

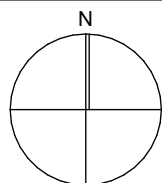
SITE PLAN
1:200

Trees to be removed or transplanted.
See accompanying arborist report



**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0077
Refer to separate landscape plans
for detailed design/planting etc.



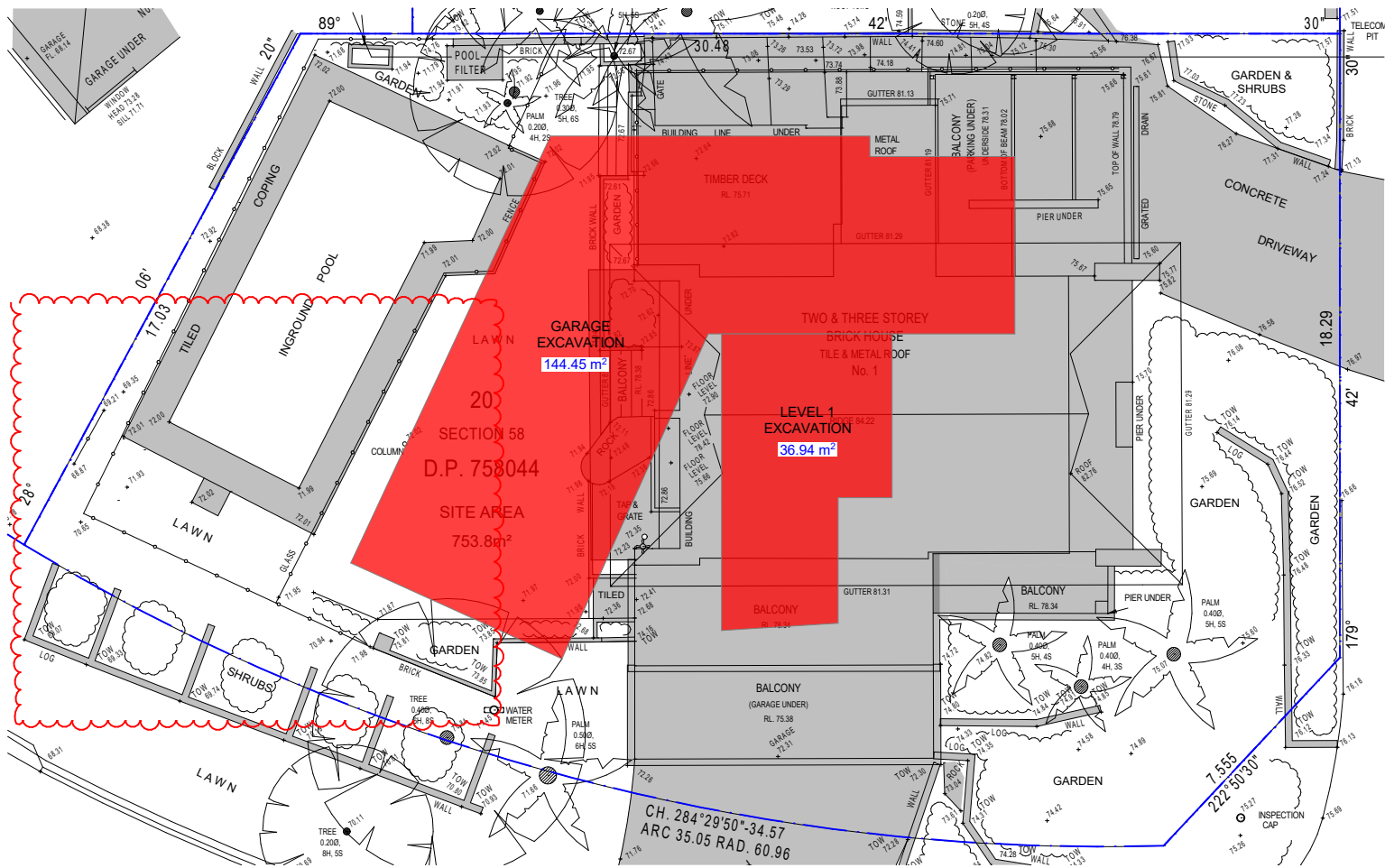
Revision	Date	Revision Note
B	21/09/20	- MAIN ROOF LEVEL LOWERED BY 170mm - CLERESTOREY ROOF LOWERED BY 320mm - ROOF SETBACK BY AN ADDITIONAL 1,170mm ON THE NORTH SIDE - CLERESTORY ROOF SIZE REDUCED - PROPOSED POOL REMOVED FROM APPLICATION.

General Notes:

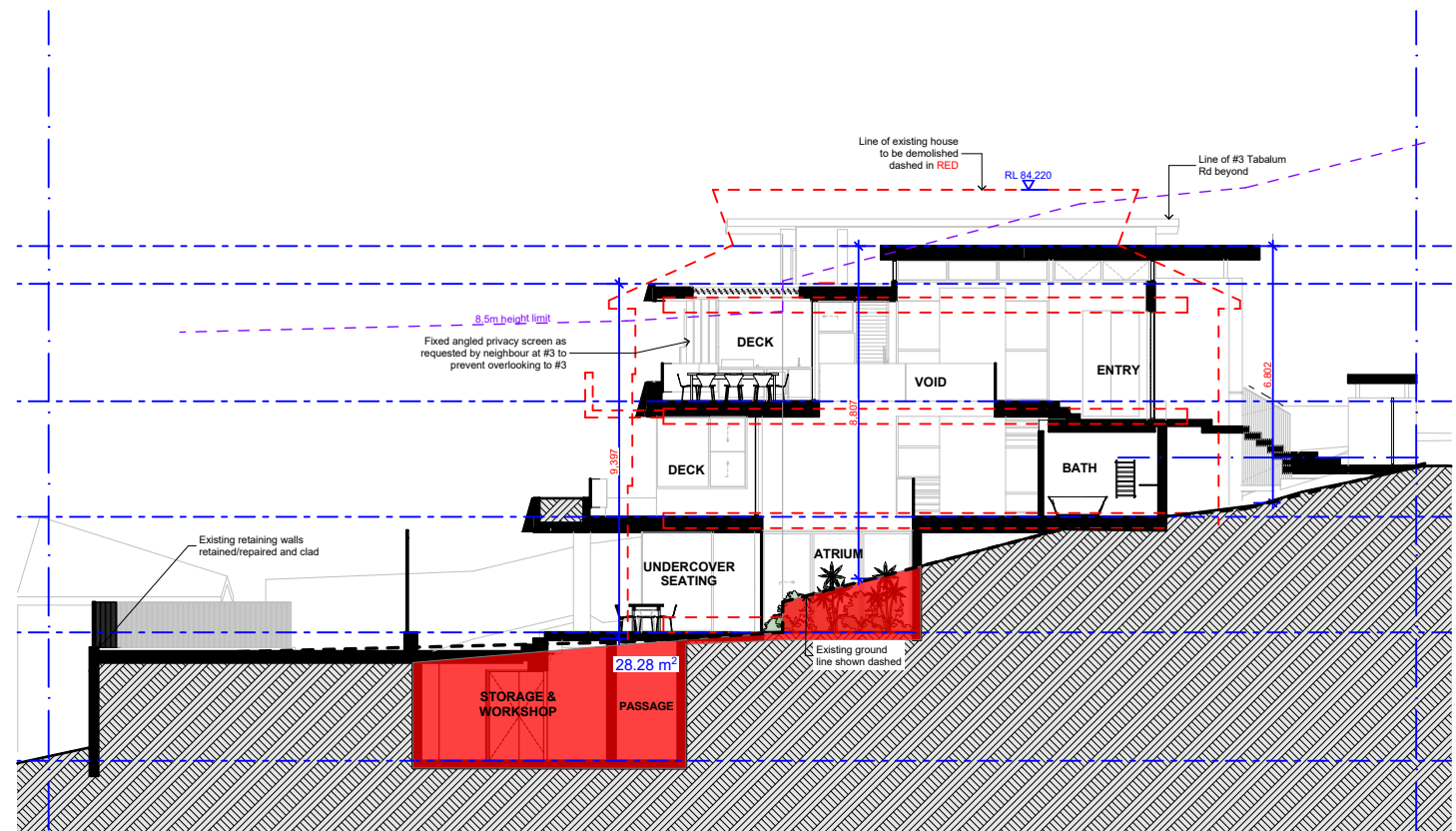
Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **SITE PLAN**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **21-Sep-20**
Scale @ A3: **1:200** Sheet #: **Revision: B**
Chkd: **Drawn: A 01**

