





Sheet Number	Revision	Sheet Name	Date
S4.55-01	J	S4.55 - SITE PLAN	05/09/2022
S4.55-02	J	S4.55 - PROPOSED INCLINATOR PLANS	05/09/2022
S4.55-03	J	PROPOSED INCLINATOR - STREET ELEVATIONS	05/09/2022
S4.55-04	J	EXISITNG PHOTO IMAGES	05/09/2022
S4.55-05	J	ELEVATION - SOUTH BUTTRESS WALL	05/09/2022

S4.55

Current Revision

Current

inclinator car detail proposed inclinator to replace approved stairs behind buttress wall electro mechanical gate nominal 600mm clear to suppliers detail of boundary to rail steel checker plate landing / platform to top of inclinator ⋖ terrace wooden / stone steps existing buttress wall 0 into existing loosed scree to and capping beam side of rock face - see photos RL 19.475  $\propto$ (1A)Z create steps as required inclinator car nominal  $\triangleleft$ up between rock faces 1200mm clear of stair 2 behind existing fig tree-Ш for access to top level see photos  $\circ$ 0 DN concrete buttress wall from \house - Grid B, to concrete pier at boundary to engineers detail SITE PLAN - TERRACE LEVEL

architecture \* interiors

PO BOX 699 AVALON BEACH NSW 2107 M +61 400 044 277 info@mapai.com.au PROPOSED INCLINATOR

1:200

JOHN BUBB AND
CHRISTINA NEUMANN-BUBB

\$4.55-01

DWG NO.

