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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION
New Amenity Building & Additions
For Oli Bramley

Cnr Bennett Street & Stirgess Avenue,

Curl Curl

Lot 4 D.P. 601758

Project Number: RP0620HAR

| DRAWING No. | DESCRIPTION | REV | ISSUED DATE |
|-------------|------------------------------------|-----|-------------|
| DA1000 | Cover Sheet | - | - 1-10-2020 |
| DA1001 | A4 NOTIFICATION PLAN | - | - 1-10-2020 |
| DA1002 | SITE SURVEY | - | - 1-10-2020 |
| DA1003 | SITE SURVEY 2 | - | - 1-10-2020 |
| DA1004 | SITE PLAN | - | - 1-10-2020 |
| DA1005 | Existing Ground Floor Plan | - | - 1-10-2020 |
| DA1006 | Existing Roof Plan | - | - 1-10-2020 |
| DA1007 | Demolition Ground Floor Plan | - | - 1-10-2020 |
| DA1008 | Demolition Roof Plan | - | - 1-10-2020 |
| DA1009 | Excavation & Fill Plan | - | - 1-10-2020 |
| DA1010 | Landscape Open Space Plan Existing | - | - 1-10-2020 |
| DA1011 | Landscape Open Space Existing 2 | - | - 1-10-2020 |
| DA1012 | Landscape Open Space Plan Proposed | - | - 1-10-2020 |
| DA1013 | Landscape Open Space Proposed 2 | - | - 1-10-2020 |
| DA1014 | Landscape Plan | - | - 1-10-2020 |
| DA1015 | Landscape Plan 2 | - | - 1-10-2020 |
| DA1016 | Sediment & Erosion Plan | - | - 1-10-2020 |
| DA1017 | Waste Management Plan | - | - 1-10-2020 |
| DA1018 | Waste Management Plan 2 | - | - 1-10-2020 |
| DA1019 | Stormwater Plan | - | - 1-10-2020 |
| DA1020 | Stormwater Plan 2 | - | - 1-10-2020 |
| DA2001 | GROUND FLOOR | - | - 1-10-2020 |
| DA2002 | GROUND FLOOR 2 | - | - 1-10-2020 |
| DA2003 | GROUND FLOOR 3 | - | - 1-10-2020 |
| DA2004 | ROOF PLAN | - | - 1-10-2020 |
| DA3000 | SECTION 1 | - | - 1-10-2020 |
| DA3001 | SECTION 2 | - | - 1-10-2020 |
| DA3002 | SECTION 3 | - | - 1-10-2020 |
| DA4000 | ELEVATIONS 1 | - | - 1-10-2020 |
| DA4001 | ELEVATIONS 2 | - | - 1-10-2020 |
| DA4002 | ELEVATIONS 3 | - | - 1-10-2020 |
| DA5000 | PERSPECTIVE | - | - 1-10-2020 |
| DA5001 | MATERIAL & COLOUR SAMPLE BOARD | - | - 1-10-2020 |



BASIX® Certificate

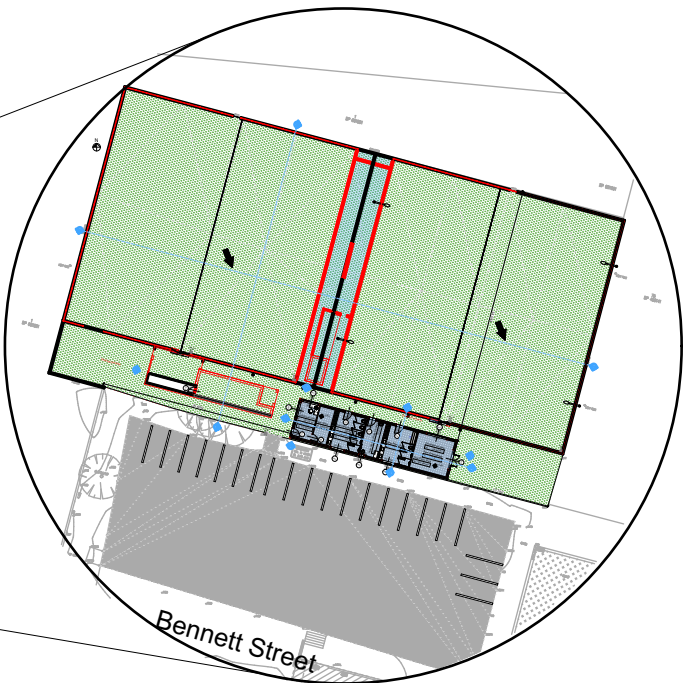
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1130171S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

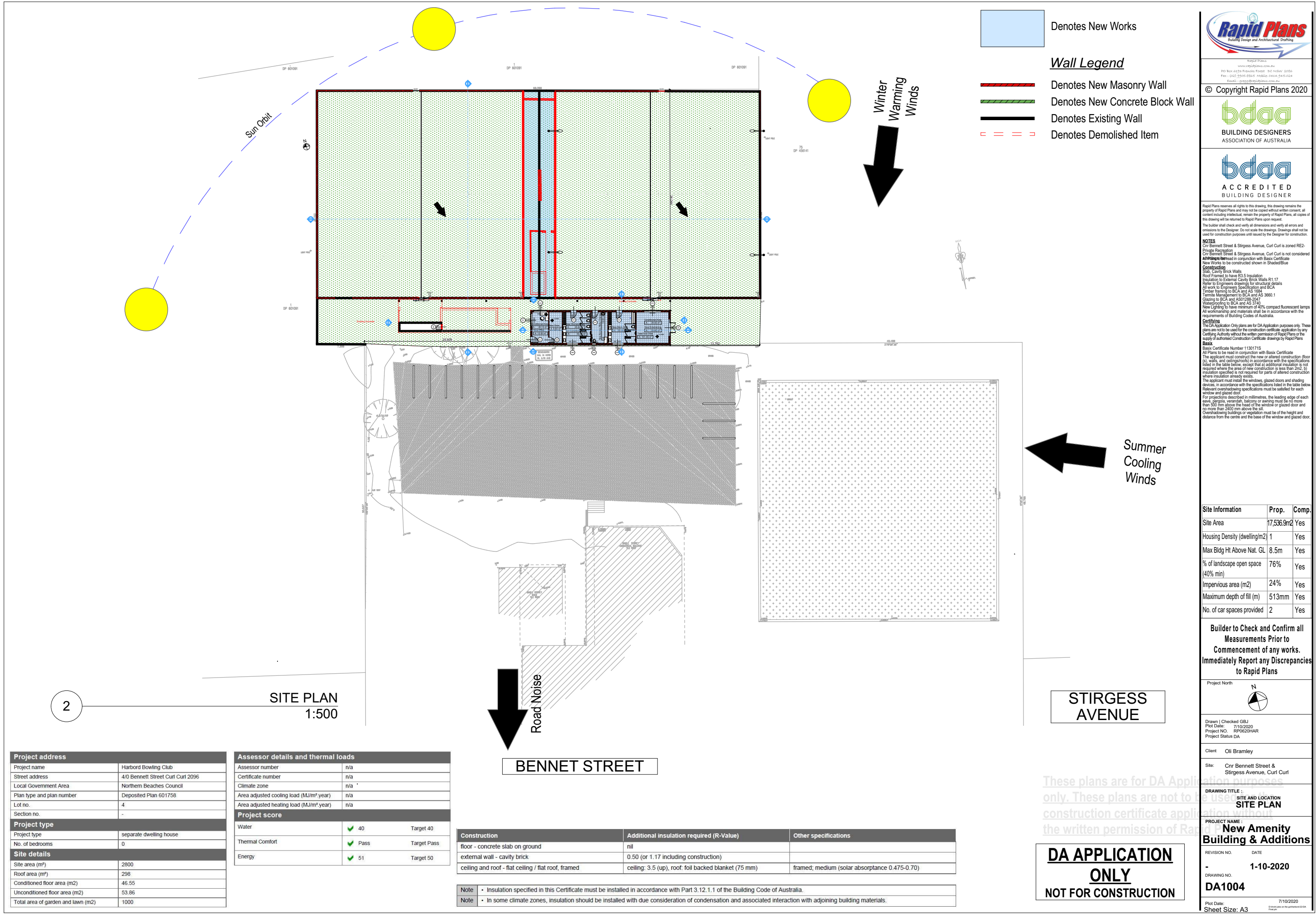
Secretary
Date of issue: Tuesday, 25 August 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary | | |
|---------------------------|--|-------------|
| Project name | Harbord Bowling Club | |
| Street address | 4/0 Bennett Street Curl Curl 2096 | |
| Local Government Area | Northern Beaches Council | |
| Plan type and plan number | deposited 601758 | |
| Lot no. | 4 | |
| Section no. | - | |
| Project type | separate dwelling house | |
| No. of bedrooms | 0 | |
| Project score | | |
| Water |  40 | Target 40 |
| Thermal Comfort |  Pass | Target Pass |
| Energy |  51 | Target 50 |

| Certificate Prepared by | |
|-------------------------|-------------|
| Name / Company Name: | Rapid Plans |
| ABN (if applicable): | 43150064592 |





Wall Legend

Denotes Existing Wall



Rapid Plans
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Email: info@rapidplans.com.au

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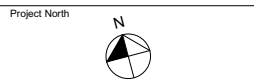
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NOTES
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a Public Place for the purposes of the Local Government Act 1994
New Works to be constructed shown in Shaded/Blue
Construction
Sole Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Base
Base Certificate Number 11301715
All Plans to be read in conjunction with Base Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each space, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO: RPO020HAR
Project Status DA

Client Oli Bramley

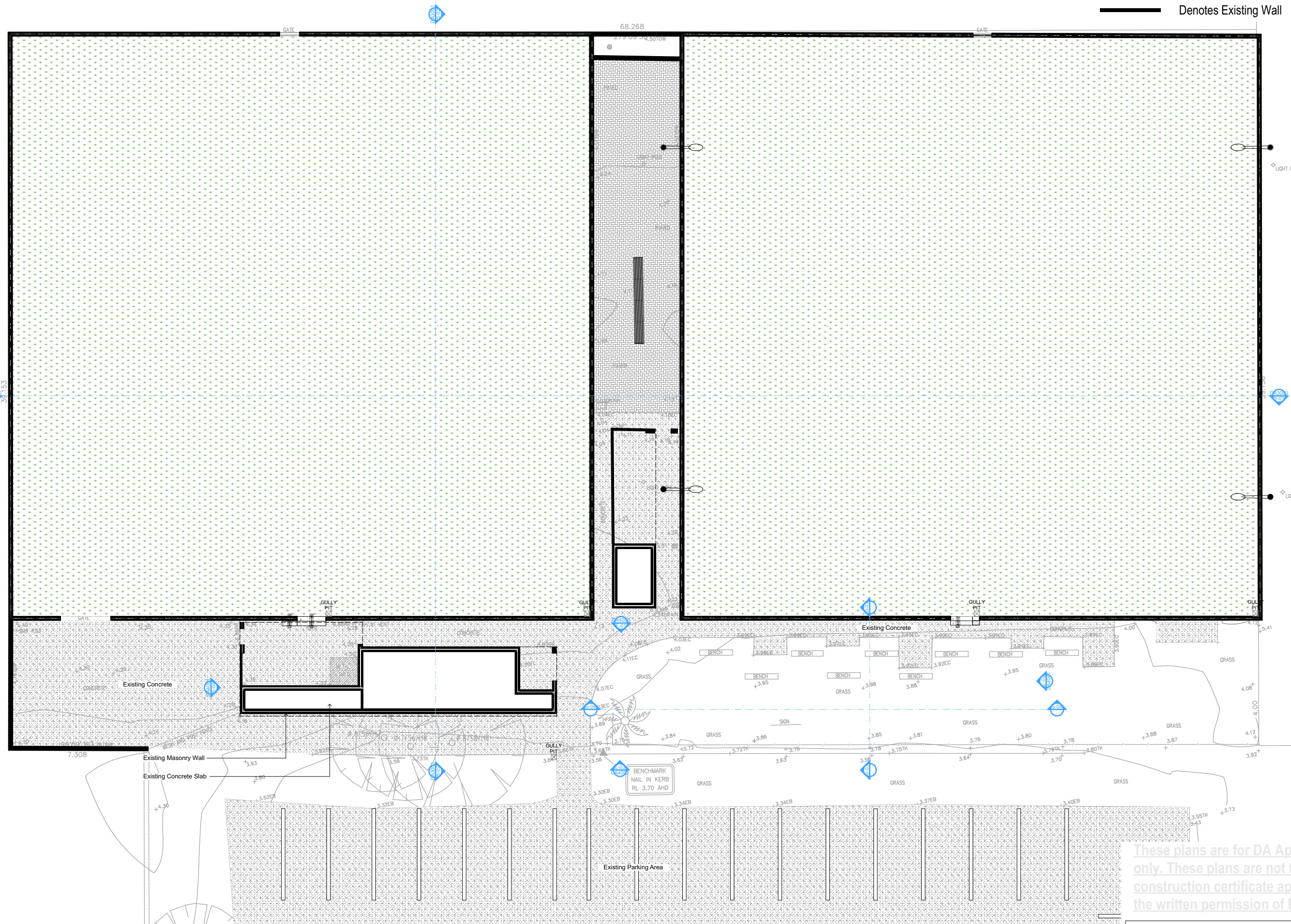
Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE
SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA1005

Plot Date: 7/10/2020
Sheet Size: A3



EXISTING GROUND FLOOR
1:200

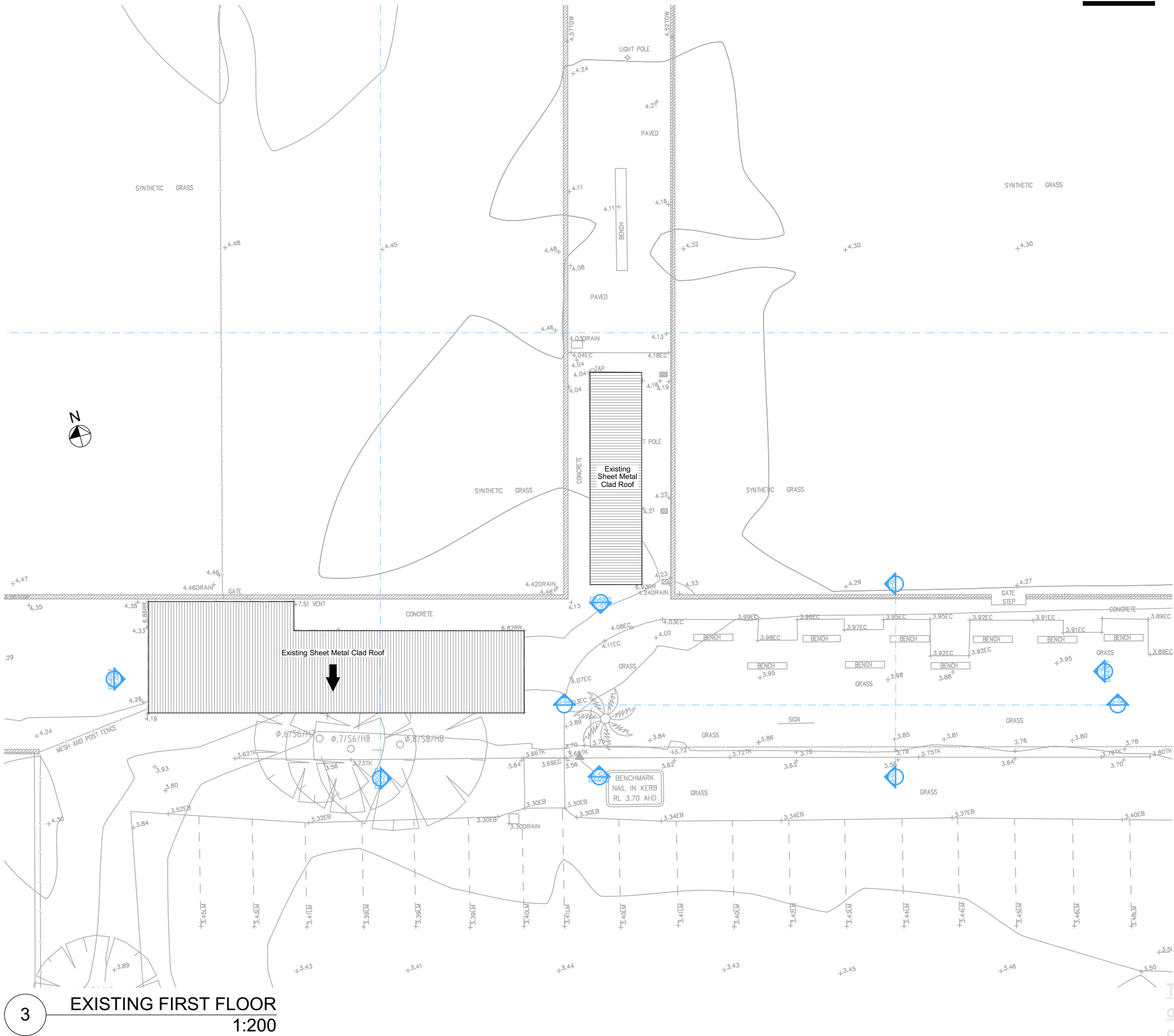
Builder To Check & Confirm Existing Measurements Prior to Commencement