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Nominated Architect, Ian Bassett NSW Reg. No. 6987



EXCAVATION PLAN
1:200

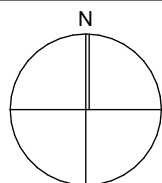


EXCAVATION SECTION
1:200



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DA2020/0077

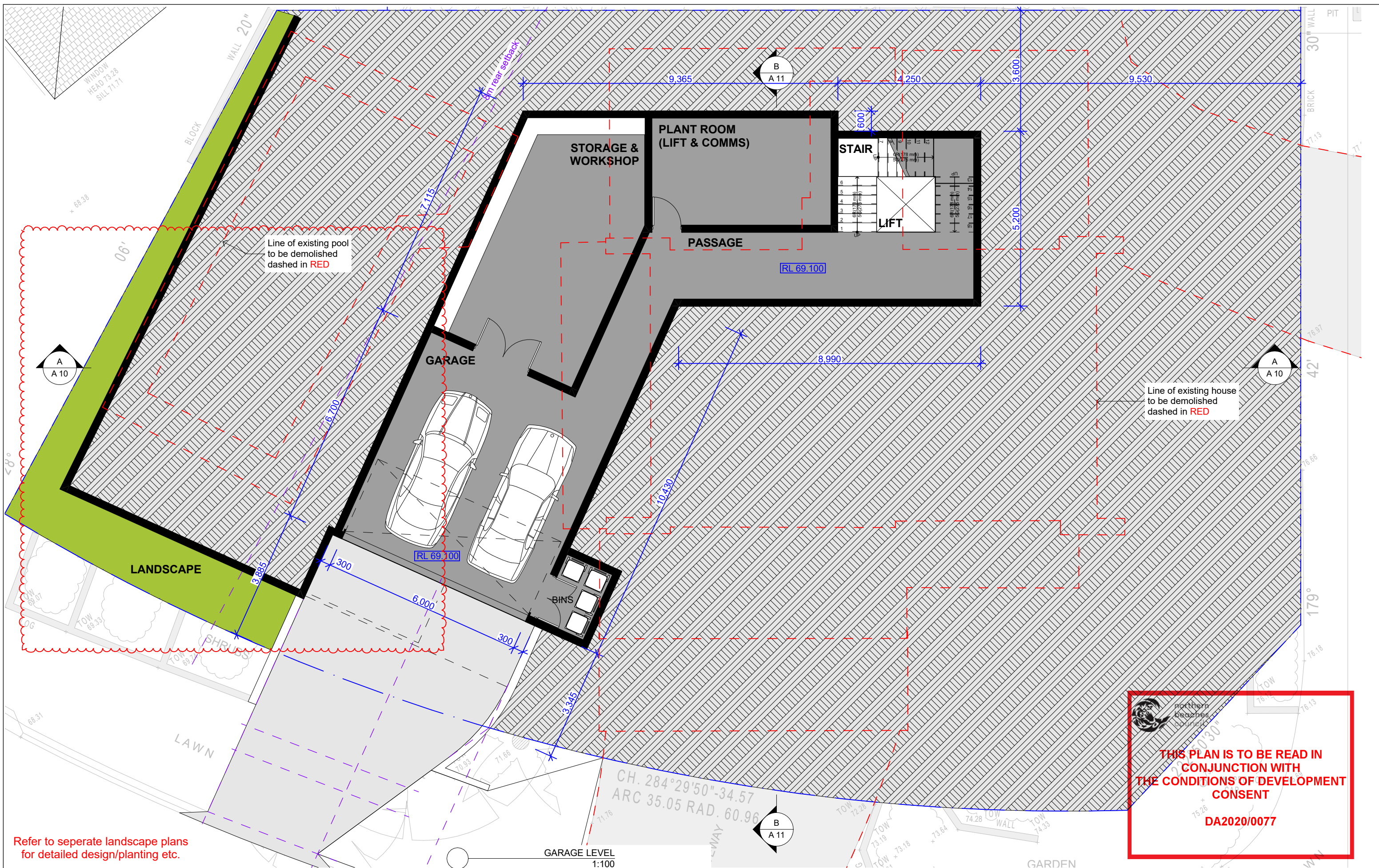


Revision	Date	Revision Note
B	21/09/20	- PROPOSED POOL REMOVED FROM APPLICATION.
General Notes:		

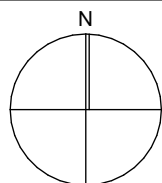
Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **EXCAVATION PLAN**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **21-Sep-20**
Scale @ A3: **1:200** Sheet #: **Revision: B**
Chkd: **Drawn: A 04**

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Refer to seperate landscape plans
for detailed design/planting etc.



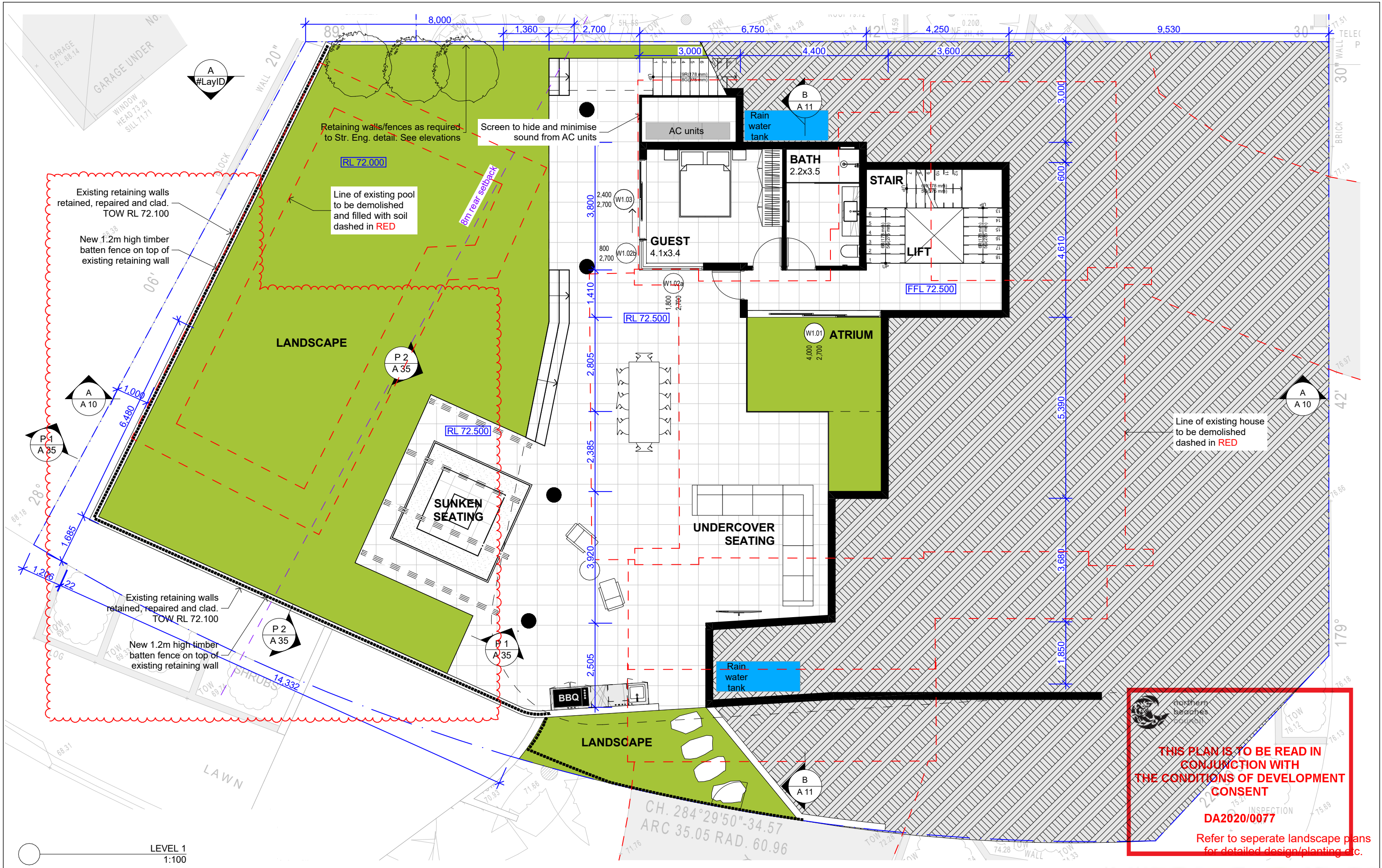
Revision	Date	Revision Note
B	21/09/20	- PROPOSED POOL REMOVED FROM APPLICATION.
General Notes:		

