

DEVELOPEMENT APPLICATION DRAWINGS

68 BIRKLEY ROAD, MANLY

CONTENTS

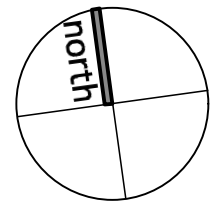
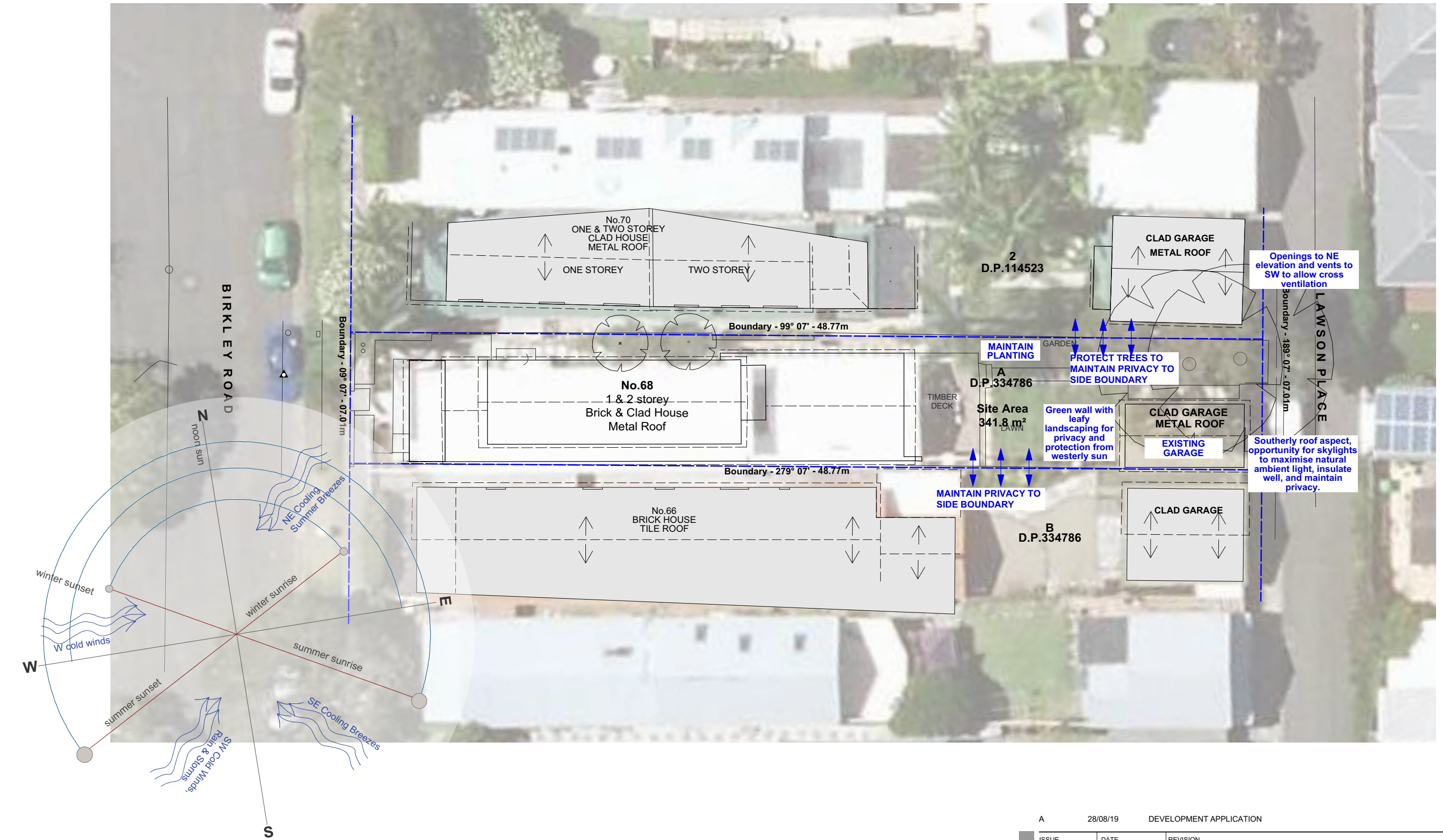
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| DA03 | PROPOSED SITE & ROOF PLAN |
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| DA05 | PROPOSED LEVEL 1 PLAN |
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| DA07 | PROPOSED WEST ELEVATION - STREET VIEW |
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| | | | | |
|---------|---|----------|-------------------------|----------|
| A | | 28/08/19 | DEVELOPMENT APPLICATION | |
| ISSUE | DATE | REVISION | | |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | PROJECT # | 17001 |
| CLIENT | MATT & GEORGI BATES | | DATE # | 28/08/19 |
| DWG | CONTENTS PAGE | | SCALE @ A3 | 1:100 |
| | | | DRAWN | AC |
| | | | CHKD | AC |
| | | | REVISION | A |

T: 612 424 561 309 E-mail - alice.e.cutcliffe@gmail.com



| | | | | |
|---------|---|----------|-------------------------|-----------|
| A | | 28/08/19 | DEVELOPMENT APPLICATION | |
| ISSUE | DATE | REVISION | | PROJECT # |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | | 17001 |
| CLIENT | MATT & GEORGI BATES | | DATE # | 28/08/19 |
| DWG | EXISTING SITE PLAN | | SCALE @ A3 | 1:200 |
| | CHKD | AC | REVISION | A |

T: 612 424 561 309 E-mail - alice.e.cutcliffe@gmail.com

LEGEND

WALL/ROOF FINISHES:

- P1 Paint Colour 1: White
- T.L Timber Louvers
- W.B Wallboard
- D.P Down Pipe
- T.L.M Timber Slatting
- M.R Metal Roof
- G.L Glass
- G.U Gullies
- S.P SOLAR PANELS

FLOOR:

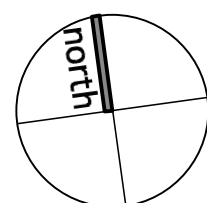
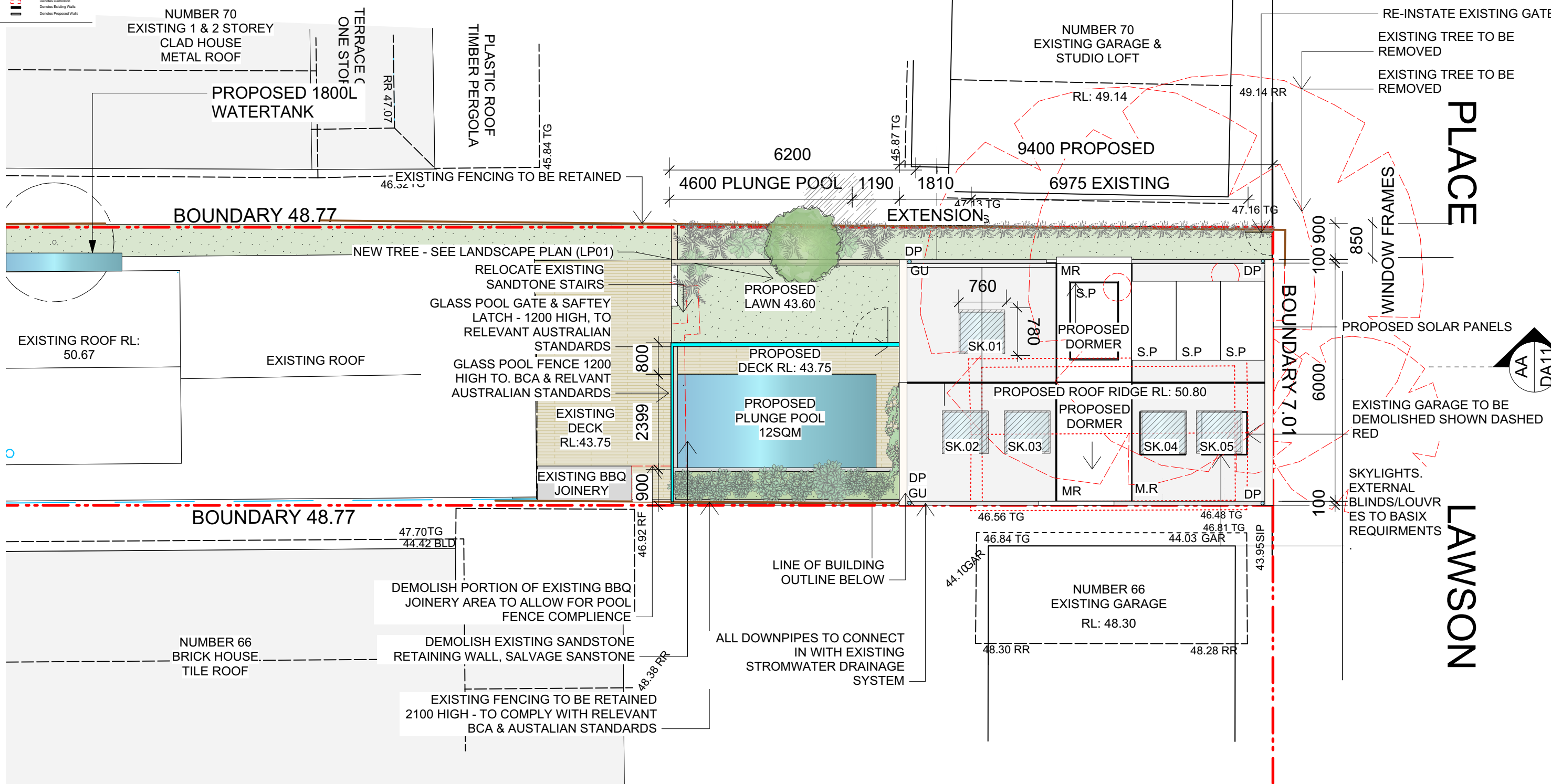
- O.T.O OPEN TIMBER DECKING
- C.T CERAMIC TILING
- CON CONCRETE

LANDSCAPE:

- O.S.P OPEN SANDSTONE PAVING

WALL TYPE:

- Denotes Demolition
- Denotes Existing Walls
- Denotes Proposed Walls



| | | | | |
|---------|---|----------|-------------------------|-----------|
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| CLIENT | MATT & GEORGI BATES | | DATE # | 28/08/19 |
| DWG | PROP SITE & ROOF PLAN | | SCALE @ A3 | 1:100 |
| | CHKD | AC | REVISION | A |

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LEGEND

WALL/ROOF FINISHES:

P1 Paint Colour 1: White
 T.L Timber Louvers
 W.B Weatherboard
 D.P Down Pipe
 T.L.M Timber Slatting
 M.R Metal Roof
 G.L Glass
 G.U Gullies
 S.P SOLAR PANELS

FLOOR:

