DEVELOPEMENT APPLICATION DRAWINGS

68 BIRKLEY ROAD, MANLY

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DA04	PROPOSED GROUND FLOOR PLAN	L/02	
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DA06	PROPOSED WEST ELEVATION - YARD VIEW	LP02	LANDSCAPE PLAN
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DA19	BASIX REPORT		PROJECT 68 BIRKLEY ROAD

T: 612 424 561 309 E-mail - alice.e.cutcliffe@gmail.com

DWG

UND FLOOR PLAN

L ONE PLAN

HEDULE

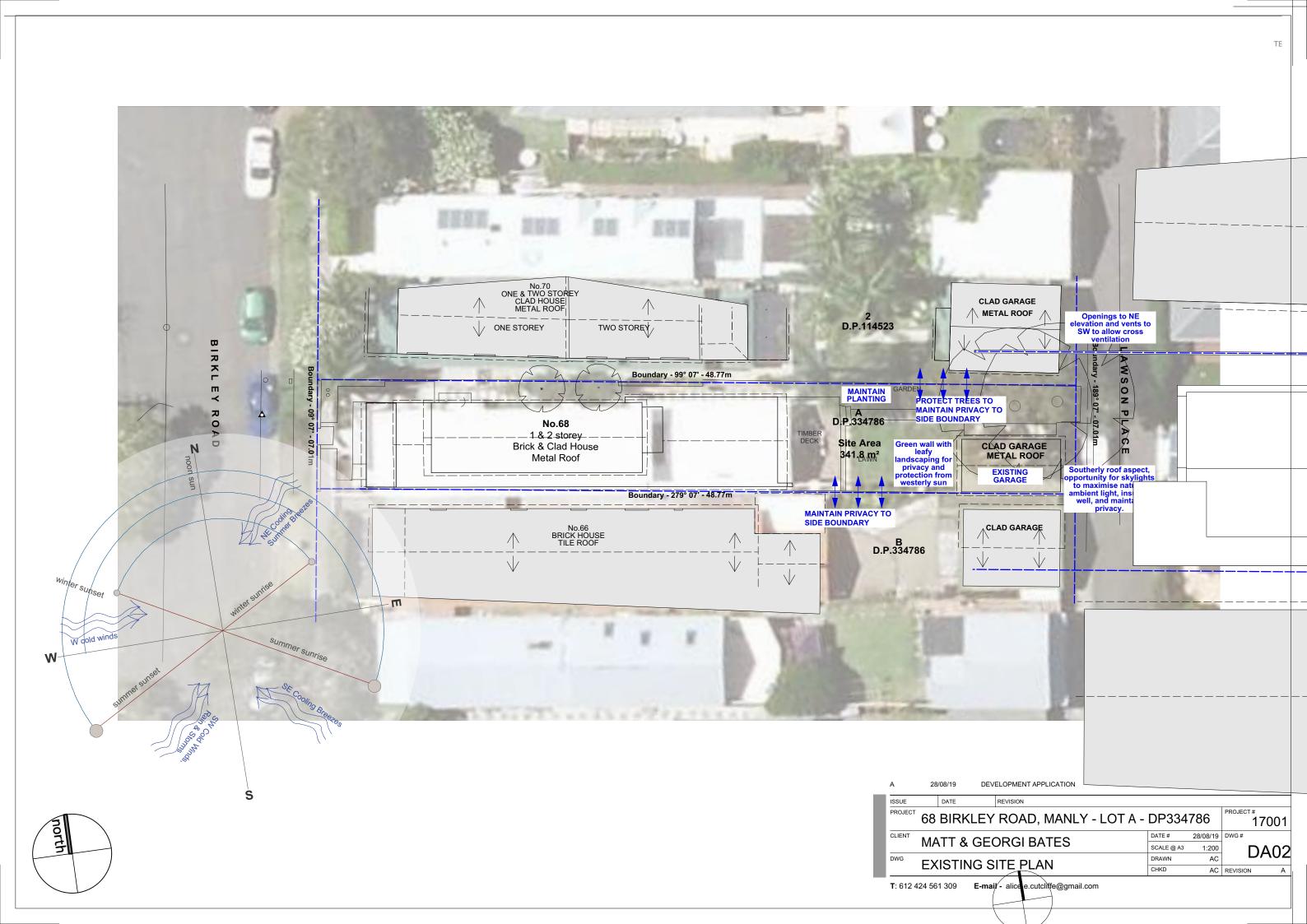
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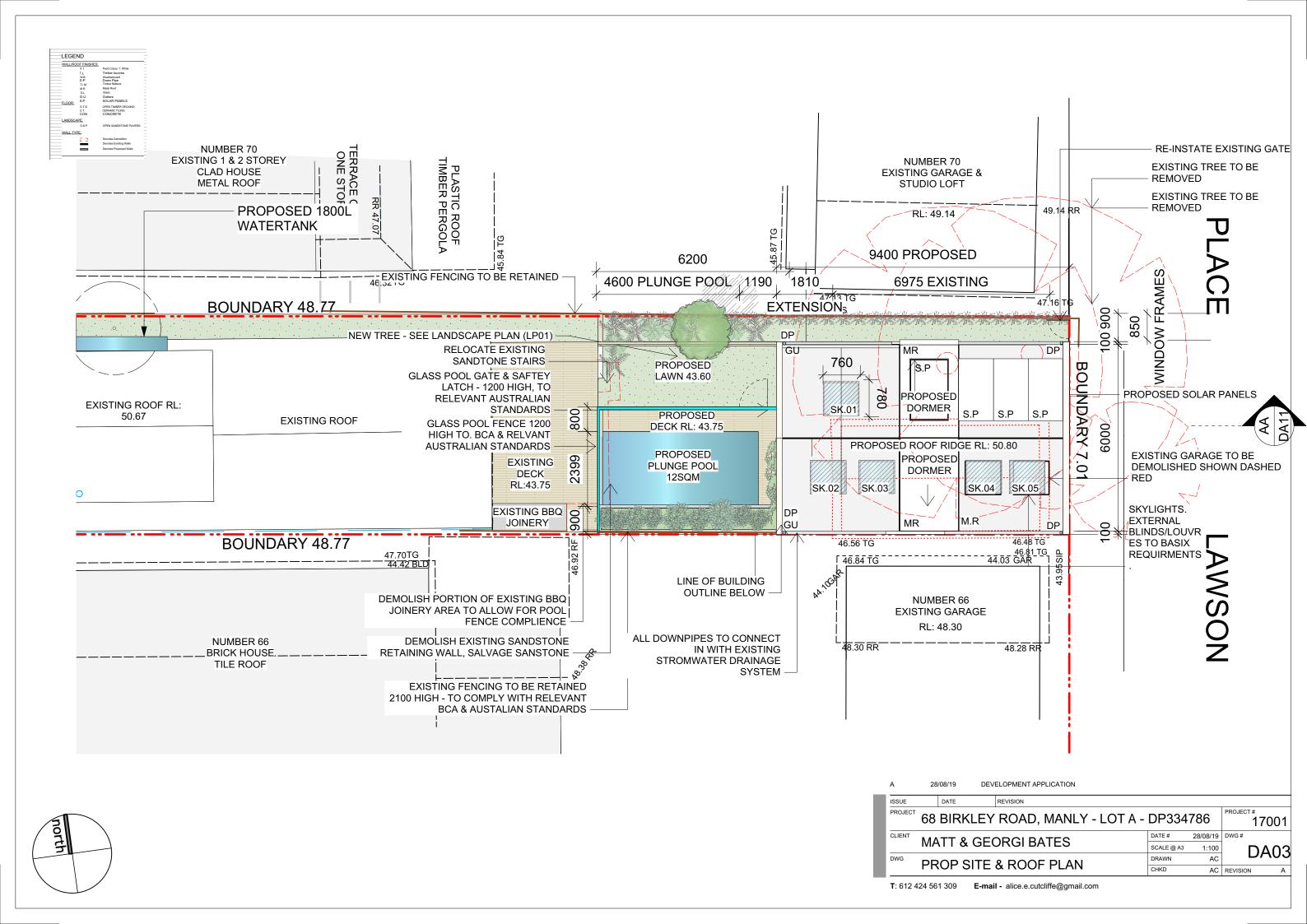
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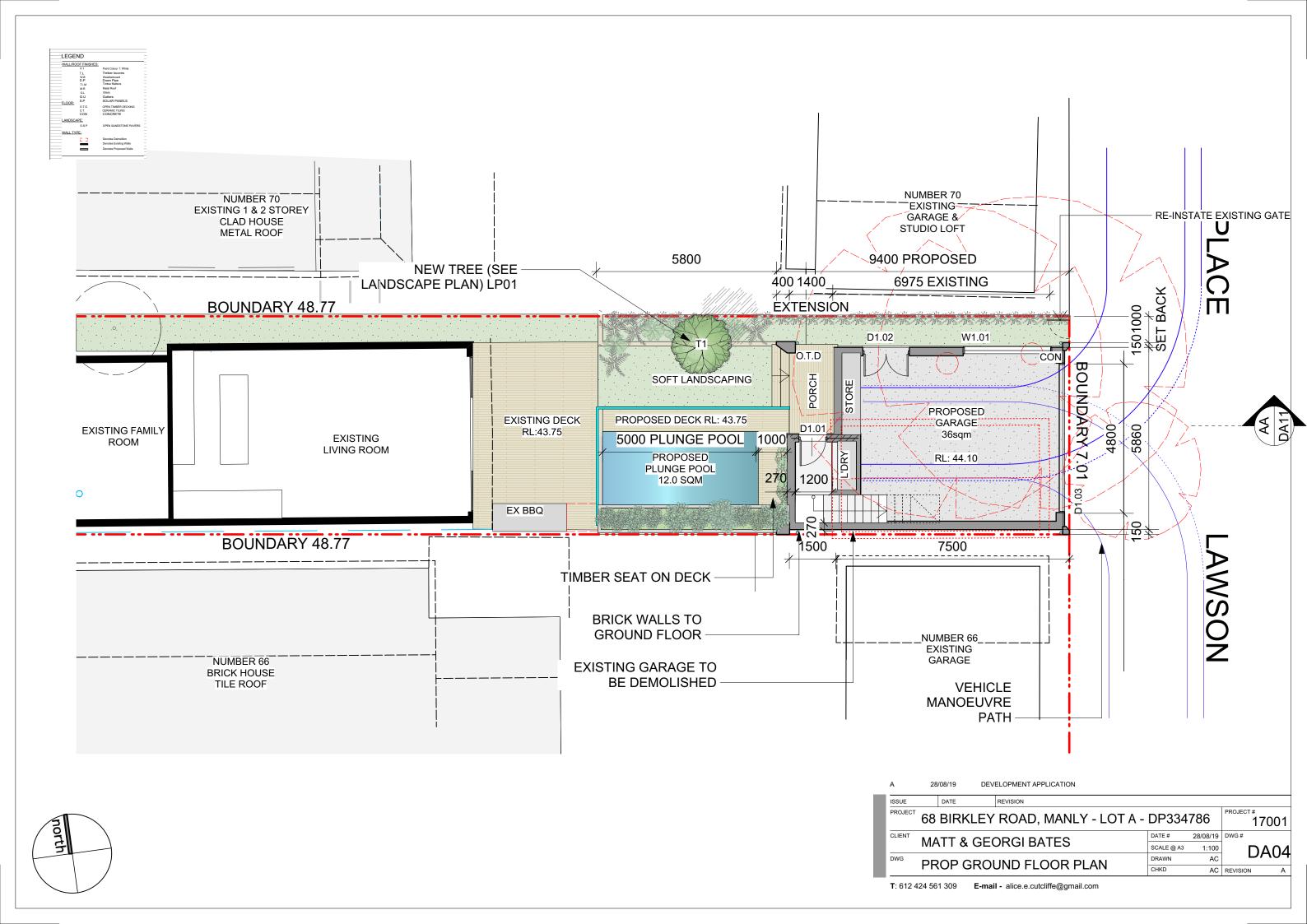
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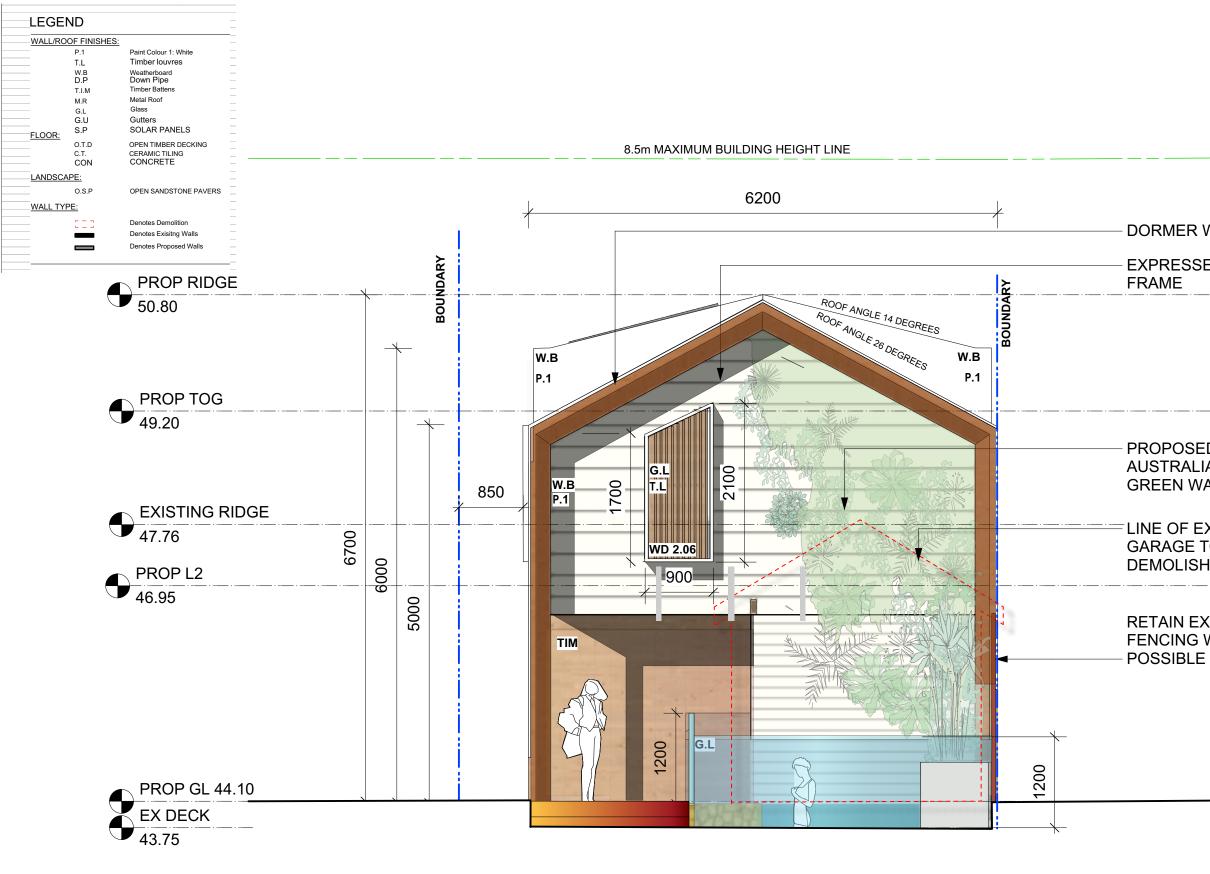
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DORMER WINDOWS