Project:	New Dwelling
Client:	Kevin Mooney
Address:	1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044

Drawing: **GARAGE**

Project #:	MOO 0219	Issue Type:	DA01
Original Sheet Size:	A3	Issue Date:	21-Sep-20
Scale @ A3:	1:100	Sheet #:	Revision:
Chkd:	Drawn:	A 05	B

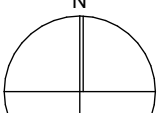



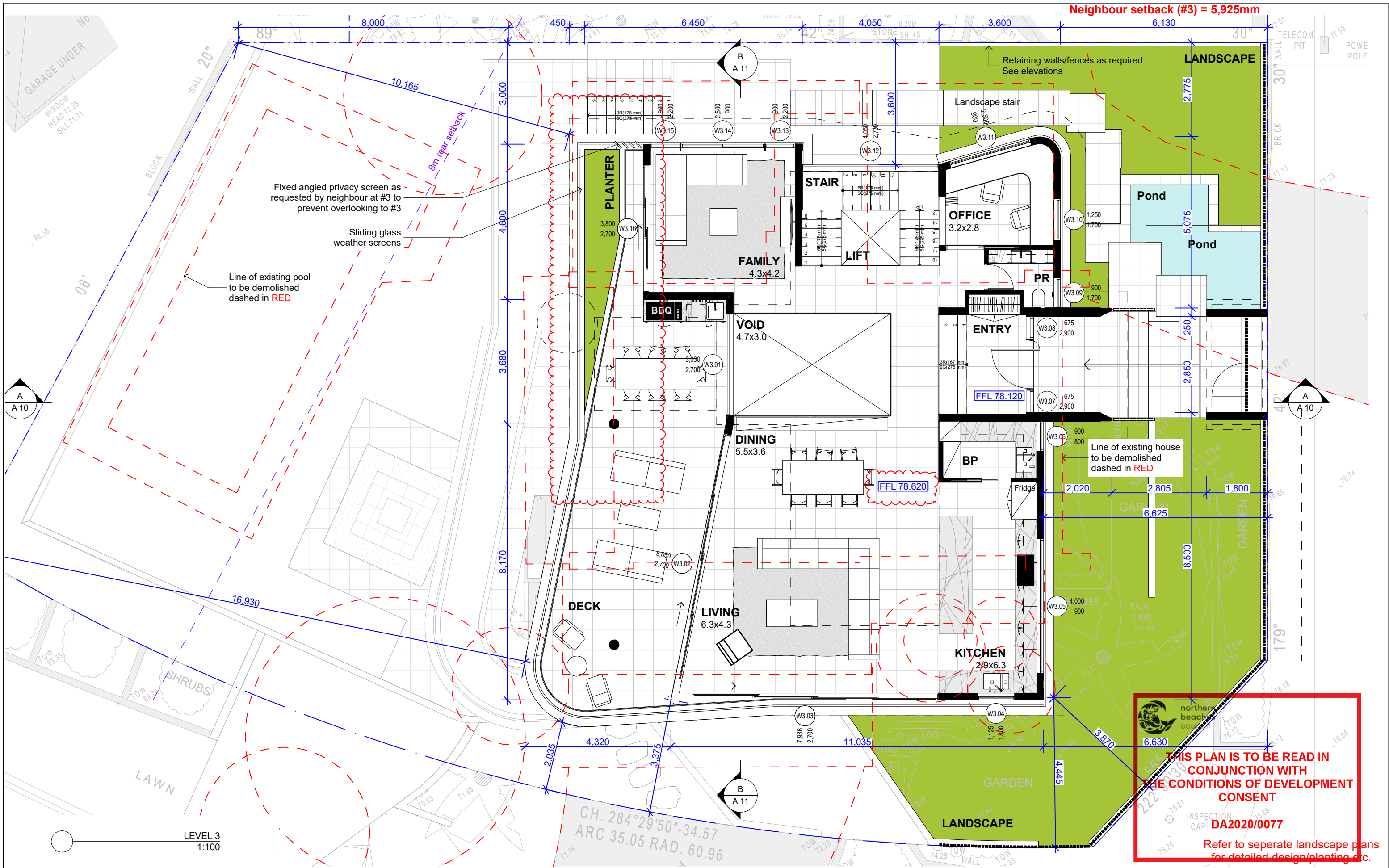


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DA2020/0077


Refer to separate landscape plans for detailed design/planting etc.

<div><div>N</div></div>	Revision B	Date 21/09/20	Revision Note <div>- PROPOSED POOL REMOVED FROM APPLICATION. - FENCE/WALL TO THE SOUTH TO BE REPLACED WITH TIMBER BATTEN FENCE</div>	Project: New Dwelling	Drawing: LEVEL 1			<div><div>209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</div></div>
	General Notes:				Client: Kevin Mooney	Project #: MOO 0219	Issue Type: DA01	
				Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044	Original Sheet Size: A3	Issue Date: 21-Sep-20	Revision: B	
					Scale @ A3: 1:100	Sheet #: A 06		
					Chkd:	Drawn:		