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Wall Legend

Denotes Existing Wall



Builder To Check & Confirm Existing Measurements Prior to Commencement

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DA APPLICATION ONLY NOT FOR CONSTRUCTION

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Building Design and Architectural Drafting

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NOTES
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New Works to be constructed shown in Shaded/Blue

Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
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Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
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| Site Information | Prop. | Comp. |
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| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO. RPO020HAR
Project Status DA

Client: Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: SITE AND LOCATION
Existing Roof Plan

PROJECT NAME: **New Amenity Building & Additions**






REVISION NO. DATE
- 1-10-2020
DRAWING NO. **DA1006**

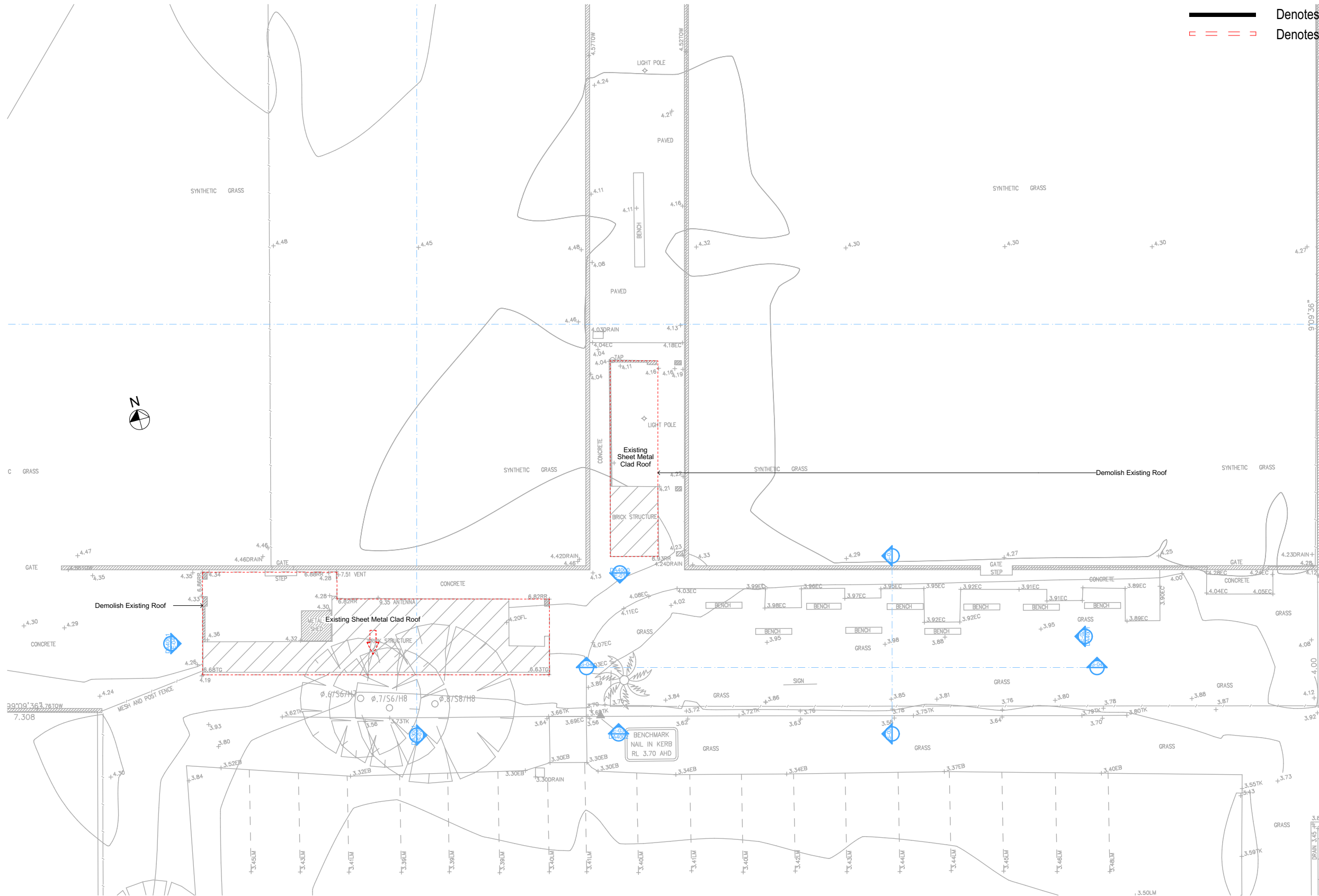
Plot Date: 7/10/2020
Sheet Size: A3



Denotes Existing Wall
Denotes Demolished Item

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| | | |
|--|---|--------------|
| <div><div>Rapid Plans Building Design and Architectural Drafting</div></div> | | |
| <div><div><div>Rapid Plans www.rapidplans.com.au PO Box 4634 Freeway Freeway, DC NSW 2004 Ph: (02) 9506-8866 Mobile: 0424-364-6264 Email: enquiries@rapidplans.com.au</div></div><div><p>© Copyright Rapid Plans 2020</p><div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div><div><div>ACCREDITED BUILDING DESIGNER</div></div></div></div> | | |
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| Site Information | Prop. | Comp. |
| Site Area | 17,536.9m ² | Yes |
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| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |
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| <div><div>Project North</div><div></div><div>Drawn Checked By Pkt Drawn 7/10/2020 Project NO. RP0620HAR Project Status DA</div></div> | | |
| Client | Oli Bramley | |
| Site: | Cnr Bennett Street & Stiggins Avenue, Curl Curl | |
| DRAWING TITLE, DATE AND LOCATION | | |
| Demolition Ground Floor Plan | | |
| PROJECT NAME : | | |
| New Amenity Building & Additions | | |
| REVISION NO. | DATE | |
| - | 1-10-2020 | |
| DRAWING NO. | | |
| DA1007 | | |
| Plot Date: | 7/10/2020 | |
| Sheet Size: A3 | 2400mm x 3600mm (2200 x 3600) | |



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



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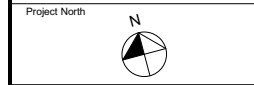
NOTES
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All work to be constructed shown in Shaded/Blue
Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1906-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
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Basic
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| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO020HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stargess Avenue, Curl Curl

DRAWING TITLE: SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME: **New Amenity Building & Additions**

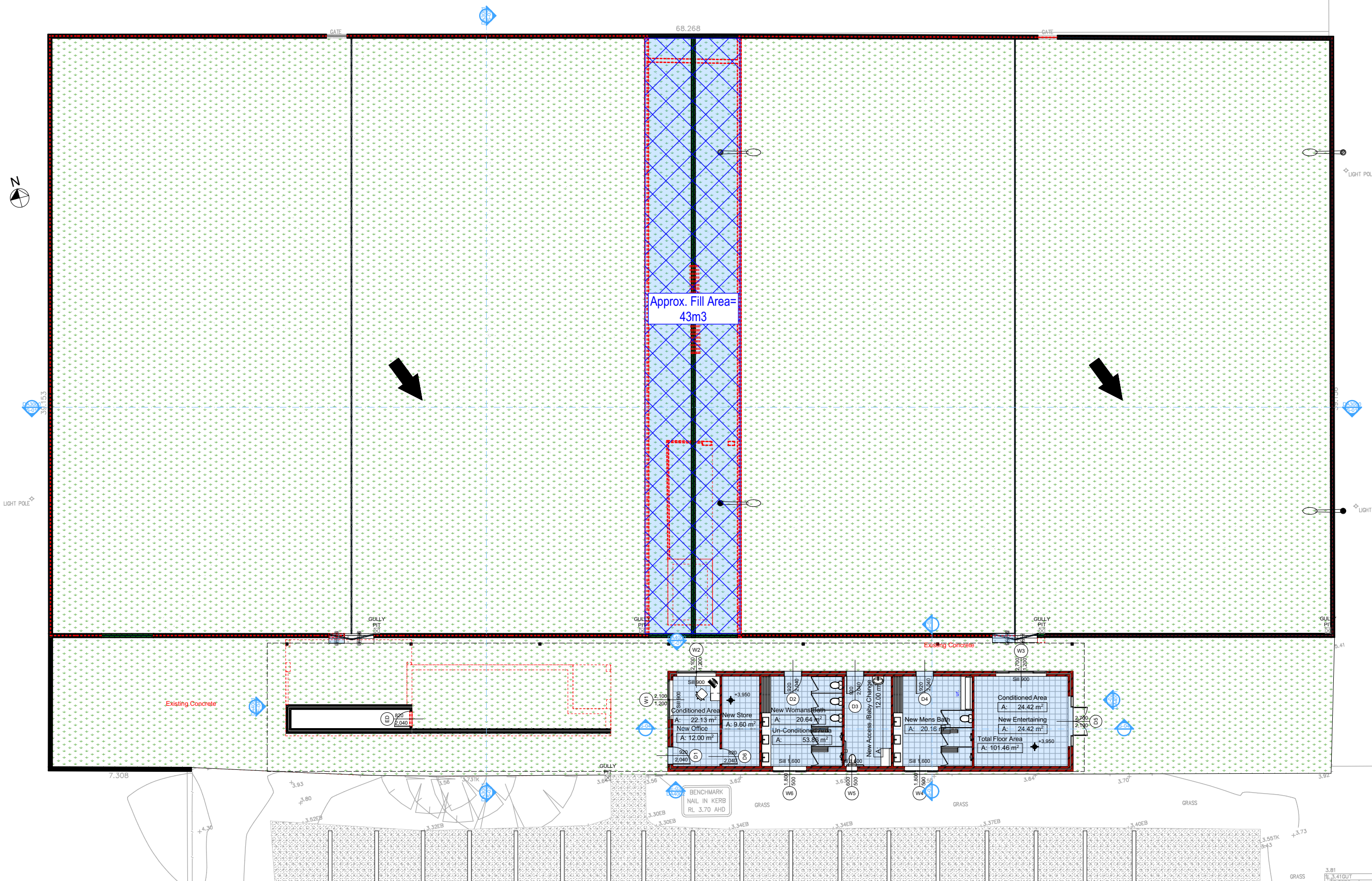
REVISION NO. DATE
- 1-10-2020
DRAWING NO. **DA1008**

Plot Date: 7/10/2020
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

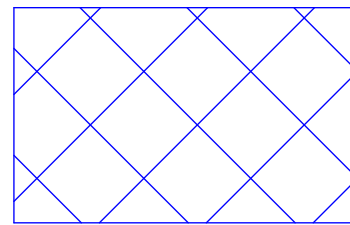
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2

EXCAVATION & FILL PLAN
1:200



Denotes Fill Area

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New Works to be constructed shown in Shaded/Blue

Construction
Sill: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1742-2017
Waterproofing to BCA and AS 3740
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Conditioning
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| Site Information | Prop. | Comp. |
|--|------------------------|-------|
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| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

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Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO: RP0620HAR
Project Status DA

Client Oli Bramley

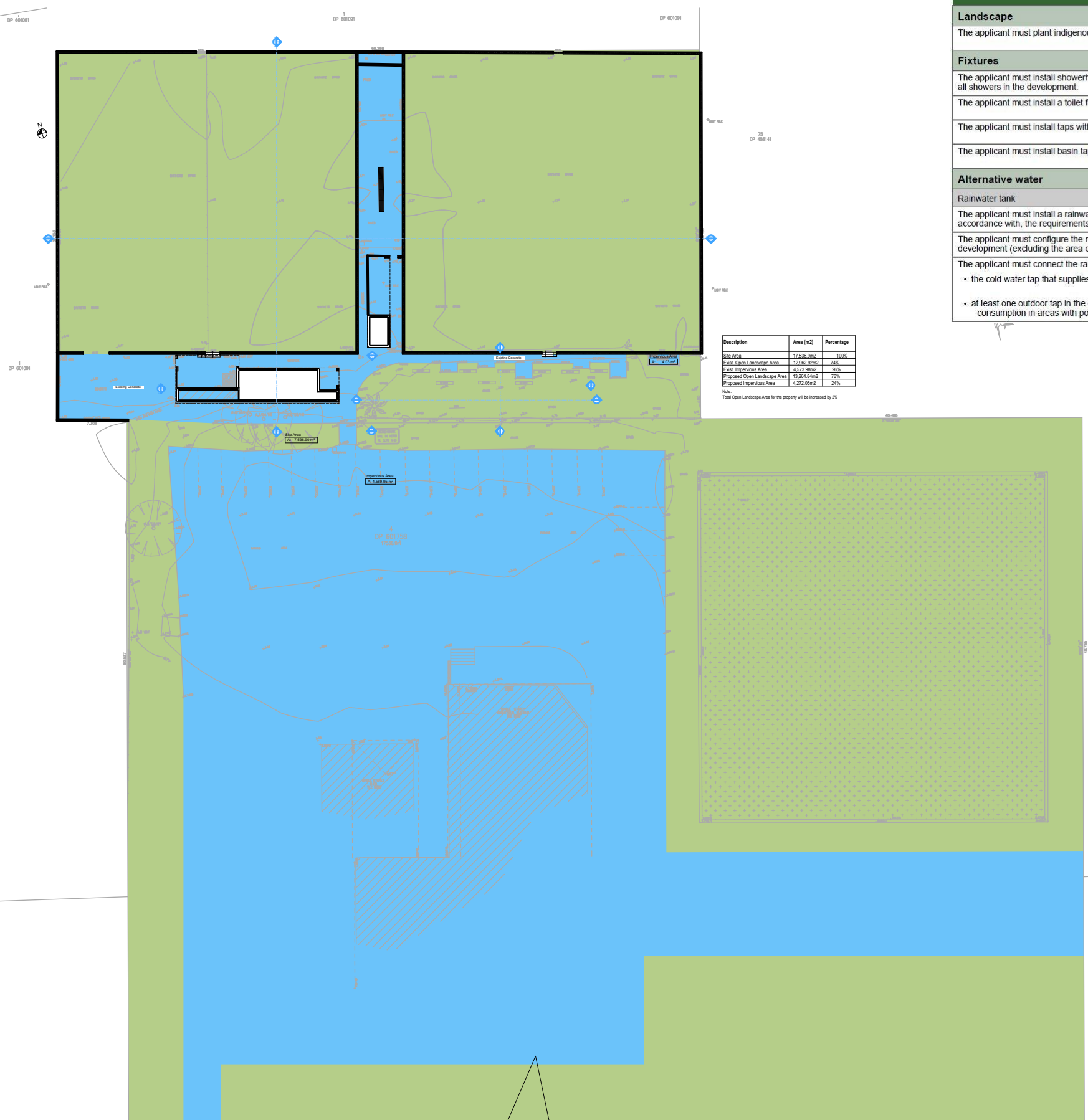
Site: Cnr Bennett Street & Stargess Avenue, Curl Curl

DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA1009

Plot Date: 7/10/2020
Sheet Size: A3



| Description | Area (m2) | Percentage |
|------------------------------|------------|------------|
| Site Area | 17,536.9m2 | 100% |
| Exist. Open Landscape Area | 12,982.5m2 | 74% |
| Exist. Impervious Area | 4,573.98m2 | 26% |
| Proposed Open Landscape Area | 13,264.8m2 | 75% |
| Proposed Impervious Area | 4,272.6m2 | 24% |

Note:
Total Open Landscape Area for the property will be increased by 2%

Denotes Impervious Area

Denotes Pervious Area

ADJOINS TO DA1011

LANDSCAPE OPEN SPACE EXISTING
1:500

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

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NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered **At-Risk/Retained** in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Slabs: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|------------|-------|
| Site Area | 17,536.9m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m2) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

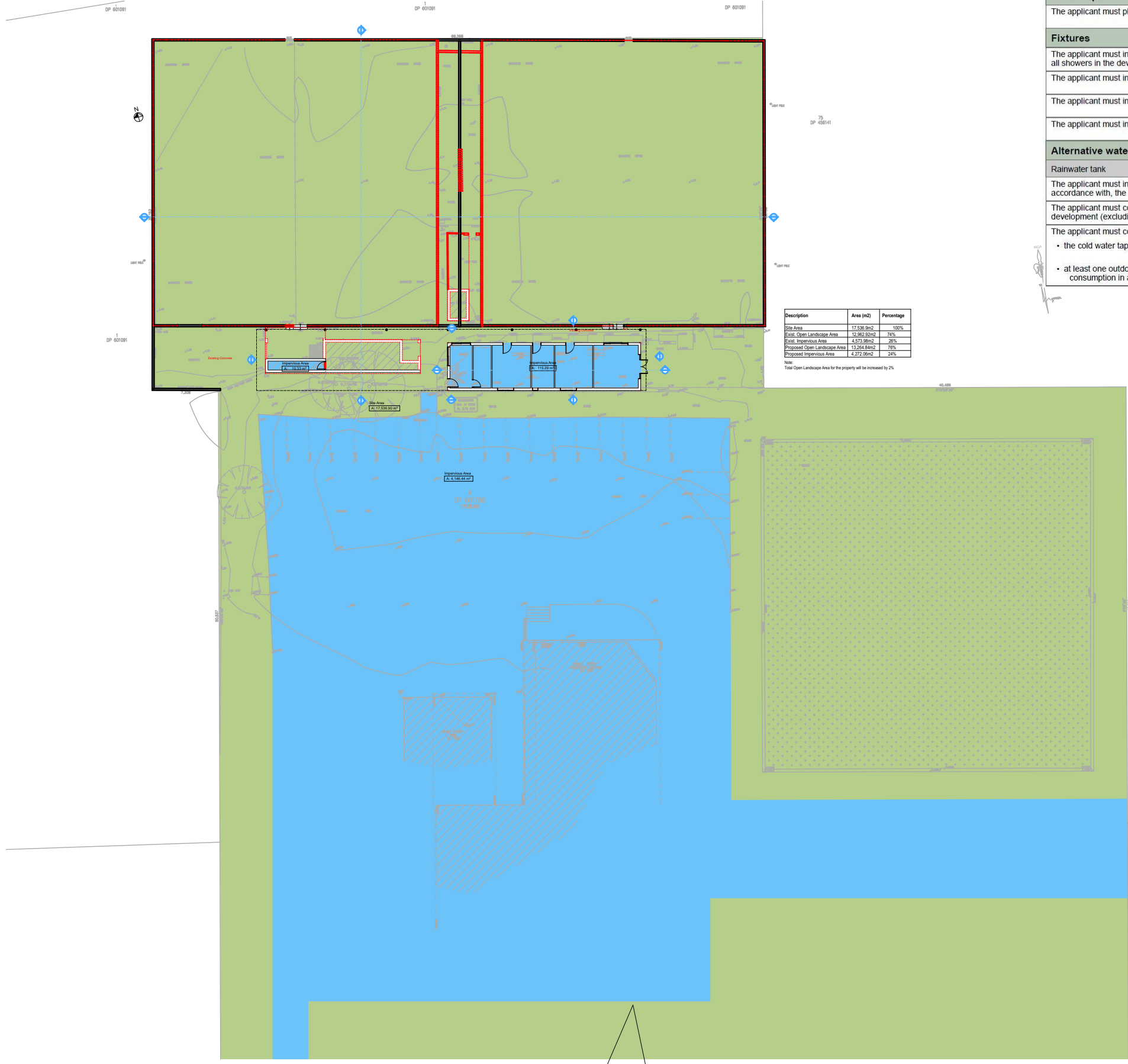
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
New Amenity Building & Additions

| | |
|--------------|-----------|
| REVISION NO. | DATE |
| - | 1-10-2020 |

DRAWING NO.
DA1010

Plot Date: 7/10/2020
Sheet Size: A3



| Description | Area (m2) | Percentage |
|------------------------------|-------------|------------|
| Site Area | 17,536.9m2 | 100% |
| Exist. Open Landscape Area | 12,961.92m2 | 74% |
| Exist. Impervious Area | 4,573.98m2 | 26% |
| Proposed Open Landscape Area | 12,294.84m2 | 70% |
| Proposed Impervious Area | 4,272.06m2 | 24% |

Note:
Total Open Landscape Area for the property will be increased by 2%

Denotes Impervious Area

Denotes Pervious Area

2 LANDSCAPE OPEN SPACE PROPOSED
1:500

ADJOINS TO DA1013

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

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DA1012

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bdaa
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NOTES
Cnr Bennett Street & Stirlings Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirlings Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
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|-------------------------------------|------------|-------|
| Site Area | 17,536.9m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m2) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO0220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirlings Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020

DRAWING NO.
DA1012

Plot Date: 7/10/2020
Sheet Size: A3

| Water Commitments |
|--|
| |
| Landscape |
| The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site. |
| |
| Fixtures |
| The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. |
| |
| Alternative water |
| Rainwater tank |
| The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. |
| The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |
| The applicant must connect the rainwater tank to: |
| <ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) |



Denotes Impervious Area



Denotes Pervious Area

ADJOINS TO DA1012



BENNETT

STREET

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NOTES
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Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number 11301715
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

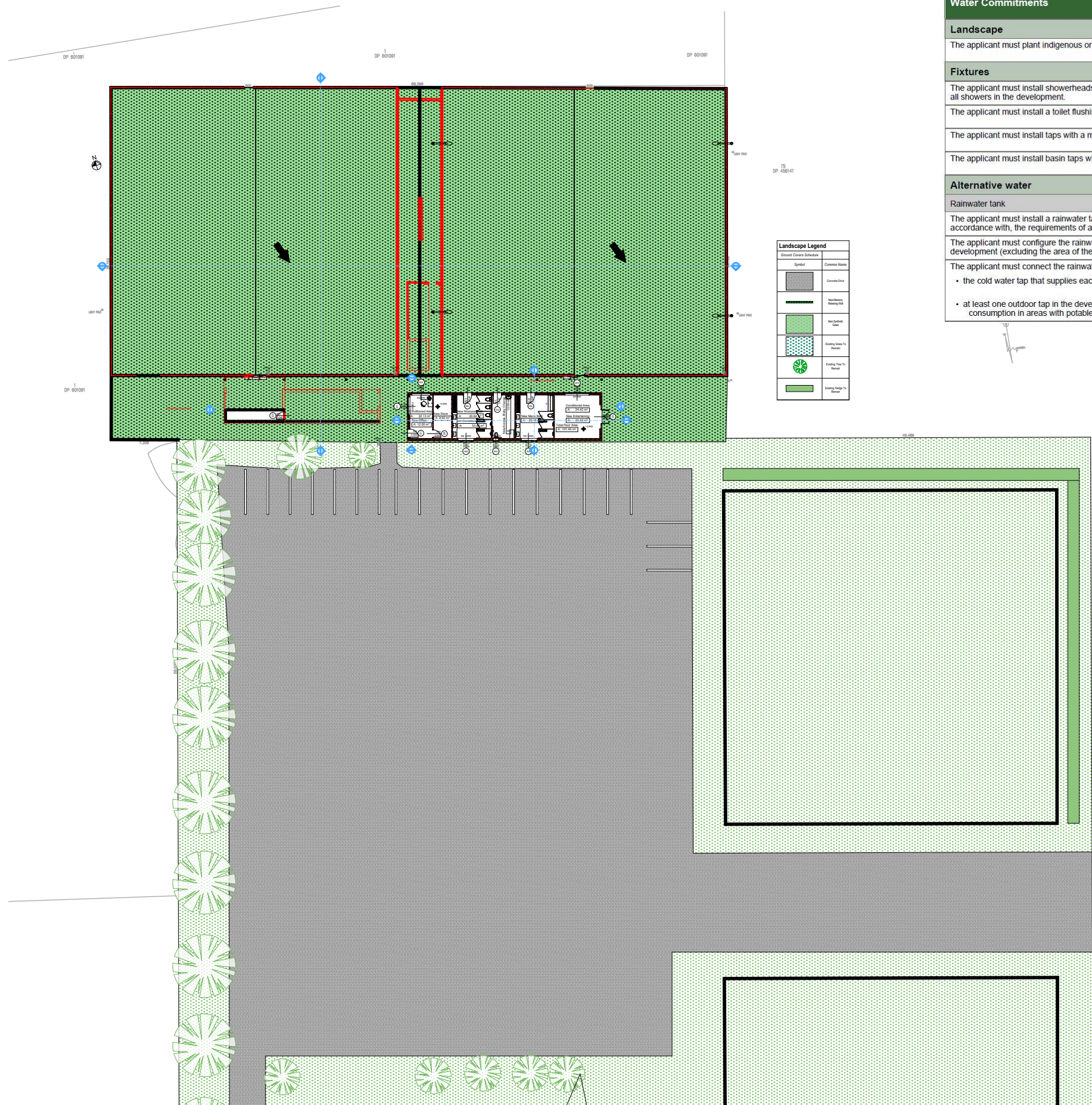
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Proposed 2

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020

DRAWING NO.
DA1013

Plot Date: 7/10/2020
Sheet Size: A3



2

LANDSCAPE PLAN
1:500

ADJOINS TO DA1015

| Water Commitments |
|--|
| Landscape |
| The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site. |
| Fixtures |
| The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. |
| Alternative water |
| Rainwater tank |
| The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. |
| The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |
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NOTES
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Cnr Bennett Street & Stirlings Avenue, Curl Curl is not considered a Private Recreation
All works to be constructed shown in Shaded/Blue
Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
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All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
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Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

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Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO6220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirlings Avenue, Curl Curl

DRAWING TITLE :
SITE AND LOCATION
Landscape Plan

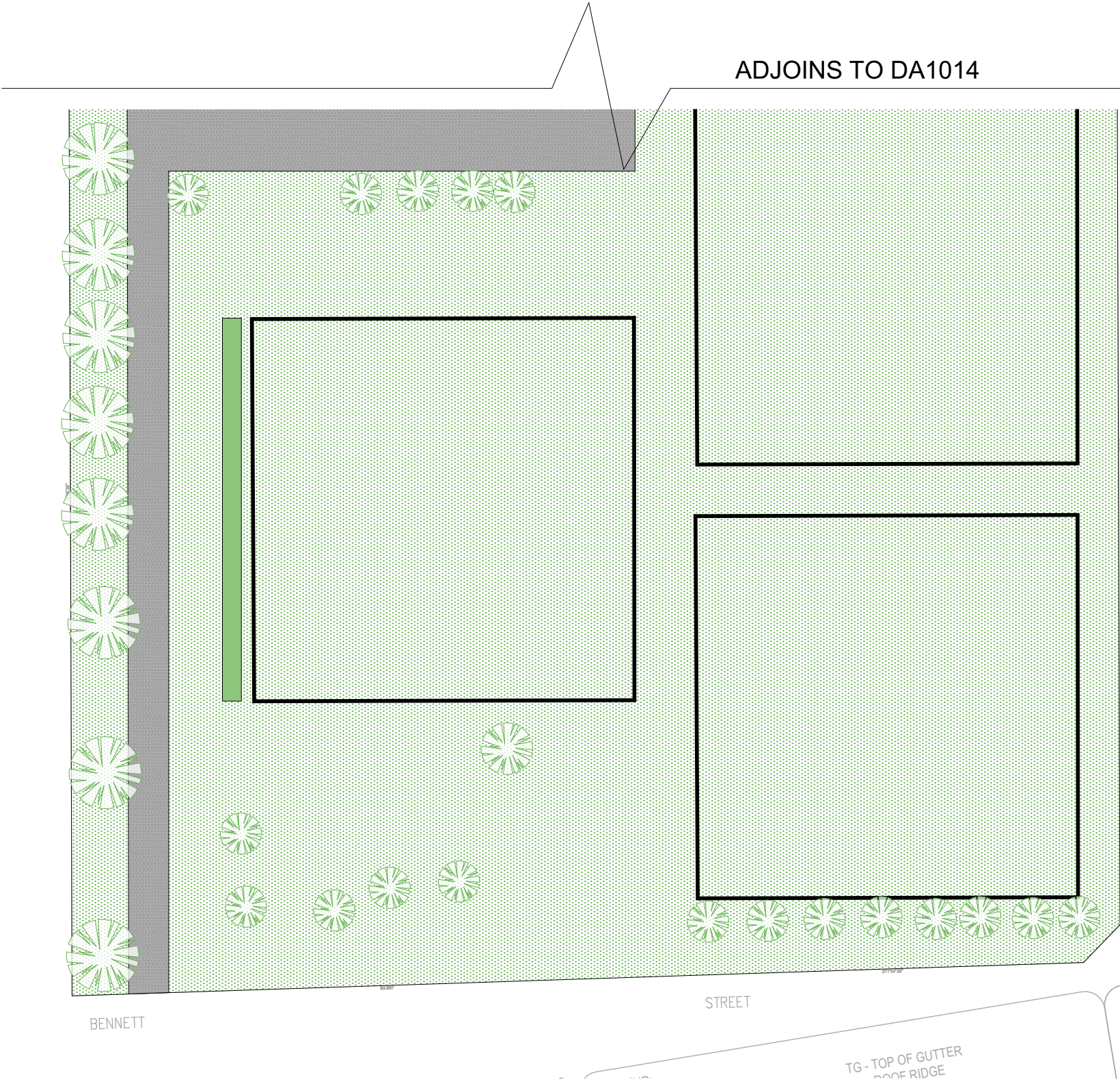
PROJECT NAME :
New Amenity
Building & Additions

REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA1014

Plot Date: 7/10/2020
Sheet Size: A3

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



| Water Commitments |
|--|
| Landscape |
| The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site. |
| Fixtures |
| The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. |
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| Alternative water |
| Rainwater tank |
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| Landscape Legend | |
|------------------|---------------------------|
| Symbol | Common Name |
| | Concrete Drive |
| | New/Revised Paving/Gravel |
| | New/Revised Grass |
| | Existing Green To Remove |
| | Existing Tree To Remove |
| | Existing Hedge To Remove |