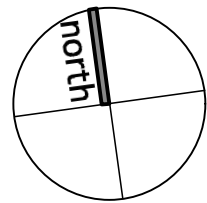
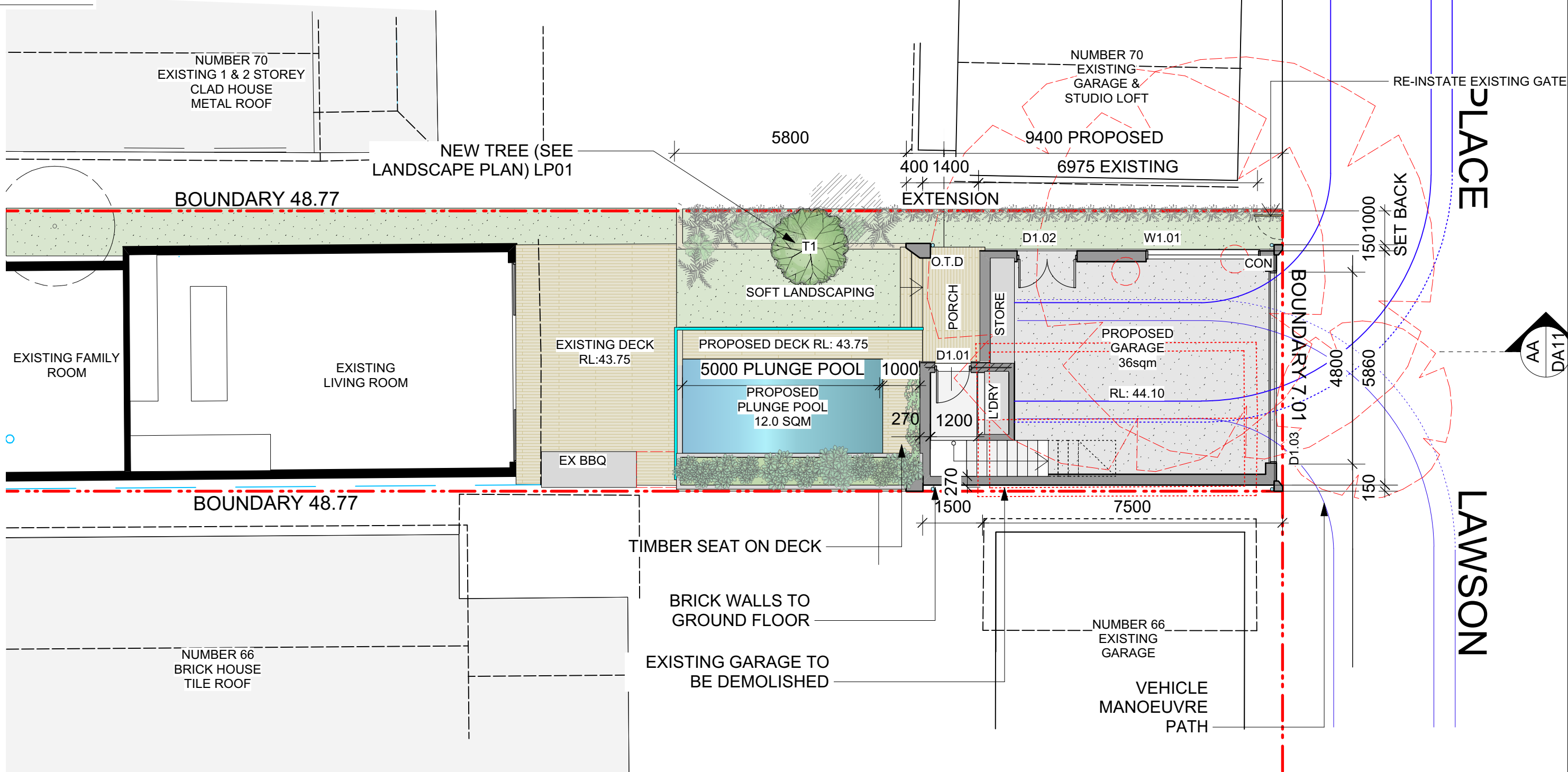
O.T.D OPEN TIMBER DECKING
 C.T CERAMIC TILING
 CON CONCRETE

LANDSCAPE:

O.S.P OPEN SANDSTONE PAVING

WALL TYPE:

- - - Denotes Demolition
 ——— Denotes Existing Walls
 ——— Denotes Proposed Walls

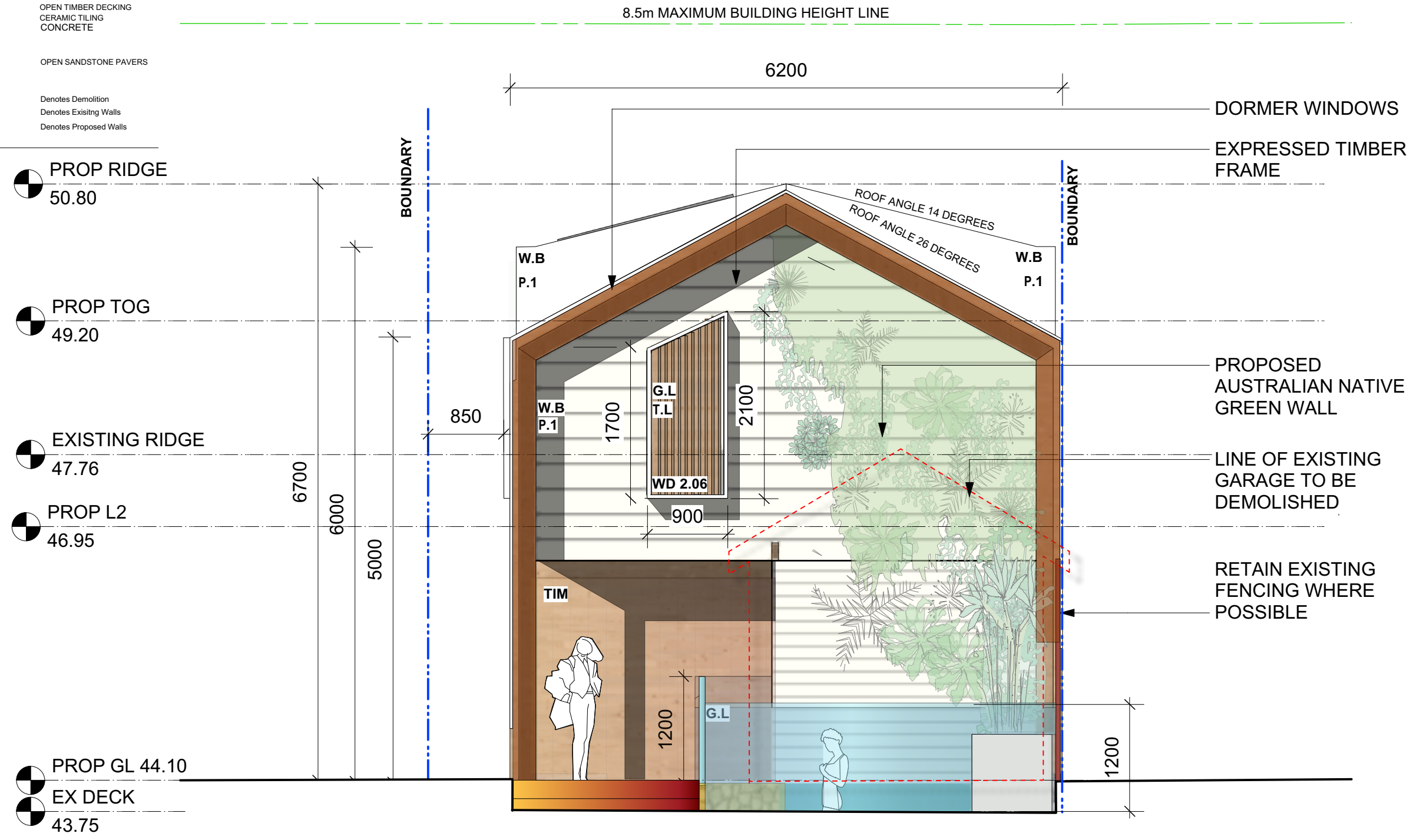


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| ISSUE | DATE | REVISION | | PROJECT # |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # | 28/08/19 | DWG # |
| DWG | PROP GROUND FLOOR PLAN | SCALE @ A3 | 1:100 | DA04 |
| | | DRAWN | AC | |
| | | CHKD | AC | REVISION A |

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LEGEND

- WALL/ROOF FINISHES:**
- P.1 Paint Colour 1: White
 - T.L Timber Louvres
 - W.B Weatherboard
 - D.P Down Pipe
 - T.I.M Timber Battens
 - M.R Metal Roof
 - G.L Glass
 - G.U Gutters
 - S.P SOLAR PANELS
- FLOOR:**
- O.T.D OPEN TIMBER DECKING
 - C.T CERAMIC TILING
 - CON CONCRETE
- LANDSCAPE:**
- O.S.P OPEN SANDSTONE PAVERS
- WALL TYPE:**
- Denotes Demolition
 - Denotes Existing Walls
 - Denotes Proposed Walls

