

Register



Pittwater Council

Construction Certificate No: CC0503/02

Site Details: **75 ALEXANDRA CRESCENT BAYVIEW NSW 2104**

Legal Description: **Lot 18 DP 11186
Lot B DP 373700**

Type of Development: Building Work Subdivision

Description: **demolition of existing dwelling and construction of new dwelling**

Associated Development Consent No: **N0645/02** Dated: **15/10/2002**

Building Code of Australia Certification: **Class 1a**

Details of plans, documents or Certificates to which this Certificate relates:

Architectural plans prepared by Riverford Design Services Pty Ltd Drawing No 0261/1, 0261/2, 0261/3, 0261/4, 0261/5.

Structural Engineers details prepared by Jack Hodgson Consultants Pty Ltd dated 11 September 2002 Drawing No 20057-1, 20057-2, 20057-3, 20057-4.

Stormwater disposal detail prepared by Jack Hodgson Consultants Pty Ltd dated 7 November 2002 Drawing No 20057-5.

Correspondence dated 18 November 2002 from A J W Hardman.

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: **N0645/02**

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

[Signature]
.....
Development Officer
C. Frances Otto

21-11-02
.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

Sean O'Brien

From: <Matthew_Edmonds/Pittwater_Council@pittwater.nsw.gov.au>
To: <seanobrien1@bigpond.com>
Cc: <Paul_Brisby/Pittwater_Council@pittwater.nsw.gov.au>
Sent: Monday, 18 November 2002 11:18 AM
Subject: CC - 75 Alexandra Cr, Bayview

Council's Engineer Paul Brisby has discussed Condition B19 (Stormwater/OSD) with the owner. Paul has advised the owner that if their Hydraulic Engineer certifies that the stormwater system complies with Council's OSD policy (with or without the OSD component) the submission is deemed to satisfy Condition B19. This is because the OSD policy itself exempts development from having to install OSD tanks where there is less than a 50 sq.m. increase in impervious area over existing. Please process the CC on this basis.

certificate

of insurance

HOME OWNERS WARRANTY
(A division of HIA Insurance Services Pty Ltd A.C.N. 076 460 967)
ABN 84 076 460 967
PO Box 241
Ryde NSW 2112
Telephone (02) 9808 7222
Facsimile (02) 9808 7233

Certificate No: 164249

Issue Date 11.11.2002

FORM 1

HOME BUILDING ACT 1989

Section 92

Certificate in respect of insurance

CONTRACT WORK

A contract of insurance complying with Section 92 of the Home Building Act 1989 has been issued by: Royal & Sun Alliance Insurance Australia ACN 005 297 807 ABN 48 005 297 807

Please note that Aon Risk Services Australia Ltd ACN 000 434 720 ABN 17 000 434 720 are arranging the insurance policy as agents of the insurer below.

They also act as agent of the insurer below and not as agent of the insured in dealing with or settling any claim.

In Respect Of: Single Dwelling

At: Lot No: Unit No: House No: 175 (75)

Alexandra Street Bayview

Carried Out By: RIVERFORD DESIGNS PTY LTD
ABN:

Subject to the Act and the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

TAX INVOICE

Premium:	\$425.64
GST:	\$42.57
Stamp Duty:	\$19.79
Total:	\$488.00

Total includes Policy Fees, Stamp Duty and GST.

Insurer:

- Royal & Sun Alliance Insurance Australia Ltd

Signed for and on behalf of the insurer:



HIA INSURANCE SERVICES



Wes Hardman
15 Briony Place
Mona Vale, 2103
November 12, 2002

Regarding storm water detention at new home at 75 Alexandra Crescent, Bayview

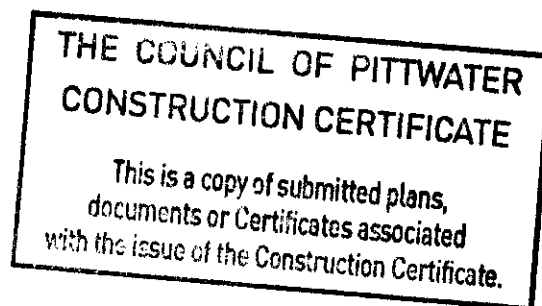
I believe the report from engineering firm Jack Hodgson and Co determines that no water retention tank is required for the above address.

However, I thought it would be helpful to indicate to the council that we intend to install a rainwater tank of 4500 litre capacity.

Roughly 60 percent of the capacity will be to retain water for garden use. It is our intention to then have an outlet for the top 40 percent of the tank, taking it through an approximate pipe diameter of 2 inches into the stormwater system.

This will leave a minimum 1800 litre of empty capacity to be used to trap and slow down water flow from the roof during heavy downpours.

Yours cordially,



PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

Office Use Only:

C/C NO: CC0503/02
 FILE AND PART NO: _____
 PROPERTY NO: _____
 OFFICER: _____
 TARGET DATE: _____
 APPROVAL NO: _____
 POST OUT or PICK UP

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
 PO Box 882, MONA VALE NSW 2103
 DX 9018, MONA VALE
 Facsimile: (02) 9970 7150
 Telephone: (02) 9970 7222



LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No N0645/02 Date 15/09/2002

A CONCURRENT DEVELOPMENT APPLICATION

Application No N0645/02 Date 15/09/02

SITE DETAILS: (please print)

House No 75 Street/Road ALEXANDRA CRIST Suburb RAYVIEW

Postcode 2104 Lot 18 + B Section _____ Deposited Plan 11186

Description of Proposal NEW HOME

VALUE OF DEVELOPMENT: \$ 290,000

Nominated Building Classification: Class(es).....

rec-101038

APPLICANT: (please print)

Name/Company A.J.W. HARDMAN

Address 15 BRIONY PLACE

Phone (02) 99974532 Daytime Contact No () 0403022001

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature [Signature] Date 14/10/02

OWNER (please print)

This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s AJW & MC HARDMAN

Address 15 BRIONY PLACE
MONA VALE Postcode 2103

Signature(s) _____

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- **If the written consent is not signed by all owners of the property, this application will not be accepted.**

BUILDER'S NAME AND ADDRESS

(must be completed when the proposal involves residential building work): (please print)

Are you an Owner-Builder? YES, Permit No. No

Licensed Builder Details
Name/Company RIVERFORA DESIGN & PTY LTD

Address MONA ST, MONA VALE

Phone (0) 0408230029 Daytime Contact No () _____

Licence No _____ Insurance Policy No _____

- Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.
- (2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.



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CONSTRUCTION MATERIALS/DETAILS: (please print) (must by law be accurate)

Construction materials

External walls TIMBER Roof CELOUR BOARD

Floor TIMBER Wall frames TIMBER

Details

Current use of the land/building(s) PRIVATE HOME

Site area _____ m²

Floor area - existing _____ m²

- proposed _____ m²

Total _____ m²

Number of Storeys 2 1/2

Number of dwellings to be demolished 1

Number of dwellings proposed 1

THE CHECKLIST

- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

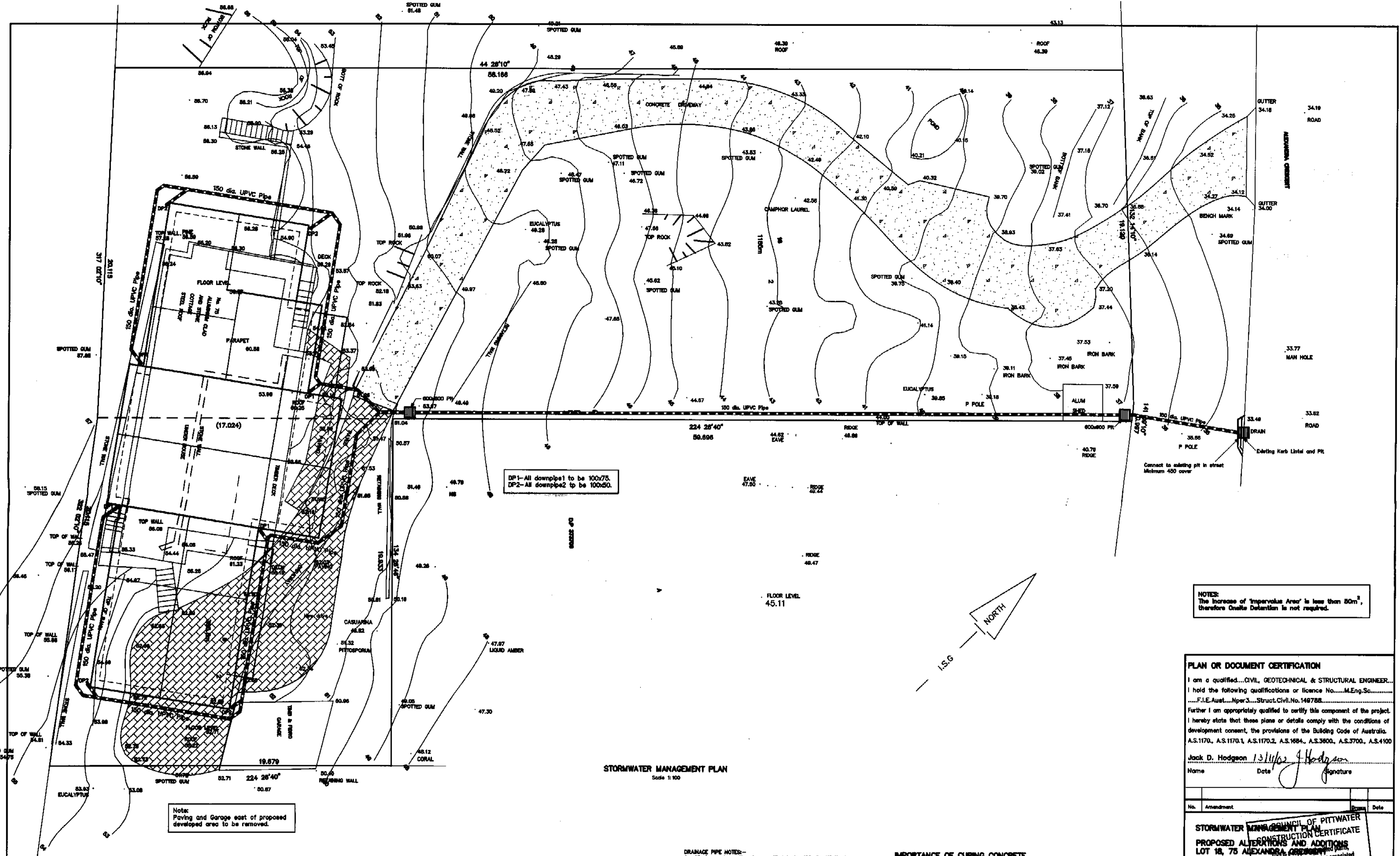
For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

YOUR USE		STAFF USE
A	COMPLIANCE WITH CONSENT CONDITIONS	
	All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.	
B	COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.	
	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.	
C	SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200	
	<p>North point and all boundary dimensions of the block.</p> <p>All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured).</p> <p>The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors.</p> <p>Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses.</p> <p>Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.</p>	
D	ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100	
	<p>All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified.</p> <p>Existing/proposed ground levels and all floor to ceiling heights.</p> <p>Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels.</p> <p>Roof profile, material, colour, reflectivity and eaves width are shown.</p> <p>The outline of buildings on the adjoining sites.</p>	

YOUR USE	STAFF USE
E SECTIONS A cut through view of the building and site. Minimum scale 1:100	
	<p>The outline of the existing and/or proposed building showing all dimensions including roof pitch.</p> <p>All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients).</p> <p>Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any).</p> <p>Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size</p> <p>Provisions made for Fire Safety and Fire Resistance.</p>
F LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
	<p>Details of driveways, vehicle crossing profiles and transitions.</p> <p>Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.</p>
G FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
	<p>North point shown.</p> <p>Room dimensions and use shown.</p> <p>The location and dimension of all windows, doors and walls (including wall thickness).</p> <p>Provisions made for Fire Safety and Fire Resistance</p>
H BUILDING SPECIFICATION Details of construction.	
	<p>Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length.</p> <p>Whether the material will be new or second hand. Give particulars of second hand materials.</p> <p>Details of drainage, effluent disposal, water supply, ventilation arrangements etc.</p>
<p>Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.</p>	
I FIRE SAFETY PROVISIONS Class 2-9 buildings only	
	<p>Details of the fire safety measures to be implemented.</p>
	<p>Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.</p>
J DETAILED ENGINEERING DRAWINGS Detailled plans which have been certified by a qualified consultant for the following where relevant	
	<p>Earthworks, erosion control measures, elevations of retaining walls, etc.</p>
	<p>Roadworks, road pavement details.</p>
	<p>Stormwater drainage (including stormwater management details).</p>
	<p>Water supply, effluent disposal.</p>
	<p>Landscape construction works.</p>
<p>Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.</p>	

Checked by: _____



DP1-All downpipe1 to be 100x75.
DP2-All downpipe2 to be 100x50.

