SPECIFICATION

- CONFIRM ALL DIMENSIONS, SERVICES AND LEVELS ON SITE PRIOR TO STARTING WORK.
- ALL BUILDING WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL GOVERNMENT AUTHORITY.
- THE BUILDER IS TO CLEAR THE BUILDING SITE, REMOVE ALL RUBBISH, GRASSES AND SURFACE TOP SOIL PRIOR TO BULK EXCAVATION AND LEVELLING OF THE BUILDING PLATFORM.
- SLABS AND FOOTING SHALL BE CAPABLE OF CARRYING ALL DEAD AND LIVE LOADS SUPERIMPOSED THERE ON. ALL CONCRETE WORK TO COMPLY WITH THE PROVISIONS OF AS3600 AND ALL RESPECTIVE SAA CODES AND AS DETAILED ON THE STRUCTURAL ENGINEERING DRAWINGS.
- ALL BRICKWORK TO BE ACCURATELY BONDED AND CARRIED UP TRUE AND PLUMB IN LEVEL COURSES TO THE VARIOUS HEIGHTS AND THICKNESSES SHOWN ON THE FLOOR PLANS AND ELEVATIONS AND TO COMPLY WITH AUSTRALIAN STANDARDS AS1225, AS1364 AND AS1653. MORTARS TO CONSIST OF FRESH PORTLAND CEMENT, HYDRATED LIME OR LIME PUTTY AND LEAN SHARP SAND, NOMINALLY PROPORTIONED BY VOLUME AND MIXED WITH FRESH CLEAN WATER AT TIME OF USE. THE SHADE UN UNIFORMITY OF COLOUR ON THE MORTARS SHALL BE CONSISTANT THROUGHOUT THE WHOLE JOB.
- ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH RULES AND REQUIREMENTS OF THE AUTHORITY CONCERNED.
- THE ELECTRICAL INSTALLATION SHALL BE CARRIED OUT BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL ELECTRICAL AUTHORITY AND THE CURRENT WIRING CODES. THE INSTALLATION IS TO SATISFY ANY TEST REQUIRED BY THE SUPPLY AUTHORITY ON COMPLETION.
- ALL PAINT, ENAMEL, VARNISH ETC TO BE OF THE BEST QUALITY APPROVED BRANDS BROUGHT ONTO THE JOB IN UNOPENED CONTAINERS AND APPLIED STRICTLY ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- THE DRAINER IS TO PROVIDE A SEWRED DRAINAGE SYSTEM FROM ALL WASTES AND FITTINGS AND CONNECT TO THE EXISTING SEWER DISPOSAL LINE, ALL IN ACCORDANCE WITH THE RULES AND REQUIREMENTS OF THE AUTHORITY FOR WATER SUPPLY AND SEWERAGE. PROVIDE MINIMUM ONE GULLY OUTSIDE THE BUILDING. THE AUTHORITIES APPROVAL TO BE OBTAINED AT COMPLETION OF THE WORK. LAY STORMWATER DRAINS FROM ALL DISCHARGE POINTS TO CONNECT INTO THE EXISTING STORMWATER SYSTEM.
- BOUNDARY FENCING TO BE UPGRADED AS NECESSARY AND ALL POOL FENCING TO COMPLY WITH THE NSW SWIMMING POOL ACT 1992, AS1926.1-2012 SAFETY BARRIERS FOR SWIMMING POOLS AND AS1926.2-LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
- THIS POOL IS NOT DESIGNED FOR DIVING.
- THE BUILDING IS TO BE COMPLETED IN EVERY TRADESMAN LIKE MANNER THE BUILDING IN ALL RESPECT TO BE LEFT CLEAN AND FIT FOR OCCUPATION. ALL SURPLUS MATERIALS ARE TO BE REMOVED BY THE BUILDER.
- EL = EXISTING LEVEL
FL = FLOOR LEVEL
RL = REDUCED LEVEL
+ = EXISTING LEVEL