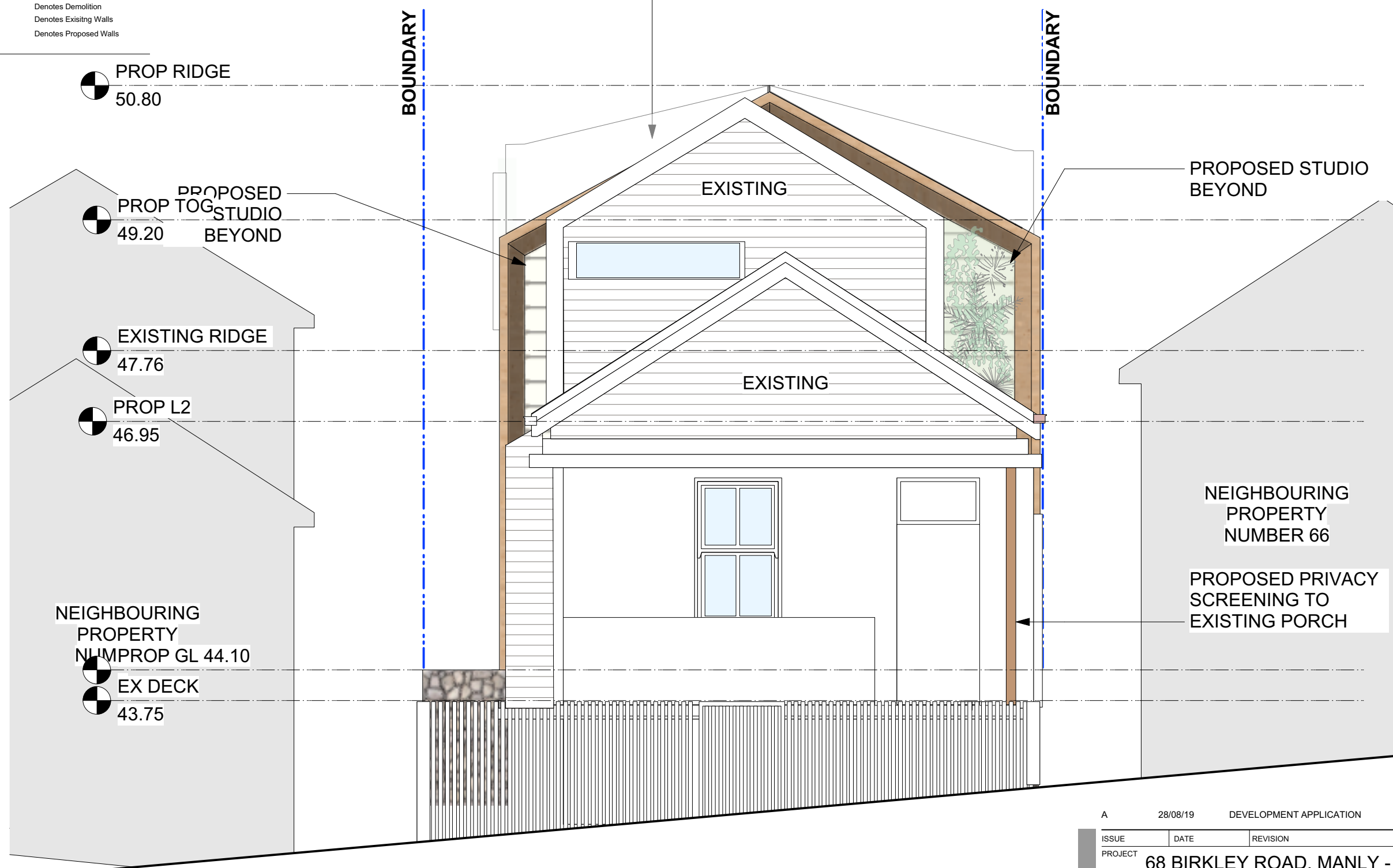


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| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | | 17001 |
| CLIENT | MATT & GEORGI BATES | | | DATE # 28/08/19 |
| DWG | PROP WEST ELEVATION (YARD) | | | SCALE @ A3 1:50 |
| | CHKD | AC | REVISION | A |

LEGEND

- WALL/ROOF FINISHES:**
- P.1 Paint Colour 1: White
 - T.L Timber Louvres
 - W.B Weatherboard
 - D.P Down Pipe
 - T.I.M Timber Battens
 - M.R Metal Roof
 - G.L Glass
 - G.U Gutters
 - S.P SOLAR PANELS
- FLOOR:**
- O.T.D OPEN TIMBER DECKING
 - C.T. CERAMIC TILING
 - CON CONCRETE
- LANDSCAPE:**
- O.S.P OPEN SANDSTONE PAVERS
- WALL TYPE:**
- Denotes Demolition
 - Denotes Existing Walls
 - Denotes Proposed Walls

APPROXIMATE
LOCATION OF
SOLAR HEATING
SYSTEM



| | | | | |
|---------|---|----------|-------------------------|-----------------|
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| CLIENT | MATT & GEORGI BATES | | | DATE # 28/08/19 |
| DWG | PROP WEST ELEVATION (STREET) | | | DWG # |
| | | | | SCALE @ A3 1:50 |
| | | | | DA07 |
| | | | DRAWN AC | REVISION |
| | | | CHKD AC | A |

LEGEND

- WALL/ROOF FINISHES:**
- P.1 Paint Colour 1: White
 - T.L Timber Louvres
 - W.B Weatherboard
 - D.P Down Pipe
 - T.I.M Timber Battens
 - M.R Metal Roof
 - G.L Glass
 - G.U Gutters
 - S.P SOLAR PANELS
- FLOOR:**
- O.T.D OPEN TIMBER DECKING
 - C.T. CERAMIC TILING
 - CON CONCRETE
- LANDSCAPE:**
- O.S.P OPEN SANDSTONE PAVERS
- WALL TYPE:**
- Denotes Demolition
 - Denotes Existing Walls
 - Denotes Proposed Walls

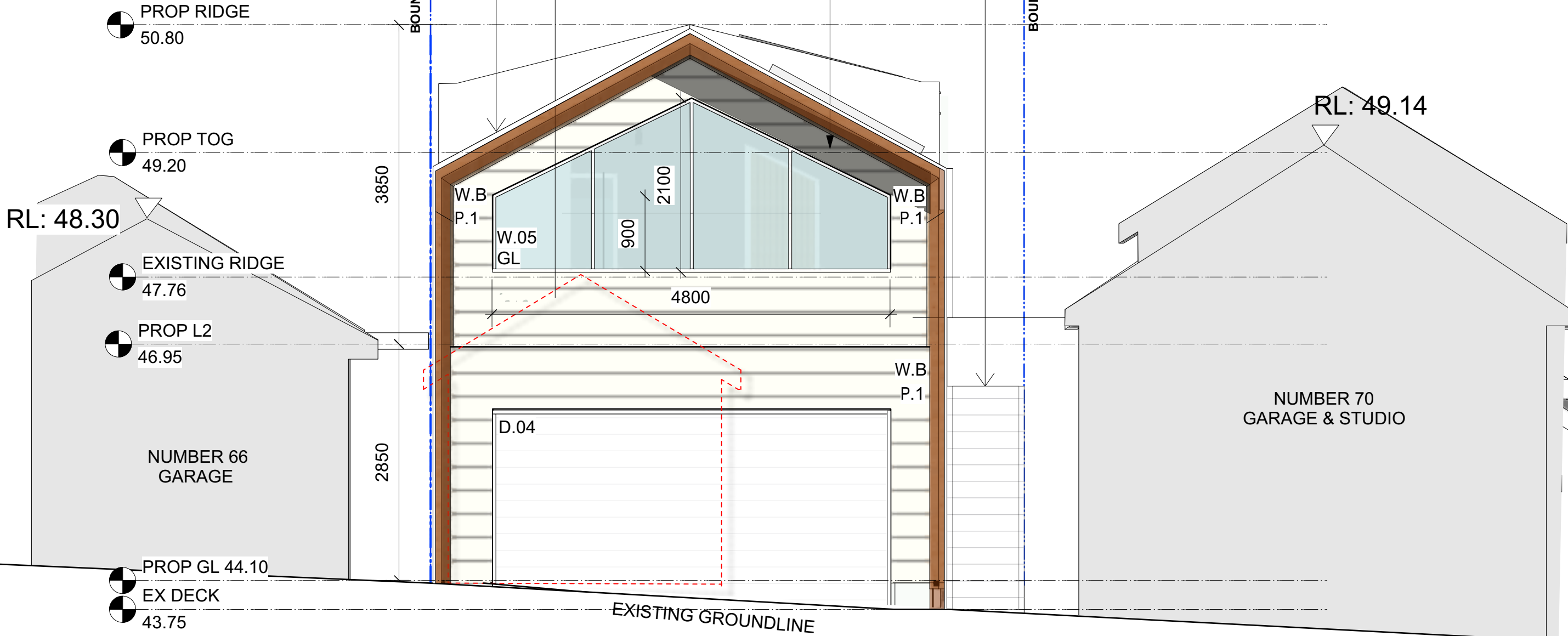
EXISTING GARAGE TO BE DEMOLISHED SHOWN DASHED RED

8.5m MAXIMUM BUILDING HEIGHT LINE

EXISTING FENCE AND GATE TO BE RETAINED AND MADE GOOD WITH PROPOSED RENOVATIONS

DORMER WINDOWS

PROPOSED SOLAR PANELS



| | | | | |
|---------|---|----------|-------------------------|-----------|
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| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | | 17001 |
| CLIENT | MATT & GEORGI BATES | | DATE # | 28/08/19 |
| DWG | PROP EAST ELEVATION | | SCALE @ A3 | 1:50 |
| | CHKD | AC | REVISION | A |

LEGEND

- WALL/ROOF FINISHES:**
- P.1 Paint Colour 1: White
 - T.L Timber Louvres
 - W.B Weatherboard
 - D.P Down Pipe
 - T.I.M Timber Battens
 - M.R Metal Roof
 - G.L Glass
 - G.U Gutters
 - S.P SOLAR PANELS
- FLOOR:**
- O.T.D OPEN TIMBER DECKING
 - C.T CERAMIC TILING
 - CON CONCRETE
- LANDSCAPE:**
- O.S.P OPEN SANDSTONE PAVERS
- WALL TYPE:**
- - - - - Denotes Demolition
 - ▬▬▬ Denotes Existing Walls
 - ▬▬▬ Denotes Proposed Walls

8.5m MAXIMUM BUILDING HEIGHT LINE

EXISTING FENCE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND CONTROLS

EXISTING GARAGE TO BE DEMOLISHED SHOW DASHED RED
HARDIE BOARD FEATURE POPOUT

BOUNDARY

PROP RIDGE
50.80

PROP TOG
49.20

EXISTING RIDGE
47.76

PROP L2
46.95

PROP GL 44.10
EX DECK
43.75

SK 02

SK 03

SK 04

SK 05

M.R
GU
DP
W.B
P.1

T.L
P.1

6700

A 28/08/19 DEVELOPMENT APPLICATION

| | | | |
|---------|---|-----------------|------------|
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| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # 28/08/19 | DWG # |
| DWG | PROP SOUTH ELEVATION | SCALE @ A3 1:50 | DA09 |
| | | DRAWN AC | |
| | | CHKD AC | REVISION A |

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LEGEND

WALL/ROOF FINISHES:

- P.1 Paint Colour 1: White
- T.L Timber Louvres
- W.B Weatherboard
- D.P Down Pipe
- T.I.M Timber Battens
- M.R Metal Roof
- G.L Glass
- G.U Gutters
- S.P SOLAR PANELS

FLOOR:

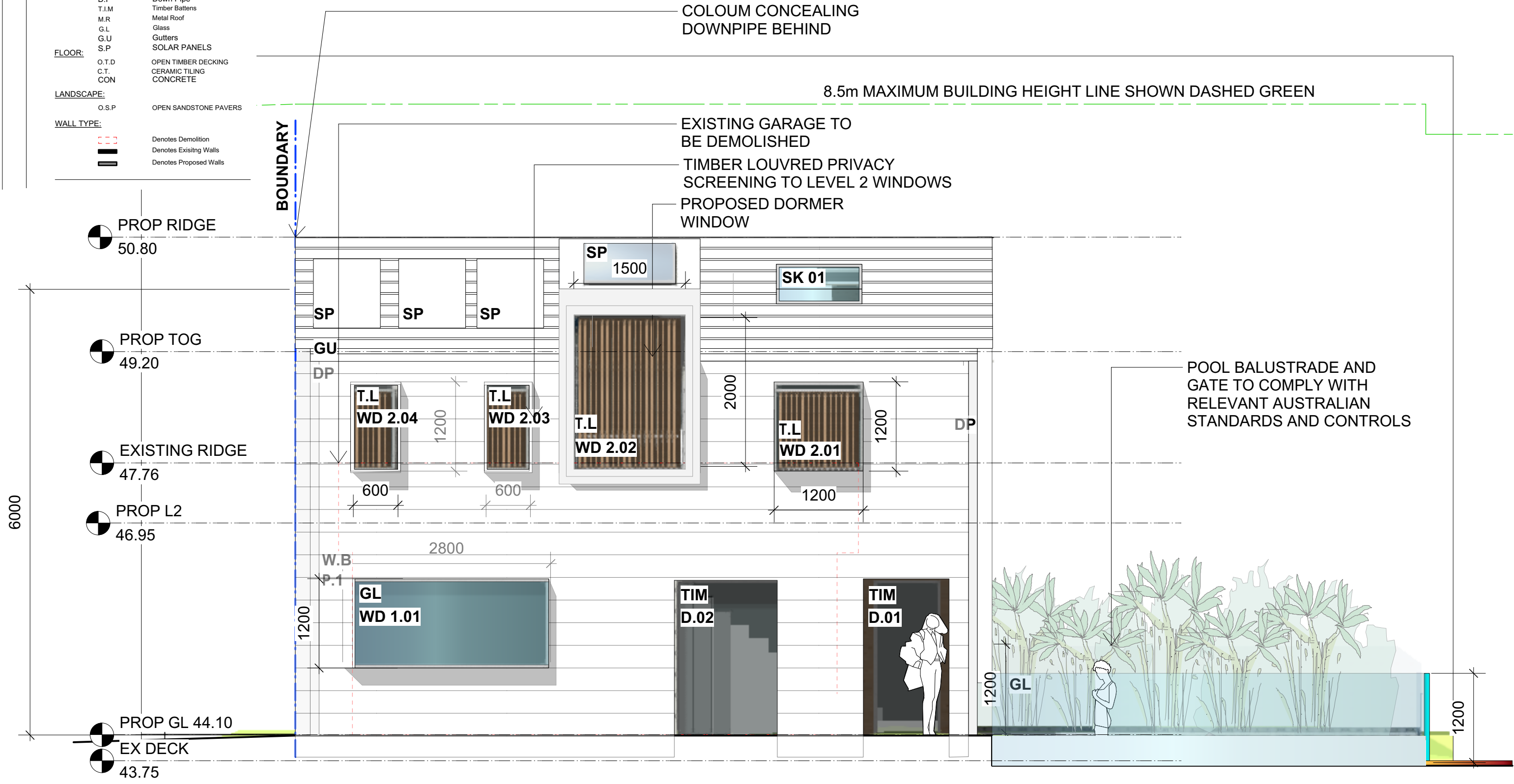
- O.T.D OPEN TIMBER DECKING
- C.T. CERAMIC TILING
- CON CONCRETE

LANDSCAPE:

- O.S.P OPEN SANDSTONE PAVERS

WALL TYPE:

- Denotes Demolition
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- Denotes Proposed Walls



COLOUM CONCEALING
DOWNPIPE BEHIND

8.5m MAXIMUM BUILDING HEIGHT LINE SHOWN DASHED GREEN

EXISTING GARAGE TO
BE DEMOLISHED

TIMBER LOUVRED PRIVACY
SCREENING TO LEVEL 2 WINDOWS

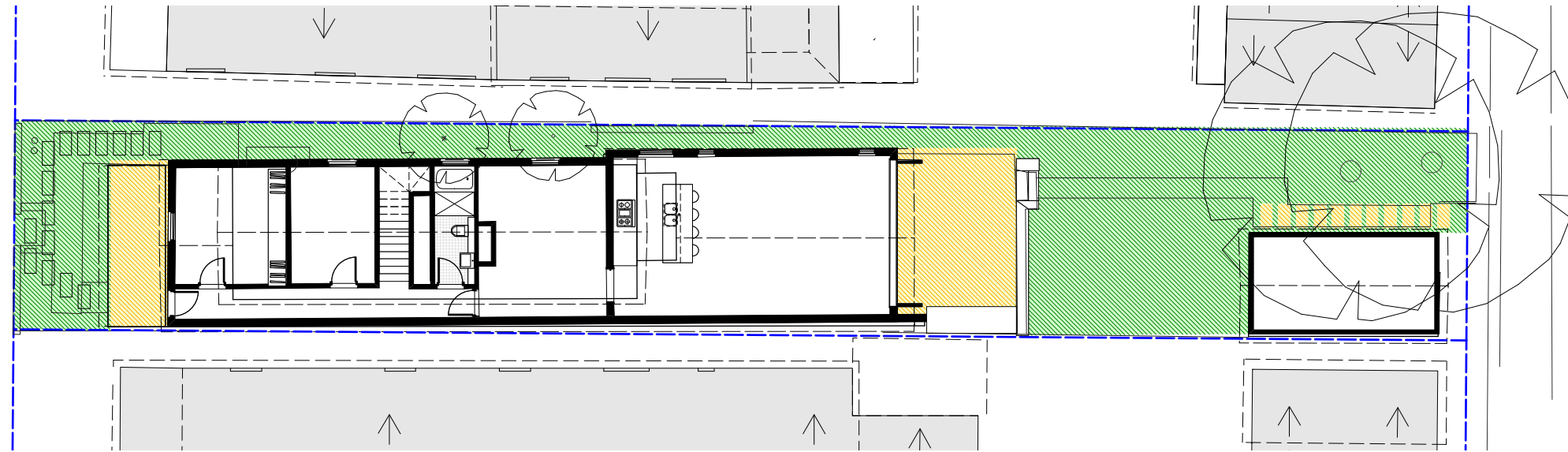
PROPOSED DORMER
WINDOW

POOL BALUSTRADE AND
GATE TO COMPLY WITH
RELEVANT AUSTRALIAN
STANDARDS AND CONTROLS

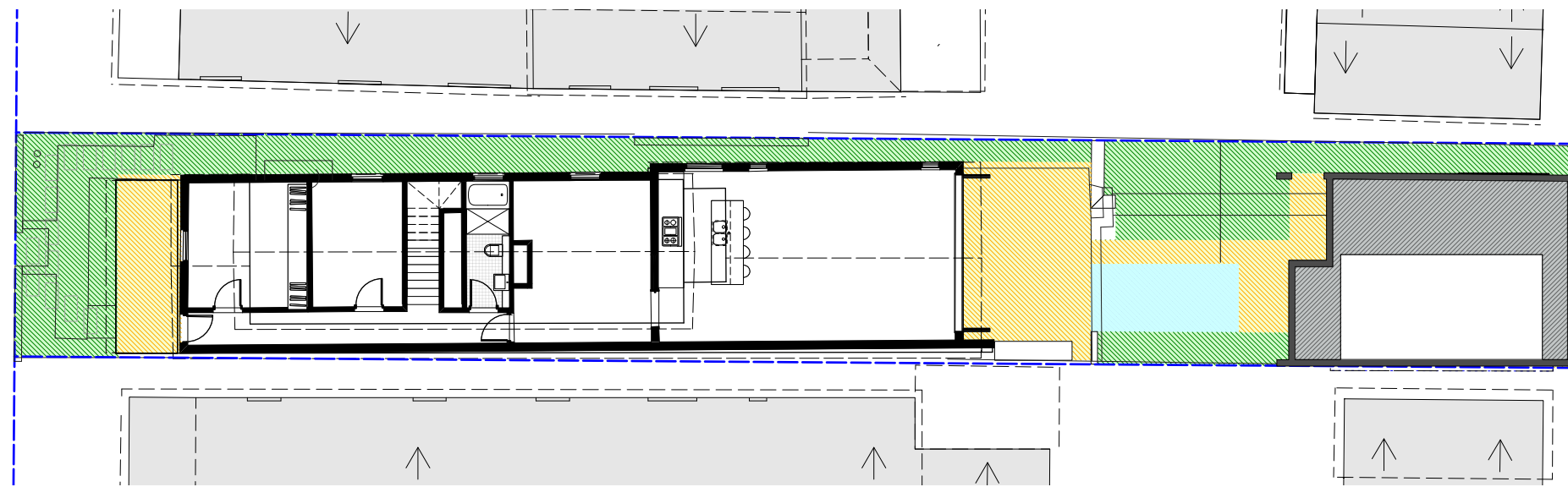
A 28/08/19 DEVELOPMENT APPLICATION

| | | | |
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| ISSUE | DATE | REVISION | PROJECT # |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # 28/08/19 | DWG # |
| DWG | PROP NORTH ELEVATION | SCALE @ A3 1:50 | DA10 |
| | | DRAWN AC | REVISION A |
| | | CHKD AC | |

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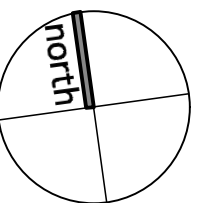


Existing





Proposed

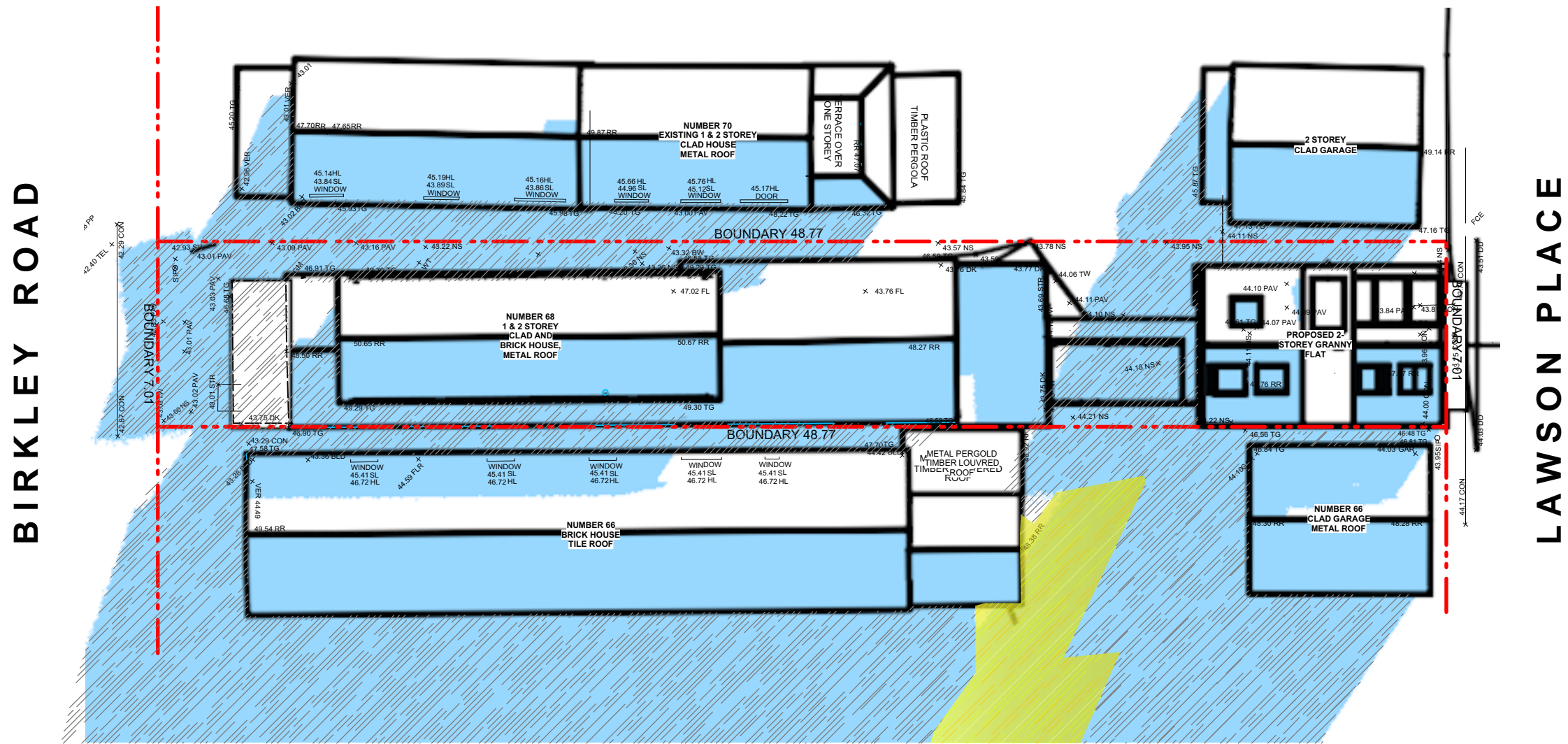
| Open Space Calculations | | | | Compliance | Legend |
|----------------------------|--------------------------|------------------|----------------|--|-------------------------------------|
| Title | Control | Existing | Proposed | | |
| Site Area: | | 341.8 sqm | | | |
| F.S.R | Zone F - 0.6:1 (205.1m2) | 0.46:1 (157m2) | 0.6: 1 (205m2) | Yes | |
| Soft Landscape Open Space: | (OS3) 35% Min (119.63m2) | 38% (127.5m2) | 24.5 % (84m2) | No <i>(Please see compliance table for comment)</i> | Open Space |
| Private Open Space: | 12m2 min. | 74m2 | 60m2 | Yes | Soft Landscape Area |
| Pool: | < 30% of landscaped area | n/a | (12m2)= 3.5% | Existing Incompliance <i>(Please see compliance table for comment & Note that the building footprint is only increasing 30sqm)</i> | Pool |
| Open Space: | 55% min (188 m2) | 48% (164m2) | 41% (141) | | Existing Floor Space |
| | | | | | Proposed Additional Built Footprint |