EXPRESSED TIMBER

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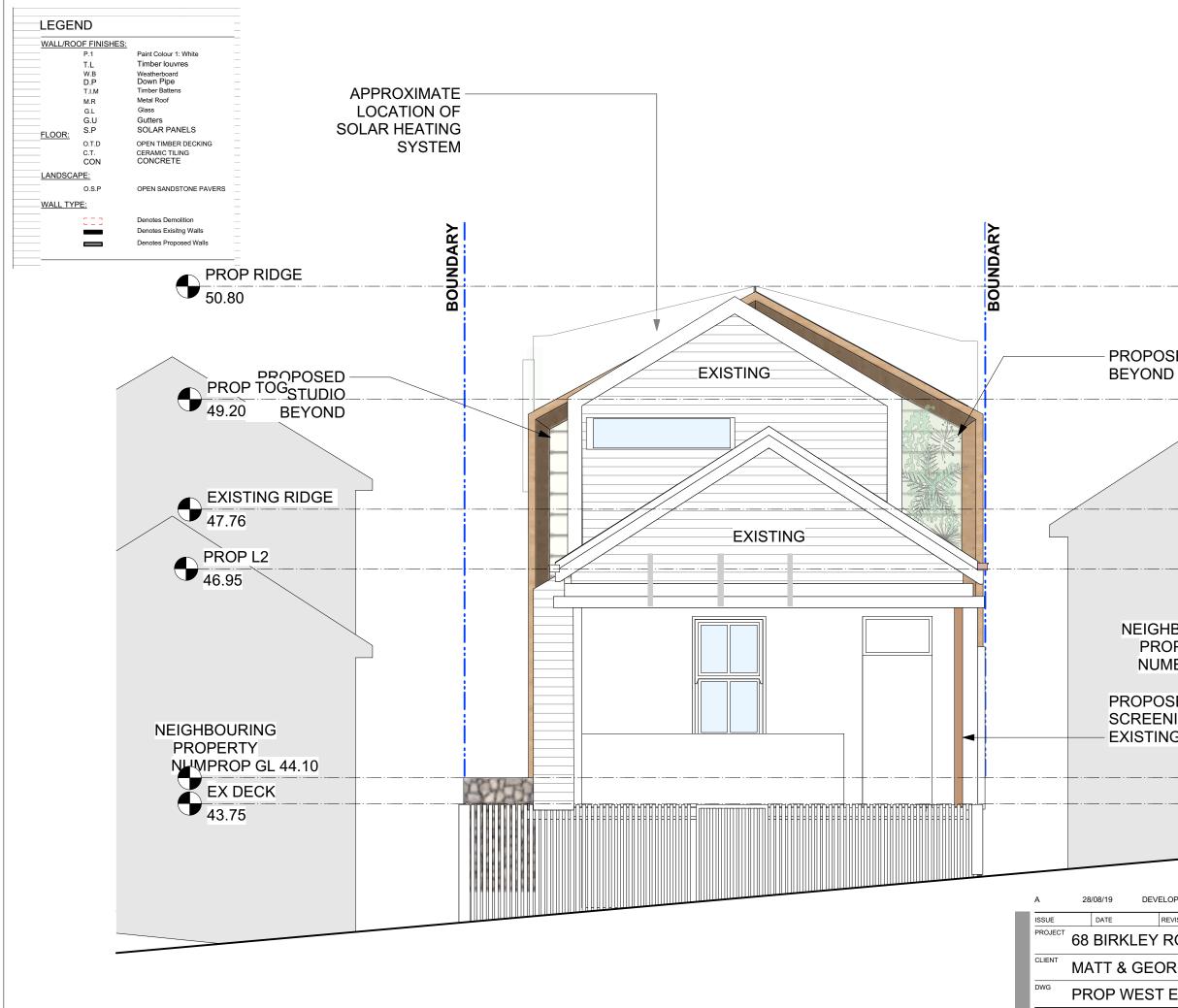
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DEVELOPMENT APPLICATION