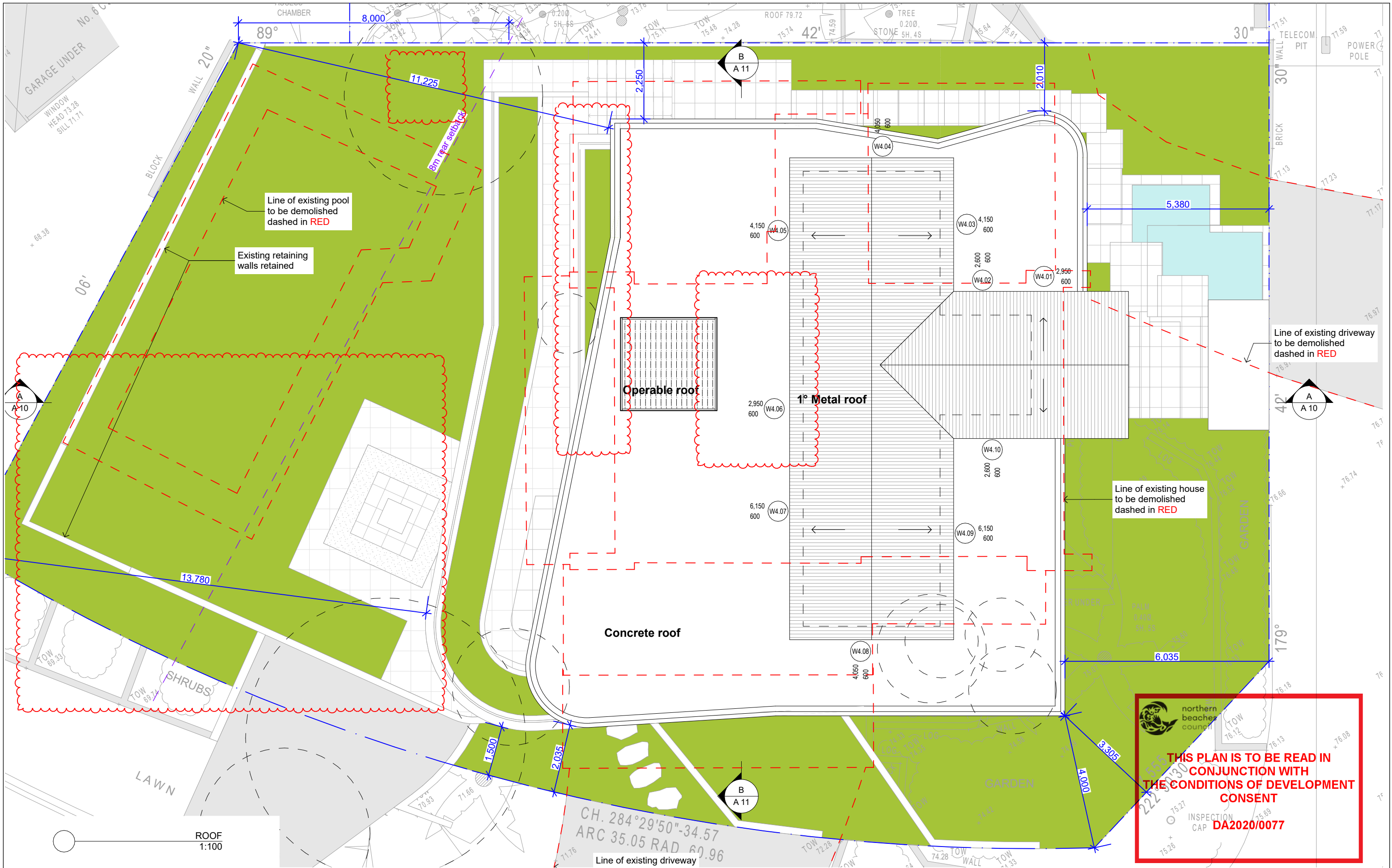


	Revision B	Date 21/09/20	Revision Note - FFL REDUCED BY 80mm TO FFL78.620 - DECK AND PRIVACY SCREEN REDUCED BY 1,200mm ON THE NORTH SIDE
	General Notes:		

Project: New Dwelling	Drawing: LEVEL 3	
Client: Kevin Mooney	Project #: MOO 0219	Issue Type: DA01
Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044	Original Sheet Size: A3	Issue Date: 21-Sep-20
	Scale @ A3: 1:100	Sheet #: A 08
	Chkd: Drawn:	B



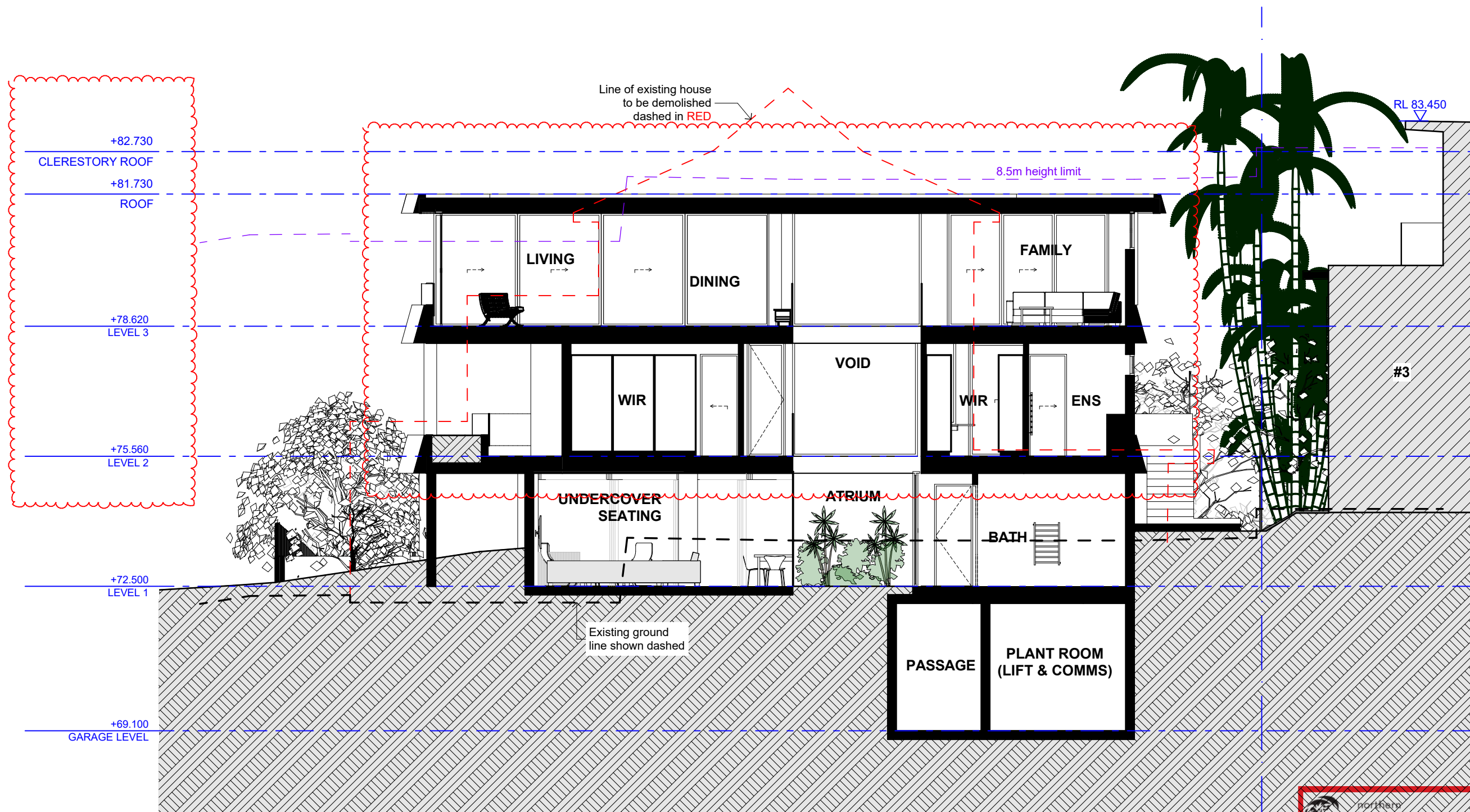
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	Revision B	Date 21/09/20	Revision Note <div>- MAIN ROOF LEVEL LOWERED BY 170mm - CLERESTOREY ROOF LOWERED BY 320mm - ROOF SETBACK BY AN ADDITIONAL 1,170mm ON THE NORTH SIDE - CLERESTORY ROOF SIZE REDUCED - PROPOSED POOL REMOVED FROM APPLICATION.</div>
	General Notes:		

Project: New Dwelling	Drawing: ROOF PLAN	
Client: Kevin Mooney	Project #: MOO 0219	Issue Type: DA01
Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044	Original Sheet Size: A3	Issue Date: 21-Sep-20
	Scale @ A3: 1:100	Sheet #: A 09
	Chkd: Drawn:	Revision: B

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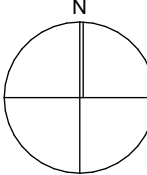