Note:
Paving and Garage east of proposed developed area to be removed.

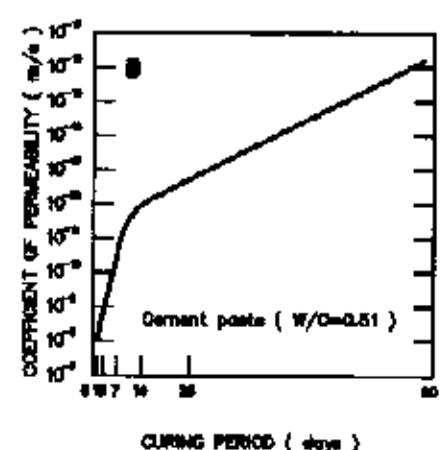
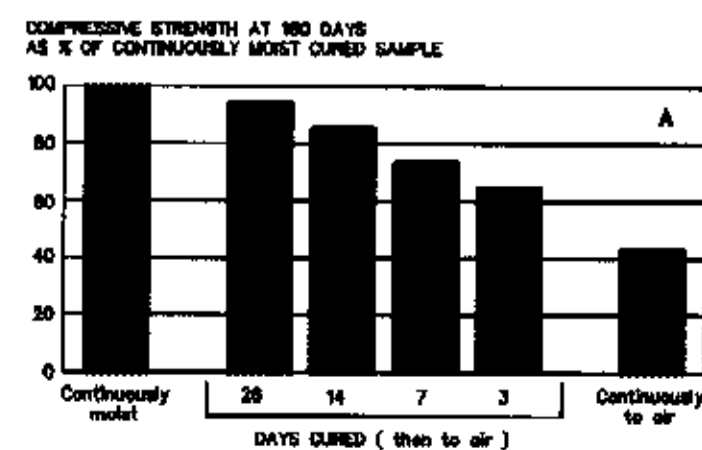
STORMWATER MANAGEMENT PLAN
Scale 1:100

- DRAINAGE PIPE NOTES:-**
- All pipes unless otherwise specified to be 100 dia. UPVC pipe.
 - Slopes of pipes to be a minimum of 1:100 in 1%.
 - All levels and dimensions to be checked and confirmed on site.
 - All design work and works to be in accordance with AS/NZS 3500.3.2 (1998) and AS/NZS 3500.2 (2000).

Based on effective cross sectional area of 6300 sq. mm a maximum of 28 sq. m per down pipe. Down pipe size to be 80 mm dia. or 100x50 mm minimum. Outer size 125 mm Quad "D" (NSW) or similar minimum.

NOTE.
Only roof runoff taken into consideration on this plan as required by council. Other surface and sub-surface flow would require further investigation and possible design.

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on: (A) compressive strength; and (B) concrete permeability
Acknowledgement: Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB4:1996)

NOTES:
The increase of 'impervious Area' is less than 50m², therefore Onsite Detention is not required.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.3800, A.S.3700, A.S.4100

Jack D. Hodgson 13/11/02 J. Hodgson
Name Date Signature

No. Amendment Drawn Date

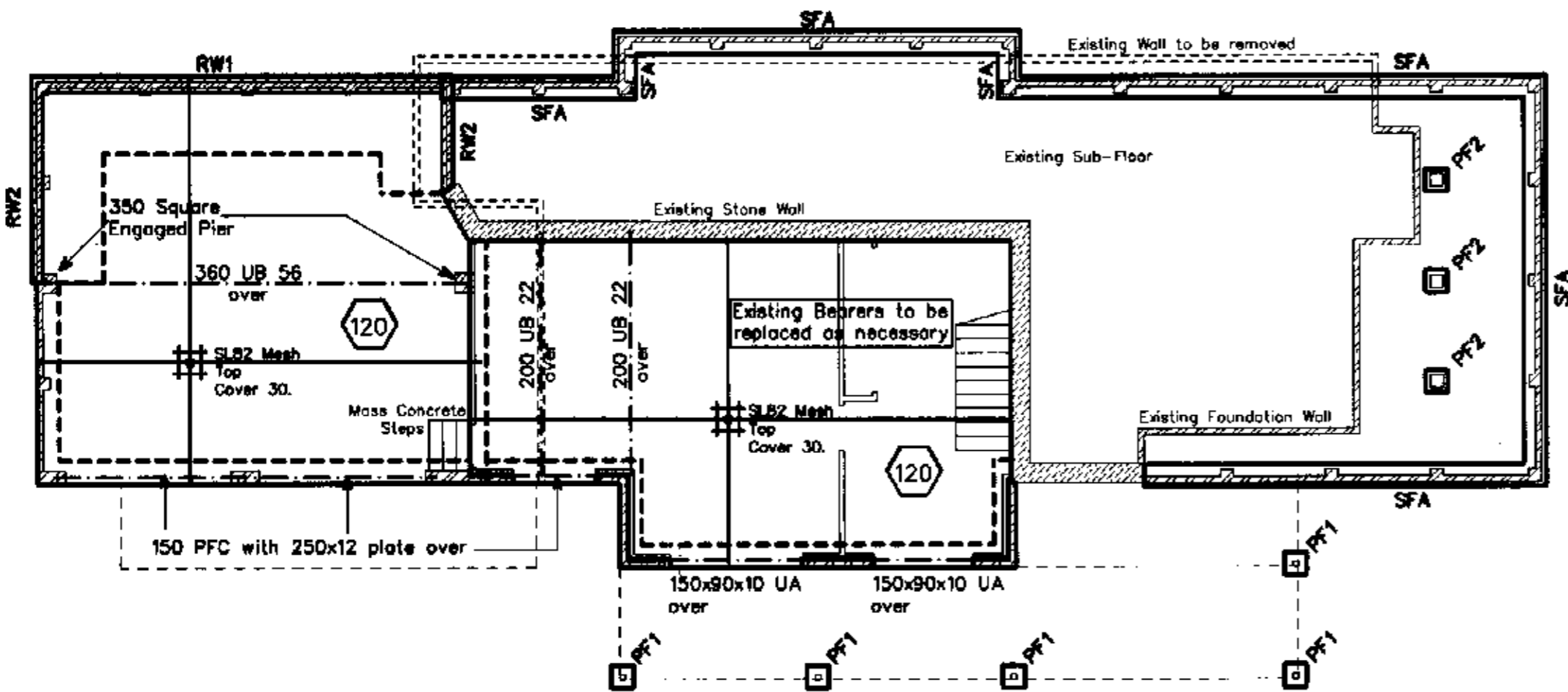
STORMWATER MANAGEMENT PLAN
CONSTRUCTION CERTIFICATE
PROPOSED ALTERATIONS AND ADDITIONS
LOT 18, 75 ALEXANDRA CRESCENT
BAYVIEW
documents or Certificates associated with the issue of the Construction Certificate.
MR. W. HARDMAN

The Structural Details shown on this Drawing are Not to change under any circumstances. No Certificate will be issued for work not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungen Street, MCMA VALE, NSW 2103, P.O. Box 396, NSW, 1990.
Telephone (02) 9579 6733, Facsimile (02) 9579 6626, A.C.N. 953 408 011

Designed JDH Drawn ED Job No. Drawing No.
Checked JDH Scale 1:100,00 uno
Date 7 NOVEMBER 2002

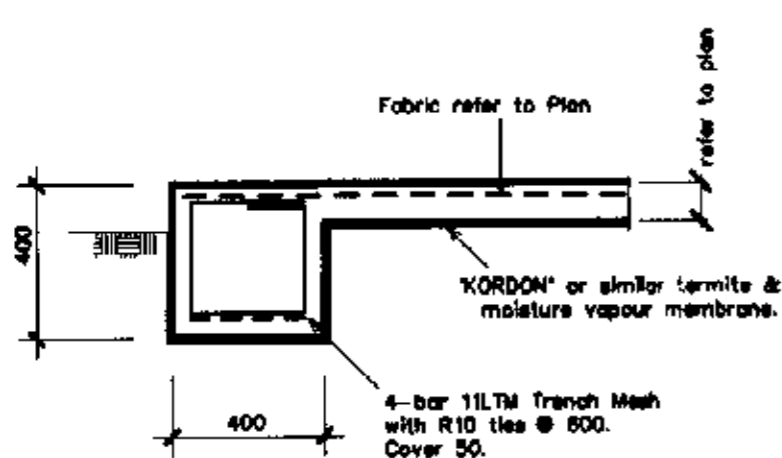
20057-5



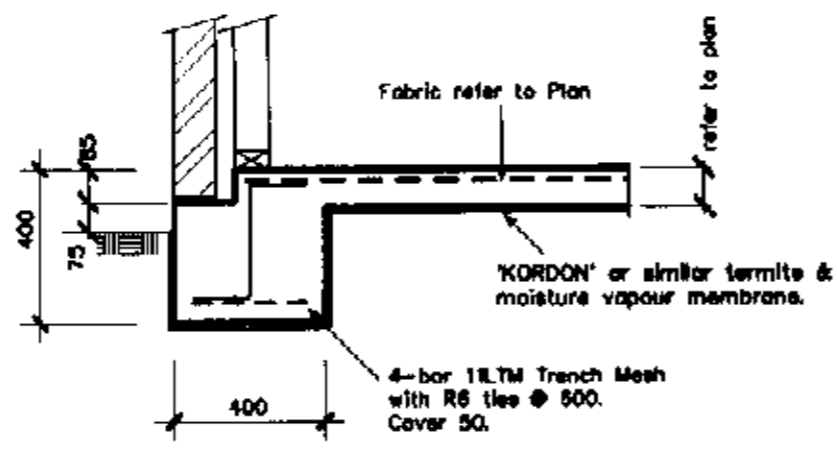
SUB-FLOOR SLAB, RETAINING WALL, FOOTING AND MARKING PLAN