| | | | | |
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| DWG | OPEN SPACE DIAGRAMS | | | SCALE @ A3 1:100 |
| | CHKD | AC | REVISION | DA13 |
| | | | | A |
| T: 612 424 561 309 | | E-mail - alice.e.cutcliffe@gmail.com | | |

LEGEND

-  ADDITIONAL SHADOW CAST
-  EXISING SHADOW CAST



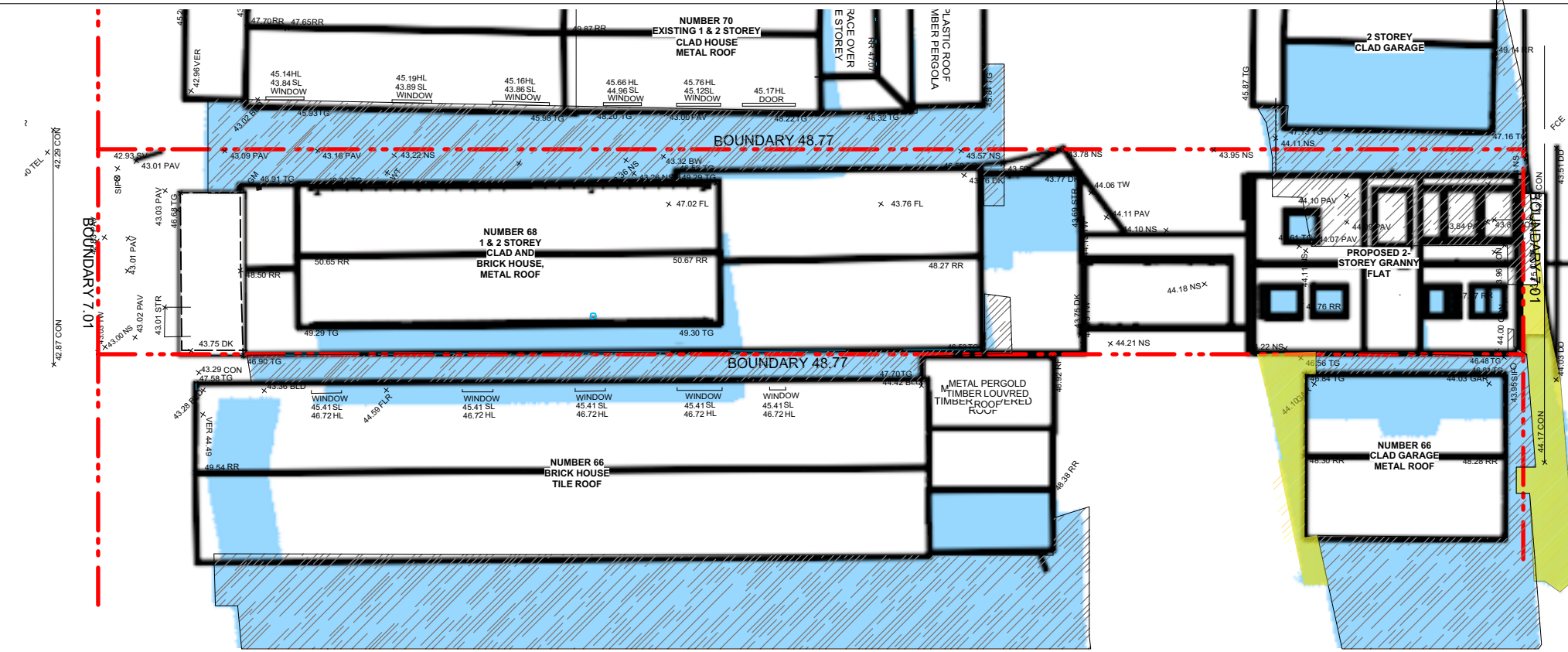
SHADOW DIAGRAMS 1:200
9AM JUNE 21

A 28/08/19 DEVELOPMENT APPLICATION

| | | | |
|---------|---|------------------|------------|
| ISSUE | DATE | REVISION | PROJECT # |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # 28/08/19 | DWG # |
| DWG | SHADOW DIAGRAMS | SCALE @ A3 1:200 | DA14 |
| | | DRAWN AC | |
| | | CHKD AC | REVISION A |



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BIRKLEY ROAD



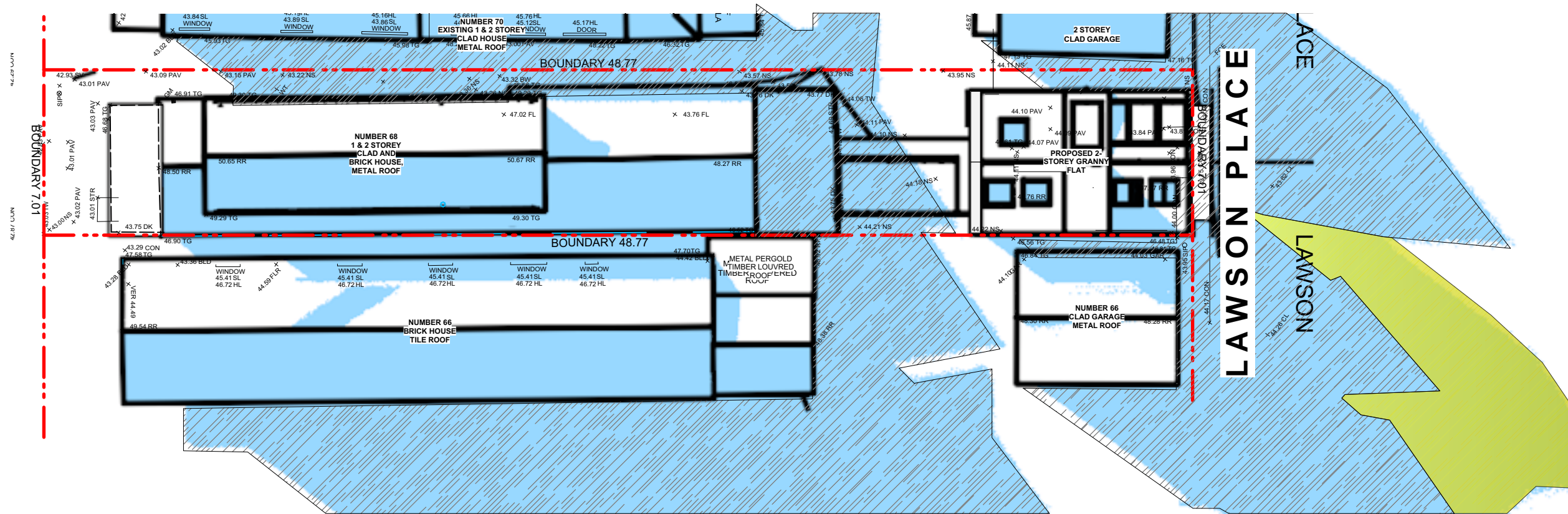
LAWSON PLACE

LEGEND

-  ADDITIONAL SHADOW CAST
-  EXISING SHADOW CAST

SHADOW DIAGRAMS 1:200
12PM JUNE 21

BIRKLEY ROAD



LAWSON PLACE

SHADOW DIAGRAMS 1:200
3PM JUNE 21

| | | | | |
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| DWG | SHADOW DIAGRAMS | | | SCALE @ A3 1:200 |
| | CHKD | AC | REVISION | DA15 |
| | | | | A |

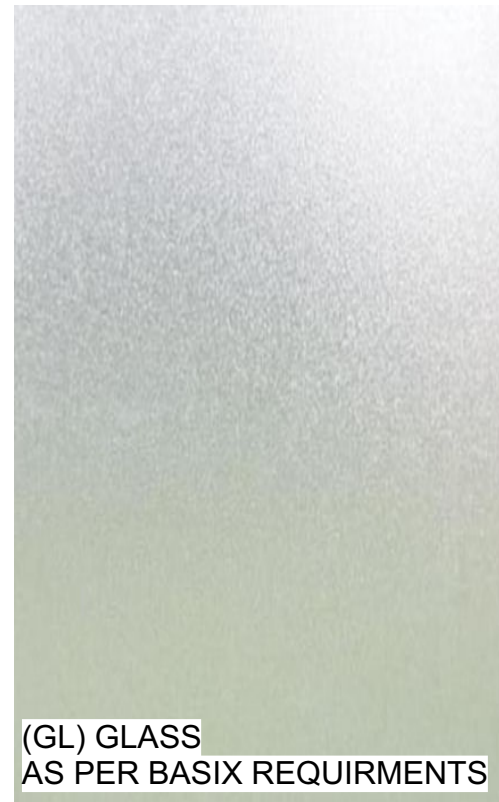
COLOURS AND FINISHES SCHEDULE



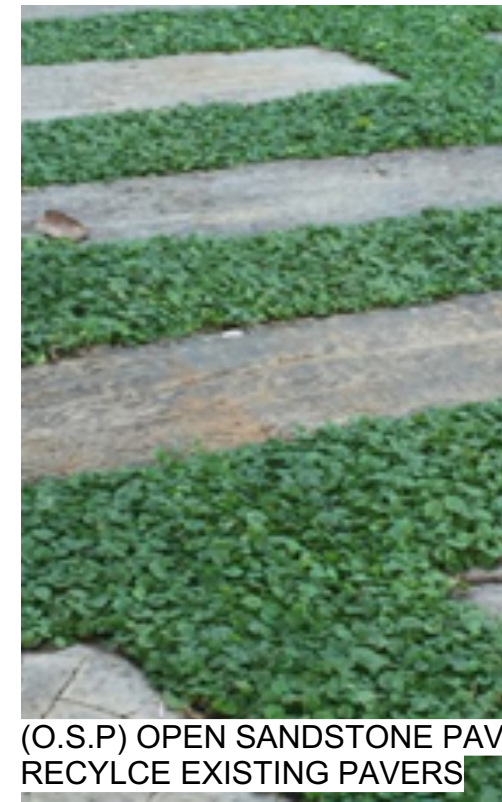
(TL) TIMBER LOUVRES,
BLACKBUTT NATURAL FINISH