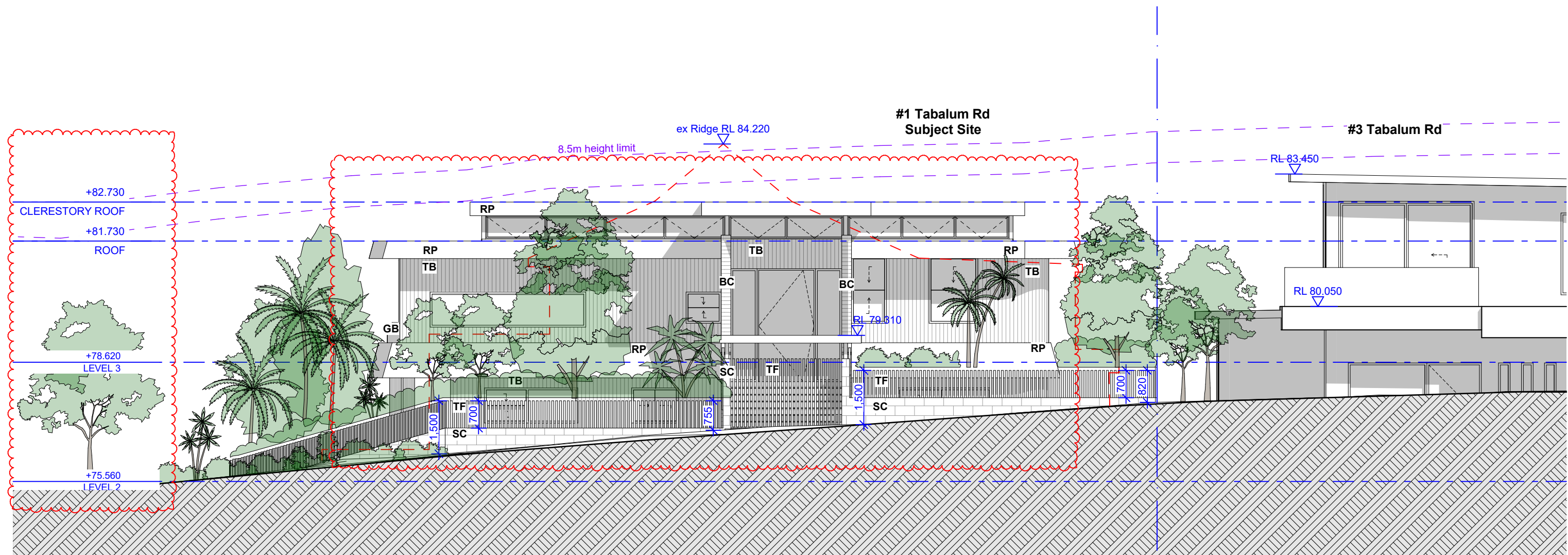
SECTION B
1:100

 **northern
beaches
council**

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DA2020/0077

	Revision B	Date 21/09/20	Revision Note <div>- MAIN ROOF LEVEL LOWERED BY 170mm - CLERESTOREY ROOF LOWERED BY 320mm - CLERESTORY ROOF SIZE REDUCED - FLOOR LEVELS LOWERED</div>	Project: New Dwelling	Drawing: SECTION B			 <div>209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</div>
	General Notes:			Client: Kevin Mooney	Project #: MOO 0219	Issue Type: DA01		
				Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044	Original Sheet Size: A3	Issue Date: 21-Sep-20		
					Scale @ A3: 1:100	Sheet #: A 11	Revision: B	
					Chkd:	Drawn:		

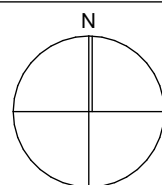


EAST (TABALUM RD STREETSCAPE) ELEVATION
1:100



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CONSENT

DA2020/0077



Revision	Date	Revision Note
B	21/09/20	- MAIN ROOF LEVEL LOWERED BY 170mm - CLERESTOREY ROOF LOWERED BY 320mm - CLERESTORY ROOF SIZE REDUCED - FLOOR LEVELS LOWERED

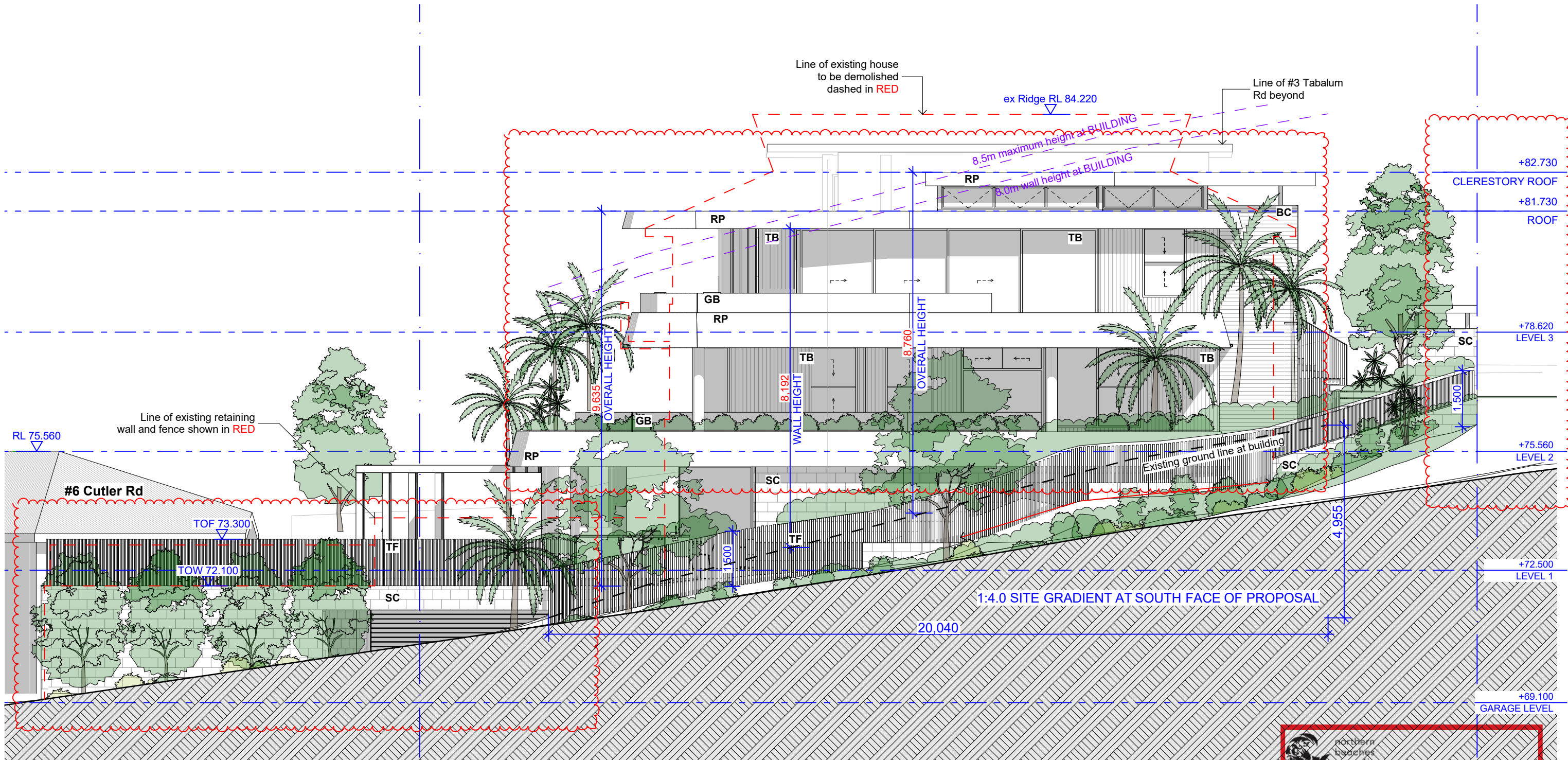
General Notes:

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**


Drawing: **EAST (TABALUM RD STREETSCAPE) ELEVATION**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **21-Sep-20**
Scale @ A3: **1:100** Sheet #: **A 12** Revision: **B**
Chkd: **Drawn:**