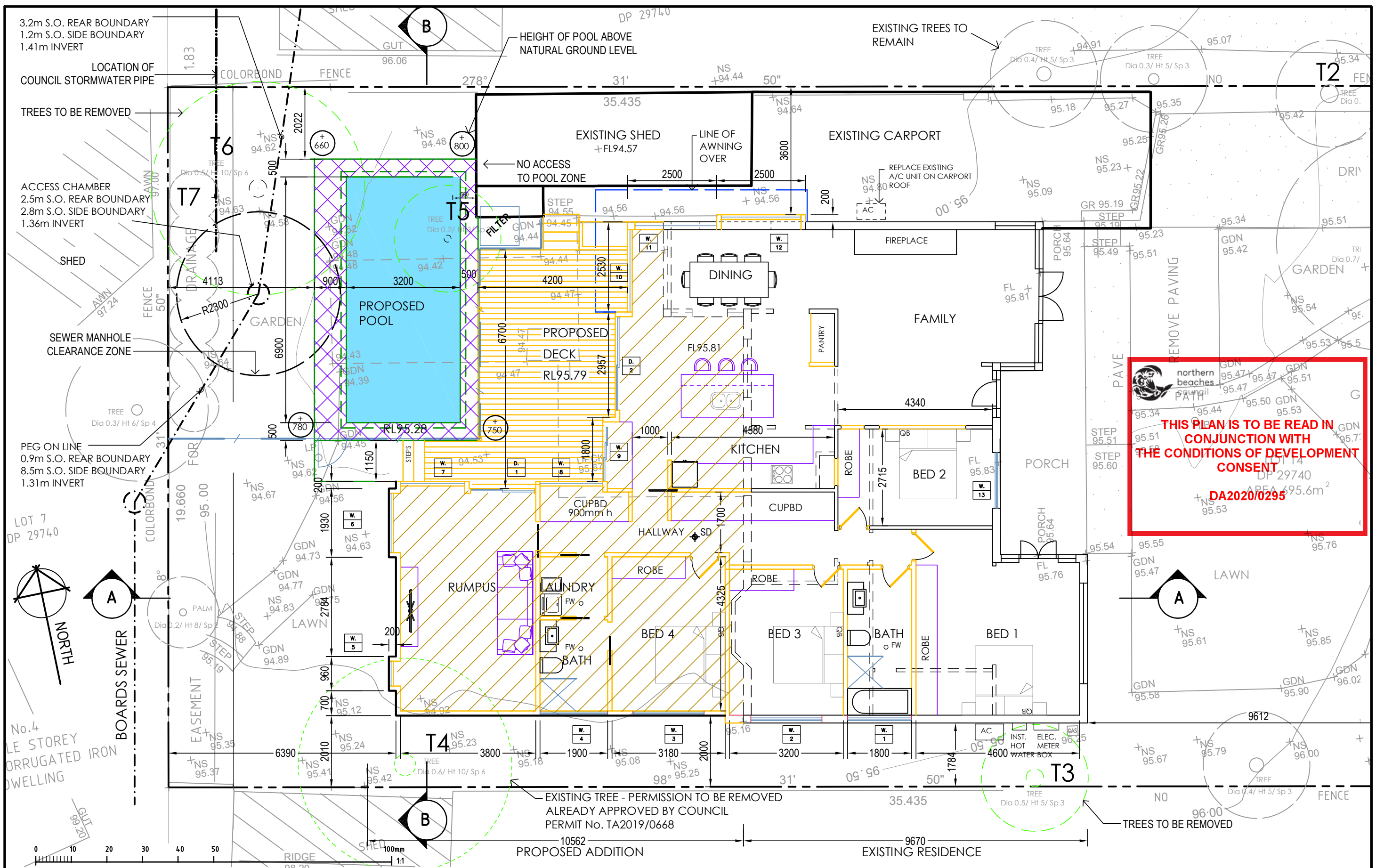
SYMBOL LEGEND


NEIGHBOURING
PRIVATE OPEN SPACE

PREVAILING WINDS

VIEWS

NOISE SOURCE





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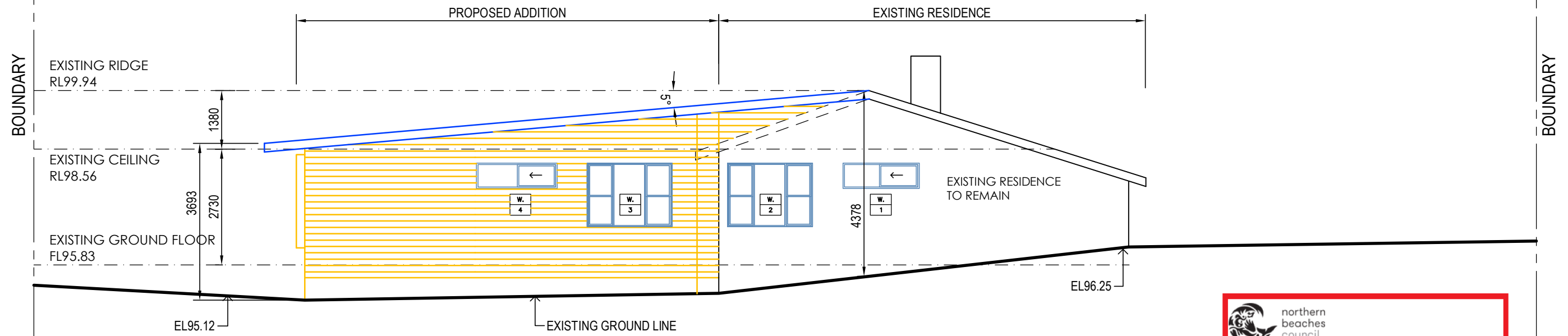
REVISIONS:

key	existing walls
new brick walls	new framed walls
existing walls to be demolished	smoke detector
floor waste	

PROPOSED ALTERATIONS AND ADDITIONS