120 Indicates Slab Thickness

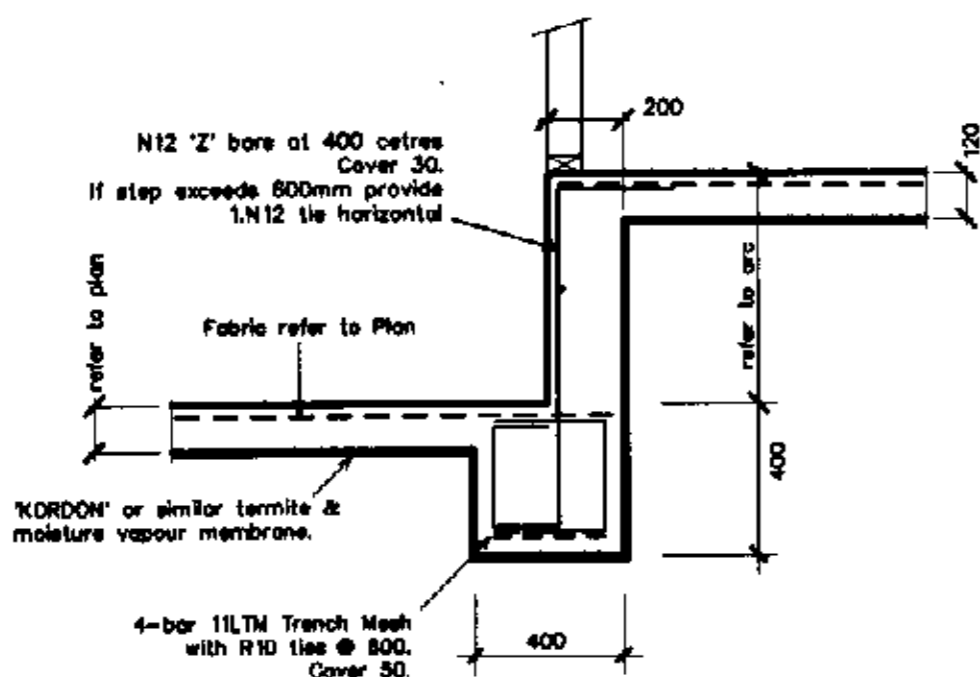
NOTE: ALL Structural Beams to bear on Double Stud. Unless Noted Otherwise.



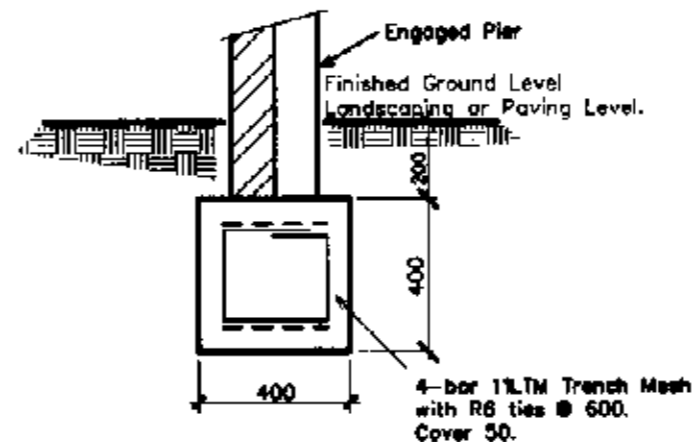
TYPICAL SLAB EDGE DETAIL



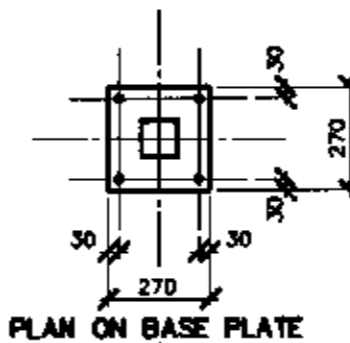
SLAB EDGE DETAIL AT CAVITY WALL



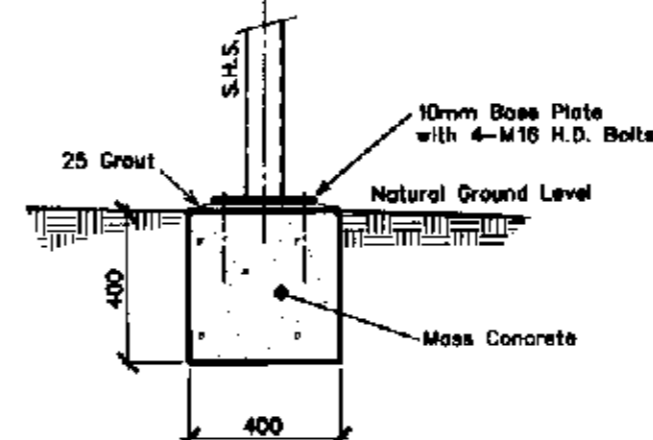
STEP IN SLAB DETAIL



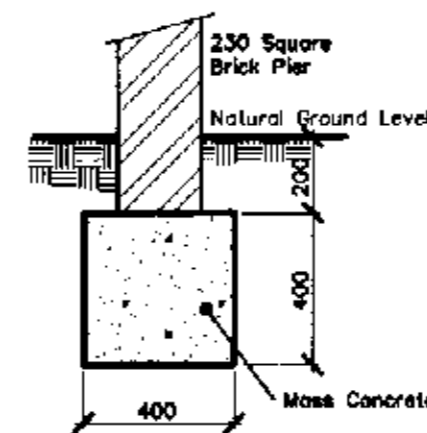
400 x 400 Deep STRIP FOOTING DETAIL - SFA



PLAN ON BASE PLATE



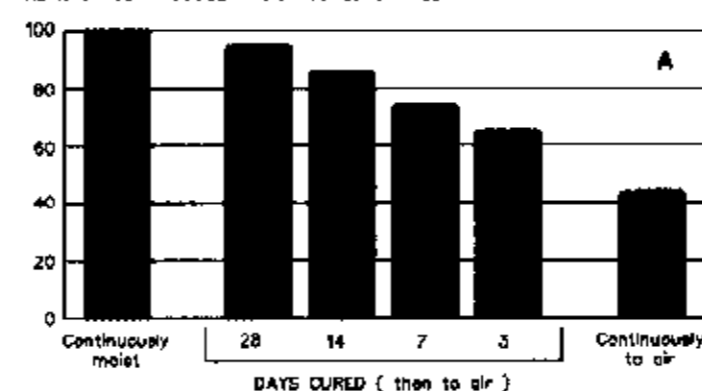
TYPICAL PAD DETAIL - PF1



400 Sq x 400 Deep PAD FOOTING DETAIL - PF2

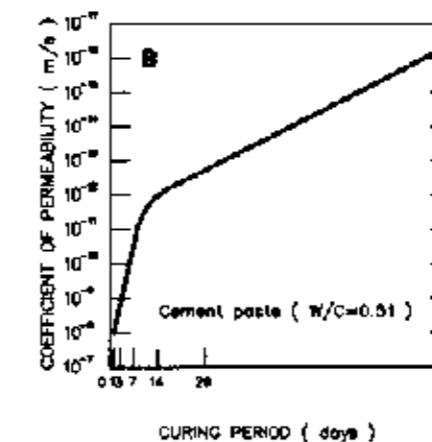
IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS AS % OF CONTINUOUSLY MOIST CURED SAMPLE



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability

Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1998)



CONCRETE & BLOCK NOTES

- All concrete work to be in accordance with AS 3600.
- $f_c = 40$ MPa for All external slabs & columns.
= 32 MPa for slabs, piers and beams.
= 20 MPa for block filling and footings.
- Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
- Slump = 80.
- All concrete, including block filling, to be vibrated.
- Slabs to be kept damp for at least 14 days after placing.
- All blockwork to be in accordance with SAA Masonry Code AS 3700.
- All cavities of block work to be thoroughly cleaned out, using knock out blocks or other suitable means, before filling with grout or concrete.
- 200 & 300 blocks to be hollow retaining wall blocks with a characteristic strength of 20 MPa.
- Blocks may be filled with a 1:0.5:4.5 mortar as the block laying proceeds.
- Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
- Bar Chairs to be no more than 800mm centre to centre spacings.
- Reinforcement to be tied at every other intersection minimum.

TIMBER NOTES :

- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 1684.2, AS 1720.1 & the specification.
- Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
- All timber shall be free of Gum veins, pockets, knots holes or splits within 255mm of any connection.
- Refer to specification for preservatives and finishes to timbers.
- All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.

STEELWORK NOTES

- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
- Do not obtain dimensions by scaling the structural elements.
- Chip all welds free of slag.
- All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
- Unless otherwise noted use
 - 6mm continuous fillet weld
 - 10mm thick gusset, fin and end plates, weld all round.
 - 16mm dia. 4.6/s bolts
- Minimum end bearing 150mm.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civl.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.3600, A.S.3700, A.S.4100

Jock D. Hodgson 11/9/02 J. Hodgson
Name Date Signature

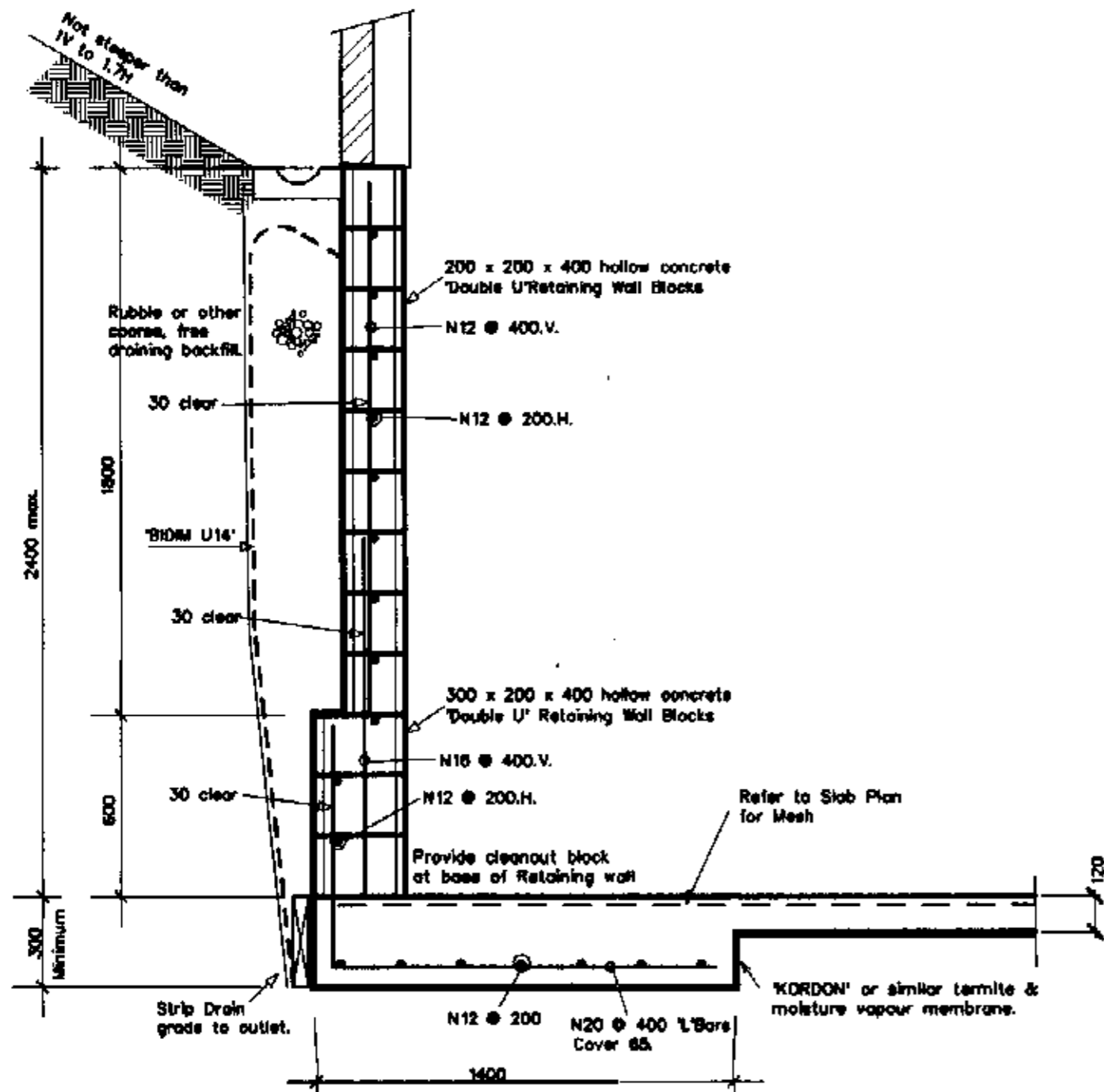
No. Amendment Drawn Date

SUB-FLOOR SLAB, RETAINING WALL, FOOTING AND MARKING PLAN AND DETAILS
PROPOSED ADDITIONAL COUNCIL OF PITTSWATER
75 ALEXANDRA CRESENT
BAYVIEW
CONSTRUCTION CERTIFICATE