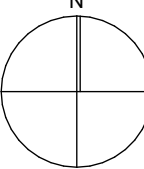


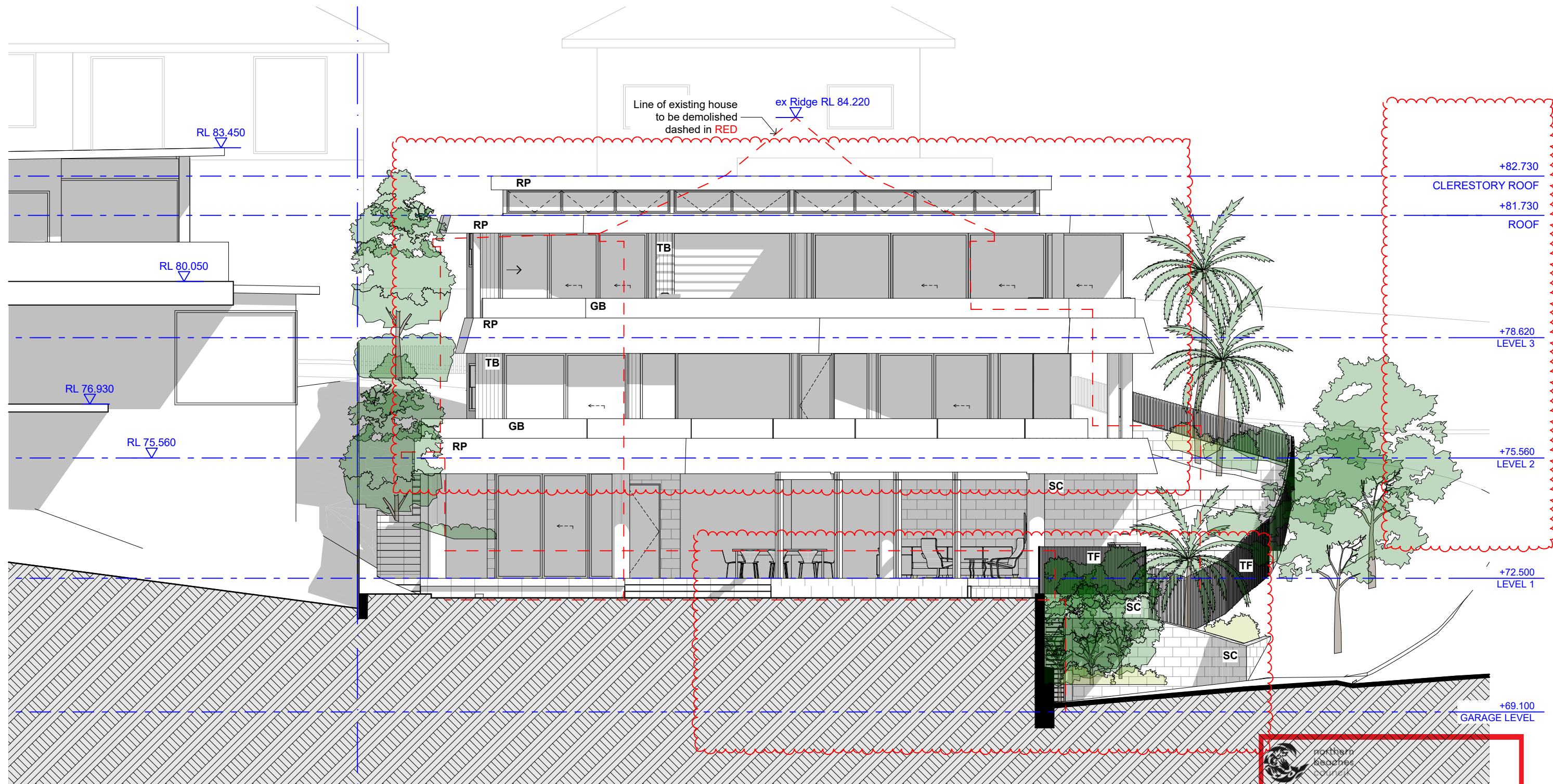
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SOUTH (CUTLER RD STREETSCAPE) ELEVATION
1:100

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DA2020/0077

<div><div>N</div></div>	<div>Revision</div> <div>B</div>	<div>Date</div> <div>21/09/20</div>	<div>Revision Note</div> <div>- MAIN ROOF LEVEL LOWERED BY 170mm - CLERESTOREY ROOF LOWERED BY 320mm - CLERESTORY ROOF SIZE REDUCED - FLOOR LEVELS LOWERED - POOL TO BE REMOVED. - BOUNDARY FENCE/WALL TO THE SOUTH TO BE REPLACED WITH TIMBER BATTEN FENCE</div>	<div>Project:</div> <div>New Dwelling</div>	<div>Drawing:</div> <div>SOUTH (CUTLER RD STREETSCAPE) ELEVATION</div>	<div><div>209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</div></div>
	<div>General Notes:</div>			<div>Client:</div> <div>Kevin Mooney</div>	<div>Project #:</div> <div>MOO 0219</div> <div>Issue Type:</div> <div>DA01</div>	
				<div>Address:</div> <div>1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044</div>	<div>Original Sheet Size:</div> <div>A3</div> <div>Issue Date:</div> <div>21-Sep-20</div> <div>Scale @ A3:</div> <div>1:100</div> <div>Sheet #:</div> <div>Revision:</div> <div>Chkd:</div> <div>Drawn:</div> <div>A 13</div> <div>B</div>	