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New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
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All work to Engineers Specification and BCA
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

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Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO: RPO2020HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

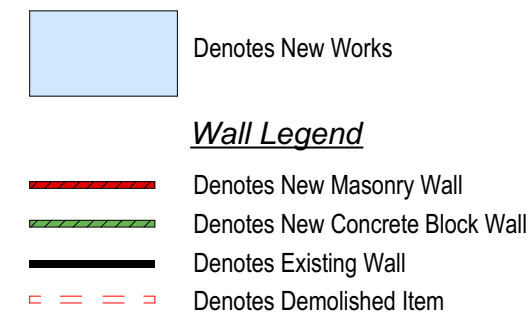
DRAWING TITLE :
SITE AND LOCATION
Landscape Plan 2

PROJECT NAME :
New Amenity Building & Additions

| | |
|--------------|-----------|
| REVISION NO. | DATE |
| - | 1-10-2020 |

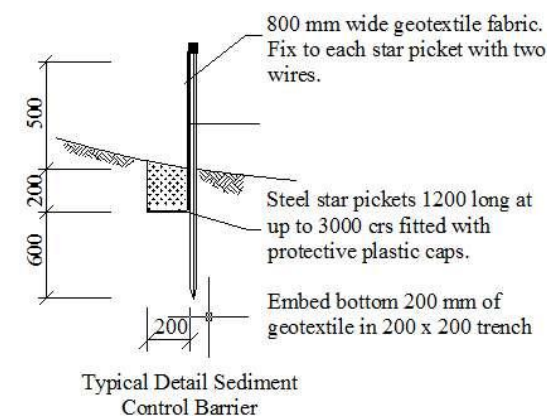
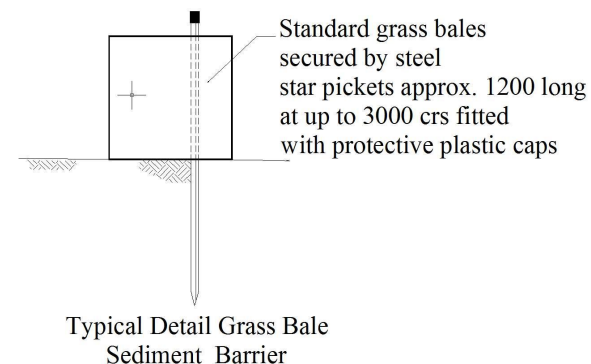
DRAWING NO.
DA1015

Plot Date: 7/10/2020
Sheet Size: A3

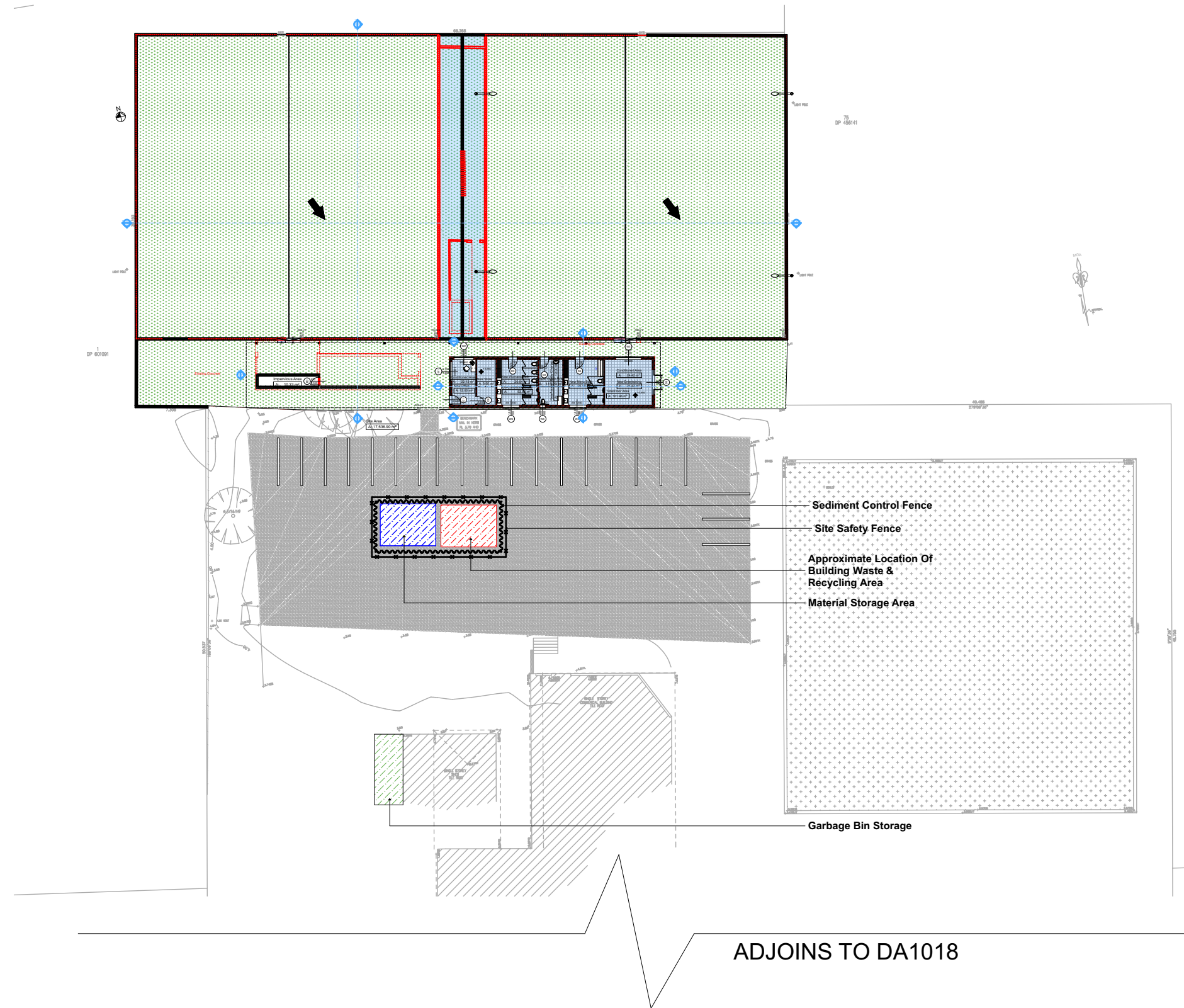


1:500

2



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



2 WASTE MANAGEMENT PLAN
1:500

ADJOINS TO DA1018

Denotes New Works

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall


Denotes Demolished Item

Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

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Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
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Glazing to BCA and AS1019:2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO0220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

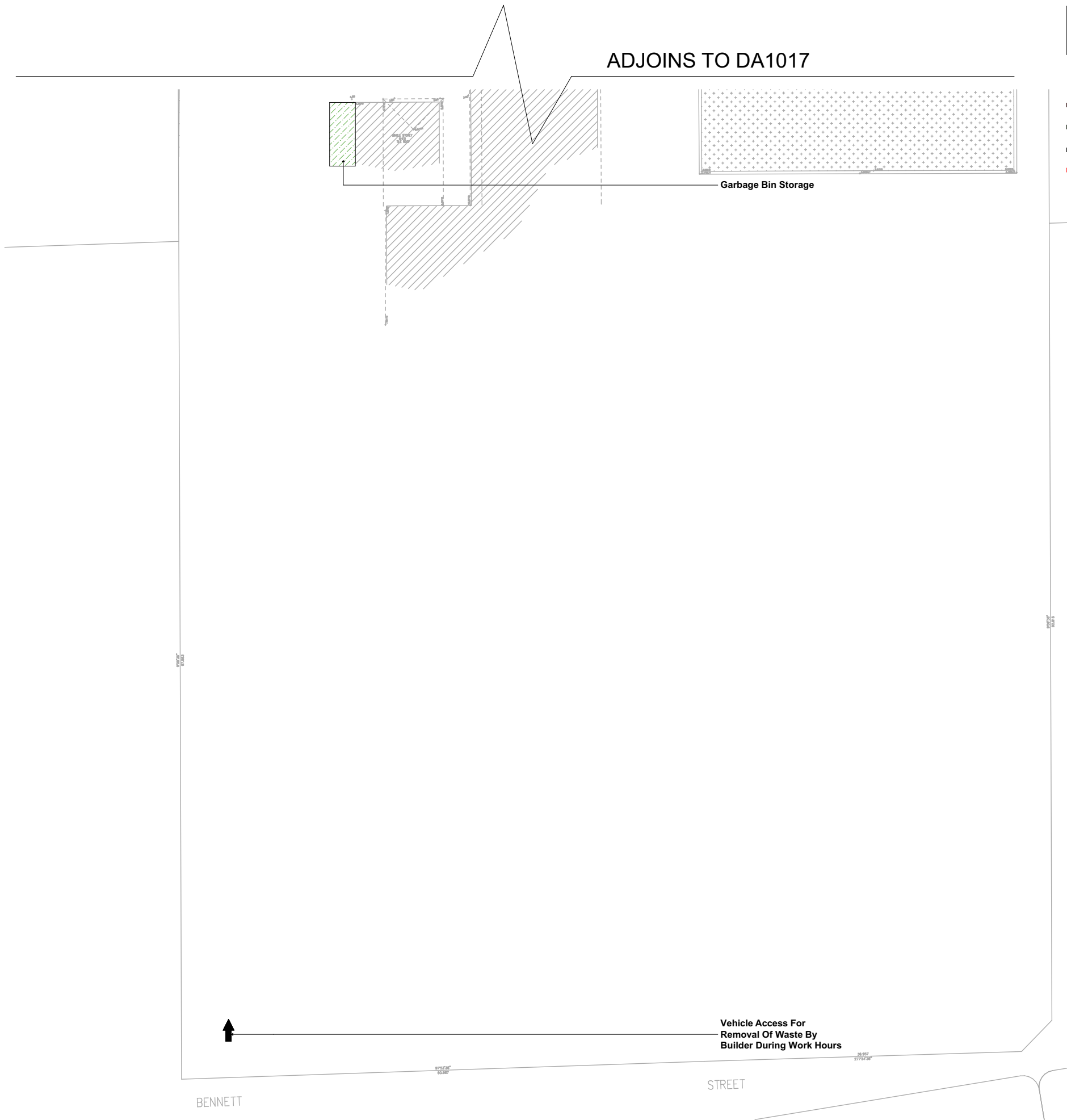
DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

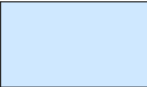
PROJECT NAME :
New Amenity Building & Additions

| REVISION NO. | DATE |
|--------------|-----------|
| - | 1-10-2020 |

DRAWING NO.
DA1017


Plot Date: 7/10/2020
Sheet Size: A3






Denotes New Works


Wall Legend




Denotes New Masonry Wall




Denotes New Concrete Block Wall



Denotes Existing Wall




Denotes Demolished Item




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Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue


Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Waste Management Plan 2

PROJECT NAME:
New Amenity Building & Additions

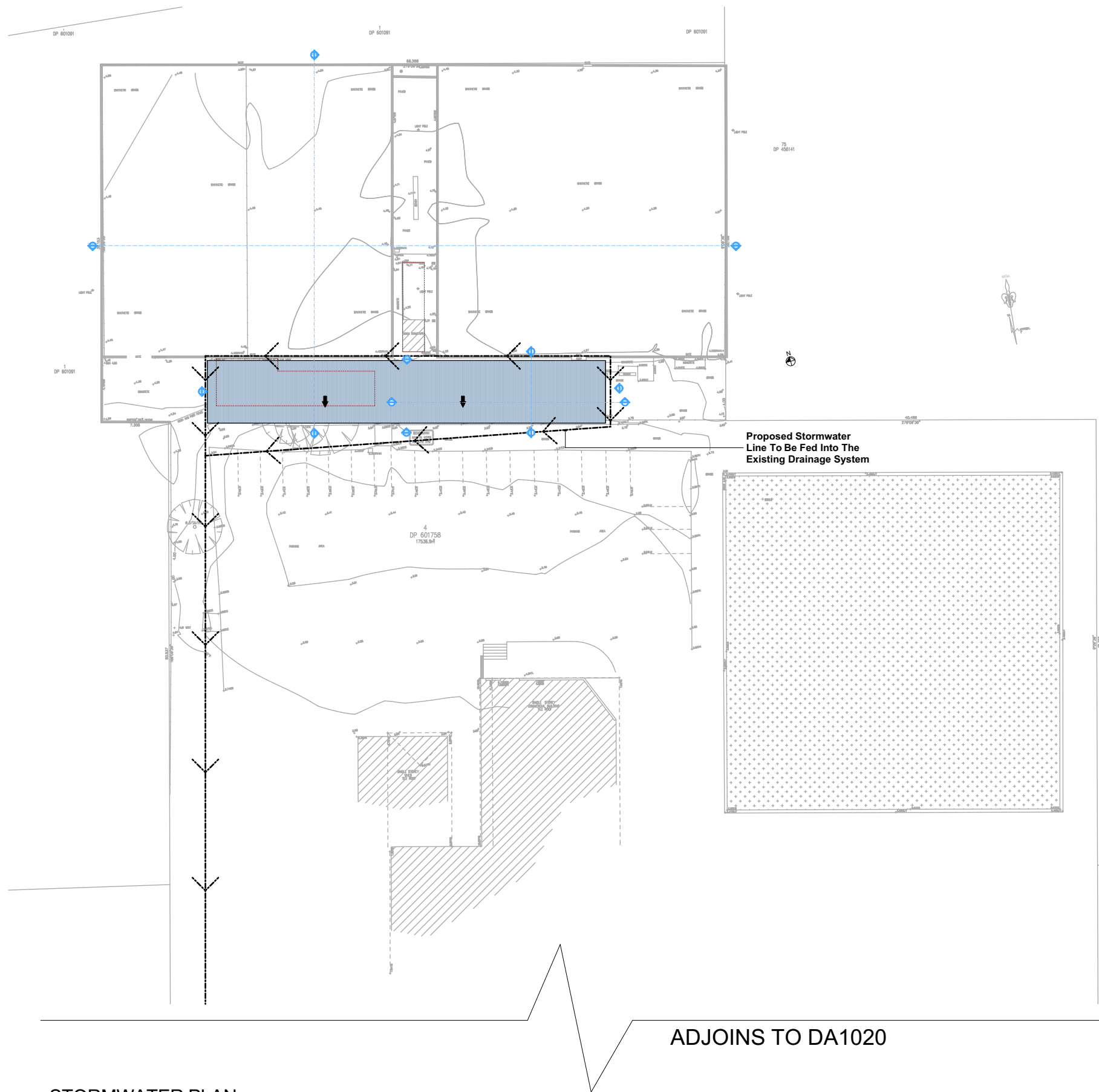
REVISION NO. DATE
- 1-10-2020

DRAWING NO.
DA1018

Plot Date: 7/10/2020
Sheet Size: A3

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NOT FOR CONSTRUCTION



Denotes New Works

4 STORMWATER PLAN
1:500

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

ADJOINS TO DA1020

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NOTES
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Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
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New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO0220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

