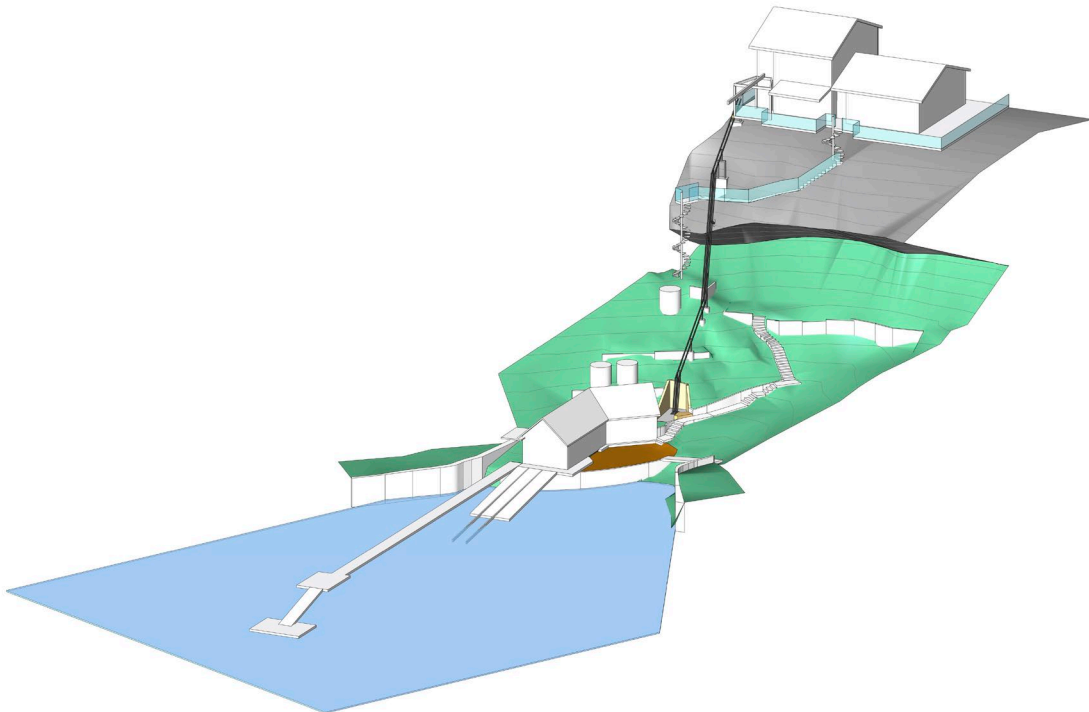


## STATEMENT OF ENVIRONMENTAL EFFECTS

### **Proposed Inclined Passenger lift to serve the existing dwelling at 11 Portions Lovett Bay.**



## PROPOSED DEVELOPMENT

This Development Application seeks approval for the installation of a new Inclined Passenger lift at 11 Portions Lovett Bay, to improve the access and amenity characteristics of the existing site and dwelling.

## REFERENCE DRAWINGS AND DOCUMENTS

Architectural drawings numbered 2124 00 - 02 by Peter Downes Designs

Topographical Survey by Hammond Smeallie

Geotech report by Ascent Geotechnical Consulting

Arborist report by AQF Level 5 Arborist Joanne Willis

Bushfire report by Bushfire and Evacuation Solutions

## PROPERTY DESCRIPTION

### Title Description

LOT 2 in DP 610479

### Street Address

11 Portions Lovett Bay NSW 2105

### Dimensions and Description

The subject property is irregularly shaped. The main portion has the following boundary dimensions:

North	27.53 m
East	40.79 m to MHWL
South	varies
West	23.73 & 9.91 m

Total Site Area = 896.5 m<sup>2</sup>

### Slope

The slope of the site is roughly 27 degrees, starting from the highest point at the Northern boundary at approx. RL 25000, the slope varies greatly over the length of the site, plunging dramatically down the natural cliff face before meeting the MHWL at approx. RL 1400. The site could be

described as featuring 3 main sections; the area at the top of the cliff, the cliff and cave, and the lower portion of the site which slopes down to the MHWL.

## **Easements**

There are no Easements noted on the subject property.

## **Covenants**

There are no Covenants noted on the subject property.