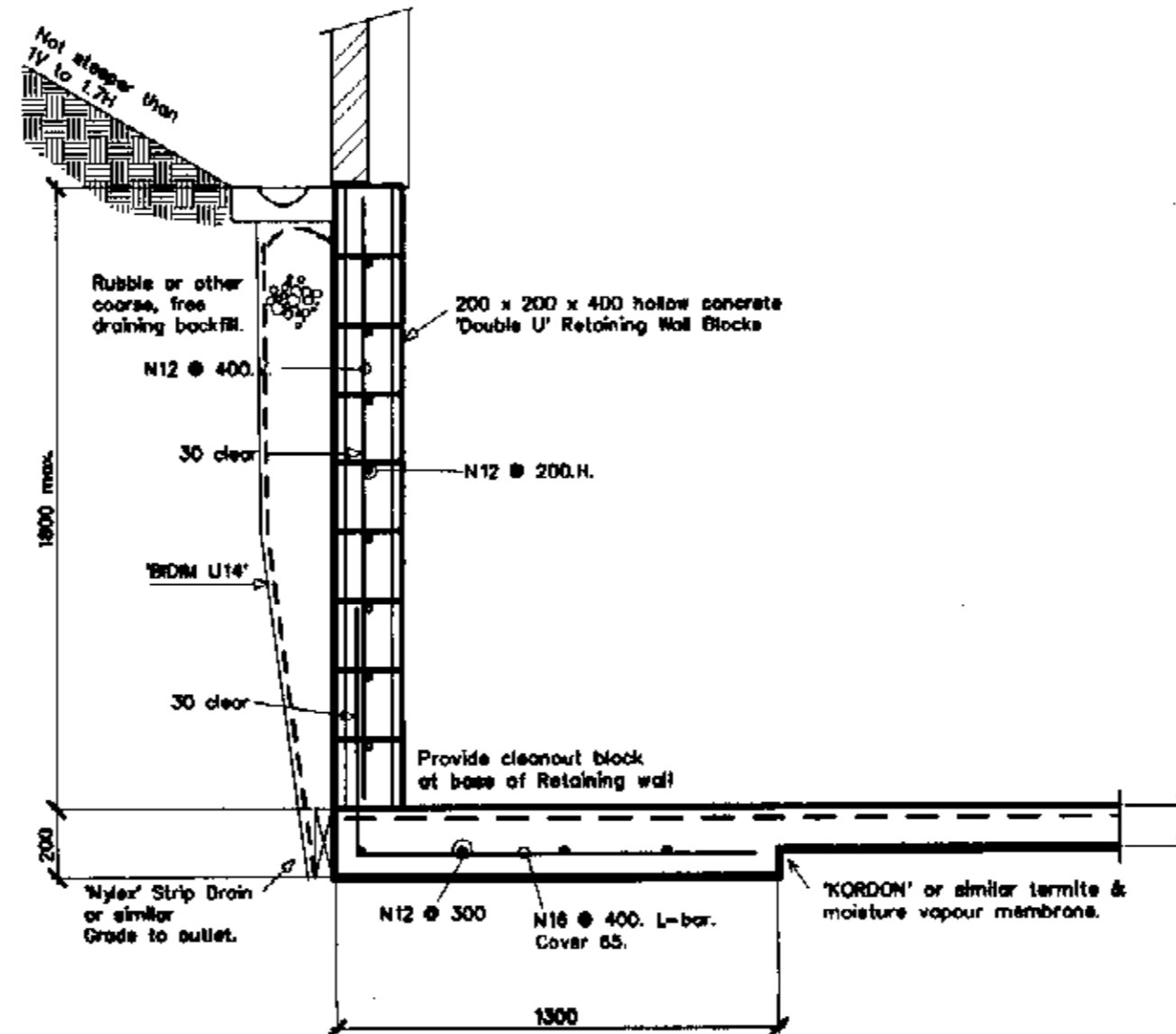
MR. W. HARDMAN
This is a copy of submitted plans, documents or Certificates responsible for the work.
The Structural Details shown on this drawing are to be used for work under any circumstances. No Certificate of Construction for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Burgon Street, MONA VALE, P.O. Box 309, Post Code 2103.
Telephone (02) 9979 8733. Facsimile (02) 9979 8826. A.C.N. 053 405 011

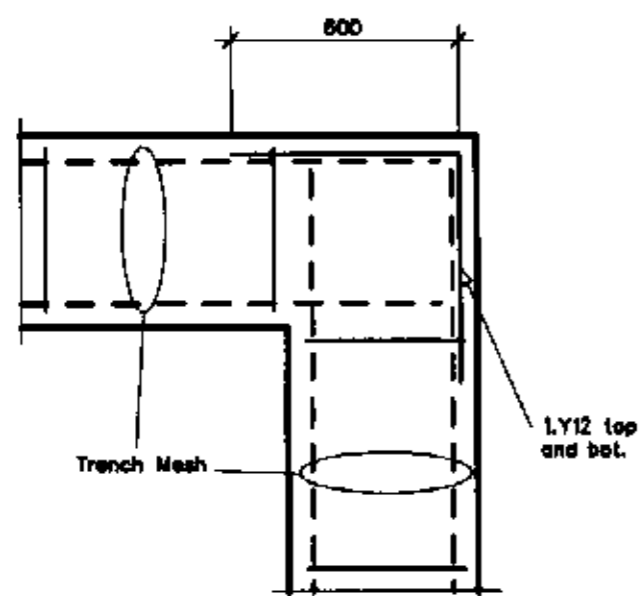
Designed JDH Drawn SG Job No. Drawing No.
Checked JDH Scale 1:100, 20 and 20057-1
Date 11 SEPTEMBER 2002



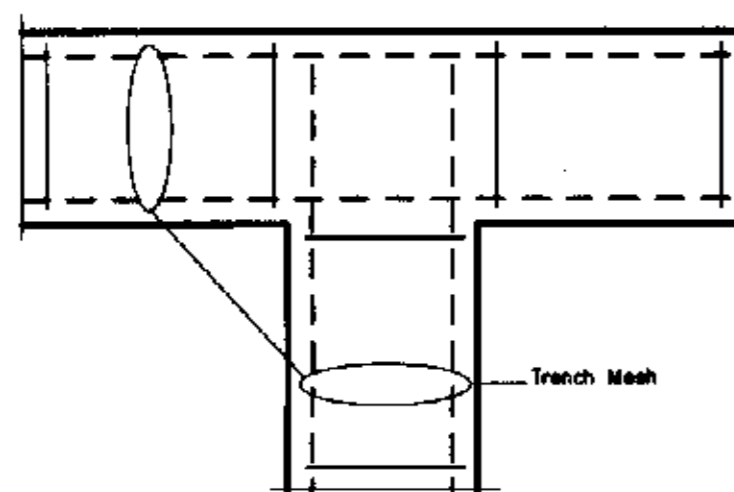
RETAINING WALL 'RW1' SECTION



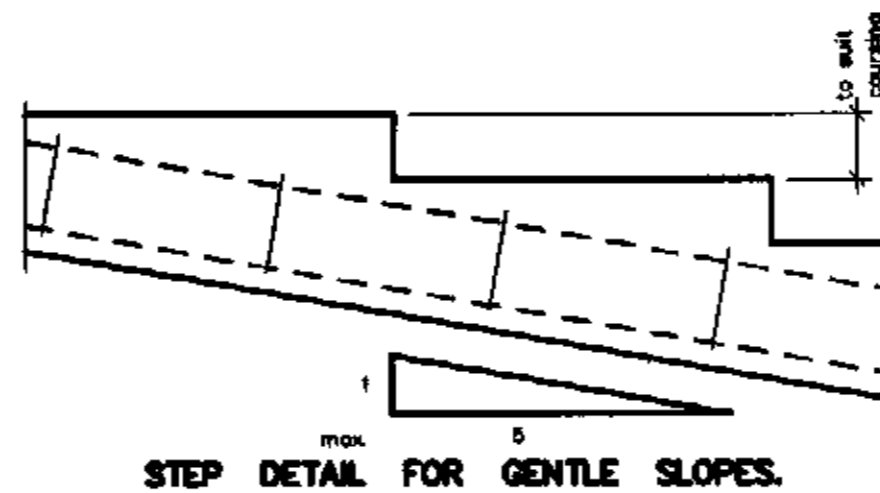
RETAINING WALL 'RW2' SECTION



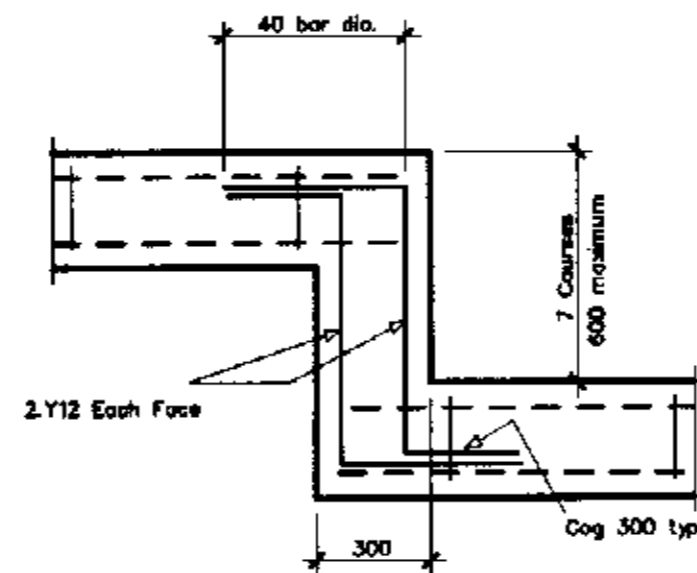
CORNER DETAIL



JUNCTION DETAIL



STEP DETAIL FOR GENTLE SLOPES.