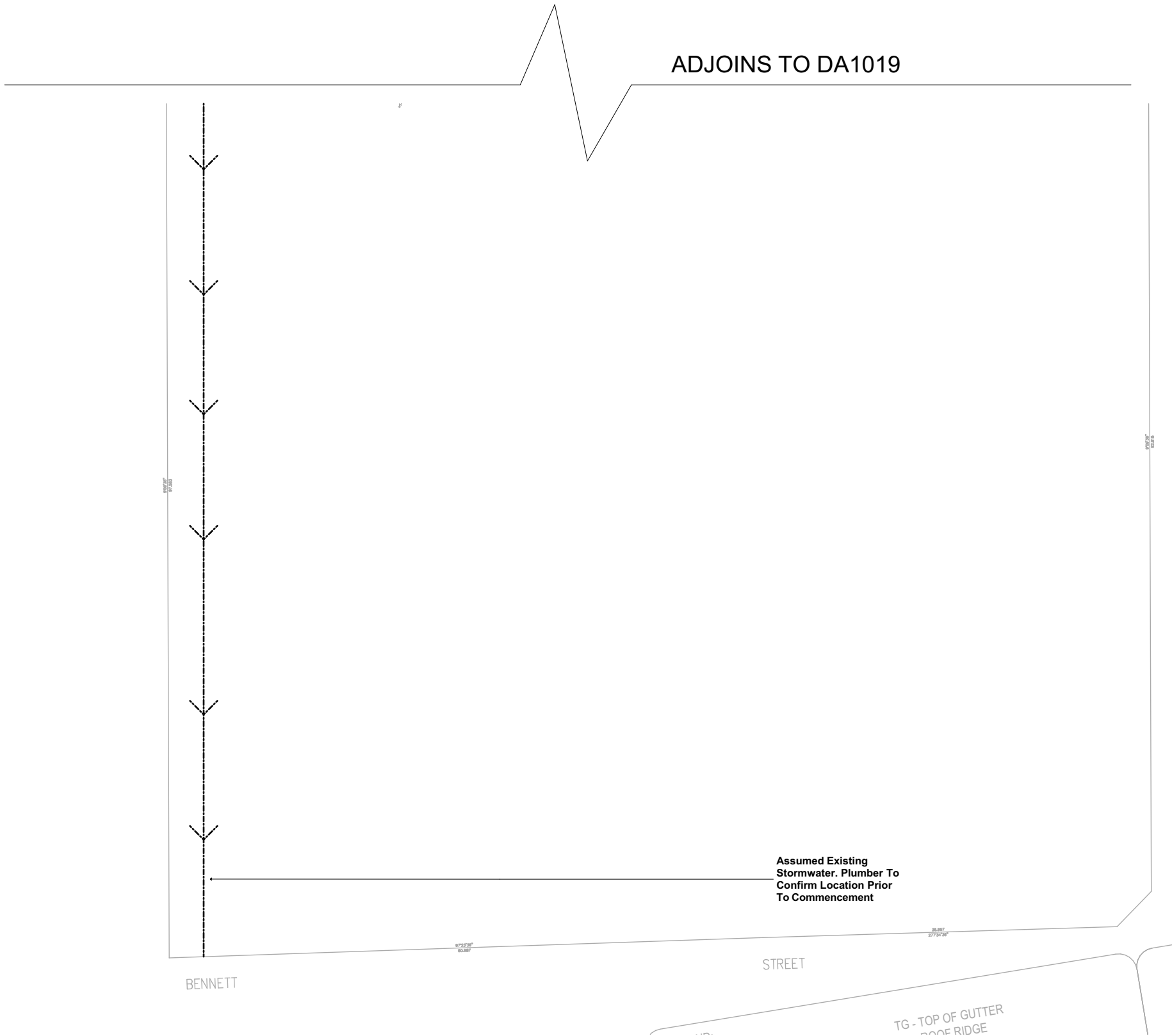
DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
New Amenity Building & Additions

| REVISION NO. | DATE |
|--------------|-----------|
| - | 1-10-2020 |

DRAWING NO.
DA1019

Plot Date: 7/10/2020
Sheet Size: A3



4

STORMWATER PLAN
1:500

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

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NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered ~~an~~ **an** ~~intended~~ **intended** in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
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Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan 2

PROJECT NAME :
New Amenity Building & Additions

| REVISION NO. | DATE |
|--------------|-----------|
| - | 1-10-2020 |

DRAWING NO.
DA1020

Plot Date: 7/10/2020
Sheet Size: A3

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Page 20



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NOTES:
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a flood-prone area in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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The applicant must construct the new or altered construction (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction.

where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of eaves, awne, pergola, verandah, balcony or awning must be no more than 100 mm from the leading edge of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comments |
|--|------------------------|----------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO. RP0620HAR
Project Status DA

| | |
|--------|--|
| Client | Oli Bramley |
| Site: | Cnr Bennett Street & Stirgess Avenue, Curl Curl |

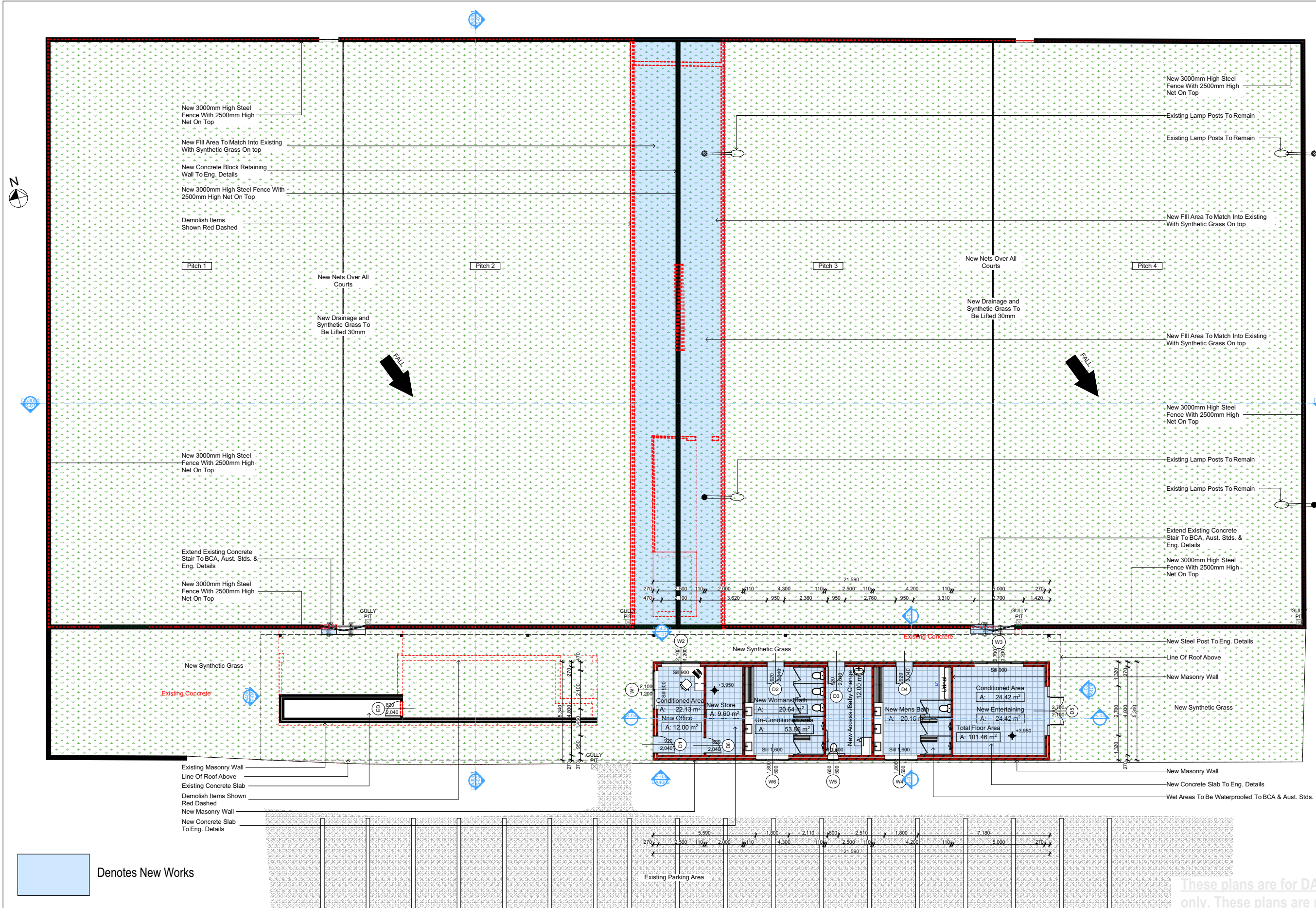
DRAWING TITLE : PLANS
GROUND FLOOR

PROJECT NAME : **New Amenity Building & Addition**

REVISION NO. DATE
- **1-10-2020**

DA2001

Plot Date: 7/10/2020
Sheet Size: A3
D:\Arch\jobs on the go\kirkland-23-G...
Final.pn



Denotes New Works

Wall Legend

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

2

GROUND FLOOR

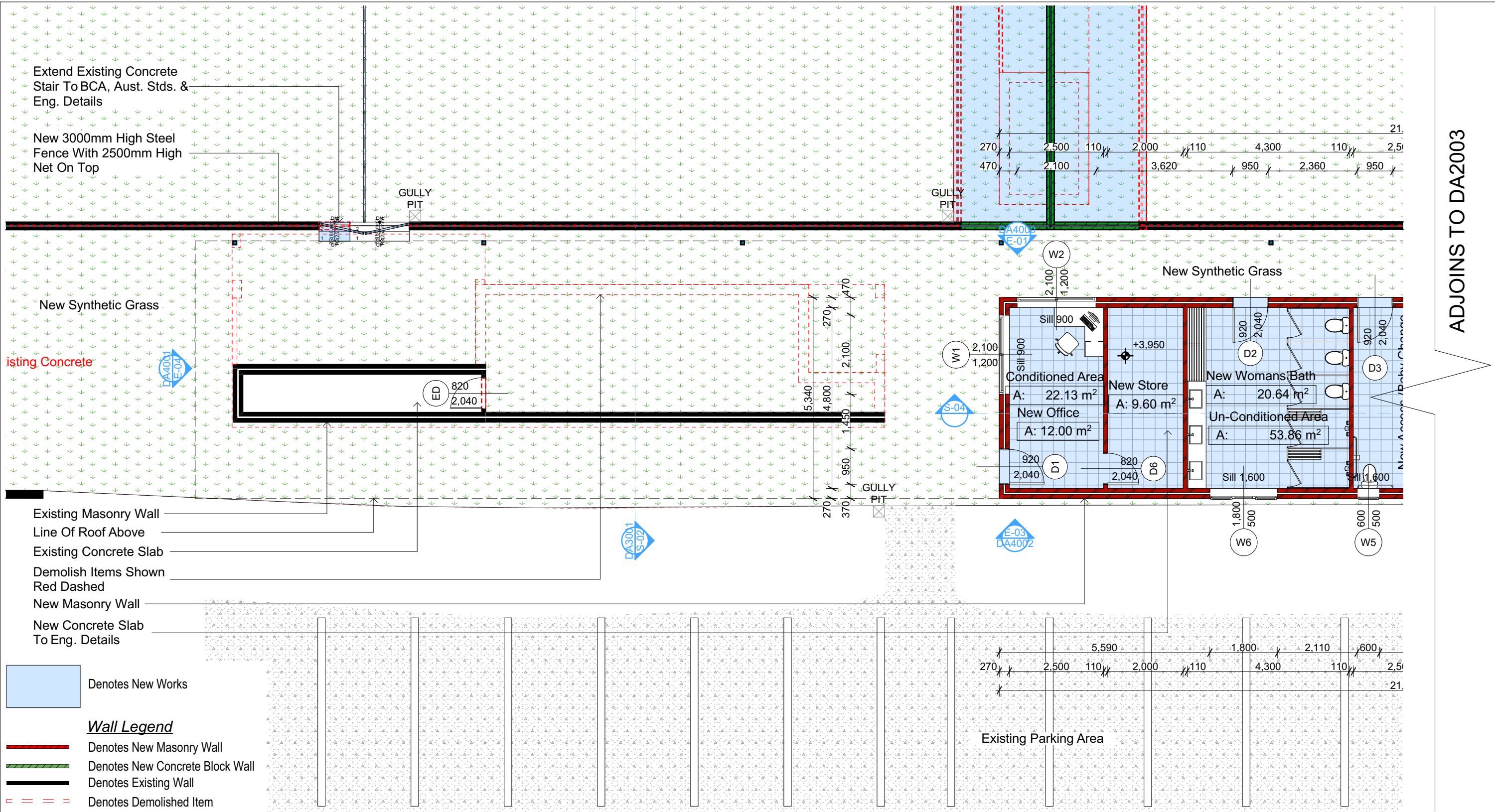
1:200

| Construction | Additional insulation required (R-Value) | Other specifications |
|---|--|---|
| floor - concrete slab on ground | nil | |
| external wall - cavity brick | 0.50 (or 1.17 including construction) | |
| ceiling and roof - flat ceiling / flat roof, framed | ceiling: 3.5 (up), roof: foil backed blanket (75 mm) | framed; medium (solar absorptance 0.475-0.70) |

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia

| | |
|------|---|
| Note | <ul style="list-style-type: none"> In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials |
|------|---|

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



2

GROUND FLOOR
1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private
Refer to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a
boundary
The DA Application Only plans are for DA Application purposes only. These plans are
not to be used for the construction certificate application by any Certifying Authority
without the written permission of Rapid Plans or the supply of authorised Construction
Certificate drawings by Rapid Plans

Construction

Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1130171S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Prop.

Comp.

Site Information

Prop.

Comp.

Site Area

17,536.9m²

Yes

% of landscape open space (40% min)

76%

Yes

Housing Density (dwelling/m2)

2

Yes

Impervious area (m2)

24%

Yes

Max Bldg Ht Above Nat. GL

8.5m

Yes

No. of car spaces provided

2

Yes

Maximum depth of fill (m)

513mm

Yes

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Building Design and Architectural Drafting

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Commencement of any works.

Immediately Report any

Discrepancies to Rapid Plans

Project North

N

Checked

Plot Date:

Project Status

GBJ

7/10/2020

RP0620HAR

DA

Client

Site:

Oli Bramley

Cnr Bennett Street &
Stiggins Avenue, Curl Curl

Sheet Size:

A3

DRAWING TITLE :

PLANS

GROUND FLOOR 2

PROJECT NAME :

New Amenity Building &
Additions

REVISION NO.

-

DATE:

1-10-2020

DRAWING NO.