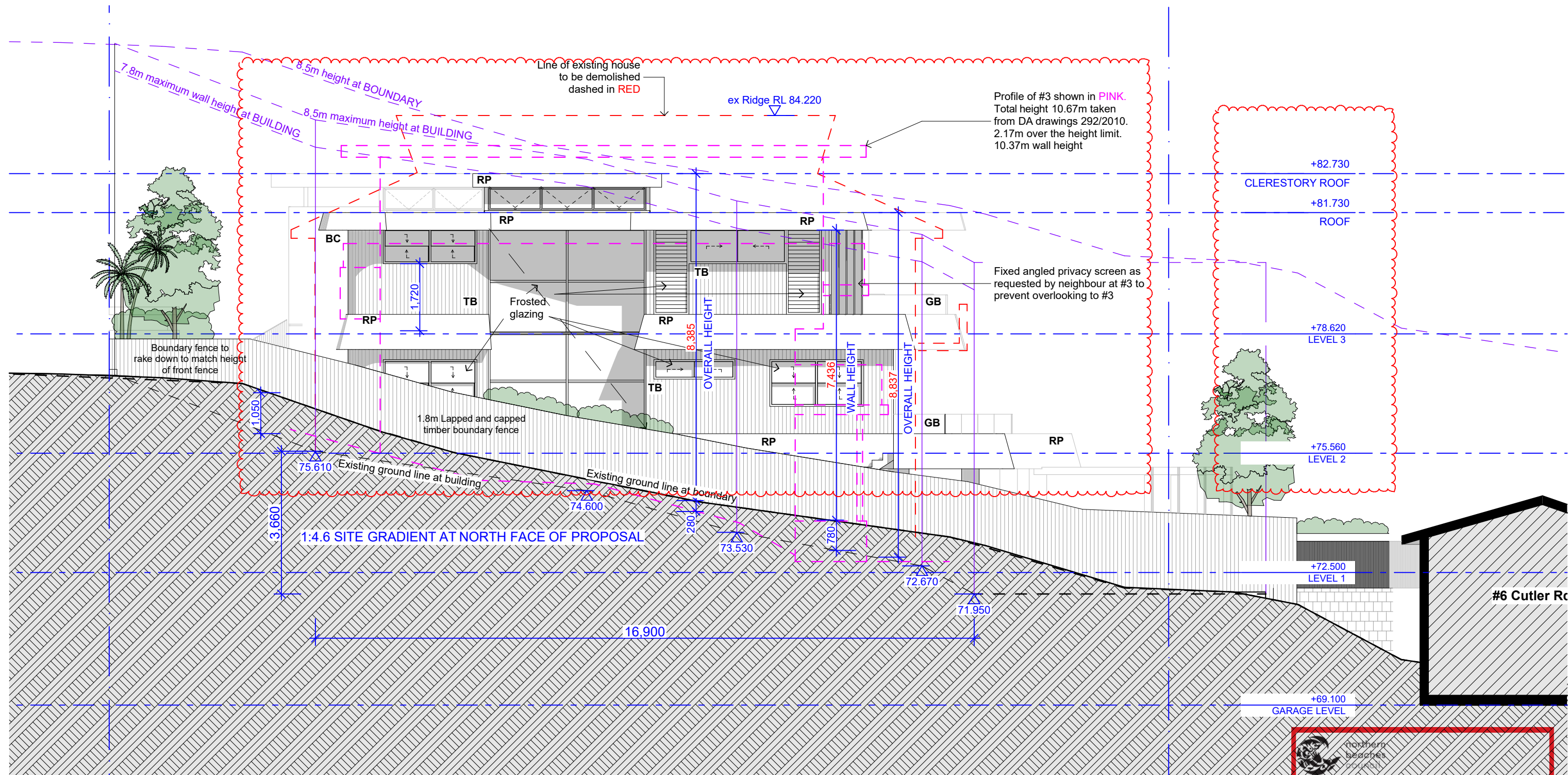


WEST ELEVATION
1:100

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CONSENT

DA2020/0077

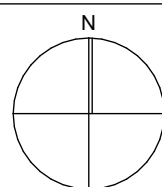
	Revision B	Date 21/09/20	Revision Note <div>- MAIN ROOF LEVEL LOWERED BY 170mm - CLERESTOREY ROOF LOWERED BY 320mm - CLERESTORY ROOF SIZE REDUCED - FLOOR LEVELS LOWERED - PROPOSED POOL REMOVED FROM APPLICATION. - BOUNDARY FENCE/WALL TO THE SOUTH TO BE REPLACED WITH TIMBER BATTEN FENCE</div>	Project: New Dwelling	Drawing: WEST ELEVATION			<div>209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</div>	
	General Notes:			Client: Kevin Mooney	Project #:	MOO 0219	Issue Type:		DA01
				Original Sheet Size:	A3	Issue Date:	21-Sep-20		
Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044				Scale @ A3:	1:100	Sheet #:	Revision:		
				Chkd:	Drawn:	A 14	B		



NORTH ELEVATION
1:100

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DA2020/0077

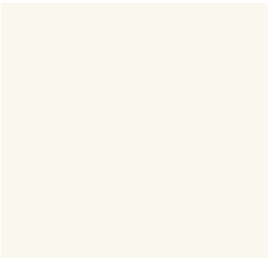


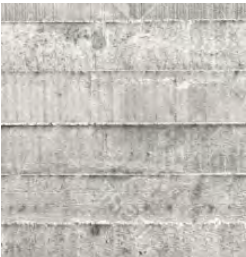
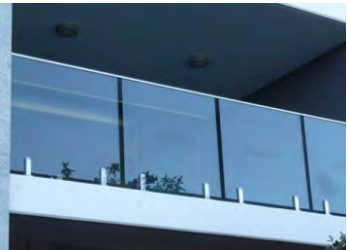




Revision	Date	Revision Note
B	21/09/20	<ul style="list-style-type: none">- MAIN ROOF LEVEL LOWERED BY 170mm- CLERESTOREY ROOF LOWERED BY 320mm- CLERESTORY ROOF SIZE REDUCED- FLOOR LEVELS LOWERED- DECK AND PRIVACY SCREEN REDUCED BY 1,200mm ON THE NORTH SIDE- ROOF SETBACK BY AN ADDITIONAL 1,170mm ON THE NORTH SIDE
General Notes:		

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **NORTH ELEVATION**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **21-Sep-20**
Scale @ A3: **1:100** Sheet #: **A 15**
Chkd: **B** Drawn: **B**

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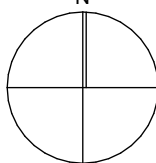
RP Render and paint Painted Dulux 'Natural White'		TB Timber Battens	
SC Sandstone cladding		BC Board-formed concrete	
GB Glass balustrade		TF Timber batten fence	
CS Cobblestone paving Stone TBC			

NOTE:
All colour selections shall be sampled and swatch tested on subject surface prior to final application. Colours represented on this schedule do NOT necessarily reflect true colours.



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DA2020/0077



Revision
B

Date
21/09/20

Revision Note

Project:

New Dwelling

Client:

Kevin Mooney

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing:

EXTERNAL FINISHES SCHEDULE

Project #: **MOO 0219**

Issue Type:

DA01

Original Sheet Size:

A3

Issue Date:

21-Sep-20

Scale @ A3:

Sheet #:

Revision:

Chkd:

Drawn:

A 28

B

General Notes:

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WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE	WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE
W1.01		SLIDING DOOR	4,000×2,700	2,700	10.80	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.02b		FIXED & SASHLESS DOUBLE HUNG (SILICON JOINT)	2,300×1,950	2,700	4.49	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W1.02a		FIXED CORNER WINDOW (SILICON JOINT)	1,800×2,700	2,700	4.86	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.03			1,300×2,700		3.51		
W1.02b		FIXED CORNER WINDOW (SILICON JOINT)	800×2,700	2,700	2.16	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.03			3,100×2,700		8.37		
W1.03		SLIDING DOOR	2,400×2,700	2,700	6.48	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.03		FIXED	2,940×2,700	2,700	7.94	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.01		SLIDING DOOR	3,200×2,700	2,700	8.64	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.04		HINGED DOOR	900×2,700	2,700	2.43	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.02a		FIXED CORNER WINDOW (SILICON JOINT)	800×1,950	2,700	1.56	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.05a		FIXED CORNER WINDOW (SILICON JOINT)	800×2,700	2,700	2.16	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.



northern beaches
council

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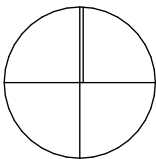
DA2020/0077

WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE	WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE
W2.06		SLIDING DOOR	2,900×2,700	2,700	7.83	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.11a		FIXED (SILICON JOINT)	1,590×2,100	2,700	3.34	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.07a		FIXED CORNER WINDOW (SILICON JOINT)	800×2,700	2,700	2.16	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.11b		FIXED & SASHLESS DOUBLE HUNG (SILICON JOINT)	2,400×2,100	2,700	5.04	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.07b		FIXED CORNER WINDOW (SILICON JOINT)	800×2,700	2,700	2.16	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.12		FIXED & SASHLESS DOUBLE HUNG	2,400×900	2,400	2.16	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.08		SASHLESS DOUBLE HUNG	1,250×2,100	2,700	2.63	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.13		SLIDING	1,200×900	2,400	1.08	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.09		SASHLESS DOUBLE HUNG	1,250×2,100	2,700	2.63	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.14		SLIDING	1,730×1,000	2,400	1.73	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.10		FIXED & SLIDING	2,100×2,100	2,700	4.41	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W2.15		FIXED & SASHLESS DOUBLE HUNG	2,400×1,200	2,400	2.88	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.