DATE

SCALE

1

SEPT 2021 DRAWN BY Author

1:200 CHECKED BY Checker

9 OCEAN ROAD PALM BEACH

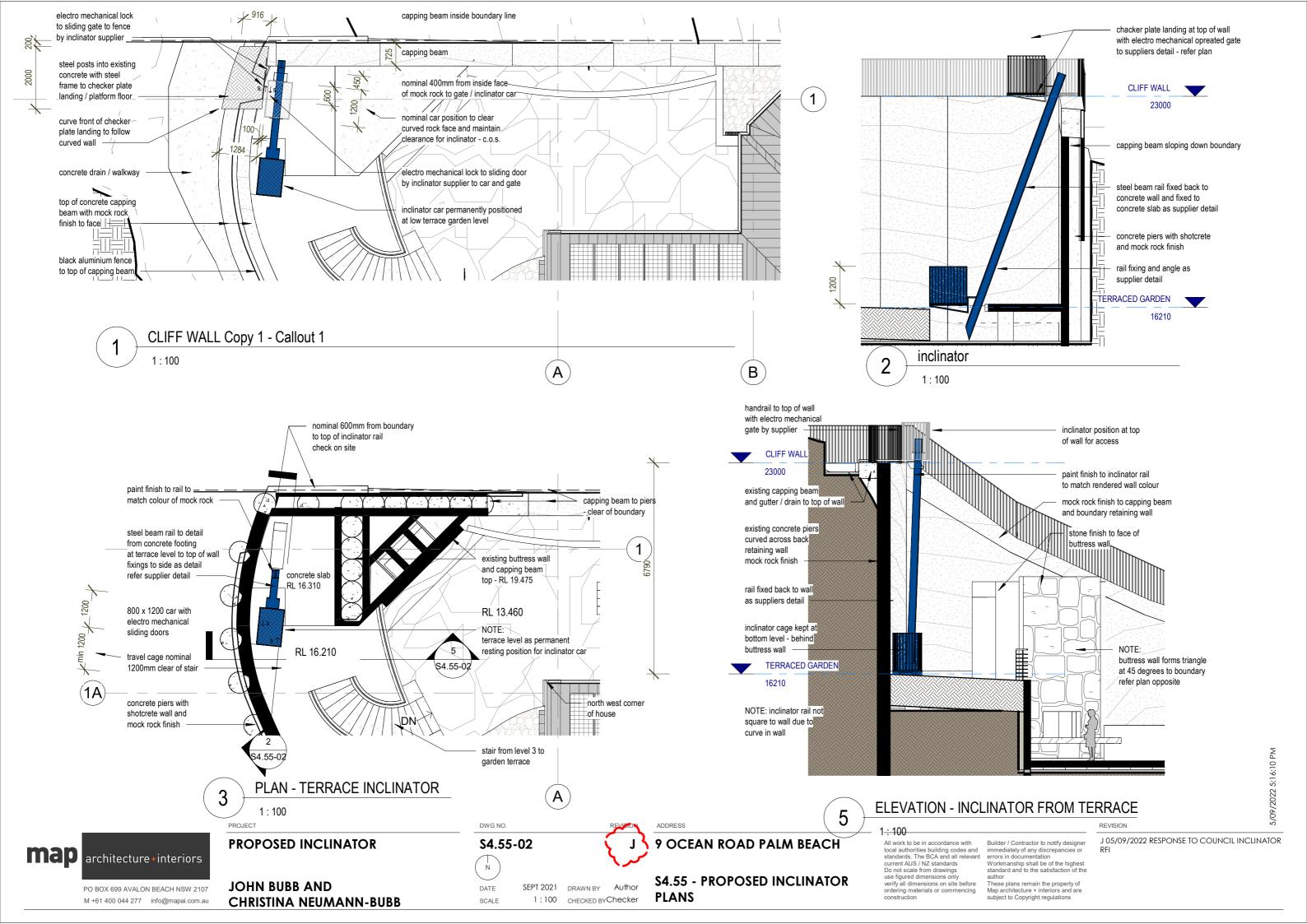
S4.55 - SITE PLAN

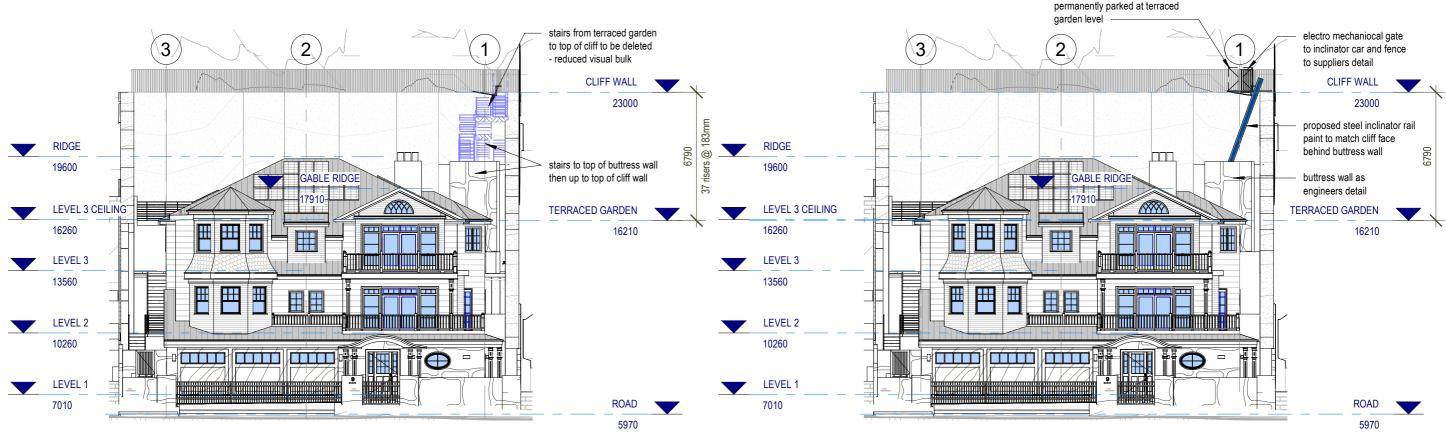
All work to be in accordance with local authorities building codes and standards. The BCA and all relevant current AUS / NZ standards
Do not scale from drawings use figured dimensions only verify all dimensions on site before ordering materials or commencing construction

Builder / Contractor to notify designer immediately of any discrepancies or errors in documentation Workmanship shall be of the highest standard and to the satisfaction of the author These plans remain the property of Map architecture + interiors and are subject to Copyright regulations

J 05/09/2022 RESPONSE TO COUNCIL INCLINATOR RFI

5/09/2022 5:16:06 F





**EAST ELEVATION - STAIRS DELETED** 

1:200



STREET VIEW FROM ROAD OPPOSITE

EAST ELEVATION - PROPOSED INCLINATOR

1:200



NOTE: inclinator car shown dotted

proposed inclinator to replace approved stairs rail painted to match rock face finish NOTE: inclinator car kept at lower garden terrace level

3D View - STREET VIEW NORTH BOUNDARY

**JOHN BUBB AND CHRISTINA NEUMANN-BUBB**  DWG NO. \$4.55-03



9 OCEAN ROAD PALM BEACH

**PROPOSED INCLINATOR - STREET ELEVATIONS** 

3

All work to be in accordance with local authorities building codes and standards. The BCA and all relevant Builder / Contractor to notify designer immediately of any discrepancies or errors in documentation Workmanship shall be of the highest

These plans remain the property of Map architecture + interiors and are subject to Copyright regulations

J 05/09/2022 RESPONSE TO COUNCIL INCLINATOR

map architecture \* interiors

PO BOX 699 AVALON BEACH NSW 2107 M +61 400 044 277 info@mapai.com.au

4

**PROPOSED INCLINATOR** 

DATE SCALE

SEPT 2021 DRAWN BY Author 1:200 CHECKED BY Checker standards. The BCA and all relevan current AUS / NZ standards Do not scale from drawings use figured dimensions only verify all dimensions on site before ordering materials or commencing

standard and to the satisfaction of the





checker plate landing / platform across top of capping beam with cantilever to inclinator on steel posts to engineers detail

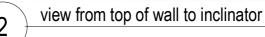


steel posts to engineers detail





 checkerplate landing / platform across across concrete to capping beam including step on steel posts to engineers detail



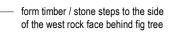
top of capping beam with fencing fixed to thru





buttress wall

capping beam to



timber / stone stairs terraced into the exisitng loose scree to side of large rock face

electro mechanical gates to car and fence line

1200mm high fence and sides to inclinator car

checker plate base / landing across top of capping beam on steel posts to concrete

stairs up from house to terraced garden area

starting point for inclinator

rise for inclinator to replace stairs

Topiaco dia



ADDRESS

9 OCEAN ROAD PALM BEACH

view to fig tree

All work to be in accordance with local authorities building codes and standards. The BCA and all relevant current AUS / NZ standards Do not scale from drawings use figured dimensions only verify all dimensions on site before ordering materials or commencing construction

Builder / Contractor to notify designer immediately of any discrepancies or errors in documentation Workmanship shall be of the highest standard and to the satisfaction of the author

These plans remain the property of Map architecture + interiors and are subject to Copyright regulations

J 05/09/2022 RESPONSE TO COUNCIL INCLINATOR

dish drain as eng. detail

architecture + interiors

PO BOX 699 AVALON BEACH NSW 2107 M +61 400 044 277 info@mapai.com.au PROPOSED INCLINATOR

JOHN BUBB AND CHRISTINA NEUMANN-BUBB N

\$4.55-04

DWG NO.

DATE SEPT 202 SCALE DRAWN BY Author CHECKED BY Checker

**EXISITNG PHOTO IMAGES** 