TIM HAMMOND
LOT 14 DP29740
No.24 EDINBURGH ROAD
FORESTVILLE 2087

DWG NAME
PROPOSED GROUND FLOOR PLAN

DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
MAY 19	1:100	RADD18075	A3

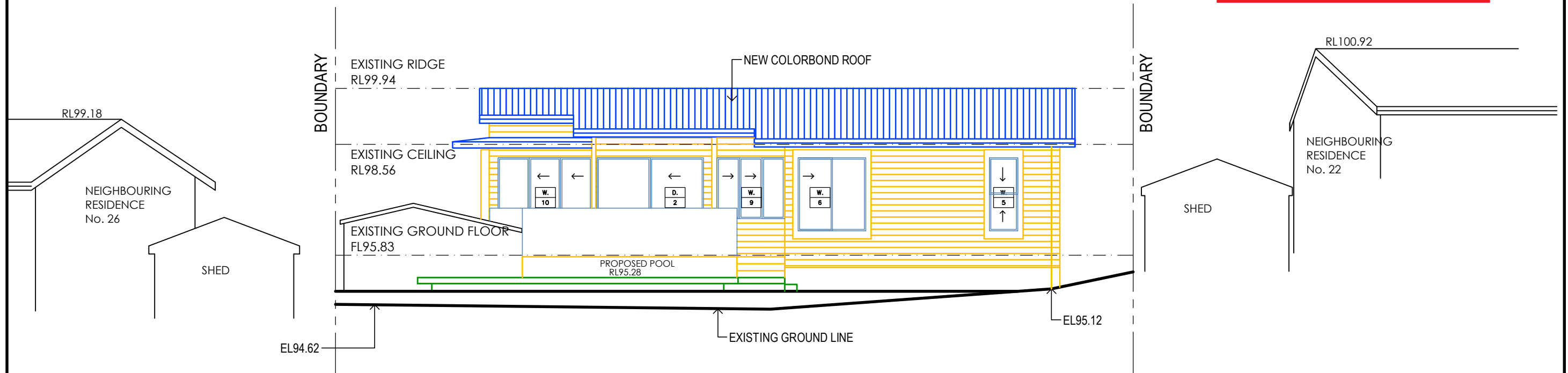


SOUTH ELEVATION

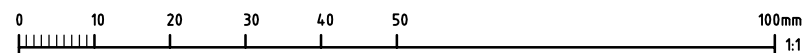
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WEST ELEVATION