STEP DETAIL

REFER TO DRAWING 1 FOR NOTES AND THE 'IMPORTANCE OF CURING CONCRETE' GRAPH.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
 I hold the following qualifications or licence No.....M.Eng.Sc.....
F.I.E.Aust....Nper3....Struct.Civil.No.149788.....
 Further I am appropriately qualified to certify this component of the project.
 I hereby state that these plans or details comply with the conditions of
 development consent, the provisions of the Building Code of Australia.
 A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.3600, A.S.3700, A.S.4100

Jack D. Hodgson 11/9/02 J. Hodgson
 Name Date Signature

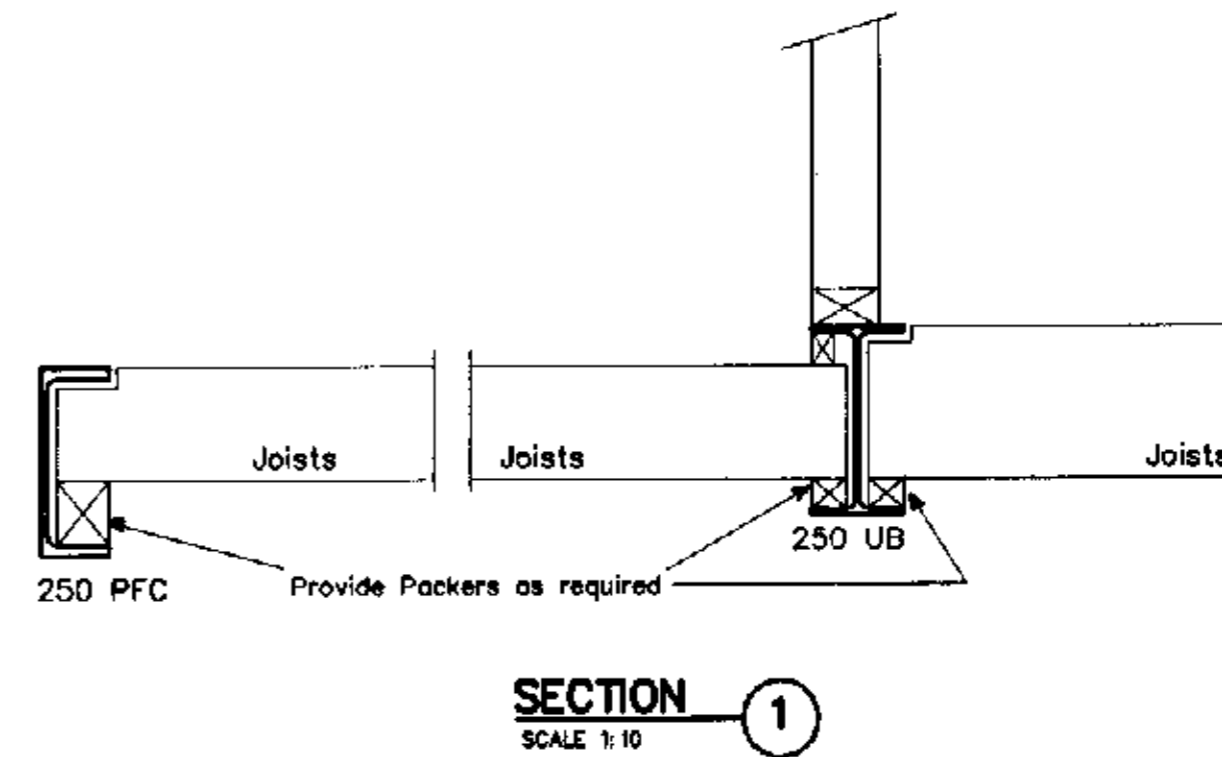
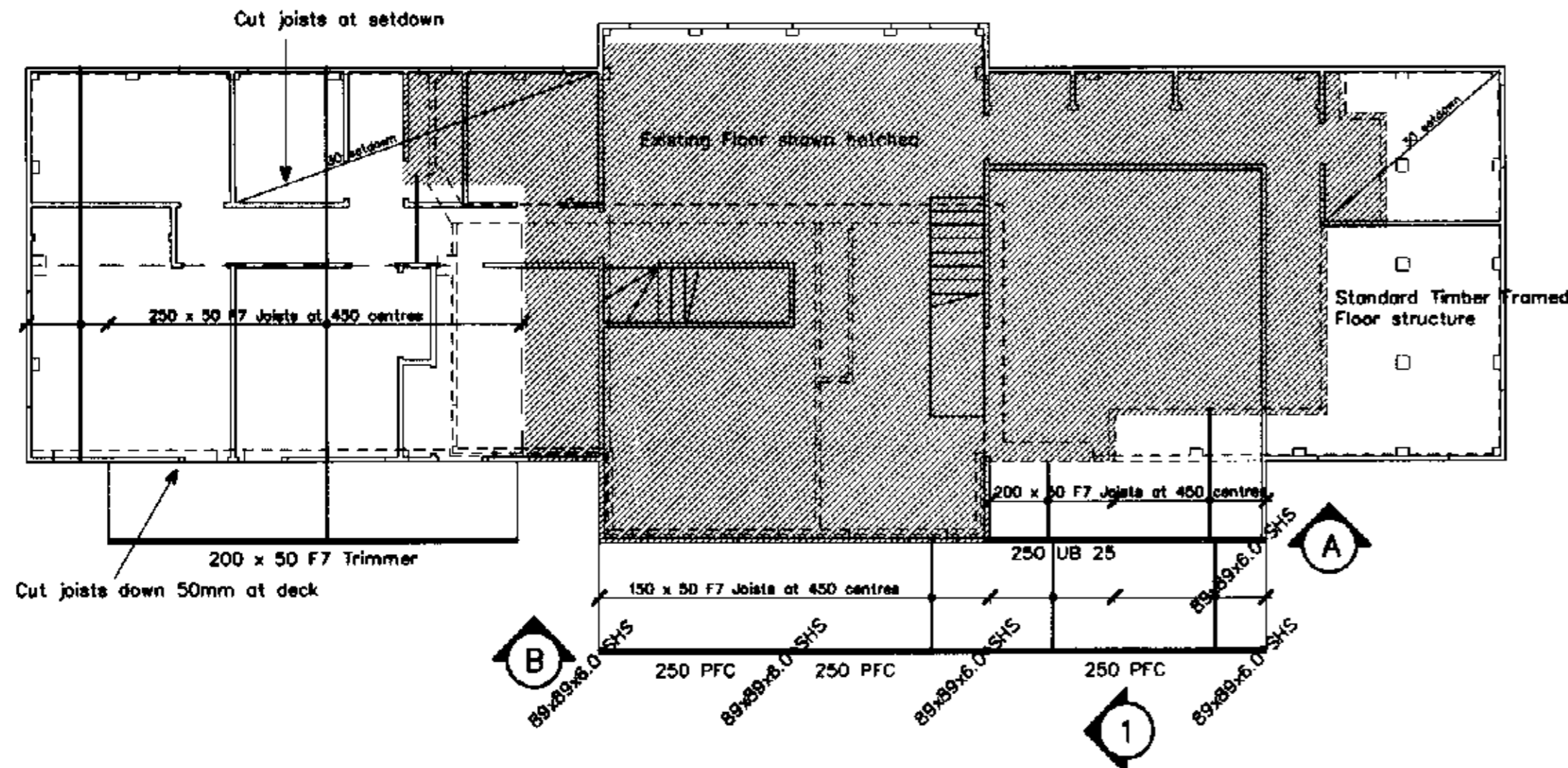
No.	Amendment	Drawn	Date

RETAINING WALL SECTIONS OF STRIP FOOTING
 DETAILS
 PROPOSED ADDITIONS
 75 ALEXANDRA CRESENT
 BAYVIEW
 CONSTRUCTION CERTIFICATE
 This is a copy of submitted plans,
 documents or Certificates associated
 with the issue of the Construction Certificate.
 MR. W. HARDMAN

The Structural Details shown on this Drawing are Not to change
 under any circumstances. No Certificate will be issued for work
 Not in accordance with this Drawing.

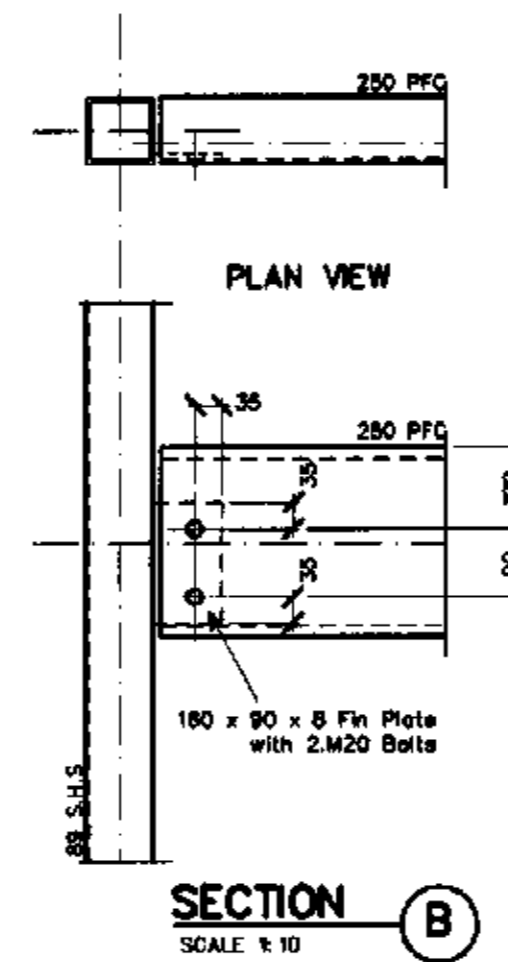
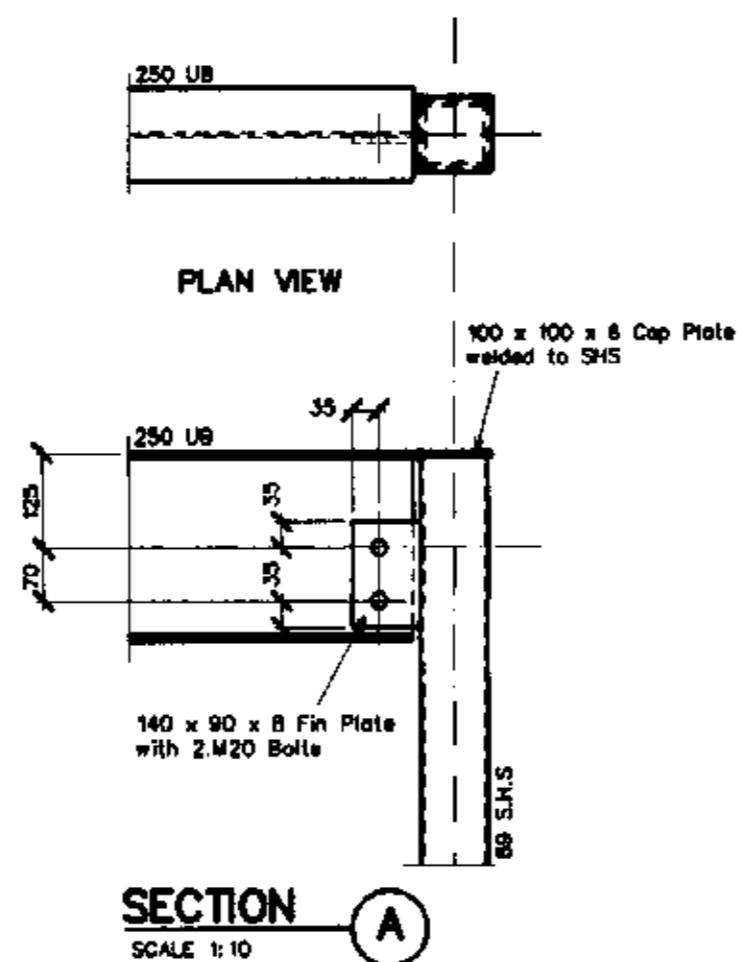
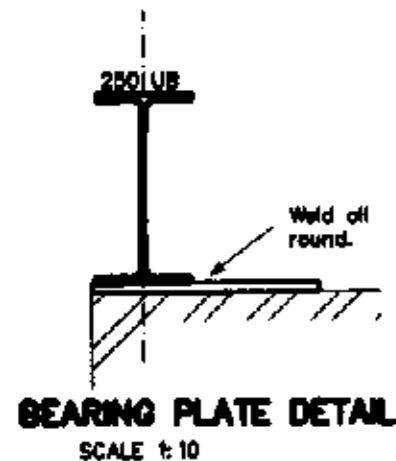
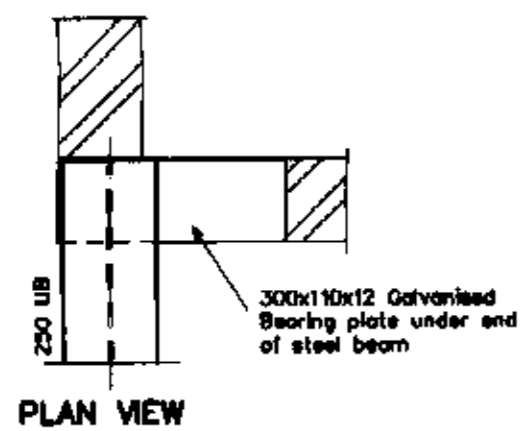
JACK HODGSON CONSULTANTS PTY. LIMITED.
 Consulting Civil, Geotechnical, and Structural Engineers.
 11 Bungon Street, MONA VALE, P.O. Box 389, Post Code 2103.
 Telephone (02) 9979 8733, Facsimile (02) 9979 8926. A.C.N. 053 406 011

Designed	JDH	Drawn	SG	Job No.		Drawing No.	
Checked	JDH	Scale	1:100, 20 und	20057-2			
Date	11 SEPTEMBER 2002						



GROUND FLOOR MARKING PLAN

REFER TO DRAWING 1 FOR NOTES AND THE 'IMPORTANCE OF CURING CONCRETE' GRAPH.



PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
 I hold the following qualifications or licence No.....M.Eng.Sc.....
F.I.E. Aust....Nper3....Struct.Civil.No. 149788.....
 Further I am appropriately qualified to certify this component of the project.
 I hereby state that these plans or details comply with the conditions of
 development consent, the provisions of the Building Code of Australia.
 A.S.117D, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.3600, A.S.3700, A.S.4100

Jack D. Hodgson 11/9/02
 Name Date Signature

No. Amendment Drawn Date

GROUND FLOOR MARKING PLAN AND DETAILS

PROPOSED ADDITIONS THE COUNCIL OF PITTWATER
 75 ALEXANDRA CRESCENT CONSTRUCTION CERTIFICATE
 BAYVIEW

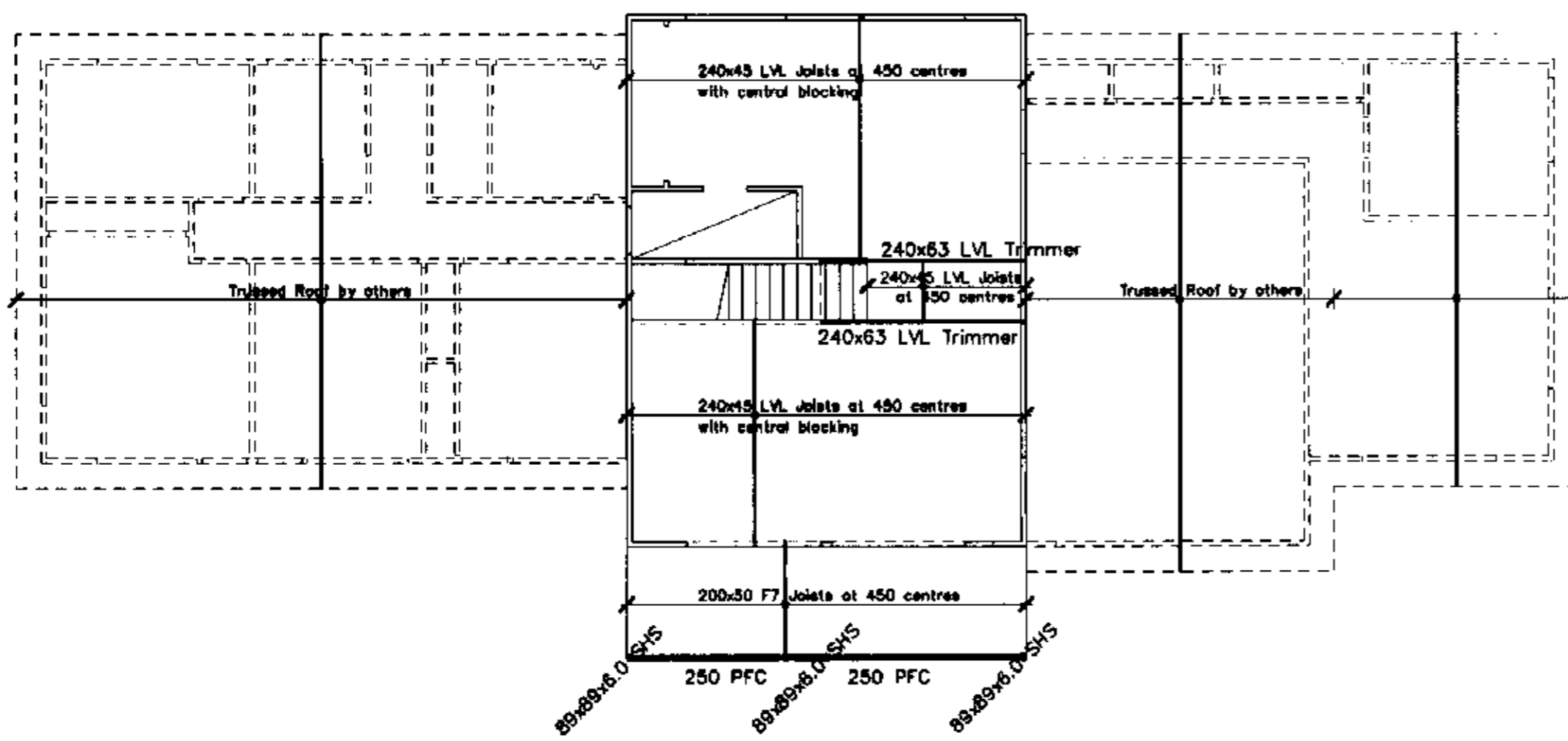
MR. W. HARDMAN

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

The Structural Details shown on this Drawing are Not to change under any circumstance. No Certificate will be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
 Consulting Civil, Geotechnical, and Structural Engineers.
 11 Bungun Street, MONA VALE, P.O. Box 389, Post Code 2103.
 Telephone (02) 9979 6733, Facsimile (02) 9979 6928. A.G.N. 003 405 011

Designed	JDH	Drawn	SG	Job No.	Drawing No.
Checked	JDH	Scale	1:100, 20 uno	20057-3	
Date	11 SEPTEMBER 2002				



FIRST FLOOR MARKING PLAN

REFER TO DRAWING 1 FOR NOTES AND THE 'IMPORTANCE OF CURING CONCRETE' GRAPH.

PLAN OR DOCUMENT CERTIFICATION			
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER....			
I hold the following qualifications or licence No.....M.Eng.Sc.....			
.....F.I.E.Aust....Nper3....Struct.Civil.No.149788.....			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.			
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.3600, A.S.3700, A.S.4100			
Jack D. Hodgson	11/9/02	<i>J. Hodgson</i>	
Name	Date	Signature	
No.	Amendment	Drawn	Date
FIRST FLOOR MARKING PLAN AND DETAILS PROPOSED ADDITIONS 75 ALEXANDRA CRESENT BAYVIEW MR. W. HARDMAN			
THE COUNCIL OF PITTMATER CONSTRUCTION CERTIFICATE This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.			
The Structural Details shown on this Drawing are Not to change under any circumstance. No Certificate will be issued for work Not in accordance with this Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED. Consulting Civil, Geotechnical, and Structural Engineers. 11 Bungon Street, MONA VALE, P.O. Box 569, Post Code 2103. Telephone (02) 9979 6733, Facsimile (02) 9979 6925. A.C.N. 053 405 011			
Designed	JDH	Drawn	SG
Checked	JDH	Scale	1:100.20 uno
Date	11 SEPTEMBER 2002		
Job No.	Drawing No.		
			20057-4

CONSTRUCTION CERTIFICATE PROCEDURE

ADDRESS:

151 Bally Road, Malahide 75 Alexander Coe

CC NO: _____

DA NUMBER: NO645/02

1. THE WORKING PLANS/STRUCTUREL/GEOTECHNICAL
ENGINEERING PLANS/EROSION CONTROL PLANS ETC
COMPLY WITH THE CONDIIONS OF DEVELOPMENT
CONSENT

DEVELOPMENT OFFICER: SEAN O'BRIEN 20/11/02
CONSULTING BUILDING SURVEYOR/
TOWN PLANNER.

REASONS WHY NOT?

NB/ SEE COMMENTS FROM MATTHEW EDWARDS DATED
13 NOV. 2002 REGARDING CONDUIT B19 - S/WATER DISPOSAL
[Signature]

2. THE LANDSCAPE PLAN COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT

LANDSCAPE OFFICER:: _____

REASONS WHY NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR: SEAN O'BRIEN 20/11/02

REASONS WHY NOT?

CONSULTING BUILDING SURVEYOR/
TOWN PLANNER

return to OOJ



Pittwater Council

Construction Certificate No: _____

WHO WILL BE SIGNING THIS CC OFF _____
(ie who will we return it to)

Site Details: 75 Alexander Crce, Bayview
Beaconsfield Road, Pittwater

Legal Description: Lot 18 DP 11186; Lot B DP 57370

Type of Development: Building Work Subdivision

Description: DEMOLITION OF EXISTING DWELLING + CONSTRUCTION OF
NEW DWELLING

Associated Development Consent No: N 0645/02 Dated: 15/10/02

Building Code of Australia Certification: Class 1a

- Details of plans, documents or Certificates to which this Certificate relates:
1. ARCHITECTURAL PLANS ~~DRAWN~~ PREPARED BY RIVERWOOD DESIGN SERVICES P/L DRAWING NO 0261/1; 0261/2; 0261/3; 0261/4; 0261/5
 2. STRUCTURAL ENGINEERS DETAILS PREPARED BY JACK HODGSON CONSULTANTS P/L DATED 11 SEP. 2002 DWG NO: - 20057-1; 20057-2; 20057-3 and 20057-4.
 3. STORMWATER DISPOSAL DETAIL PREPARED BY JACK HODGSON CONSULTANTS P/L DATED 7 NOVEMBER 2002, DWG NO - 20057-5.
 4. CORRESPONDENCE DATED 12 NOVEMBER 2002 FROM ATW HARDMAN.

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: (N 0645/02)

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

.....
Development Officer

.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

PITTWATER COUNCIL
DEVELOPMENT DIVISION
FILE NOTE

DATE OF MEETING/ENQUIRY/TELEPHONE CALL/COMPLAINT

File No.....