DA2002

| Energy Commitments |
|--|
| <p>Natural lighting</p> <p>The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.</p> |
| <p>Other</p> <p>The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.</p> <p>The applicant must install a fixed outdoor clothes drying line as part of the development.</p> <p>The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.</p> |

Wall Legend

████████████████████

$$\frac{1}{2} = \frac{1}{2} = \frac{1}{2} = \frac{1}{2}$$

GROUND FLOOR

1:100

NOTES

Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private
 New Works to be constructed shown in Shaded/Blue
 Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a
 heritage item

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Construction

Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1130171S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

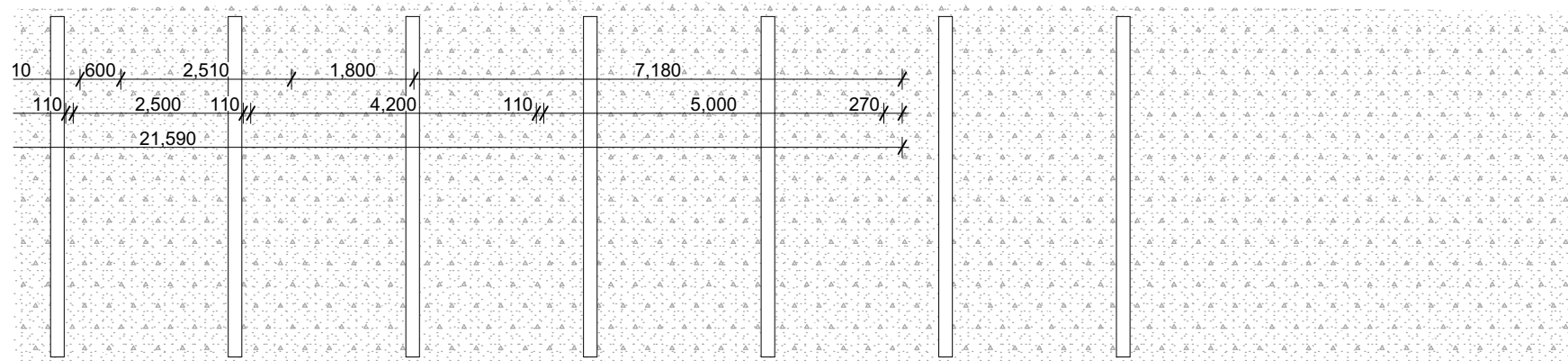
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

—Wet Areas To Be Waterproofed To BCA & Aust. Stds.



| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|------------------------|-------|-------------------------------------|-------|-------|
| Site Area | 17,536.9m ² | Yes | % of landscape open space (40% min) | 76% | Yes |
| Housing Density (dwelling/m ²) | 2 | Yes | Impervious area (m ²) | 24% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | No. of car spaces provided | 2 | Yes |
| Maximum depth of fill (m) | 513mm | Yes | | | |



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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Project North

Checked
Plot Date:
Project NO.
Project Status

| | |
|--------|--|
| Client | Oli Bramley |
| Site: | Cnr Bennett Street & Stirgess Avenue, Curl Curl |

Sheet Size: A3

DRAWING TITLE :

PLANS

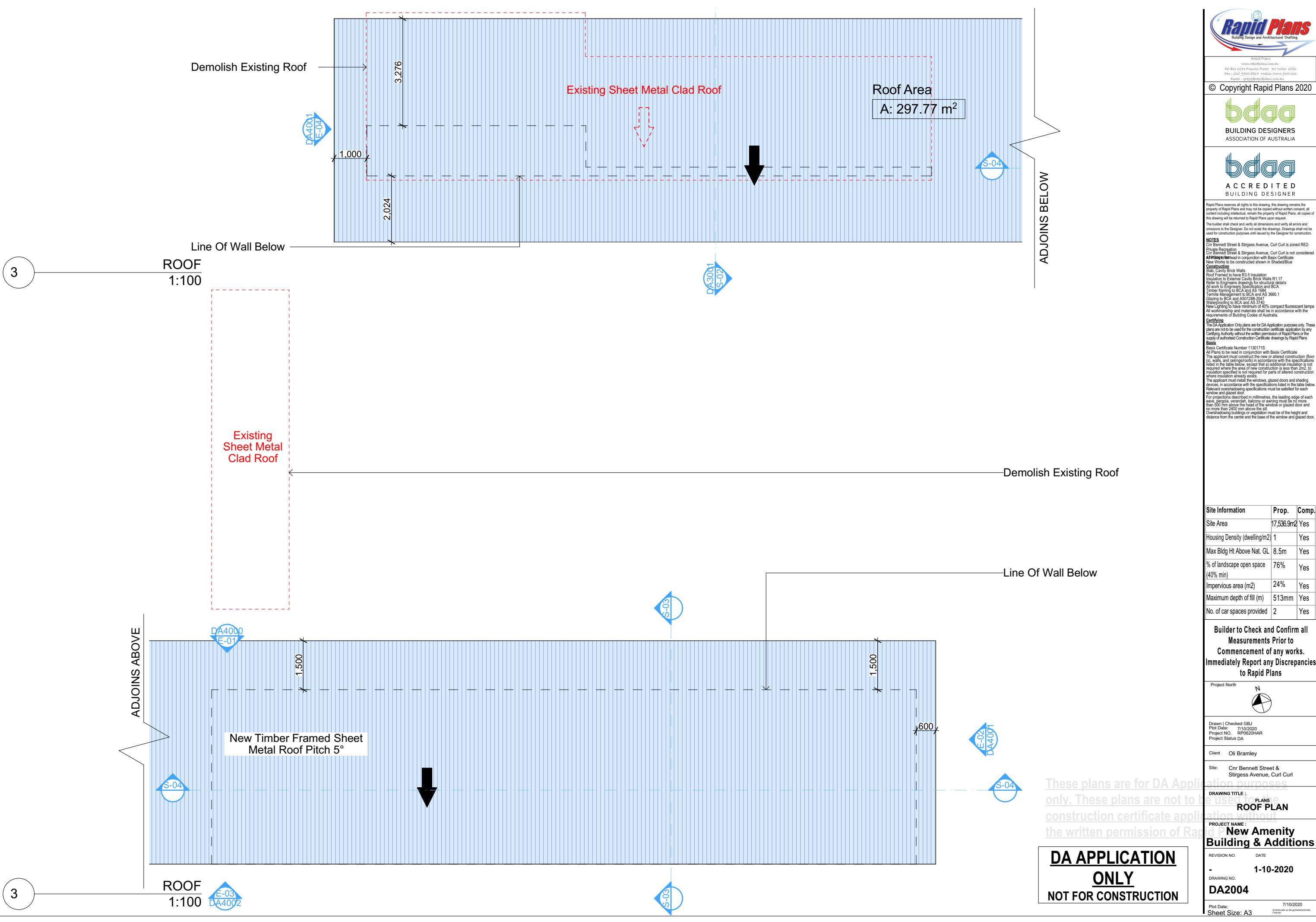
GROUND FLOOR 3

PROJECT NAME :

New Amenity Building & Additions

REVISION NO.

DATE.
1-10-2020
DRAWING NO.
DA2003



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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a 'Public Place' in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743.2
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|------------|-------|
| Site Area | 17,536.9m² | Yes |
| Housing Density (dwelling/m²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP0620HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE : PLANS
ROOF PLAN

PROJECT NAME :
New Amenity Building & Additions

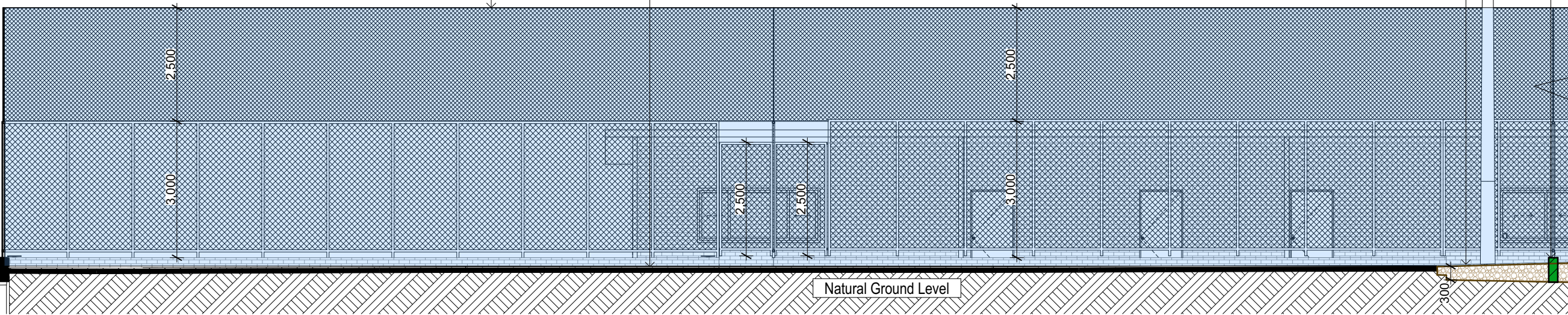
REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA2004

Plot Date: 7/10/2020
Sheet Size: A3

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

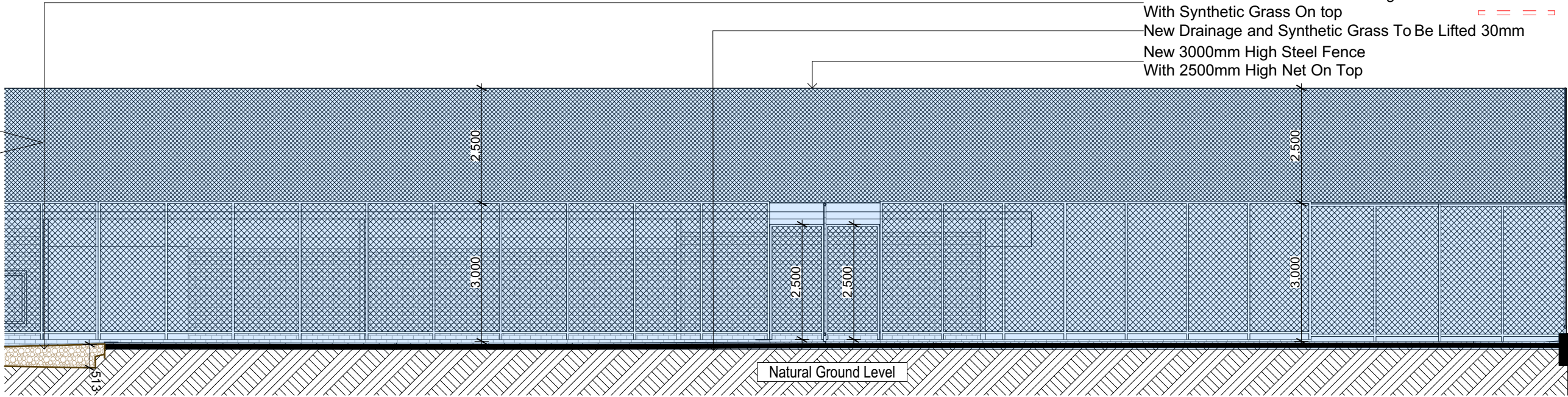
Existing Lamp Posts To Remain
New Concrete Block Retaining Wall To Eng. Details
New Fill Area To Match Into Existing With Synthetic Grass On top
New Drainage and Synthetic Grass To Be Lifted 30mm
New 3000mm High Steel Fence
With 2500mm High Net On Top



S-01 SECTION 1
1:100

- Denotes New Works
- Wall Legend**
- Denotes New Masonry Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

New Fill Area To Match Into Existing
With Synthetic Grass On top
New Drainage and Synthetic Grass To Be Lifted 30mm
New 3000mm High Steel Fence
With 2500mm High Net On Top



S-01 SECTION 1
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private.
Please be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a
boundary.
The DA Application Only plans are for DA Application purposes only. These plans are
not to be used for the construction certificate application by any Certifying Authority
without the written permission of Rapid Plans or the supply of authorised Construction
Certificate drawings by Rapid Plans

Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number 1130171S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|------------------------|-------|-------------------------------------|-------|-------|
| Site Area | 17,536.9m ² | Yes | % of landscape open space (40% min) | 76% | Yes |
| Housing Density (dwelling/m ²) | 2 | Yes | Impervious area (m ²) | 24% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | No. of car spaces provided | 2 | Yes |
| Maximum depth of fill (m) | 513mm | Yes | | | |



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drawings. Drawings shall not be used for construction
purposes until issued by the Designer for construction.



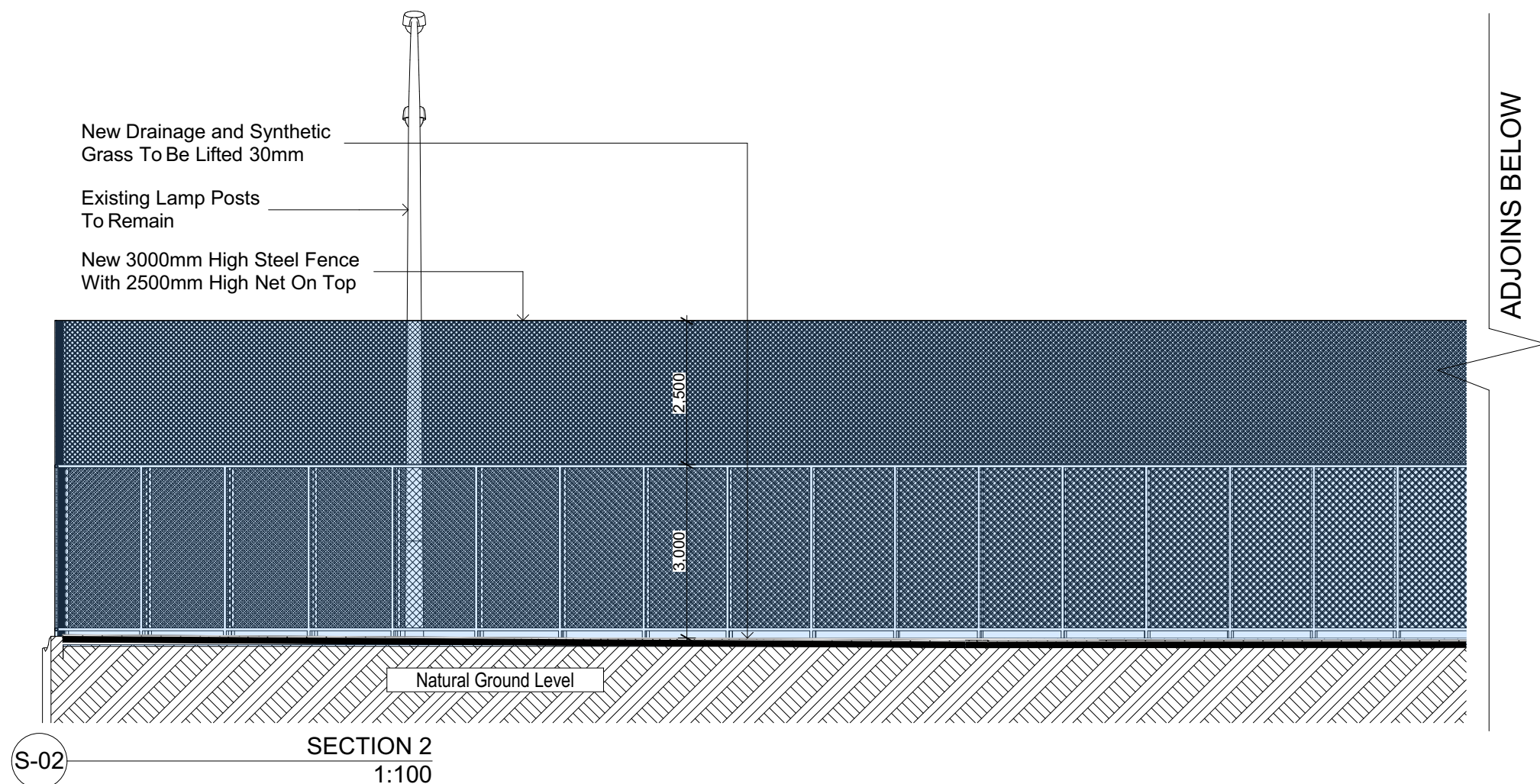
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