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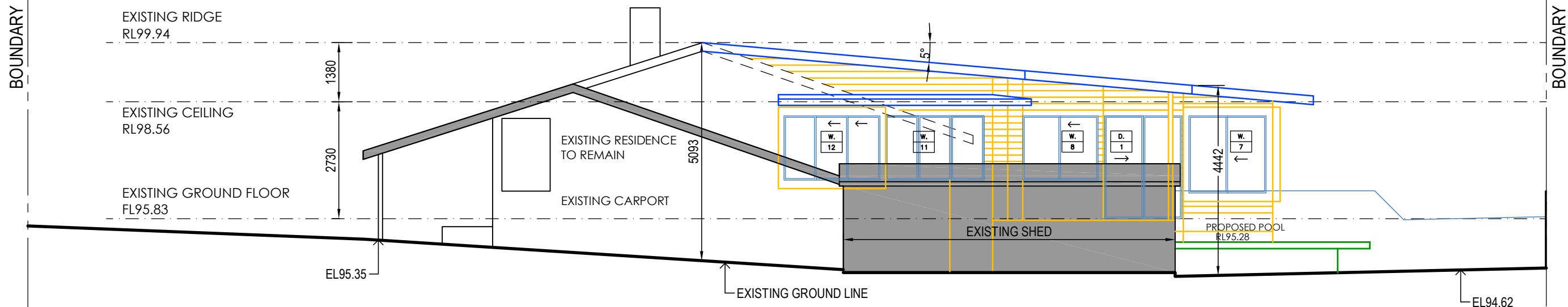
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DWG NAME
SOUTH AND WEST ELEVATION

DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
MAY 19	1:100	RADD18075	A4



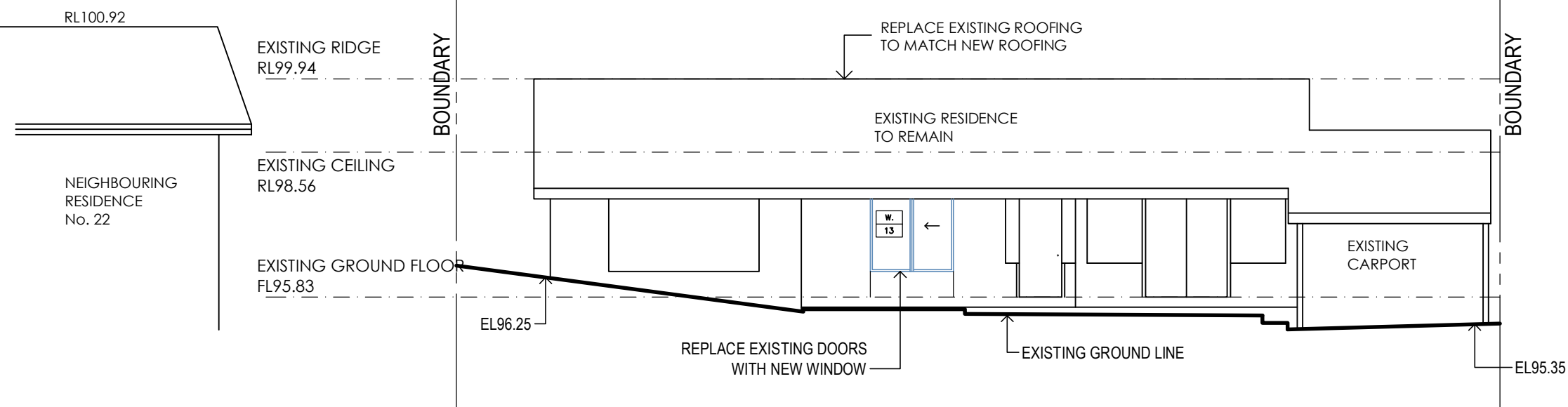
NORTH ELEVATION



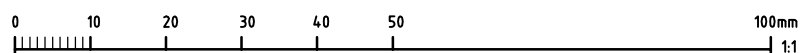
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EAST ELEVATION