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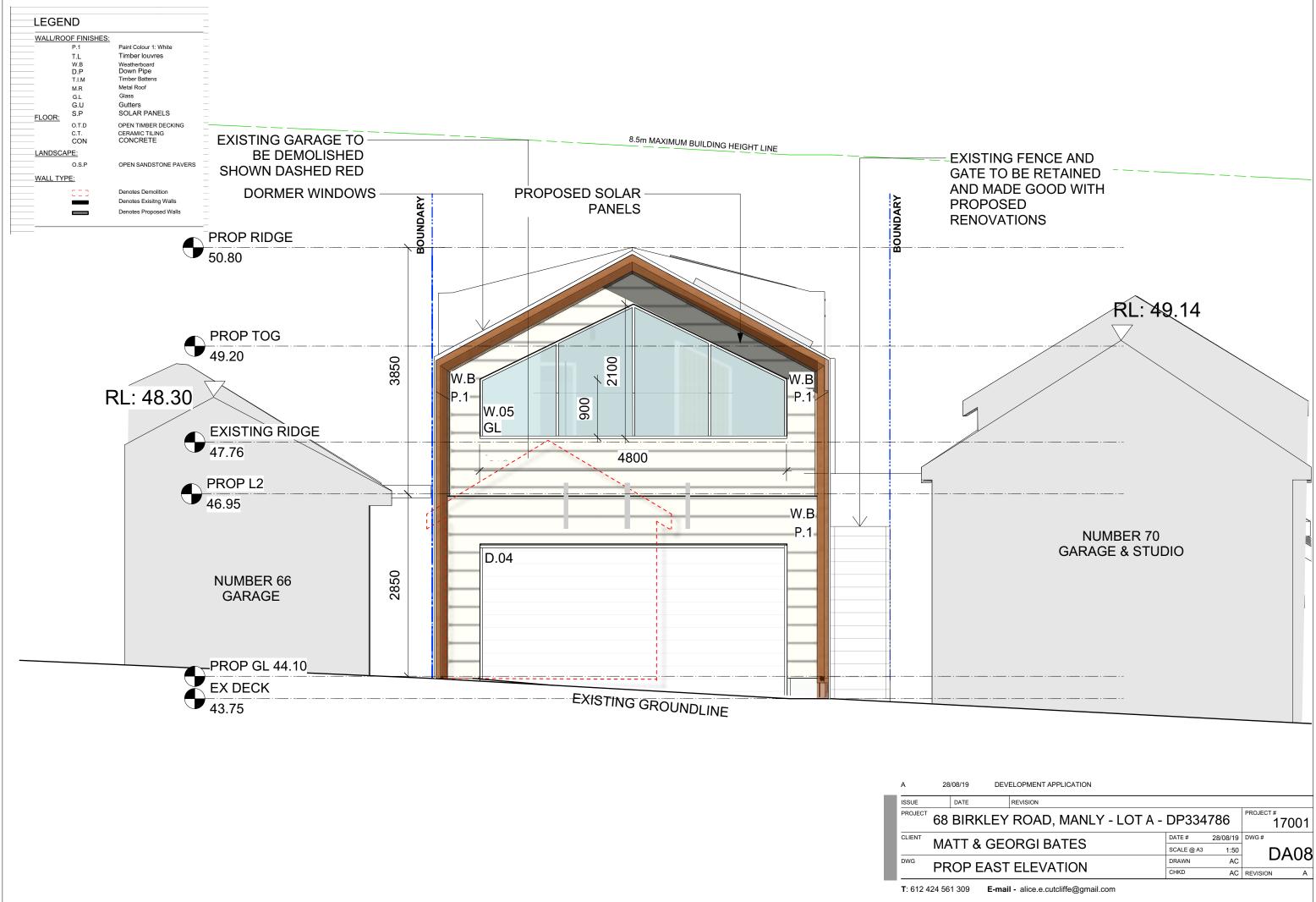
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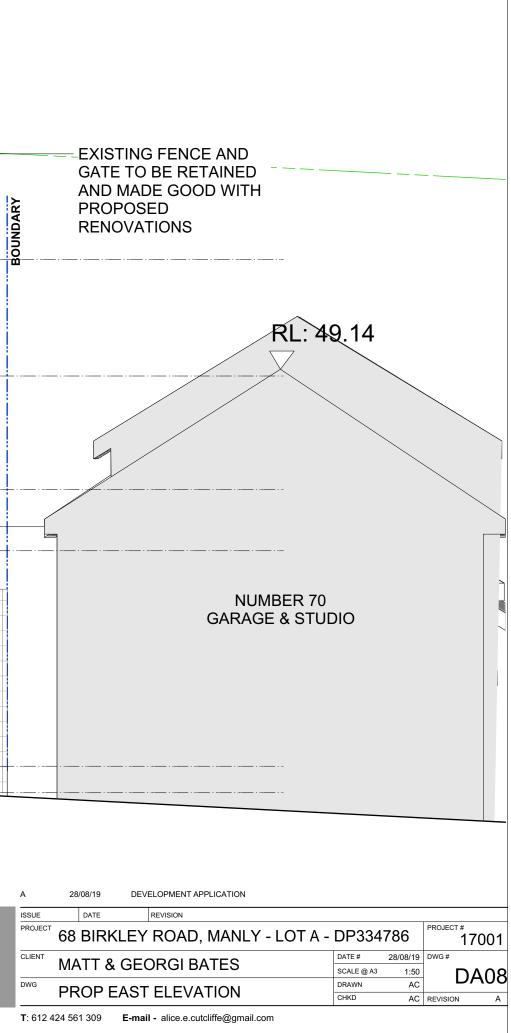


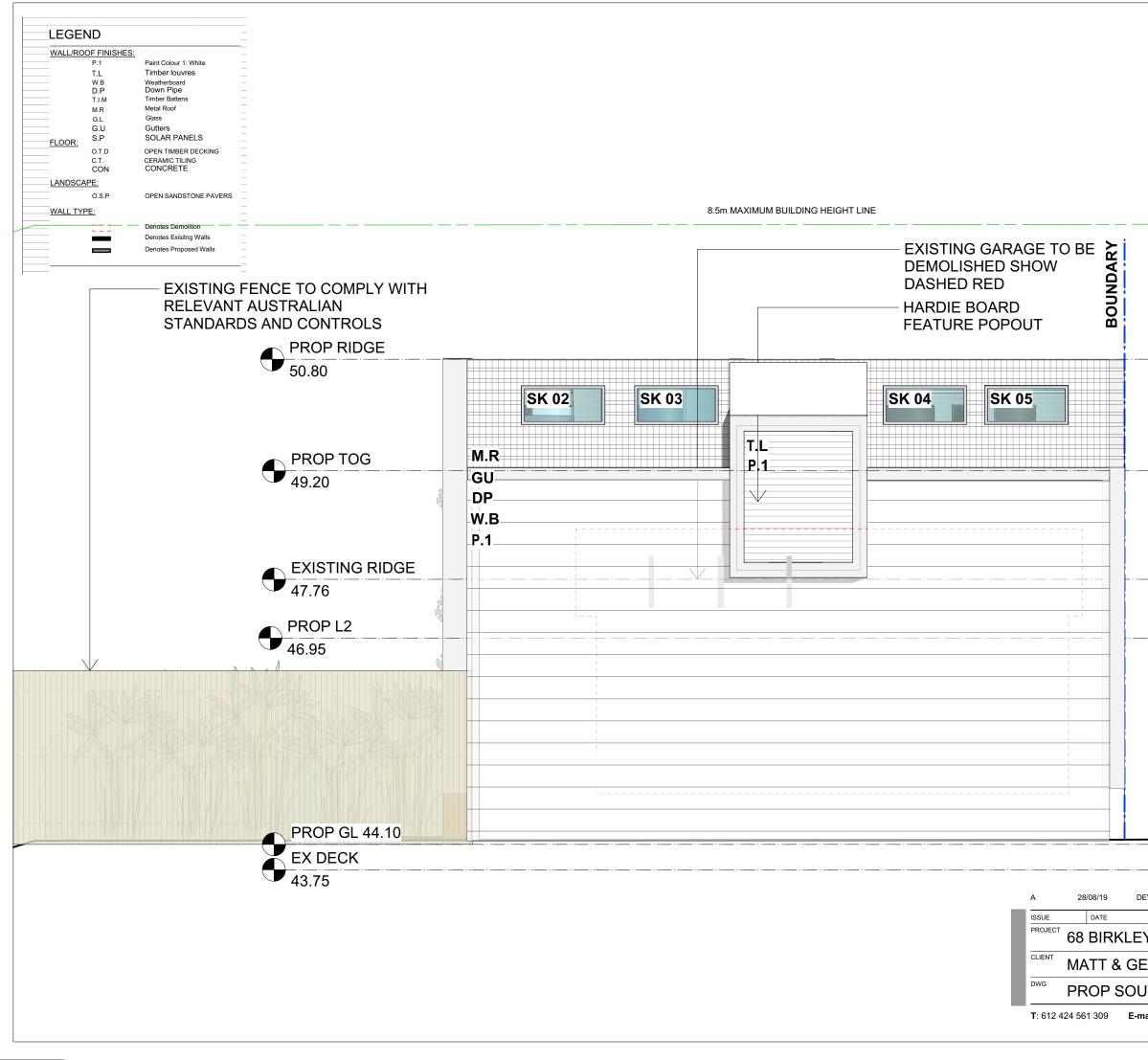
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PROPOSED STUDIO BEYOND