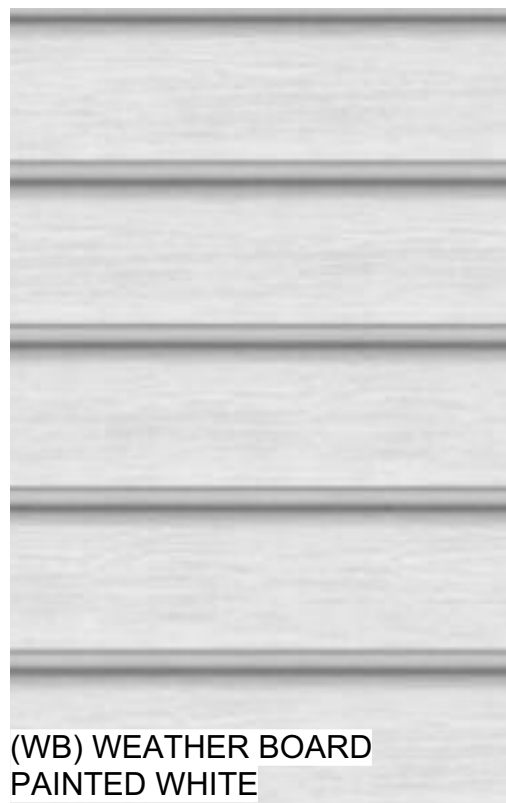
(P1) PAINT COLOUR,
DULUX WHISPER WHITE



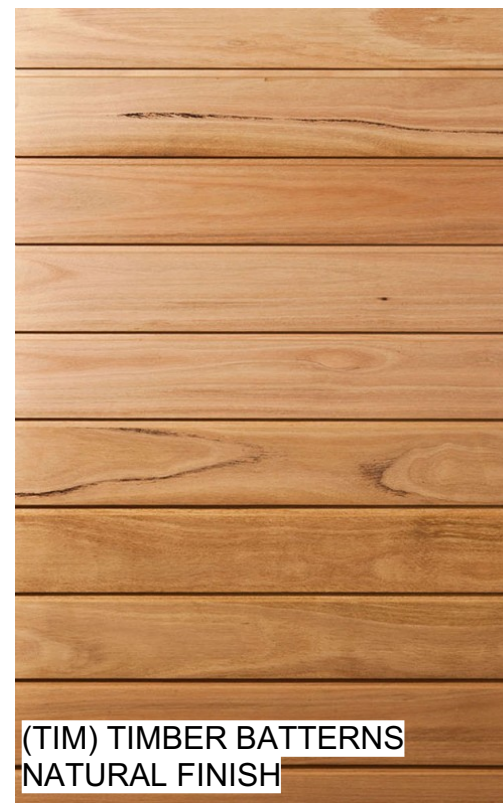
(GL) GLASS
AS PER BASIX REQUIRMENTS



(O.S.P) OPEN SANDSTONE PAVERS
RECYLCE EXISTING PAVERS



(WB) WEATHER BOARD
PAINTED WHITE



(TIM) TIMBER BATTERNS
NATURAL FINISH



AUSTRALIAN NATIVE
GREEN WALL



(MR) METAL ROOF
COLOURBOND STEEL
COLOUR SURMIST

A 28/08/19 DEVELOPMENT APPLICATION

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| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # 28/08/19 | DWG # |
| DWG | COLOURS AND FINISHES | SCALE @ A3 1:100 | DA16 |
| | | DRAWN AC | |
| | | CHKD AC | REVISION A |

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Single Dwelling

Certificate number: 8930415

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 02 September 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary | | |
|---------------------------|----------------------------|-------------|
| Project name | Birkley Road Revised 2 | |
| Street address | 68 Birkley Road Manly 2095 | |
| Local Government Area | Northern Beaches Council | |
| Plan type and plan number | deposited 334786 | |
| Lot no. | A | |
| Section no. | - | |
| Project type | separate dwelling house | |
| No. of bedrooms | 1 | |
| Project score | | |
| Water | 40 | Target 40 |
| Thermal Comfort | Pass | Target Pass |
| Energy | 53 | Target 50 |

| Certificate Prepared by | |
|-------------------------|-----------------|
| Name / Company Name: | alice.cutcliffe |
| ABN (if applicable): | 20658738193 |

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| The swimming pool must have a pool cover. | | ✓ | |
| The swimming pool must be outdoors. | ✓ | ✓ | |

| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| General features | | | |
| The dwelling must not have more than 2 storeys. | ✓ | ✓ | ✓ |
| The conditioned floor area of the dwelling must not exceed 300 square metres. | ✓ | ✓ | ✓ |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. | ✓ | ✓ | ✓ |
| The dwelling must not contain third level habitable attic room. | ✓ | ✓ | ✓ |
| Floor, walls and ceiling/roof | | | |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |

| Construction | Additional insulation required (R-Value) | Other specifications |
|---|--|--|
| floor - concrete slab on ground | nil | |
| floor - suspended floor above garage, framed | nil | |
| external wall - framed (weatherboard, fibre cement, metal clad) | 2.00 (or 2.40 including construction) | |
| external wall - cavity brick | 0.50 (or 1.17 including construction) | |
| internal wall shared with garage - plasterboard | nil | |
| ceiling and roof - raked ceiling / pitched or skillion roof, framed | ceiling: 3.76 (up), roof: foil backed blanket (100 mm) | framed, light (solar absorbance < 0.475) |

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Windows, glazed doors and skylights | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | ✓ | ✓ | ✓ |
| • For the following glass and frame types, the certifier check can be performed by visual inspection. | | ✓ | ✓ |
| - Aluminium single clear - Aluminium double (air) clear - Timber/PVC/fibreglass single clear - Timber/PVC/fibreglass double (air) clear | | ✓ | ✓ |
| • For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. | | ✓ | ✓ |
| • Vertical external louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. | | ✓ | ✓ |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | ✓ | ✓ |
| • External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed | | ✓ | ✓ |

| Skylight no. | Maximum area (square metres) | Type | Shading device |
|--------------|------------------------------|---------------------------------|----------------------------|
| S01 | 1.50 | timber, low-E/double/argon fill | adjustable awning or blind |
| S02 | 1.50 | timber, low-E/double/argon fill | adjustable awning or blind |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--|---|------------------|
| North facing | | | | | |
| WD2.01 | 1000 | 1000 | U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear) | external louvre/vertical blind (fixed) | not overshadowed |
| WD2.02 | 1800 | 1500 | U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear) | external louvre/vertical blind (adjustable) | not overshadowed |
| WD2.03 | 1000 | 600 | U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear) | external louvre/vertical blind (fixed) | not overshadowed |
| WD2.04 | 1000 | 600 | U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear) | external louvre/vertical blind (fixed) | not overshadowed |
| East facing | | | | | |
| WD2.05 | 1500 | 4800 | U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear) | solid overhang 200 mm, 300 mm above head of window or glazed door | not overshadowed |
| West facing | | | | | |
| WD2.06 | 1800 | 900 | U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear) | external louvre/vertical blind (fixed) | not overshadowed |

| Legend | | | |
|--|--|--|--|
| In these commitments, "applicant" means the person carrying out the development. | | | |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). | | | |
| Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. | | | |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued. | | | |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate). | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a | | ✓ | ✓ |
| Heating system | | | |
| The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. | | ✓ | ✓ |
| The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: | | | |
| At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off | | ✓ | ✓ |
| Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Laundry: natural ventilation only, or no laundry; Operation control: n/a | | ✓ | ✓ |
| Artificial lighting | | | |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: | | | |
| • at least 1 of the bedrooms / study; dedicated | | ✓ | ✓ |
| • at least 1 of the living / dining rooms; dedicated | | ✓ | ✓ |
| • the kitchen; dedicated | | ✓ | ✓ |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| • all bathrooms/toilets; dedicated | | ✓ | ✓ |
| • all hallways; dedicated | | ✓ | ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | ✓ | ✓ | ✓ |
| The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |
| Swimming pool | | | |
| The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only | | ✓ | |
| The applicant must install a timer for the swimming pool pump in the development. | | ✓ | |
| Alternative energy | | | |
| The applicant must install a photovoltaic system with the capacity to generate at least 0.3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system. | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling. | | ✓ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | ✓ | |
| The applicant must install a fixed indoor or sheltered clothes drying line as part of the development. | | ✓ | |

Description of project

| Project address | |
|------------------------------------|----------------------------|
| Project name | Birkley Road Revised 2 |
| Street address | 68 Birkley Road Manly 2095 |
| Local Government Area | Northern Beaches Council |
| Plan type and plan number | Deposited Plan 334786 |
| Lot no. | A |
| Section no. | - |
| Project type | |
| Project type | separate dwelling house |
| No. of bedrooms | 1 |
| Site details | |
| Site area (m²) | 342 |
| Roof area (m²) | 70 |
| Conditioned floor area (m2) | 42.0 |
| Unconditioned floor area (m2) | 6.0 |
| Total area of garden and lawn (m2) | 84 |

| Assessor details and thermal loads | | |
|---|------|-------------|
| Assessor number | n/a | |
| Certificate number | n/a | |
| Climate zone | n/a | |
| Area adjusted cooling load (MJ/m²/year) | n/a | |
| Area adjusted heating load (MJ/m²/year) | n/a | |
| Project score | | |
| Water | 40 | Target 40 |
| Thermal Comfort | Pass | Target Pass |
| Energy | 53 | Target 50 |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Landscape | | | |
| The applicant must plant indigenous or low water use species of vegetation throughout 5 square metres of the site. | ✓ | ✓ | |
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 6 star in the kitchen in the development. | | ✓ | ✓ |
| The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development. | | ✓ | ✓ |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 1800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 70 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: | | | |
| • the cold water tap that supplies each clothes washer in the development | | ✓ | ✓ |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |
| Swimming pool | | | |
| The swimming pool must not have a volume greater than 15 kilolitres. | ✓ | ✓ | |