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DWG NAME

NORTH AND EAST ELEVATION

DATE

SCALE AT A3

JOB NUMBER

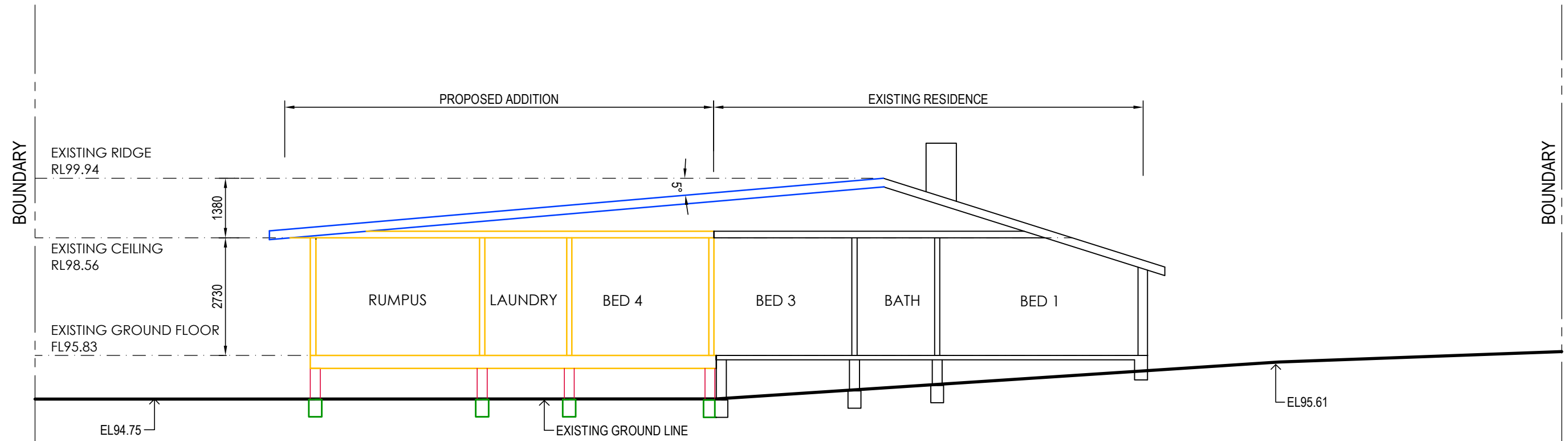
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MAY 19

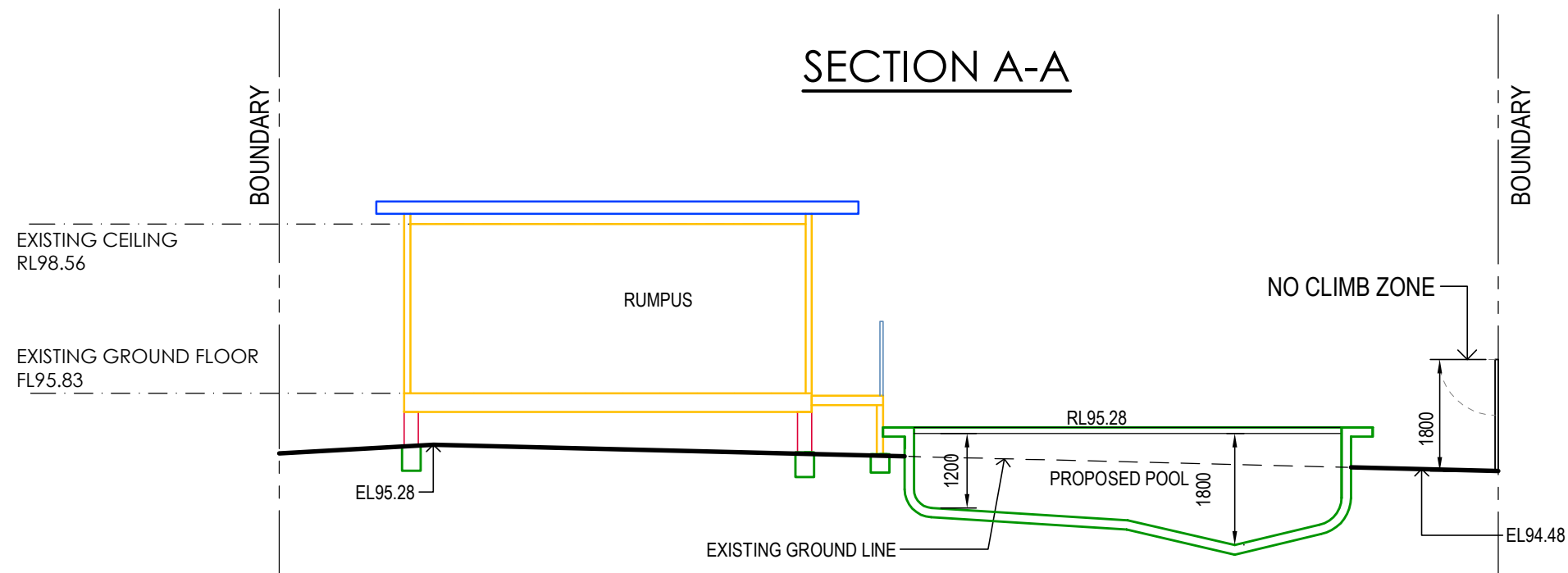
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RADD18075