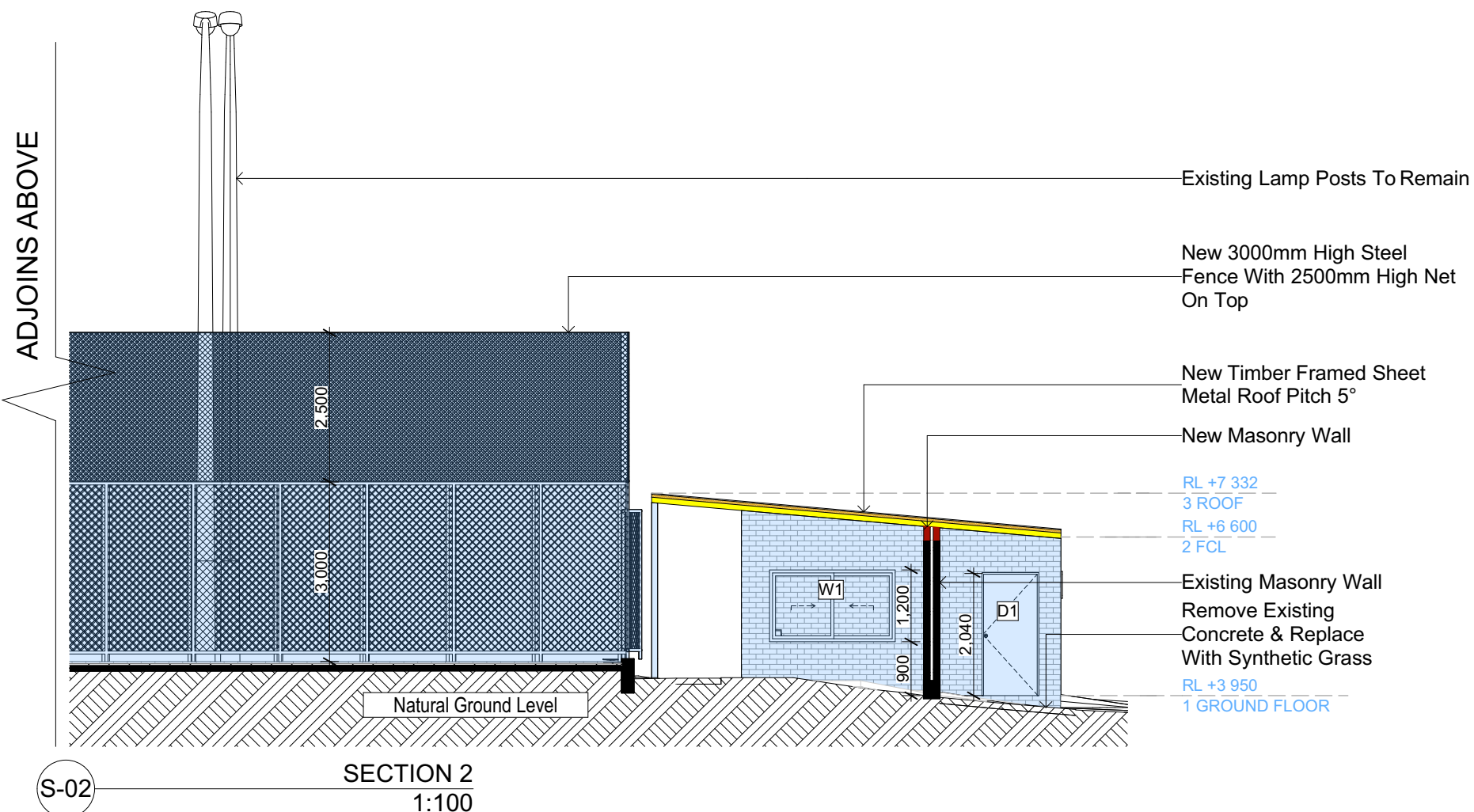
Checked
Plot Date: 7/10/2020
Project NO. RP0620HAR
Project Status DA
Client Oli Bramley
Site: Cnr Bennett Street &
Stirgess Avenue, Curl Curl
Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 1
PROJECT NAME :
New Amenity Building &
Additions

REVISION NO.
-
DATE: 1-10-2020
DRAWING NO.
DA3000



ADJOINS BELOW



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

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NOT FOR CONSTRUCTION

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NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO2020HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: **SECTIONS SECTION 2**

PROJECT NAME: **New Amenity Building & Additions**

REVISION NO. DATE
- 1-10-2020
DRAWING NO. **DA3001**

Plot Date: 7/10/2020
Sheet Size: A3

New Timber Framed Sheet Metal
Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

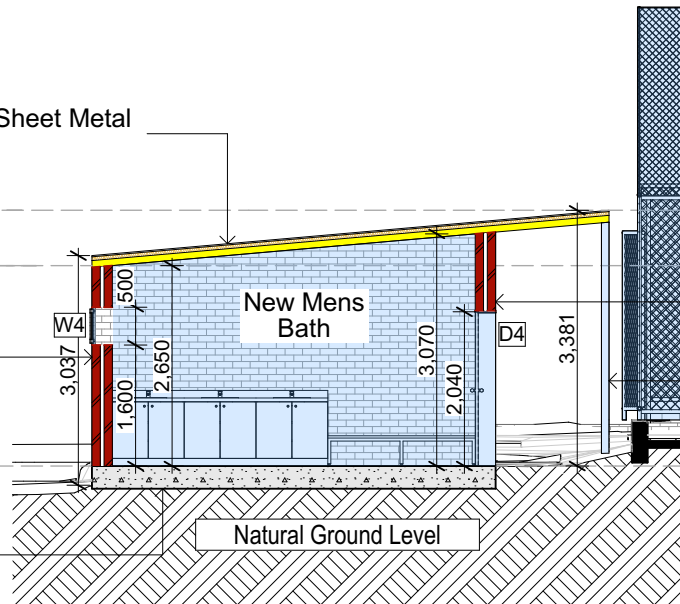
New Masonry Wall

RL +3 950
1 GROUND FLOOR

New Concrete Slab
To Eng. Details

S-03
-

Building Section
1:100



RL +7 332
3 ROOF
RL +6 600
2 FCL

New Masonry Wall

New Steel Post To Eng. Details

RL +3 950
1 GROUND FLOOR

| Construction | Additional insulation required (R-Value) | Other specifications |
|---|--|---|
| floor - concrete slab on ground | nil | |
| external wall - cavity brick | 0.50 (or 1.17 including construction) | |
| ceiling and roof - flat ceiling / flat roof, framed | ceiling: 3.5 (up), roof: foil backed blanket (75 mm) | framed; medium (solar absorptance 0.475-0.70) |

| | |
|------|--|
| Note | • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia. |
| Note | • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. |

New Timber Framed Sheet Metal Roof
Pitch 5°

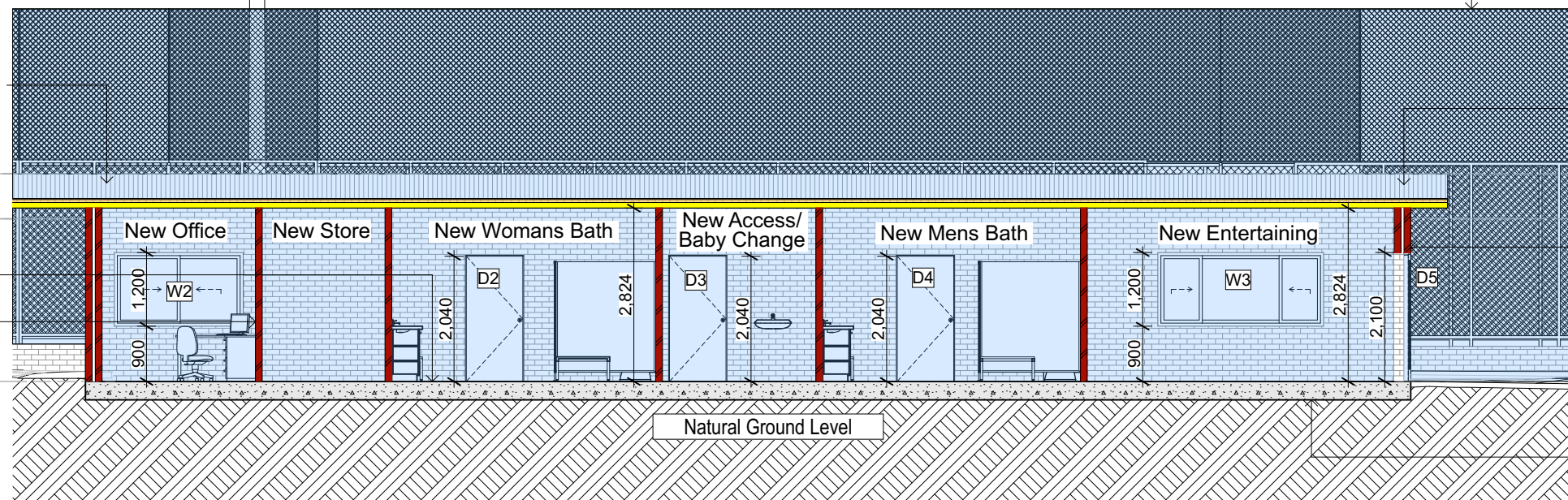
RL +7 332
3 ROOF
RL +6 600
2 FCL

Wet Areas To Be
Waterproofed To
BCA & Aust. Stds.
New Masonry Wall

RL +3 950
1 GROUND FLOOR

S-04
-

Building Section
1:100



New 3000mm High Steel Fence
With 2500mm High Net On Top

New Timber Framed Sheet
Metal Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Masonry Wall

RL +3 950
1 GROUND FLOOR

New Concrete Slab To
Eng. Details

**DA APPLICATION
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| Thermal Comfort Commitments |
|---|
| General features |
| The dwelling must not have more than 2 storeys. |
| The conditioned floor area of the dwelling must not exceed 300 square metres. |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. |
| The dwelling must not contain third level habitable attic room. |
| Floor, walls and ceiling/roof |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. |

| Thermal Comfort Commitments |
|--|
| Windows, glazed doors and skylights |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. |
| The following requirements must also be satisfied in relation to each window and glazed door: |
| • For the following glass and frame types, the certifier check can be performed by visual inspection. |
| • Aluminium single clear |
| • Aluminium double (air) clear |
| • Timber/uPVC/fibreglass single clear |
| • Timber/uPVC/fibreglass double (air) clear |



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BUILDING DESIGNER

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NOTES

Cnr Bennett Street & Stirlings Avenue, Curl Curl is zoned RE2-Private Recreation.
Cnr Bennett Street & Stirlings Avenue, Curl Curl is not considered a Private Road in accordance with the provisions of the Local Government Act 1995.
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 4847
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Consolidation

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP0620HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirlings Avenue, Curl Curl

DRAWING TITLE :
SECTIONS
SECTION 3

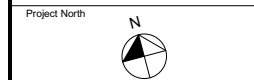
PROJECT NAME :
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA3002

Plot Date: 7/10/2020
Sheet Size: A3

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO2020HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA4000

Plot Date: 7/10/2020
Sheet Size: A3

Max Building Height 8500 Above GL

New Timber Framed
Sheet Metal Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Masonry Wall

New Timber Post

RL +3 950
1 GROUND FLOOR

Remove Existing
Concrete & Replace
With Synthetic Grass

E-01 North
1:100

ADJOINS BELOW

Natural Ground Level

Denotes New Works

Wall Legend

Denotes Existing Concrete
Denotes Demolished Item

Max Building Height 8500 Above GL

New Timber Framed Sheet
Metal Roof Pitch 5°

New Masonry Wall

RL +7 332
3 ROOF
RL +6 600
2 FCL

Demolish Items Shown
Red Dashed
Existing Masonry Wall

New Steel Post To Eng. Details

RL +3 950
1 GROUND FLOOR

Remove Existing Concrete
& Replace With Synthetic
Grass

ADJOINS ABOVE

Natural Ground Level

E-01 North
1:100

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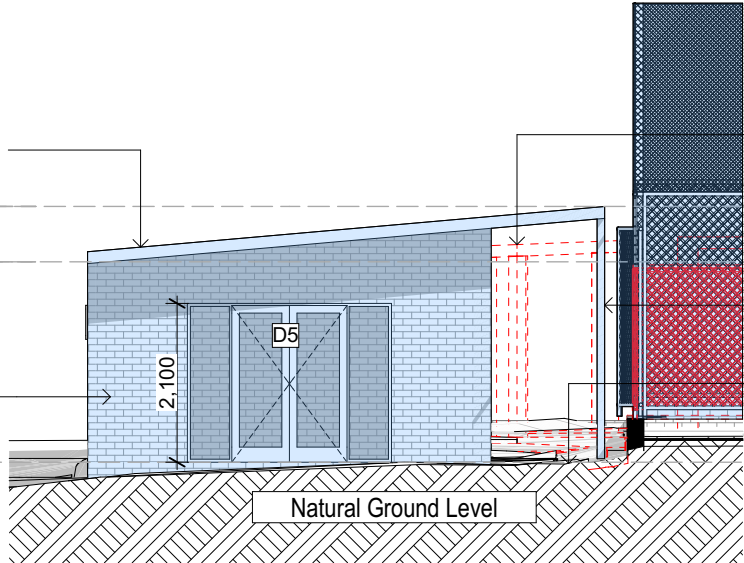
Max Building Height 8500 Above GL

New Timber Framed
Sheet Metal Roof
Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Masonry Wall

RL +3 950
1 GROUND FLOOR



Demolish Items Shown
Red Dashed

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Steel Post To Eng. Details

Remove Existing Concrete &
Replace With Synthetic Grass

RL +3 950
1 GROUND FLOOR

Natural Ground Level

E-02

East
1:100

| Construction | Additional insulation required (R-Value) | Other specifications |
|---|--|---|
| floor - concrete slab on ground | nil | |
| external wall - cavity brick | 0.50 (or 1.17 including construction) | |
| ceiling and roof - flat ceiling / flat roof, framed | ceiling: 3.5 (up), roof: foil backed blanket (75 mm) | framed; medium (solar absorptance 0.475-0.70) |

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

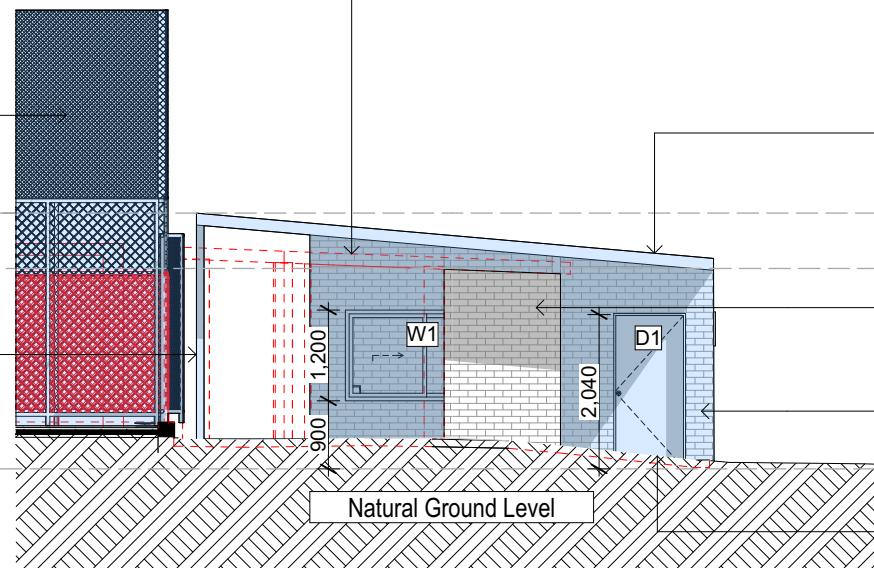
Demolish Items
Shown Red Dashed

New 3000mm High Steel
Fence With 2500mm
High Net On Top

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Steel Post
To Eng. Details

RL +3 950
1 GROUND FLOOR



New Timber Framed
Sheet Metal Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

Existing Masonry Wall

New Masonry Wall

RL +3 950
1 GROUND FLOOR

Remove Existing Concrete &
Replace With Synthetic Grass

E-04

West
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private.
Refer to the DA Application for more details.
New Works to be constructed shown in Shaded/Blue.
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a
boundary item.

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Construction

Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1130171S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m².