## **ZONING AND CONTROLS**

### **Pittwater LEP 2014**

#### *Acid Sulfate soils Class 5*

The excavations associated with the proposal are minor in nature and are not likely to disturb any nearby watertable.

#### *Zone E3 Environmental Management*

The proposed development is in line with the objectives of the zone.

#### *Pittwater Geotechnical Hazard H1*

Please see attached Geotech report.

#### *Estuarine Hazard Map*

The site is featured on the Pittwater Estuarine Hazard map, as being subject to potential wave action and tidal inundation. While an Estuarine Planning Level has not been established, should the lower lift landing at RL 2800 be found to be below this level, then this landing will be certified by a structural engineer as being designed to withstand the associated hazards.

### **Pittwater DCP 2014**

#### **Pittwater 21 DCP**

#### *C1.19 Incline Lifts*

- i) The design and placement of the lift has resulted in minimal excavation being proposed.
- ii) The travel path of the lift is as low to the ground as possible.
- iii) The running noise of the lift will not exceed 5db(A) above the ambient noise level when measured from any property boundary.

- iv) The lift will be painted in med to dark colours and will be screened by existing vegetation.
- v) A 3m length of the topmost section of the lift rail is within the 2m side boundary setback required by this clause, a **variation** is respectfully sought on the basis that this encroachment is minor in nature and will present no negative impacts to the adjoining property.
- vi) All proposed works are wholly within the property boundary and located on private land.
- vii) There are no privacy concerns created by the proposed works.

### **Northern Beaches Bushfire Prone Land Map**

The subject property is within a Category 1 Vegetation area, please see attached Bushfire report.

### **SEPP Coastal Management 2018**

The design of the lift, landings and associated footings is sensitive to the needs (and hazards) of the Coastal Zone, and is in line with the objectives of the SEPP.



**Photo 1 - Standing on the property's associated private jetty, looking up to the existing dwelling sited above the cliff face. Note the coverage that the existing vegetation provides to the cliff face and location of the proposed works. It is anticipated that the proposed works will be entirely invisible as viewed from Pittwater.**





**Photo 2 – Standing at the location of the lower proposed landing, looking uphill towards the cliff face and existing spiral stairs. Note that the existing rail slide will be demolished as part of the proposed works.**



**Photo 3 – Standing underneath the cliff face, facing West. The proposed rail will run up the cliff face between the photographer and the existing spiral stairs. The lift rail and railcar is to be painted in colours sympathetic to the site's natural features, and will greatly improve the access and amenity characteristics of the existing dwelling.**





**Photo 4 – Standing on the existing dwelling’s deck at RL 24600, near the location of the proposed upper landing.**

## **SITE ANALYSIS**

Refer to site plan.

## **SITE DATA**

N/A

## **HEIGHT CONTROLS**

N/A

## **BUILDING ENVELOPE CONTROL**

N/A



**SETBACK CONTROLS**

Please see variation request to C1.19 (V) as noted above.

**DRAINAGE**

N/A

**CAR PARKING AND ACCESS**

N/A

**LANDSCAPING**

N/A

**PRIVACY**

No privacy concerns are anticipated.

**OVERSHADOWING**

There are no overshadowing issues resulting from the proposed development.

**ENERGY EFFICIENCY**

N/A

**SITE MANAGEMENT**

See Drawings 00 and 01 for ESCP details.

**VIEW LOSS**

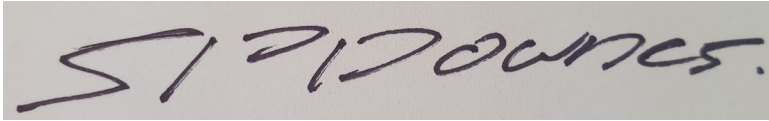
There are no views loss issues resulting from the proposed development.

**WASTE MANAGEMENT AREA**

See Drawing 01 Site Plan for proposed Waste Management Area.

## CONCLUSION

The proposed development complies with the intent of all Council's policies, enhances the natural and built environments and should receive favorable consideration during the approval process.

A handwritten signature in dark ink on a light gray background. The signature is written in a cursive, stylized font and reads "S/ P Downes.".

Simon Downes  
Building Designer  
Peter Downes Designs