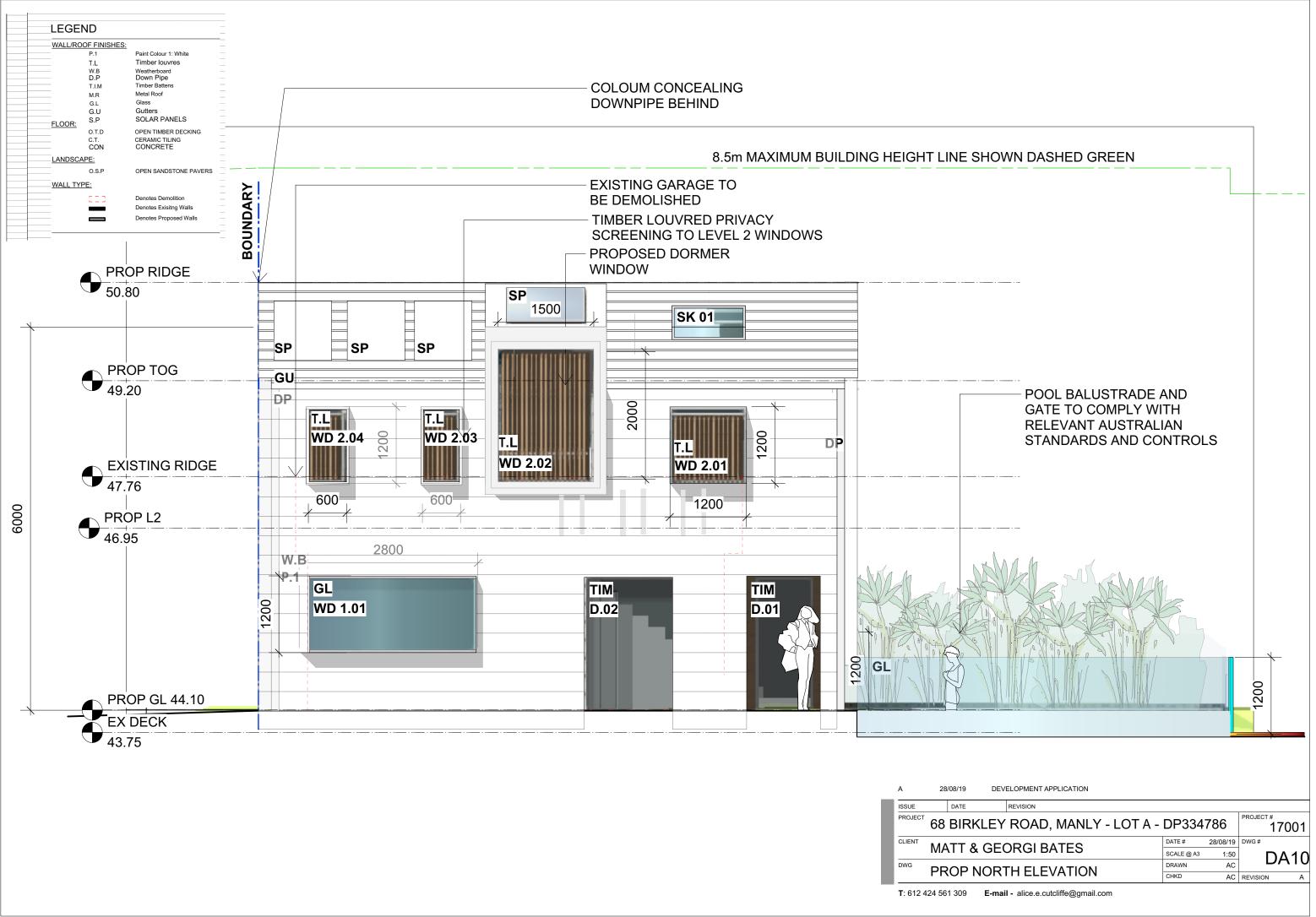


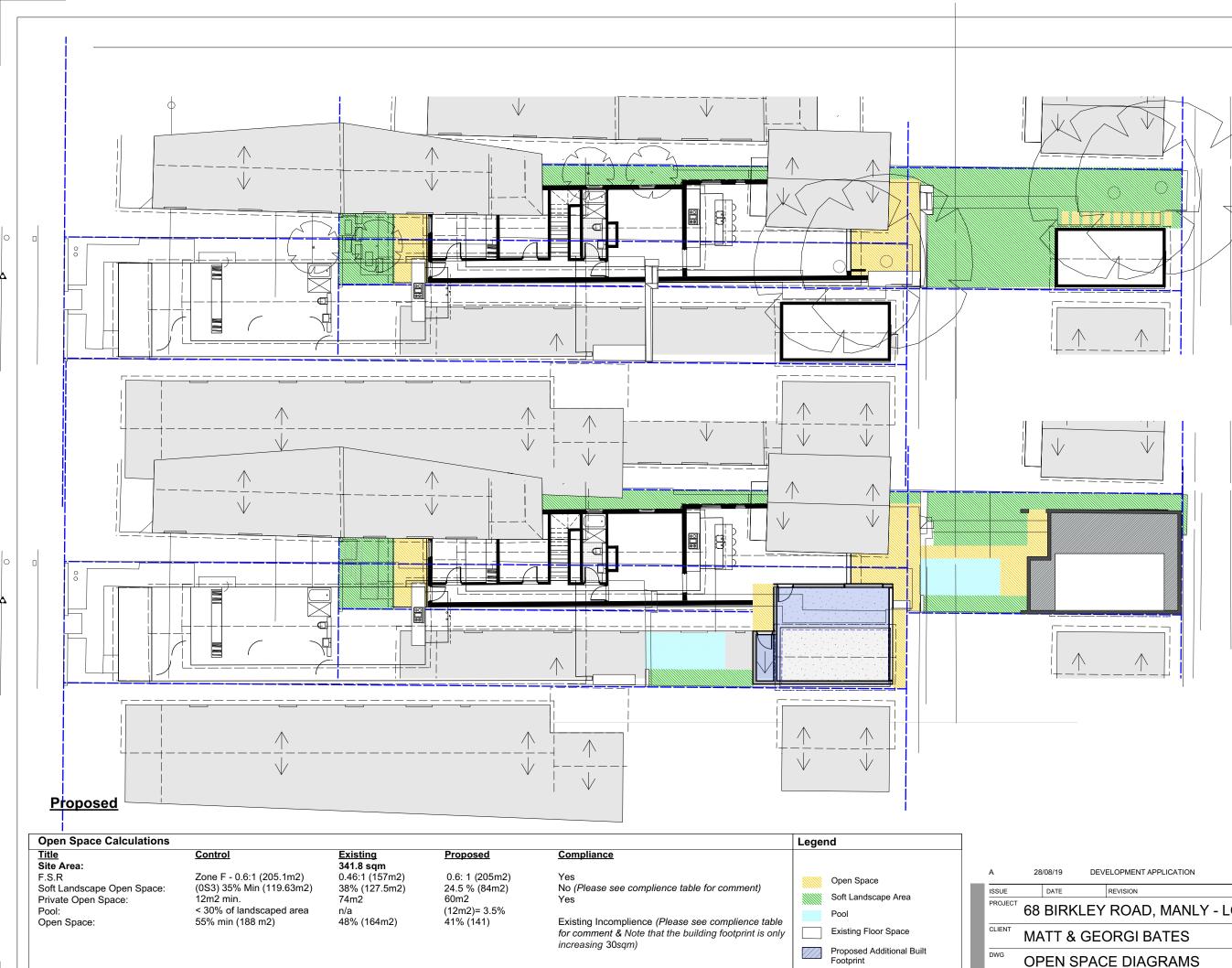


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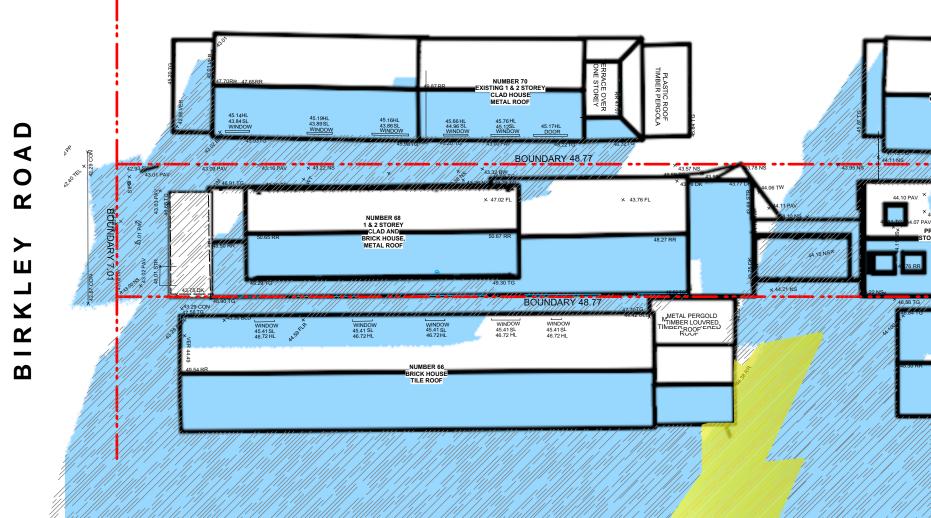
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LEGEND

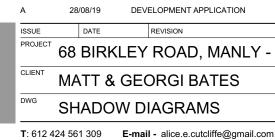


ADDITIONAL SHADOW CAST

EXISING SHADOW CAST



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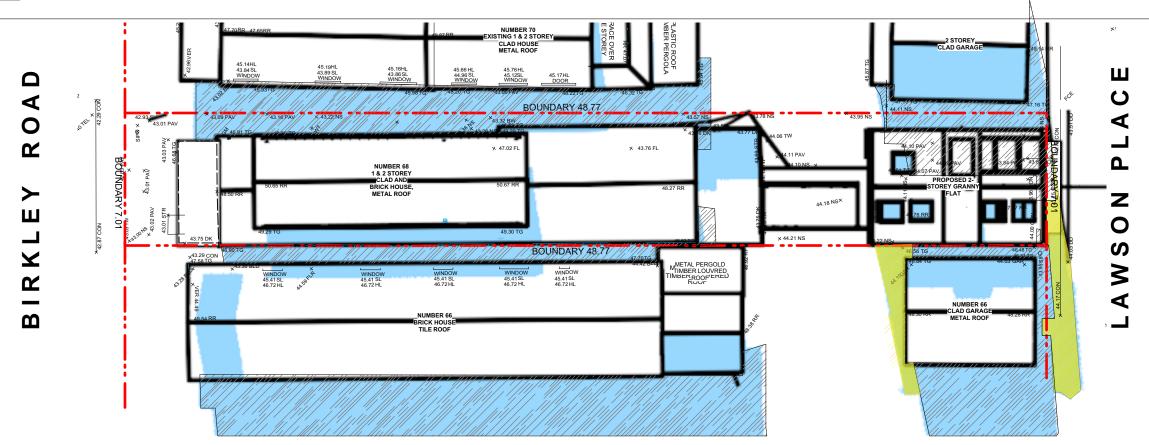
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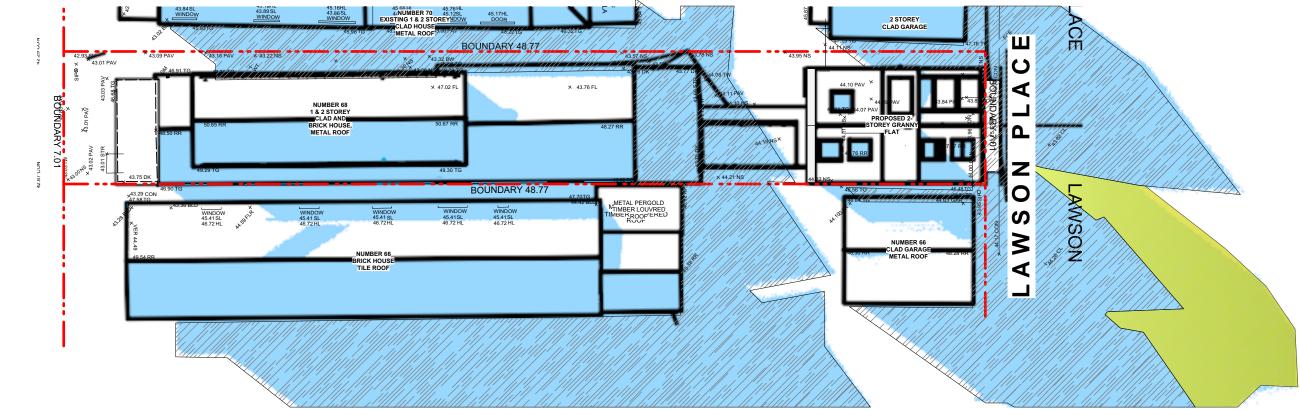
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ADDITIONAL SHADOW CAST



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COLOURS AND FINISHES SCHEDULE



(WB) WEATHER BOARD PAINTED WHITE (P1) PAINT COLOUR, DULUX WHISPER WHITE



(TIM) TIMBER BATTERNS NATURAL FINISH



(GL) GLASS



(O.S.P) OPEN SANDSTONE PAVERS RECYLCE EXISTING PAVERS



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	his certificate confirms that the propo-	sed development will meet the NSW	Project type	separate dw	elling house
	ommitments set out below. Terms use	ed in this certificate, or in the commitments,		1	
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Water Commitments		Certifi
The swimming pool must have a pool cover.		- CHICOK
The swimming pool must be outdoors.		

Thermal Comfort Commitments	Show DA pl		Show on CC/CDC plans & specs	Certifier check	
General features					
The dwelling must not have more than 2 storeys.			,		~
The conditioned floor area of the dwelling must not exceed 30			- J	Ĵ,	
The dwelling must not contain open mezzanine area exceeding		,	~	~	
The dwelling must not contain third level habitable attic room.			/	~	~
Floor, walls and ceiling/roof					
The applicant must construct the floor(s), walls, and ceiling/ro below.	of of the dwelling in accordance with the specifications listed in	the table	,	~	~
Construction	Additional insulation required (R-Value)	Other specificat	ions		
floor - concrete slab on ground	nil				
floor - suspended floor above garage, framed	nil				
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)				
external wall - cavity brick	0.50 (or 1.17 including construction)				
internal wall shared with garage - plasterboard	nil				
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.76 (up), roof: foil backed blanket (100 mm)	framed; light (sola	ar abso	rptance < 0.475)	
Note • Insulation specified in this Certificate must be instal	led in accordance with Part 3.12.1.1 of the Building Code of Aus	tralia.			
Note • In some climate zones, insulation should be installe	d with due consideration of condensation and associated intera	ction with adjoining	buildin	g materials.	
	-		buildin	g materials.	