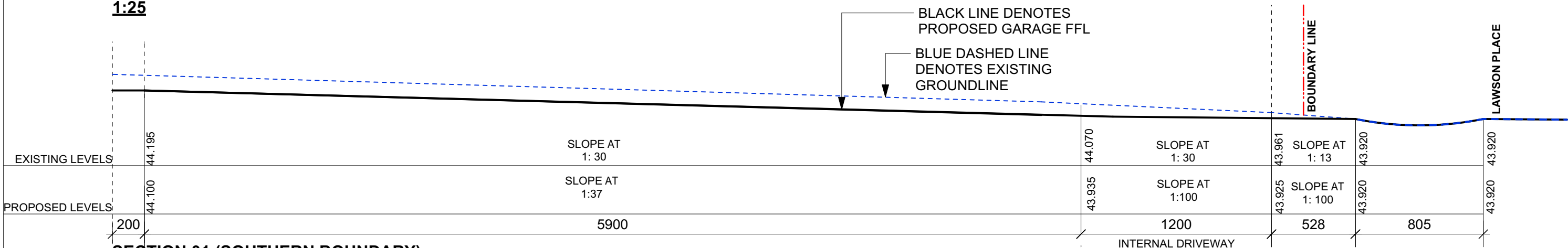
A 28/08/19 DEVELOPMENT APPLICATION

| ISSUE | DATE | REVISION | PROJECT # |
|---------|---|------------------|------------|
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # 28/08/19 | DWG # |
| DWG | BASIX REPORT | SCALE @ A3 1:100 | DA19 |
| | | DRAWN AC | |
| | | CHKD AC | REVISION A |

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SECTION 02 (NORTHERN BOUNDARY)

1:25

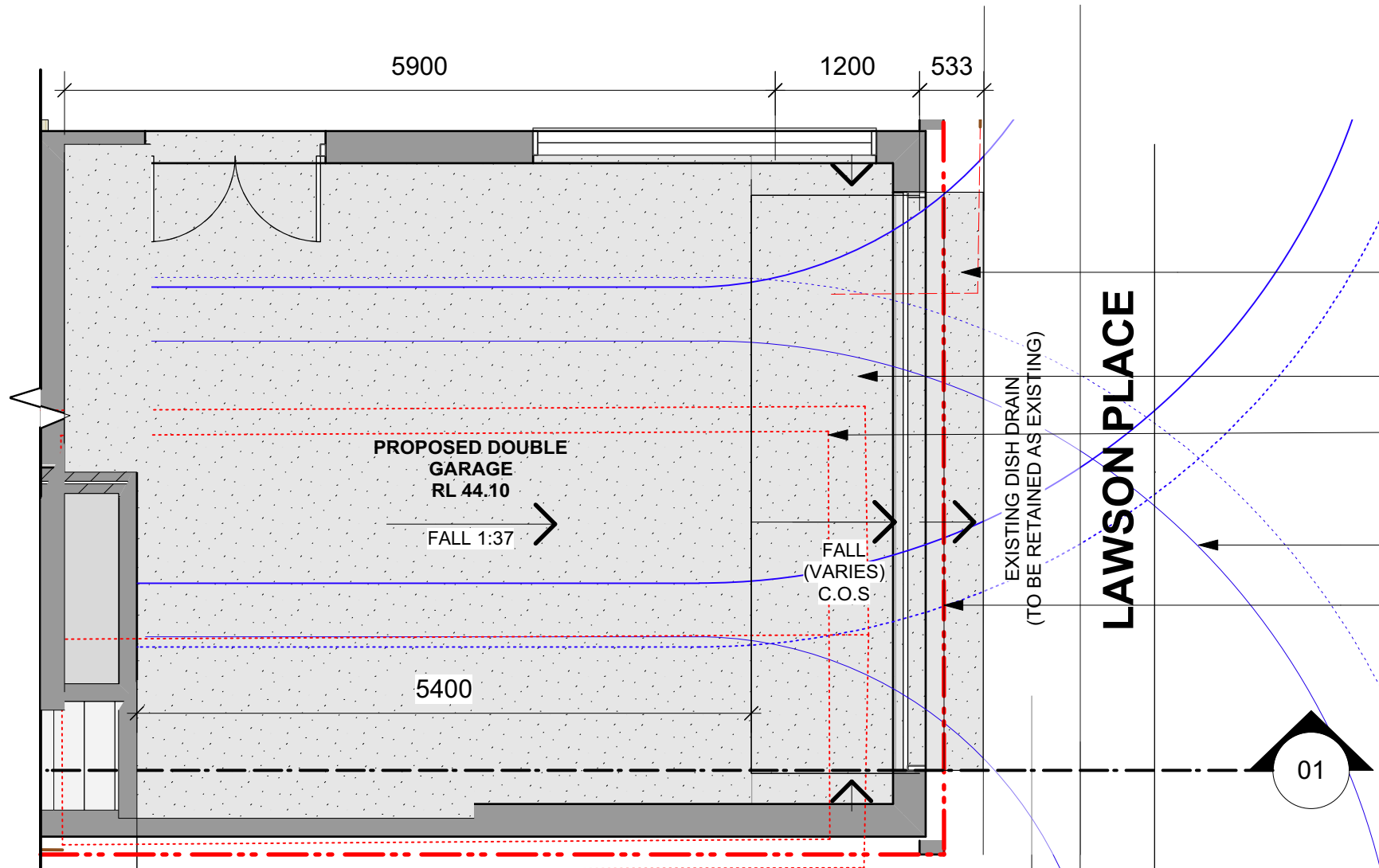


SECTION 01 (SOUTHERN BOUNDARY)

1:25

GARAGE / CARPARKING

INTERNAL DRIVEWAY

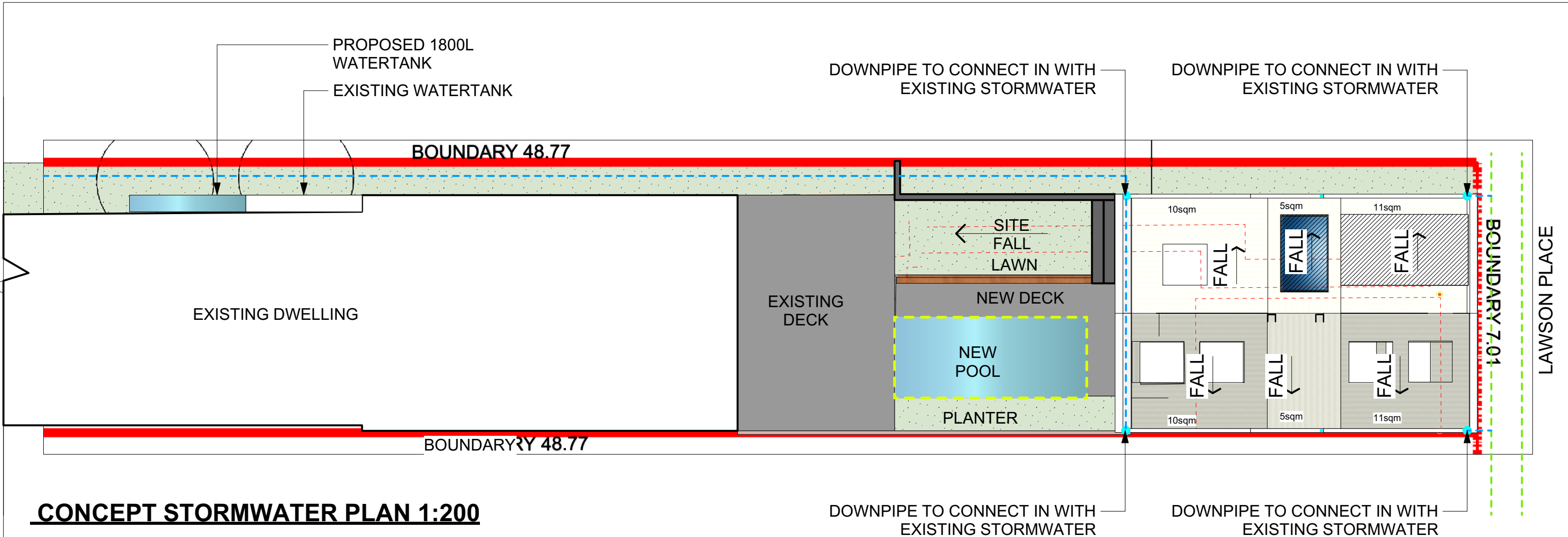


- NEW CONCRETE DRIVEWAY CROSS OVER TO ALIGN WITH EXISTING DISHDRAIN RL'S
- NEW CONCRETE DRIVEWAY - TO MEET ALL REQUIRMENTS AS2890.1, 2004.
- EXISTING GARAGE TO BE DEMOLISHED
- VEHICLE TURNING PATH
- BOUNDARY LINE SHOWN DASHED RED

CONCEPT DRIVEWAY CROSS OVER PLAN











1:50

| | | | |
|---------|---|----------|-------------------------|
| A | | 28/08/19 | DEVELOPMENT APPLICATION |
| ISSUE | DATE | REVISION | |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | PROJECT # 17001 |
| CLIENT | MATT & GEORGI BATES | | DATE # 28/08/19 |
| DWG | DRIVEWAY CROSS OVER | | SCALE @ A3 1:50 |
| | CHKD | AC | DWG # DA17 |
| | | | REVISION A |













CONCEPT STORMWATER PLAN 1:200

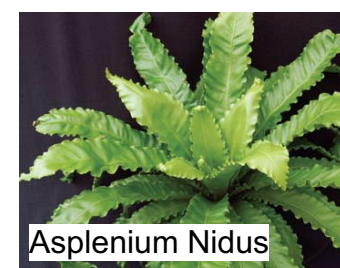
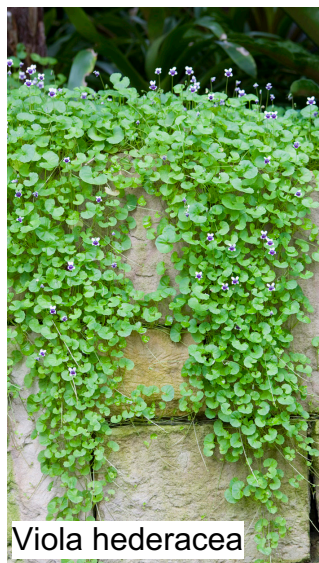
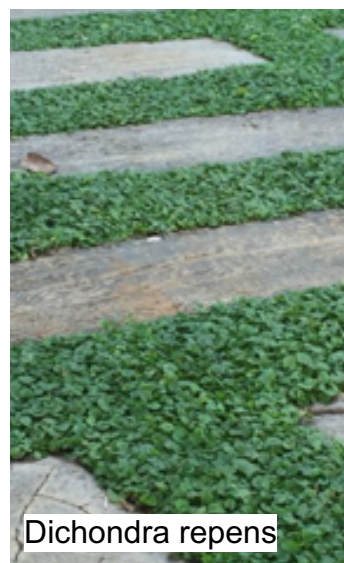
LEGEND