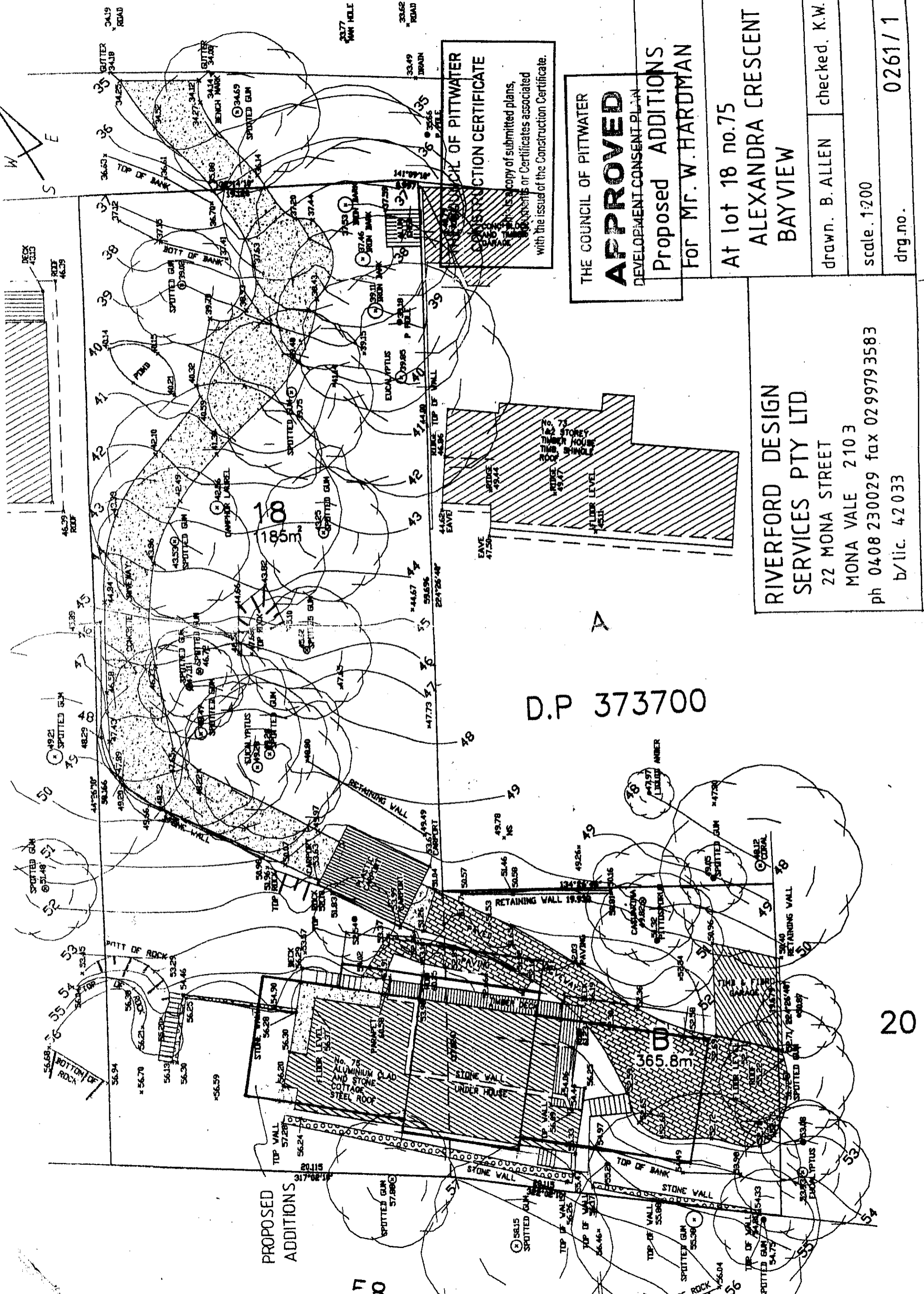
Address.....

Participants.....

NOTES..... 18/11/02 DISCUSSION WITH LES HADDUM
re additional information dated 18/11/02
H.S.

Officers Signature.....

ALEXANDRA CRESCENT



THE COUNCIL OF PITTSBURGH
CONSTRUCTION CERTIFICATE
 This certificate is issued in accordance with the provisions of the Construction Certificate Act, 1973.
 It is a condition of this certificate that the applicant shall submit to the Council a copy of the submitted plans, specifications and Certificates associated with the issue of the Construction Certificate.

THE COUNCIL OF PITTSBURGH
APPROVED
 DEVELOPMENT CONSENT PLAN
Proposed ADDITIONS
 FOR MR. W. HARDMAN

At lot 18 no.75
ALEXANDRA CRESCENT
BAYVIEW

drawn. B. ALLEN checked. K.W.

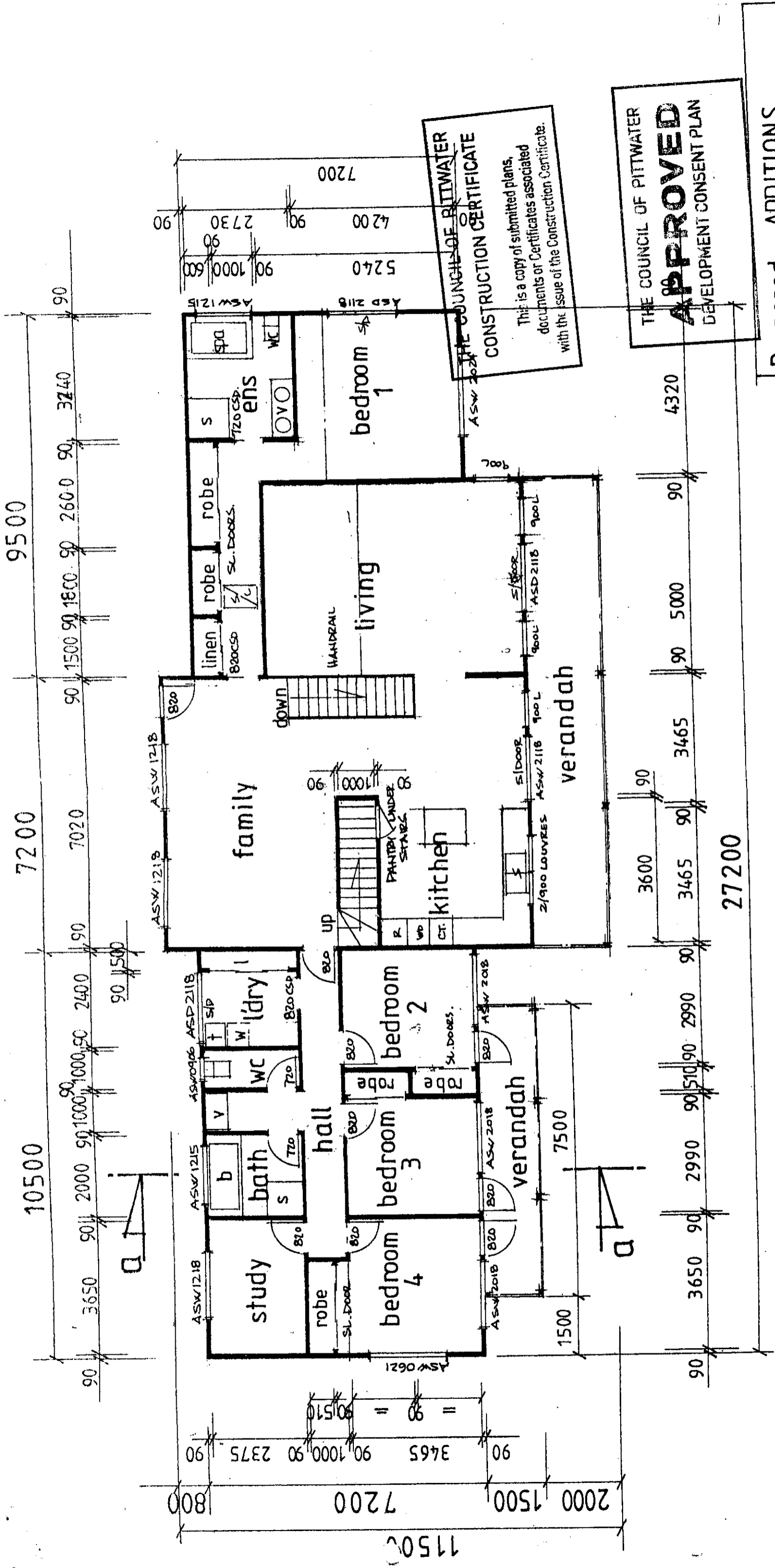
scale. 1:200

drg.no. 0261/1

RIVERFORD DESIGN SERVICES PTY LTD
 22 MONA STREET
 MONA VALE 2103
 ph 0408 230029 fax 0299793583
 b/lic. 42033

D.P 373700

PROPOSED ADDITIONS



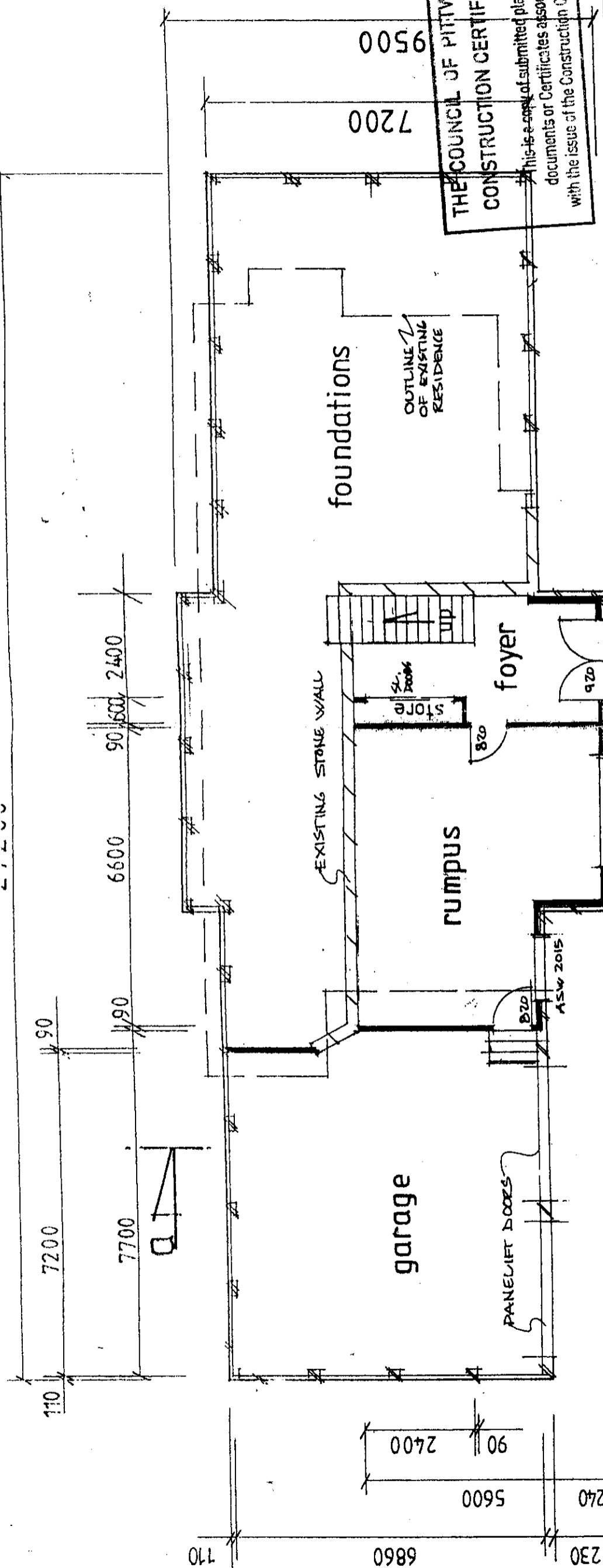
THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE
 This is a copy of submitted plans,
 documents or Certificates associated
 with the issue of the Construction Certificate.