A5



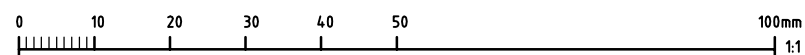
SECTION A-A



SECTION B-B

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FORESTVILLE 2087

DWG NAME

SECTIONS

DATE

SCALE AT A3

JOB NUMBER

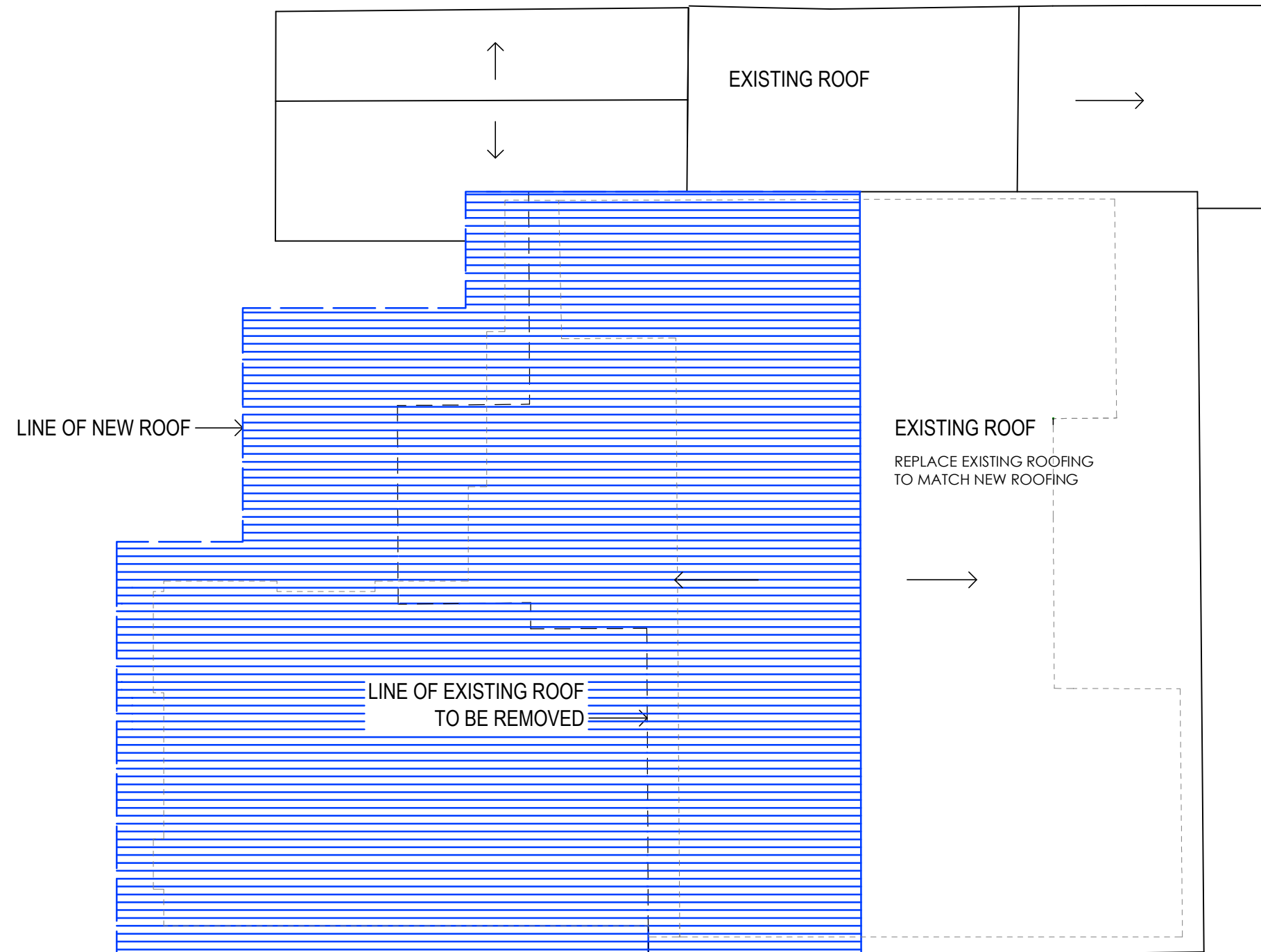
DWG NUMBER

MAY 19

1:100

RADD18075

A6



 northern
beaches