-  PROPOSED WATERTANK
-  EXISTING DISH DRAIN TO REMAIN
-  EXISTING BUILT FOOTPRINT
-  SOLAR PANELS
-  PROPOSED POOL
-  PROPOSED LAWN OR PERMIABLE SURFACE
-  STORMWATER LINE
-  PROPOSED AND EXISTING DECK
-  PROPOSED DOWNPIPE
-  EXISTING DOWNPIPE



| | EXISTING SQM | PROPOSED SQM | DIFFERENCE |
|----------------------------|--------------|--------------|--------------|
| BUILT FOOTPRINT: | 162.7 | 192.7 | + 30 |
| DECKING: | 35.20 | 48.30 | + 13.1 |
| PERMIABLE SITE AREA | 119.63 | 85.5 | - 34.13 |
| CONCRETE + PAVING + OTHER: | 31.47 | 5.3 | - 26.17 |
| POOL | 0.00 | 10 | + 10 |
| TOTAL SITE AREA: | 341.8 | 341.8 | 341.8 |

| | | | | |
|--|---|------------|-------------------------|------------|
| A | | 28/08/19 | DEVELOPMENT APPLICATION | |
| ISSUE | DATE | REVISION | | PROJECT # |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # | 28/08/19 | DWG # |
| | | SCALE @ A3 | 1:100 | DA18 |
| DWG | STORMWATER & WASTE MANAGEMENT PLAN | DRAWN | AC | |
| | | CHKD | AC | REVISION A |
| T: 612 424 561 309 E-mail: alice.e.cutcliffe@gmail.com | | | | |

| PLANT SCHEDULE | | | | | | | |
|---|-------------------------|------------------------|---------------|---------------|----------|----------|---------------------------------------|
| | COMMON NAME | SCIENTIFIC NAME | MATURE HEIGHT | MATURE SPREAD | POT SIZE | QUANTITY | NOTES |
|  | Basket Grass, | Lomandra longifolia | 0.8m | 1.2m | 400mm | 2 | EXISTING TO BE REPLANTED |
|  | Birds Nest Fern | Asplenium nidus | 1.2m | 0.9m | 200mm | 2 | |
|  | Rough Tree Fern | Cyathea australis | 4.0m | 10.0m | 300mm | 2 | EXISTING - TO BE REPLANTED |
|  | Lilly Pilly | Acmena smithii | 7.0m | 3.0m | 300mm | 8 | EXISTING - TO BE RETAINED & REPLANTED |
|  | Burrawang | Macrozamia communis | 2.0m | 1.5m | 300mm | 2 | |
|  | Grass Tree | Xanthorrhoea Australis | 3.0m | 1.0m | 400mm | 1 | |
|  | Native Violet | Viola hederacea | 0.2m | 0.3m | 300mm | | GROUND COVER - AS REQUIRED |
|  | Native Grass: Matt Rush | Lomandra confertifolia | 0.75m | 0.75m | 140mm | 6 | |
|  | Dichondra | Dichondra repens | 0.2m | | 140mm | 1 | GROUND COVER - AS REQUIRED |
|  | Maidenhair fern | Adiantum | 0.3m | 0.6m | 140mm | | |



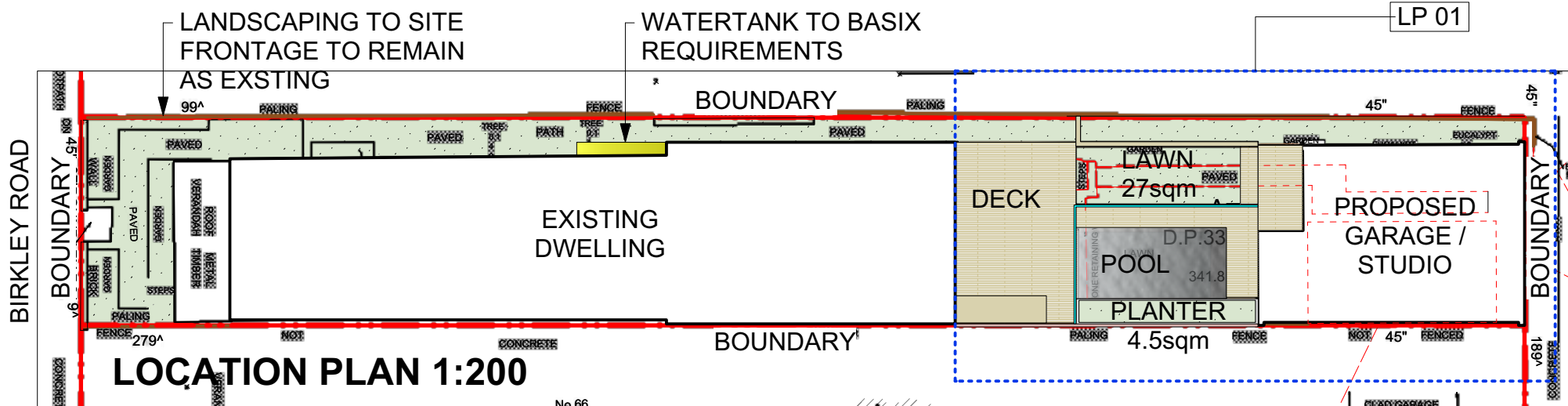
TREE SCHEDULE

| | NOTES | COMMON NAME | SCIENTIFIC NAME | MATURE HEIGHT | MATURE SPREAD | QUANTITY |
|---|-------------|------------------------|-----------------------|---------------|---------------|----------|
|  | PROP. T1 | Water Gum cultivar | Tristaniopsis laurina | 8m | 4-6m | 1 |
|  | EX. T1 & T2 | TREES TO BE DEMOLISHED | | | | |

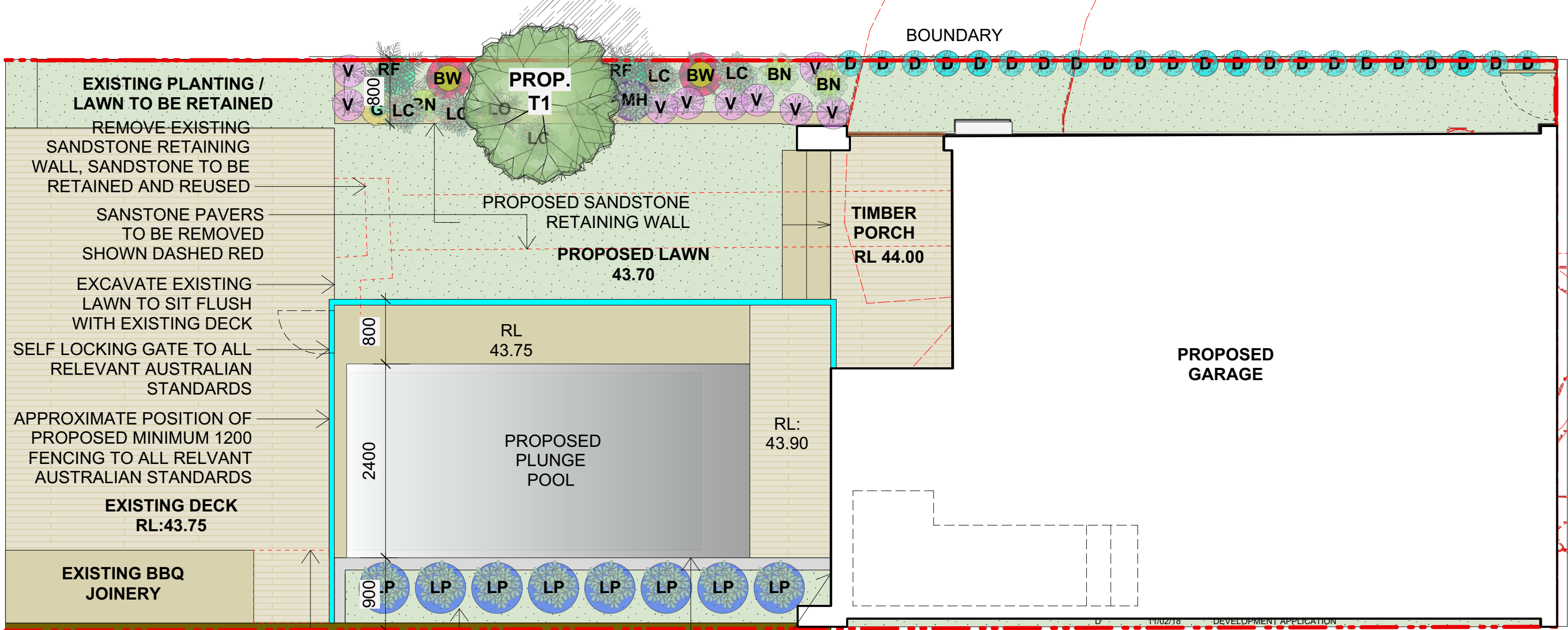
| | | |
|---|----------|-------------------------------------|
| D | 11/02/18 | DEVELOPMENT APPLICATION |
| C | 01/01/18 | PRELIMINARY DEVELOPMENT APPLICATION |
| B | 21/10/17 | PRE-DA MEETING REVISED |
| A | 21/10/17 | PRE-DA MEETING |

| | | | |
|---------|---|-----------------|------------|
| ISSUE | DATE | REVISION | PROJECT # |
| PROJECT | 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | 17001 |
| CLIENT | MATT & GEORGI BATES | DATE # 21.10.17 | DWG # |
| DWG | LANDSCAPE PLAN | SCALE @ A3 NA | LP01 |
| | | DRAWN AC | |
| | | CHKD AC | REVISION D |

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| Landscape | |
|---|---|
| The applicant must plant indigenous or low water use species of vegetation throughout 30 square metres of the site. | ✓ |
| Swimming pool | |
| The swimming pool must not have a volume greater than 16.8 kilolitres. | ✓ |
| The swimming pool must have a pool cover. | ✓ |
| Alternative water | |
| Rainwater tank | ✓ |
| The applicant must install a rainwater tank of at least 4800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ |



| ISSUE | DATE | REVISION | PROJECT # |
|---|----------|-------------------------------------|---------------------|
| D | 17/02/18 | DEVELOPMENT APPLICATION | 17001 |
| C | 01/01/18 | PRELIMINARY DEVELOPMENT APPLICATION | |
| B | 21/10/17 | PRE-DA MEETING REVISED | |
| A | 21/10/17 | PRE-DA MEETING | |
| PROJECT 68 BIRKLEY ROAD, MANLY - LOT A - DP334786 | | | DWG # LP02 |
| CLIENT MATT & GEORGI BATES | | | DATE # 21.10.17 |
| DWG LANDSCAPE PLAN | | | SCALE @ A3 CHECK AC |
| | | | DRAWN AC |
| | | | CHKD AC |
| | | | REVISION D |