 **northern beaches** council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0077



Revision
B

Date
21/09/20

Revision Note

Project:
New Dwelling

Client:
Kevin Mooney

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing:
WINDOW SCHEDULE 2

Project #:
MOO 0219

Issue Type:
DA01

Original Sheet Size:
A3

Issue Date:
21-Sep-20


Scale @ A3:

Sheet #:
Revision: B

Chkd:

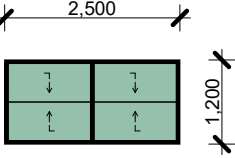
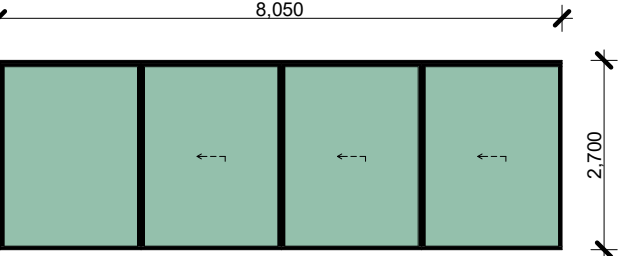
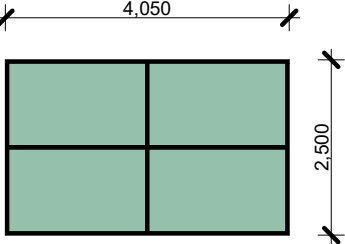
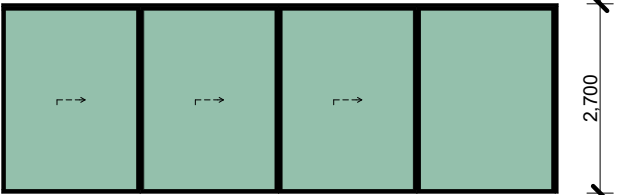
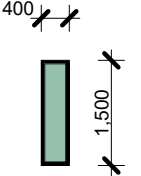
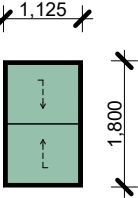
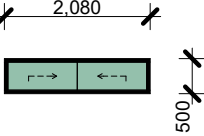
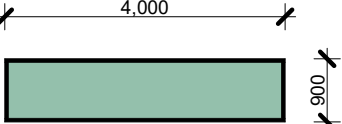
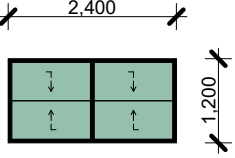
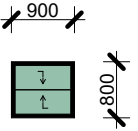
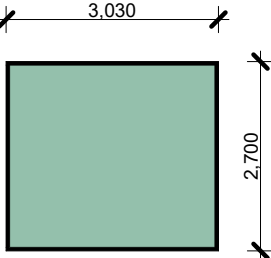
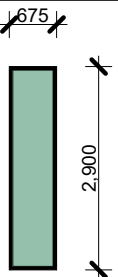
Drawn:

A 30


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Principal: James Cooper. Member BDANSW
Nominated Architect, Ian Bassett NSW Reg. No. 6987

General Notes:

WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE	WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE
W2.16		SASHLESS DOUBLE HUNG	2,500×1,200	2,400	3.00	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.02		SLIDING	8,050×2,700	2,700	21.74	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.17		FIXED	4,050×2,500		10.12	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.03		SLIDING	7,936×2,700	2,700	21.43	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.18		FIXED	400×1,500	2,400	0.60	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.04		SASHLESS DOUBLE HUNG	1,125×1,800	2,700	2.03	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.19		SLIDING	2,080×500	2,400	1.04	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.05		FIXED	4,000×900	1,800	3.60	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W2.20		SASHLESS DOUBLE HUNG	2,400×1,200	2,400	2.88	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.06		SASHLESS DOUBLE HUNG	900×800	1,800	0.72	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W3.01		FIXED	3,030×2,700	2,700	8.18	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.07		FIXED	675×2,900	1,960	0.96	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.

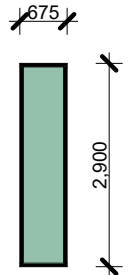
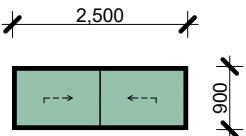
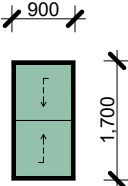
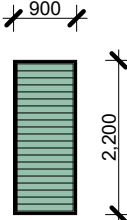
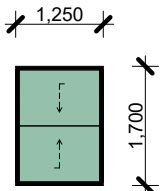
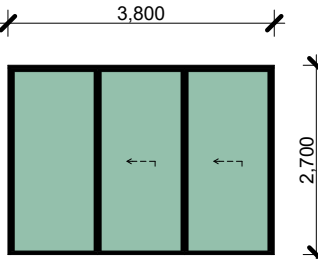
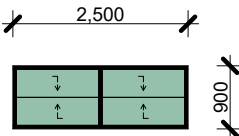
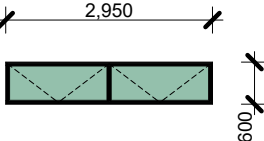
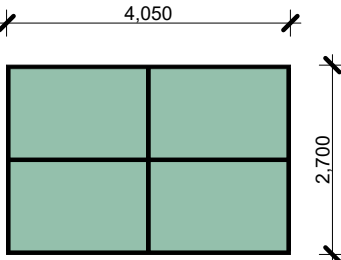
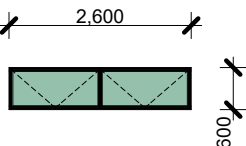
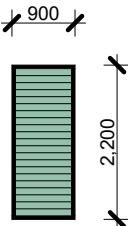
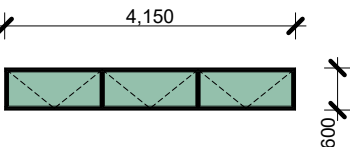


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Nominated Architect, Ian Bassett NSW Reg. No. 6987

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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0077

WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE	WINDOW No	VIEW FROM OUTSIDE	TYPE	SIZE - W x H (mm)	HEAD (nom.)	UNIT AREA (m²)	GLAZING TYPE	FRAME TYPE
W3.08		FIXED	675×2,900	2,900	1.96	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.14		SASHLESS DOUBLE HUNG	2,500×900	2,700	2.25	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W3.09		SASHLESS DOUBLE HUNG	900×1,700	2,700	1.53	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.15		L	900×2,200	2,700	1.98	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W3.10		SASHLESS DOUBLE HUNG	1,250×1,700	2,700	2.13	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W3.16		SLIDING	3,800×2,700	2,700	10.26	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W3.11		SASHLESS DOUBLE HUNG	2,500×900	2,700	2.25	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W4.01		AWNING	2,950×600	Ceiling	1.77	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W3.12		FIXED	4,050×2,700	2,700	10.93	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W4.02		AWNING	2,600×600	Ceiling	1.56	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W3.13		LOUVRE	900×2,200	2,700	1.98	AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W4.03		AWNING	4,150×600	Ceiling	2.49	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.



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Nominated Architect, Ian Bassett NSW Reg. No. 6987

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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0077

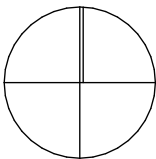
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W4.04		AWNING	4,050×600	Ceiling	2.43	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.	W4.10		AWNING	2,600×600	Ceiling	1.56	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.
W4.05		AWNING	4,150×600	Ceiling	2.49	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.								
W4.06		AWNING	2,950×600	Ceiling	1.77	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.								
W4.07		AWNING	6,150×600	Ceiling	3.69	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.								
W4.08		AWNING	4,050×600	Ceiling	2.43	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.								
W4.09		AWNING	6,150×600	Ceiling	3.69	AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER	AS PER BASIX REQUIREMENTS. MATT BLACK.								



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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0077



Revision
B

Date
21/09/20

Revision Note
- WINDOWS REVISED TO REFLECT NEW ROF DESIGN

General Notes:

Project:
New Dwelling

Client:
Kevin Mooney

Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing:
WINDOW SCHEDULE 5

Project #:
MOO 0219

Issue Type:
DA01

Original Sheet Size:
A3

Issue Date:
21-Sep-20

Scale @ A3:


Sheet #:

Revision:
B

Chkd:

Drawn:

A 33



209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089

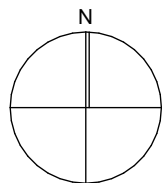
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Principal: James Cooper. Member BDANSW

Nominated Architect, Ian Bassett NSW Reg. No. 6987

POOL REMOVED
FROM APPLICATION



Revision	Date	Revision Note
B	21/09/20	- PROPOSED POOL REMOVED FROM APPLICATION.
General Notes:		

Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **POOL DETAILS**

Project #:	MOO 0219	Issue Type:	DA01
Original Sheet Size:	A3	Issue Date:	21-Sep-20
Scale @ A3:	1:100	Sheet #:	A 35
Chkd:	Drawn:	Revision:	B