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing

specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window

or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

These plans are for DA Application purposes only. They are not to be used for the construction certificate application without the written permission of Rapid Plans.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|------------------------|-------|-------------------------------------|-------|-------|
| Site Area | 17,536.9m ² | Yes | % of landscape open space (40% min) | 76% | Yes |
| Housing Density (dwelling/m ²) | 2 | Yes | Impervious area (m ²) | 24% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | No. of car spaces provided | 2 | Yes |
| Maximum depth of fill (m) | 513mm | Yes | | | |



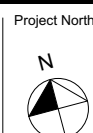
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 7/10/2020
Project Status: RP0620HAR
DA

Client
Site: Oli Bramley
Cnr Bennett Street &
Stirgess Avenue, Curl Curl

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

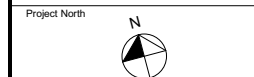
**New Amenity Building &
Additions**

REVISION NO.

DATE:
1-10-2020
DRAWING NO.
DA4001

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| % of landscape open space (40% min) | 76% | Yes |
| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO0220HAR
Project Status DA

Client Oli Bramley

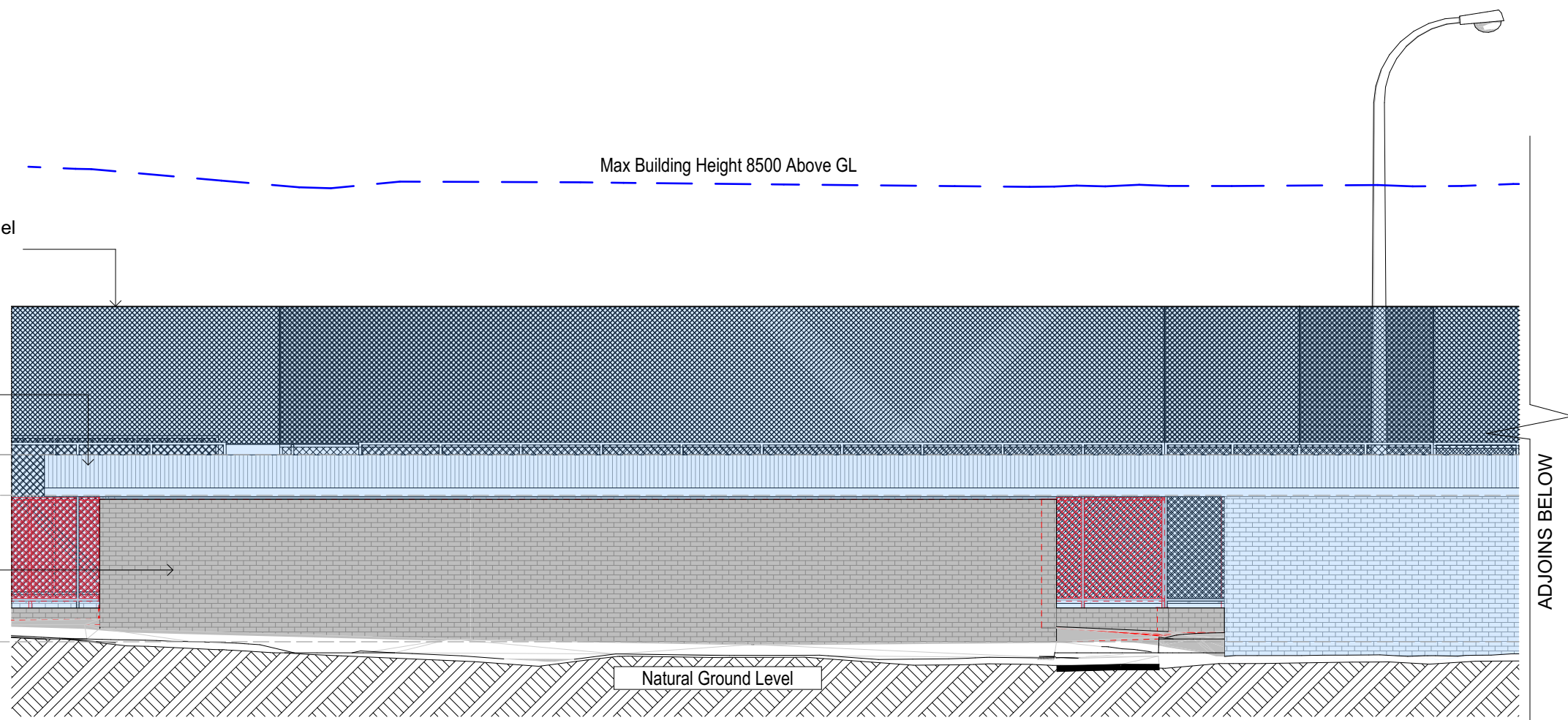
Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 3

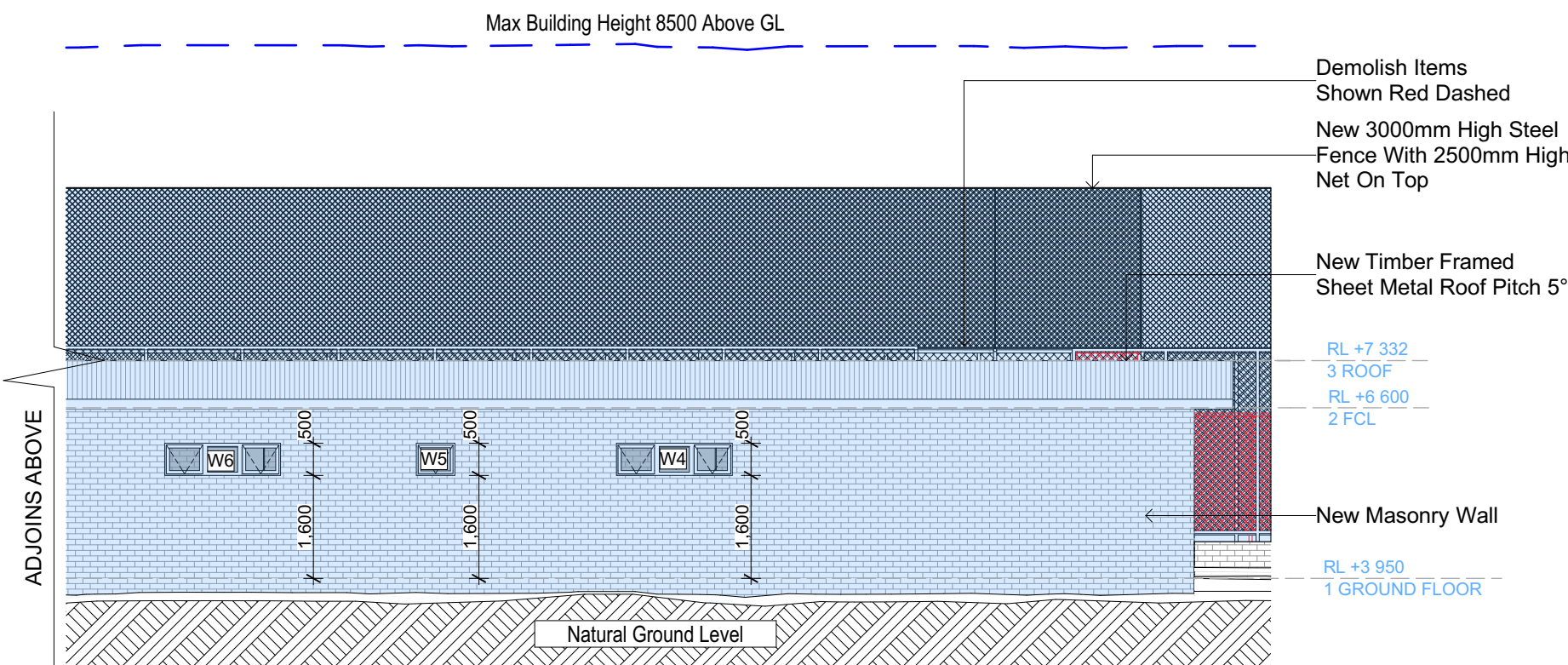
PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020
DRAWING NO.
DA4002

Plot Date: 7/10/2020
Sheet Size: A3



E-03
South
1:100



E-03
South
1:100

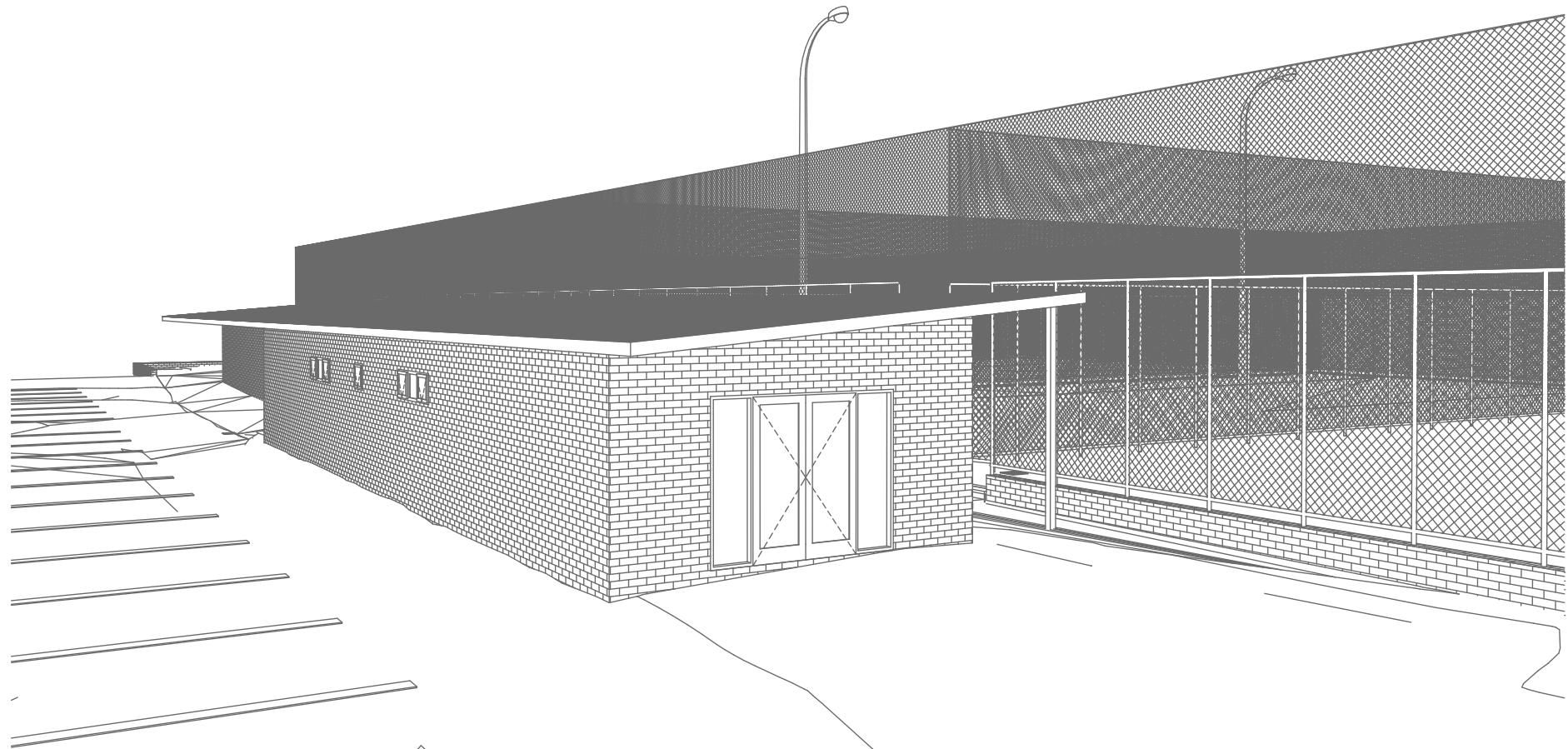
Denotes New Works

Wall Legend

Denotes Existing Concrete
Denotes Demolished Item

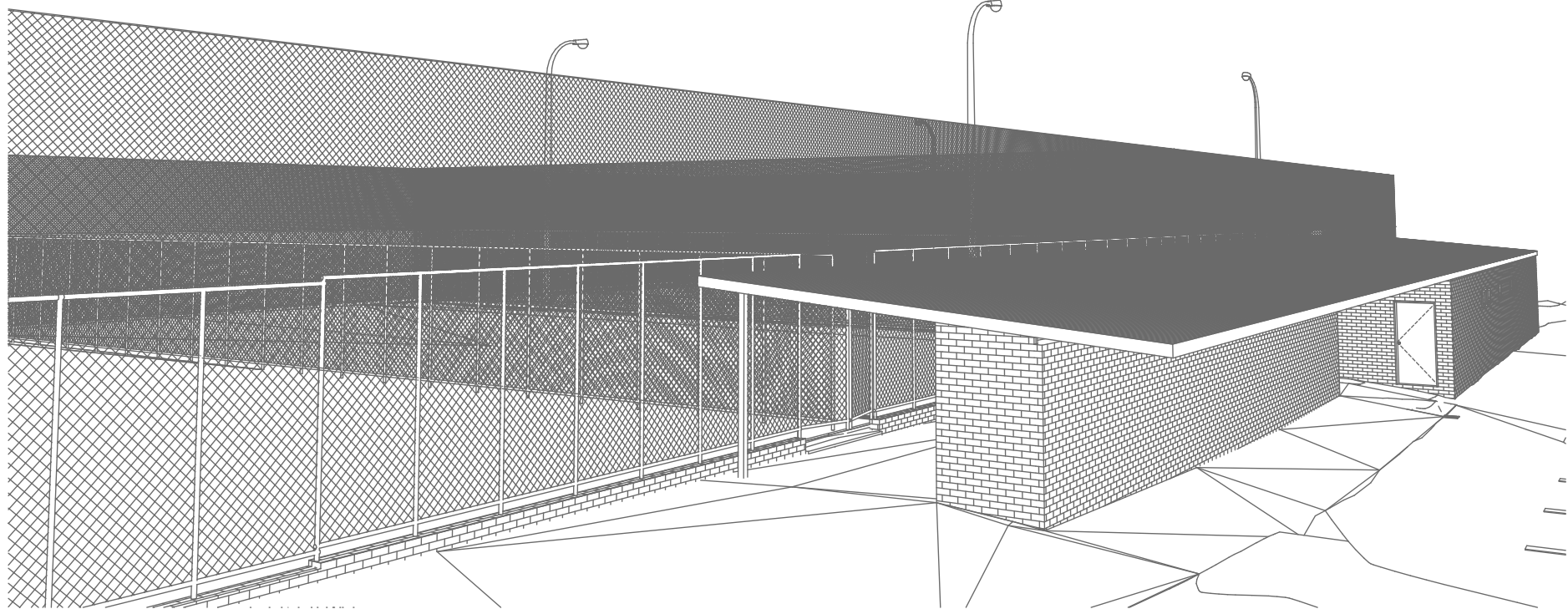
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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1
-

Perspective 1
1:200



2
-

Perspective 2
1:200

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Rapid Plans
Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gargoyle, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|------------------------|-------|
| Site Area | 17,536.9m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
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| Impervious area (m ²) | 24% | Yes |
| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP0620HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
New Amenity Building & Additions

| REVISION NO. | DATE |
|--------------|-----------|
| - | 1-10-2020 |

DRAWING NO. **DA5000**

Plot Date: 7/10/2020
Sheet Size: A3

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Denotes Masonry Wall (Typical).
Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Tiling (Typical). Owner To
Confirm Type & Colour



Denotes Fencing With Net Ontop (Typical).
Owner To Confirm Type & Colour

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NOTES
Cnr Bennett Street & Stirlings Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirlings Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
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Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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| Site Information | Prop. | Comp. |
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| Maximum depth of fill (m) | 513mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO. RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirlings Avenue, Curl Curl

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
New Amenity Building & Additions

| REVISION NO. | DATE |
|--------------|-----------|
| - | 1-10-2020 |

DRAWING NO.
DA5001

Plot Date: 7/10/2020
Sheet Size: A3

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