Thermal Comfor	t Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifi check
Windows, glazed	doors and skylights				
		ading devices described in the table below, in accordance with the ecifications must be satisfied for each window and glazed door.	 ✓ 	 	~
The dwelling may hav	re 1 skylight (<0.7 square metres) which	h is not listed in the table.	 	 	~
The following require	ments must also be satisfied in relation	to each window and glazed door:			
For the following g	glass and frame types, the certifier chec	k can be performed by visual inspection.	•	•	
- Aluminium sin	gle clear				
- Aluminium dou	ıble (air) clear				
- Timber/uPVC/	fibreglass single clear				
- Timber/uPVC/	fibreglass double (air) clear				
than that listed a be calculated in table below are f	nd a Solar Heat Gain Coefficient (SHG accordance with National Fenestration for reference only.	door must be accompanied with certification showing a U value no C) within the range of those listed. Total system U values and SHG0 Rating Council (NFRC) conditions. Frame and glass types shown in	Č must i the		•
 Vertical external lo closed. 	ouvres and blinds must fully shade the	window or glazed door beside which they are situated when fully dra	awn or	~	•
skylight area must no		below, in accordance with the specifications listed in the table. Tota emetre limit does not include the optional additional skylight of less t).		~	•
The following requirer	ments must also be satisfied in relation	to each skylight:		 	•
External awnings	and louvres must fully shade the skylig	ht above which they are situated when fully drawn or closed		 	•
Skylight no.	Maximum area (square metres)	Type S	shading device		
	1.50	timber, low-E/double/argon fill a	djustable awning or b	lind	
S01					

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
North facing					
WD2.01	1000	1000	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed
WD2.02	1800	1500	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (adjustable)	not overshadowed
WD2.03	1000	600	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed
WD2.04	1000	600	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed
East facing					
WD2.05	1500	4800	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	solid overhang 200 mm, 300 mm above head of window or glazed door	not overshadowed
West facing					
WD2.06	1800	900	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed

Le	gend
In t	hese commitments, "applicant" means the person carrying out the dev
Co	mmitments identified with a 🧹 in the "Show on DA plans" column mu
de	velopment application is to be lodged for the proposed development).
Co	mmitments identified with a 🧹 in the "Show on CC/CDC plans and sp
cer	tificate / complying development certificate for the proposed development
Co	mmitments identified with a 🧹 in the "Certifier check" column must be
fina	al) for the development may be issued.

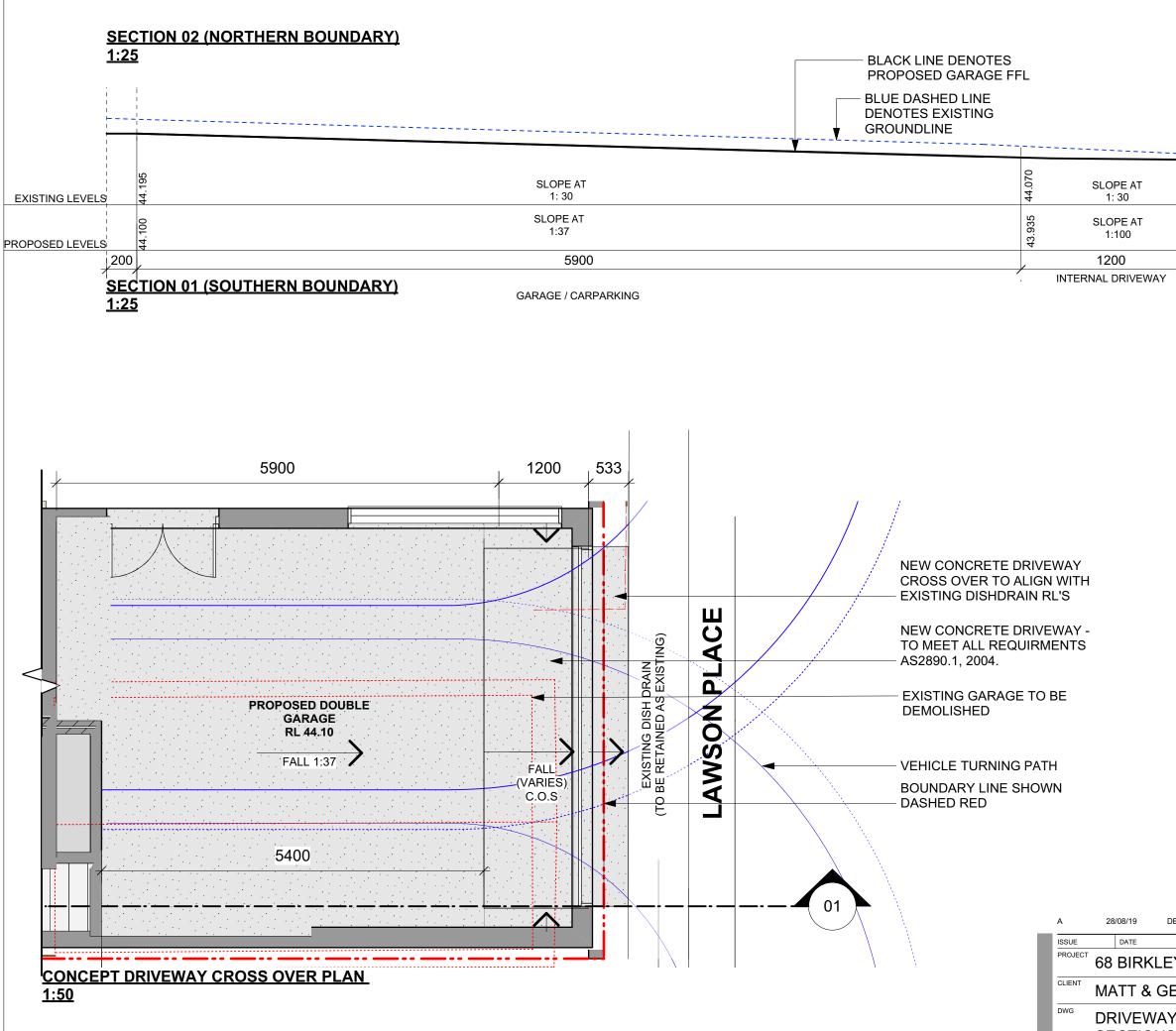
ot water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
e applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas osted, flat plate).	~	~	~
poling system			
e applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; ergy rating: n/a		~	~
explicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; ergy rating: n/a		~	~
eating system		•	•
e living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.			
e bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.	-		
entilation		×	~
e applicant must install the following exhaust systems in the development:			
t least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		~	~
itchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off			
aundry: natural ventilation only, or no laundry; Operation control: n/a			
tificial lighting		•	•
e applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the owing rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or			
nt emitting diode (LED) lamps:			
at least 1 of the bedrooms / study; dedicated			1
		~	~
at least 1 of the living / dining rooms; dedicated		ž	~
at least 1 of the living / dining rooms; dedicated the kitchen; dedicated	fonday, 02 Septen	iber 2019	page 8
at least 1 of the living / dining rooms; dedicated the kitchen; dedicated			
at least 1 of the living / dining rooms; dedicated the kitchen; dedicated Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No:: 8930415 M	Show on DA plans		
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at least 1 of the living / dining rooms; dedicated the kitchen; dedicated Planning & Environment www.baskr.new.gov.au Version: 3.0 / DARWINIA_3_10_0 Certificate No.: 8830415 M Energy Commitments • all bathrooms/tollet; dedicated • all bathrooms/tollet; dedicated • all bathrooms/tollet; dedicated Natural lighting The applicant must install a window and/or skylight in the kitchen of the dweling for natural lighting. The applicant must install a window and/or skylight in 1 bathroom(s)/tollet(s) in the development (or natural lighting. Swimming pool The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install an heating system for the awimming pool pump in the development. Alternative energy	Show on DA plans	Show on CC/CD plans & spece U	C Certifier check
at least 1 of the living / dining rooms; dedicated the kitchen; dedicated Provide the kitchen	Show on DA plans	Show on CC/CD plans & spece U	
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development.
must be shown on the plans accompanying the development application for the proposed development (if a nt).
d specs" column must be shown in the plans and specifications accompanying the application for a construction opment.
st be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or