council

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0 10 20 30 40 50 100mm 1:1



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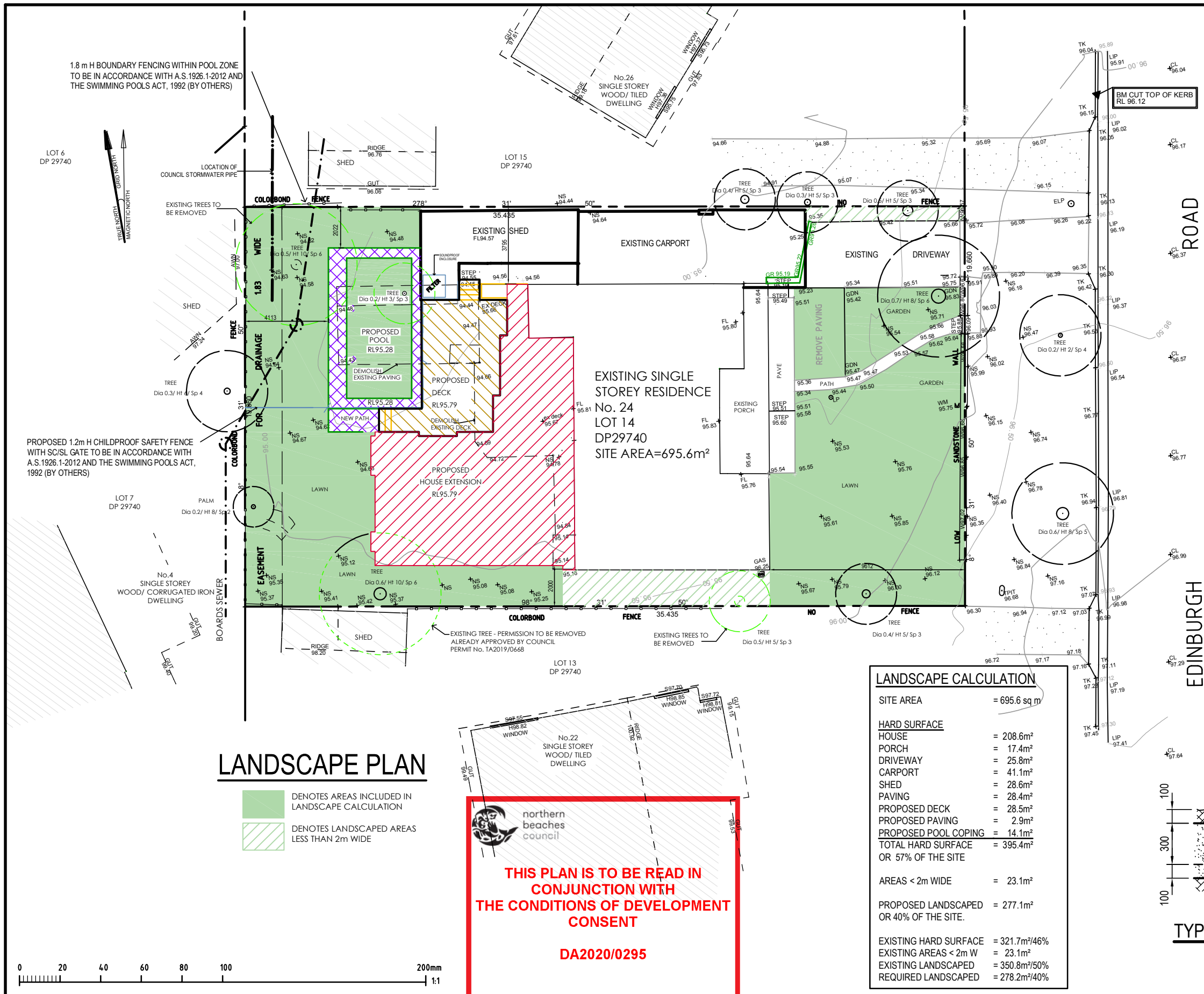
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LOT 14 DP29740
No.24 EDINBURGH ROAD
FORESTVILLE 2087