THE COUNCIL OF PITTWATER
APPROVED
 DEVELOPMENT CONSENT PLAN

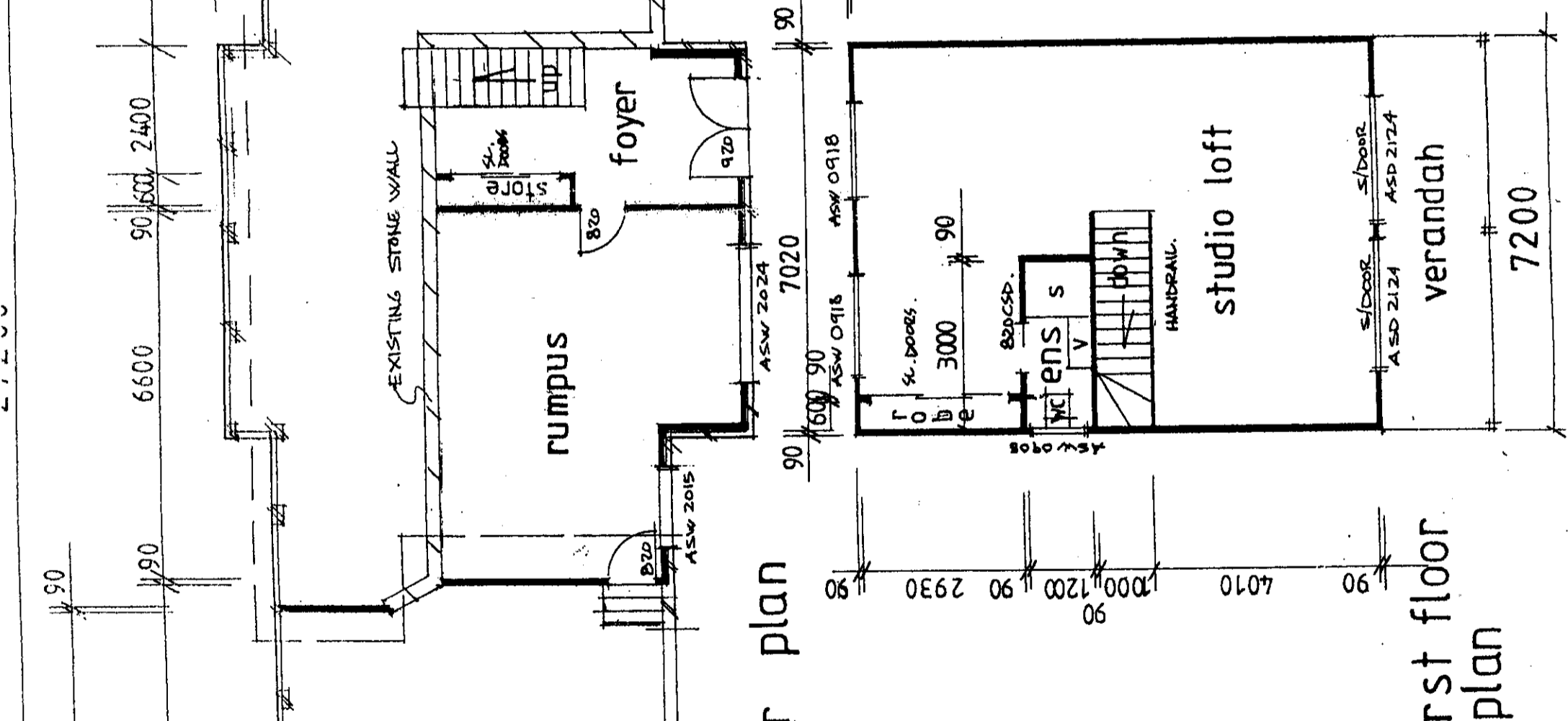
NOTE: WHOLE DWELLING MUST BE
 CONSTRUCTED TO A LEVEL 1 STANDARD
 OF CONSTRUCTION - AUSTRIAN STANDARD
 3459-1999 IN RESPECT OF BUSHFIRE PROTECTION.

NOTES - BUILDER TO VERIFY ALL DIMENSIONS ON SITE.
 - CONNECT ALL DOWNPIPES TO EXISTING DRAINAGE SYSTEM.

Proposed ADDITIONS For Mr. W. HARDMAN	RIVERFORD DESIGN SERVICES PTY LTD 22 MONA STREET MONA VALE 2103 ph. 0408230029 fax. 0299793583 b/lic. 42033
At lot 18 no 75 ALEXANDRA CRESCENT BAYVIEW	
drawn B. ALLEN	checked K.W.
scales 1:100	
drg. no. 0261/2	



sub floor plan



first floor plan

THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

7200
 9500

Proposed ADDITIONS
 For Mr. W. HARDMAN

At lot 18. no 75

ALEXANDRA CRESCENT
 THE COUNCIL OF PITTWATER
APPROVED
 RIVERFORD DESIGN
 SERVICES PTY LTD

22 MONA STREET
 MONA VALE 2103
 ph. 0408 230 029
 fax 0299 793 583
 b/lic 42033

drawn B. ALLEN checked K.W.
 scales 1:100
 drg no. 0261/3

8.5 BUILDING HEIGHT. STEEL WIRE HANDRAILS.

MILLYWOOD CLADDING

C/BOND CORRUGATED ROOFING W/- INSULATION BLANKET UNDER.

LOUVRE WINDOWS.

C/BOND GUTTERS + DOWNPIPES.

ALUM. FRAMED WINDOW + SL. DOORS.

NSL

BAGGED + PAINTED BRICKWORK.

C/BOND PANELIFT DOORS. 3m. WIDE.

front elevation

8.5 BUILDING HEIGHT.

C/BOND CORRUGATED ROOFING

C/BOND GUTTERS + DOWNPIPES.

MILLYWOOD CLADDING

ALUM. FRAMED W WINDOW, LOUVRES + SL. DOORS.

2440

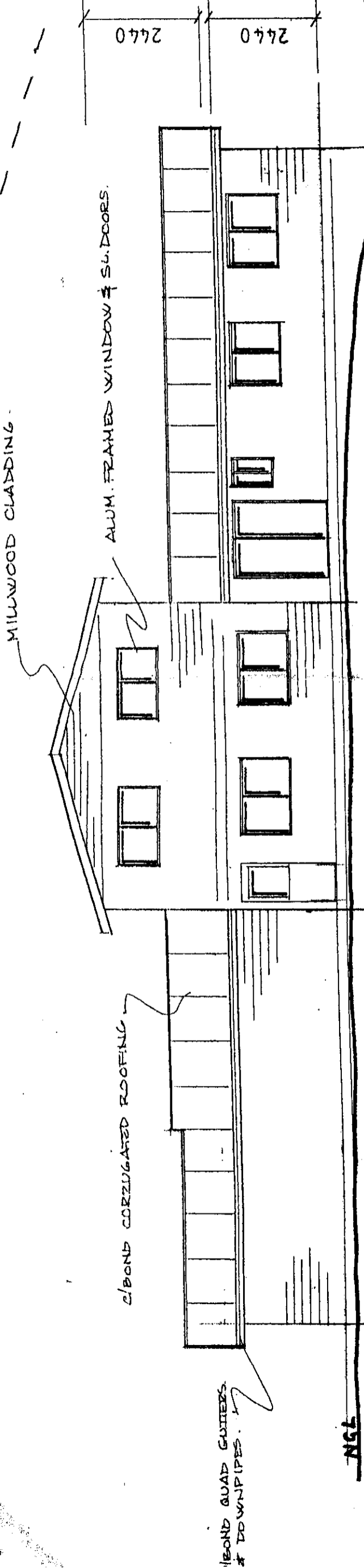
2440

NSL

side elevation

THE COUNCIL OF PITTSBURGH CONSTRUCTION CERTIFICATE
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

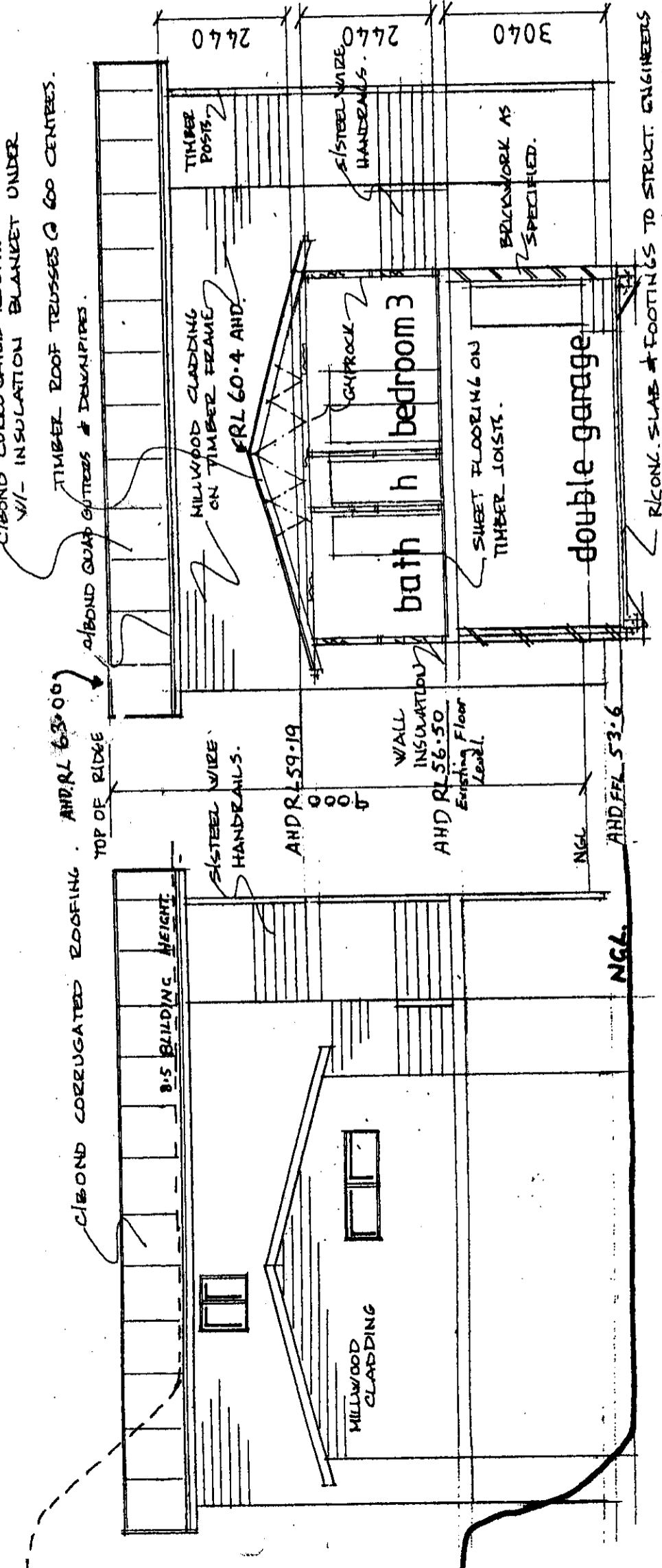
Proposed ADDITIONS For Mr. W. HARDMAN At lot.18. no.75 ALEXANDRA CRESCENT BAYVIEW	RIVERFORD OF PITTSBURGH DESIGN SEMPER PROVED 22 MONA STREET MONA VALE 2103 ph. 0408230029 fax. 0299793583 b/lic. 42033	drawn B.ALLEN. checked K.W.
scales 1:100		drg no. 0261/4



rear elevation

side elevation

THE COUNCIL OF PITTSWATER
CONSTRUCTION CERTIFICATE
This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.



section a-a

Proposed ADDITIONS
For Mr. W. HARDMAN
At lot 18, no. 75.
ALEXANDRA CRESCENT
BAYVIEW

RIVERFORD DESIGN
THE COUNCIL OF PITTSWATER
APPROVED
2 MONTHS RESIDENT PLAN
MONA VALE 2103
PH 0408 230029
fax. 0299793583
b/lic. 42033

drawn. B. ALLEN. checked. K.W.
scales 1:100
drg no. 0261/5