EVELOPMENT APPLICATION

REVISION				
EY ROAD, MANLY - LOT A -	DP334	786	PROJECT # 170	01
EORGI BATES	DATE #	28/08/19	DWG #	
EURGIDATES	SCALE @ A3	1:100	DA	10
PORT	DRAWN	AC		13
FURI	СНКД	AC	REVISION	А
mail - alice.e.cutcliffe@gmail.com				



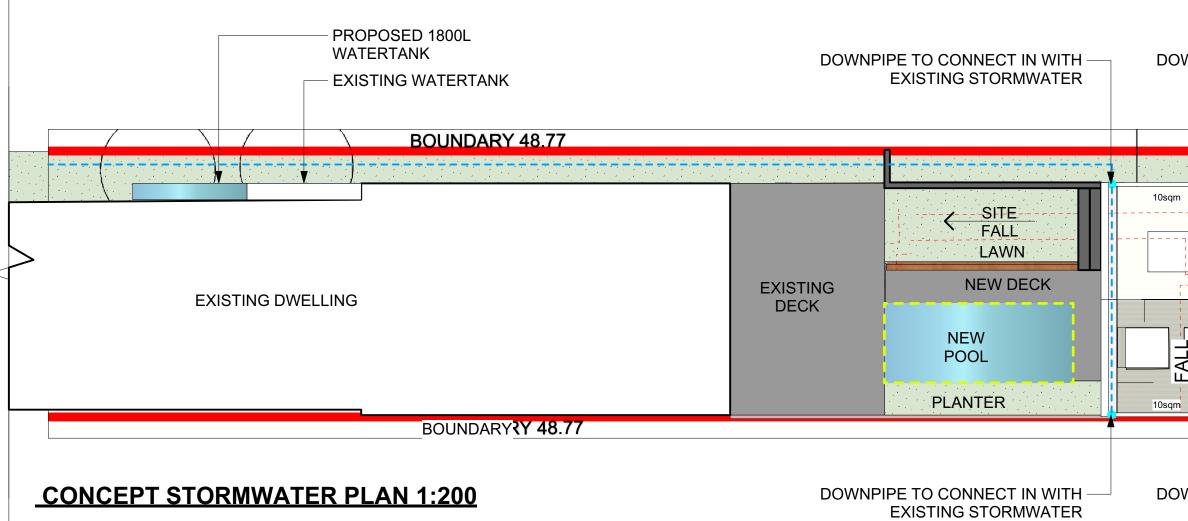
T: 612 424 561 309 **E-mail** - alice.e.cutcliffe@gmail.com

 BOUNDARY LINE		LAWSON PLACE
6 හි SLOPE AT භූ 1: 13	43.920	43.920
SLOPE AT 6.07 1: 100	43.920	43.920
 528	805	
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DEVELOPMENT APPLICATION

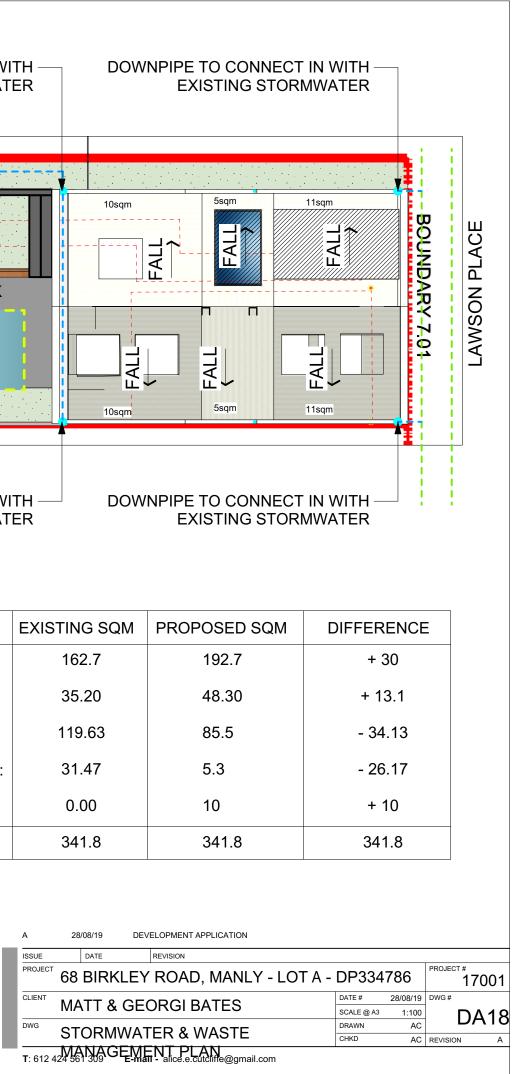
REVISION

Y ROAD, MANLY - LOT A -	PROJECT # 17001			
	DATE #	28/08/19	DWG #	
EORGI BATES	SCALE @ A3	1:50	ח ו	417
Y CROSS OVER	DRAWN	AC	יט	`'
I CRUSS OVER	CHKD	AC	REVISION	А



LEGEND		EXISTING SQM	
PROPOSED WATERTANK	BUILT FOOTPRINT:	162.7	
EXISTING DISH DRAIN TO REMAIN			
EXISTING BUILT FOOTPRINT	DECKING:	35.20	
SOLAR PANELS	PERMIABLE SITE AREA	119.63	
PROPOSED POOL			
PROPOSED LAWN OR PERMIABLE SURFACE	CONCRETE + PAVING + OTHER:	31.47	
STORMWATER LINE	POOL	0.00	
PROPOSED AND EXISTING DECK			╞
	TOTAL SITE AREA:	341.8	

EXISTING DOWNPIPE



	PLANT SCHEDULE								
	COMMON NAME	SCIENCTIFIC NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	QUANITY	NOTES		
LO	Basket Grass,	Lomandra longifolia	0.8m	1.2m	400mm	2	EXISTING TO BE REP		
BN	Birds Nest Fern	Asplenium nidus	1.2m	0.9m	200mm	2			
RF	Rough Tree Fern	Cyathea australis	4.0m	10.0m	300mm	2	EXISTING - TO BE REF		
LP	Lilly Pilly	Acmena smithii	7.0m	3.0m	300mm	8	EXISTING - TO BE RETAINED & REPLAN		
BW	Burrawang	Macrozamia communis	2.0m	1.5m	300mm	2			
G	Grass Tree	Xanthorrhoea Australis	3.0m	1.0m	400mm	1			
X	Native Violet	Viola hederacea	0.2m	0.3m	300mm		GROUND COVER - AS REQUIRED		
LC	Native Grass: Matt Rush	Lomandra confertifolia	0.75m	0.75m	140mm	6			
P	Dichondra	Dichondra repens	0.2m		140mm	1	GROUND COVER - AS REQUIRED		
MH	Maidenhair fern	Adiantum	0.3m	0.6m	140mm				











D





TREE S	TREE SCHEDULE							C B A	01/01/18 21/10/17 21/10/17
	NOTES	COMMON NAME	SCIENTIFIC NAME	MATURE HEIGHT	MATURE SPREAD	QUANITY		ISSUE PROJECT	DATE 68 BIRKL
	PROP. T1	Water Gum cultivar	Tristaniopsis laurina	8m	4-6m	1		CLIENT	MATT & (
	EX. T1 & T2	TREES TO BE DEMOLISHED						T : 612 4	LANDSC/ 24 561 309 E