DWG NAME
PLAN AT ROOF

DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
MAY 19	1:100	RADD18075	A7



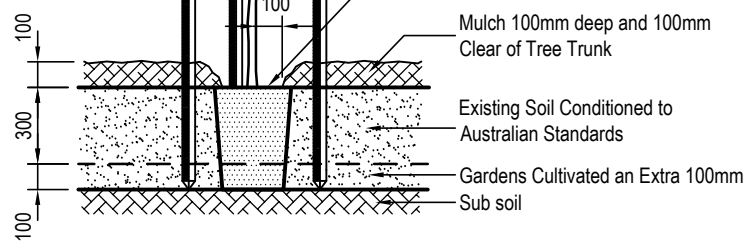
LANDSCAPE NOTES:

Check boundaries, levels, dimensions and locate services on site prior to starting work.
Clear site of any builders rubbish and set up erosion and sediment control as per councils requirements.
Protect any trees to be retained to council requirements.
Grade site to achieve proposed final grades. Cultivate sub grade to a depth of 300mm.
Stockpile soil if suitable for reuse or provide landscape soil th meets Australian Standards to replace site top soil.
Install plant material as per plan. Keep planting areas moist, stake plants as required and 'water in'. Fertilise exotic plants with Osmocote 'Plus' 8-9 month slow release fertiliser and native plants with Osmocote zero Phosphorus 5-6 month slow release. Apply as per manufacturer's instructions.
Gardens are to be mulched to a 75mm depth using Native Le Litter Mulch or wood chip that meets Australian Standards. Keep mulch clear of all plant stems.
Level turf areas and spread lawn food as per manufacturers instructions. Lay turf, water well and roll with turf roller. Keep moist at all times.
Fill gaps and depressions with sand and allow 4 weeks before cutting.
Paving to be laid on compacted surface of 50mm sand beddin on 100mm compacted fine crushed rock. Ensure ground belo is also compacted. Check paving and setout prior to laying.
Retaining walls and concrete driveways / paths to engineers details.

LANDSCAPE CALCULATION

SITE AREA	= 695.6 sq m
HARD SURFACE	
HOUSE	= 208.6m²
PORCH	= 17.4m²
DRIVEWAY	= 25.8m²
CARPORT	= 41.1m²
SHED	= 28.6m²
PAVING	= 28.4m²
PROPOSED DECK	= 28.5m²
PROPOSED PAVING	= 2.9m²
PROPOSED POOL COPING	= 14.1m²
TOTAL HARD SURFACE	= 395.4m²
OR 57% OF THE SITE	
AREAS < 2m WIDE	= 23.1m²
PROPOSED LANDSCAPED	= 277.1m²
OR 40% OF THE SITE.	
EXISTING HARD SURFACE	= 321.7m²/46%
EXISTING AREAS < 2m W	= 23.1m²
EXISTING LANDSCAPED	= 350.8m²/50%
REQUIRED LANDSCAPED	= 278.2m²/40%

EDINBURGH ROAD



TYPICAL PLANTING DETAIL

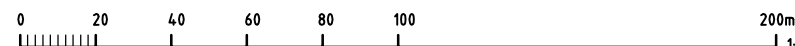
LANDSCAPE PLAN

- DENOTES AREAS INCLUDED IN LANDSCAPE CALCULATION
- DENOTES LANDSCAPED AREAS LESS THAN 2m WIDE

northern beaches council

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DWG NAME	LANDSCAPE PLAN
DATE	MAY 19
SCALE AT A3	1:200
JOB NUMBER	RADD18075
DWG NUMBER	A8